

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

PROVIDE SOLID BLOCKING AT 24" O/C AT JOIST SPACE ADJACENT TO FDTN WALL WHERE FLOOR JOISTS RUN PARALLEL OF FDTN WALL (TYP.)

VINYL CLAD STRUCTURAL STL. FRAME BASEMENT WINDOW (TYPICAL)

UNFINISHED BASEMENT

3PC ROUGH-IN (26)

FURNACE

HWT

LOCATION MAY VARY

W200x42

9 1/2" ENG. JOISTS @ 12" O.C.

9 1/2" ENG. JOISTS @ 16" O.C.

9 1/2" ENG. JOISTS @ 12" O.C.

9 1/2" ENG. JOISTS @ 16" O.C.

9 1/2" ENG. JOISTS @ 12" O.C.

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9 1/2" ENG. JOISTS @ 16" O.C.

9 1/2" ENG. JOISTS @ 12" O.C.

9 1/2" ENG. JOISTS @ 16" O.C.

BASEMENT PLAN - EL. 'A'

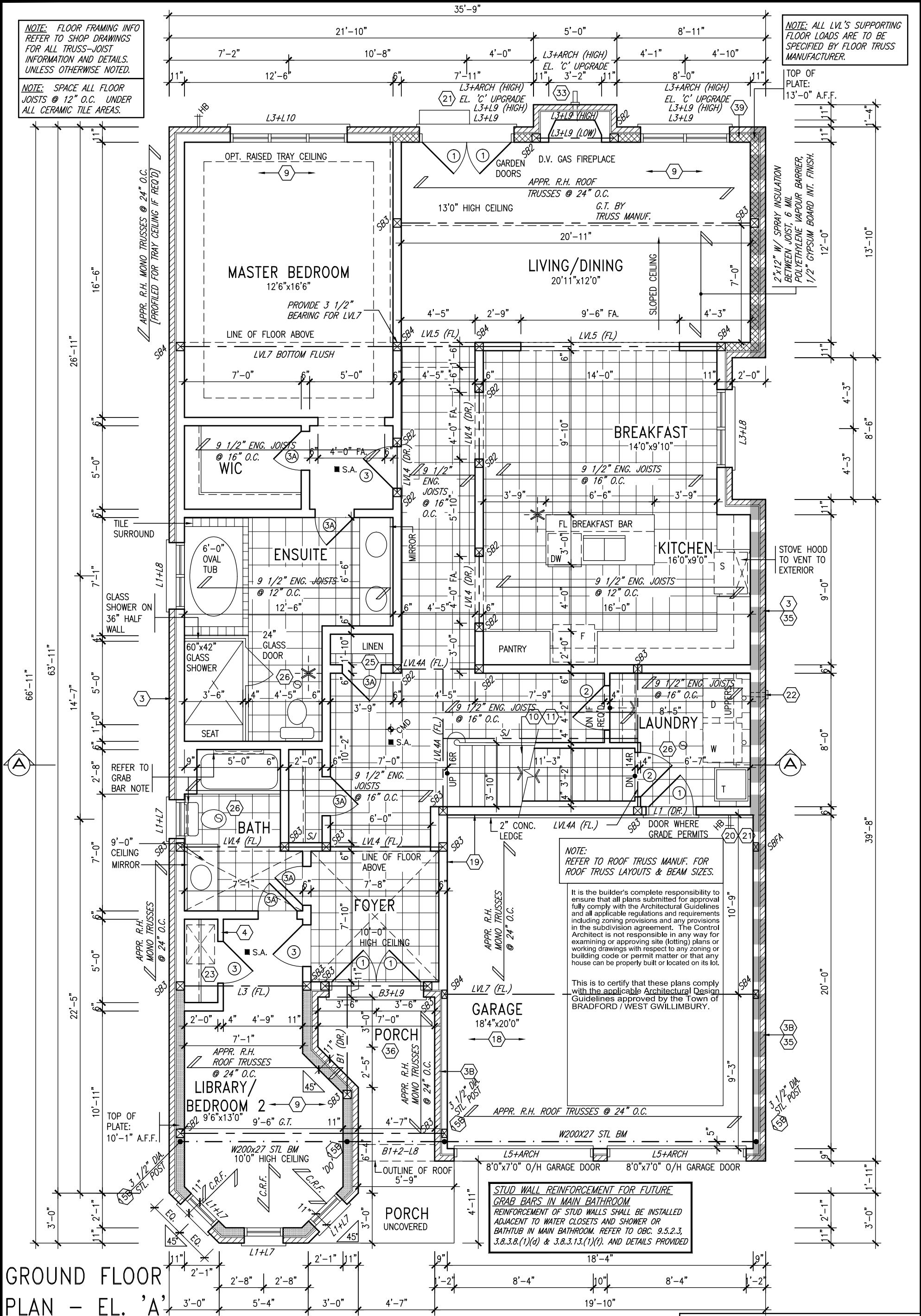
AREA CHART ON PAGE 17

9.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.	.	.	qualification information
7.	.	.	Wellington Jno-Baptiste 25591
6.	.	.	name
5.	.	.	signature
4.	.	.	BCIN
3.	REVISED AS PER ENG'S COMMENTS	15-05-04	RC
2.	ADDED REAR UPGRADE ELEVATIONS.	14-10-06	GW
1.	ISSUED FOR CLIENT COMMENT AND PRICING	14-09-15	RAAM
no.	description	date	by

**VA3 DESIGN**

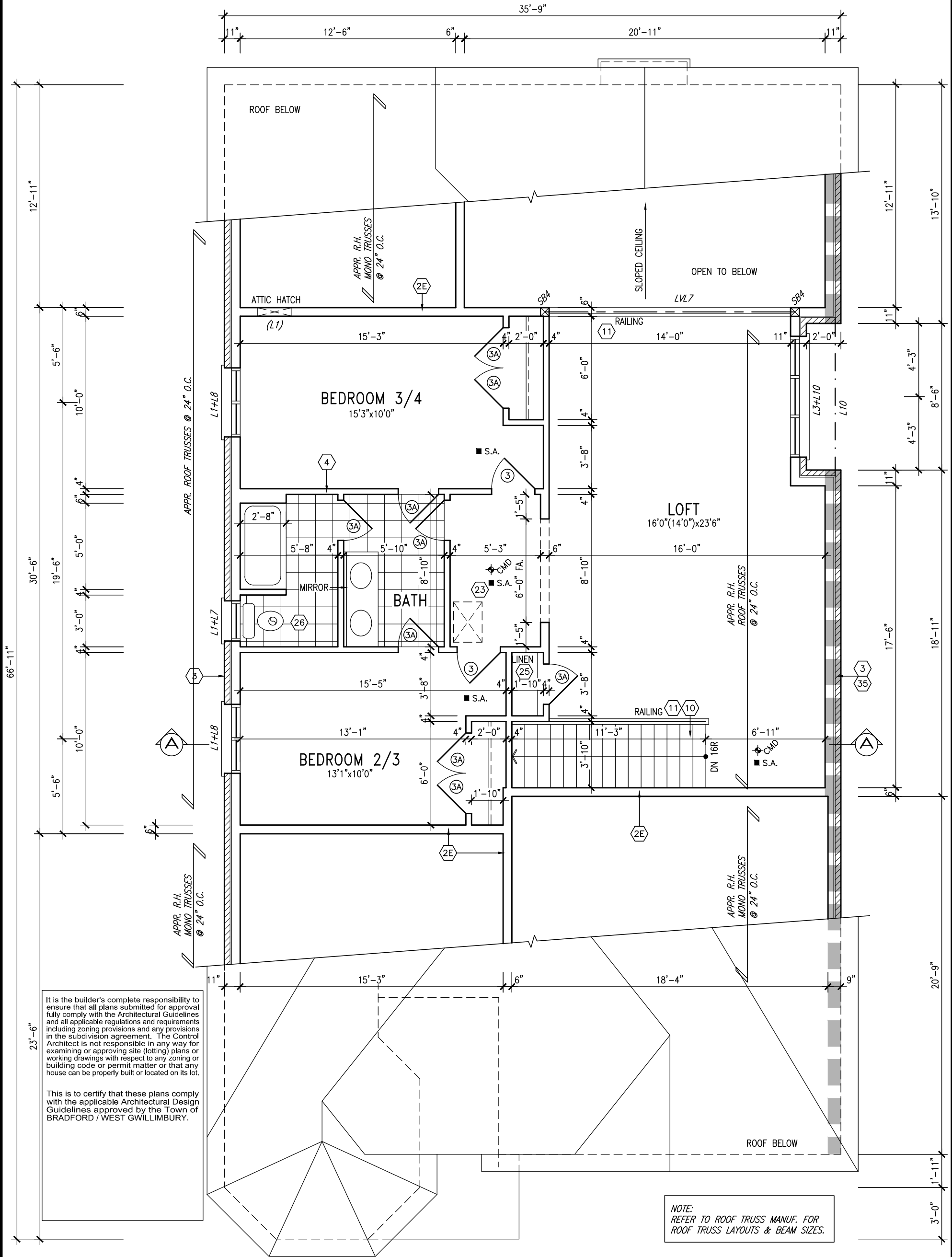
300A Wilson Avenue  
Toronto ON M3H 1S8  
t 416.630.2255 f 416.630.4782  
va3design.com

<b>BAYVIEW WELLINGTON</b>		<b>S42-1B LOFT</b>	
project name		municipality	
GREEN VALLEY ESTATES		BRADFORD, ON	
date		project no.	
2014-09		13045	
drawn by		drawing no.	
RAAM		1	
checked by		scale	
-		3/16" = 1'-0"	
date		file name	
2014-09		13045-S42-1B-LOFT	
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-1B-LOFT.dwg - Wed - Jun 3 2015 - 10:35 AM			



GROUND FLOOR  
PLAN - EL. 'A'

9.		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		VA3 DESIGN		BAYVIEW WELLINGTON		S42-1B LOFT	
8.		Wellington Jno-Baptiste		300A Wilson Avenue		project name		project no.	
7.		signature		Toronto ON M3H 1S8		GREEN VALLEY ESTATES		13045	
6.		registration information		t 416.630.2255 f 416.630.4782		BRADFORD, ON		date	
5.		VA3 Design Inc.		va3design.com		2014-09		drawing no.	
4.		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		300A Wilson Avenue		checked by		file name	
3.		REVISED AS PER ENG'S COMMENTS		42658		RAAM		13045-S42-1B-LOFT	
2.		ADDED REAR UPGRADE ELEVATIONS.		42658		scale		2	
1.		ISSUED FOR CLIENT COMMENT AND PRICING		42658		3/16" = 1'-0"		GROUND FLOOR PLAN - ELEVATION 'A'	
no.		description		date		by		RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-1B-LOFT.dwg - Wed - Jun 3 2015 - 10:35 AM	



LOFT FLOOR PLAN - EL. 'A'

INDICATES FIRE RATED WALL ASSEMBLY

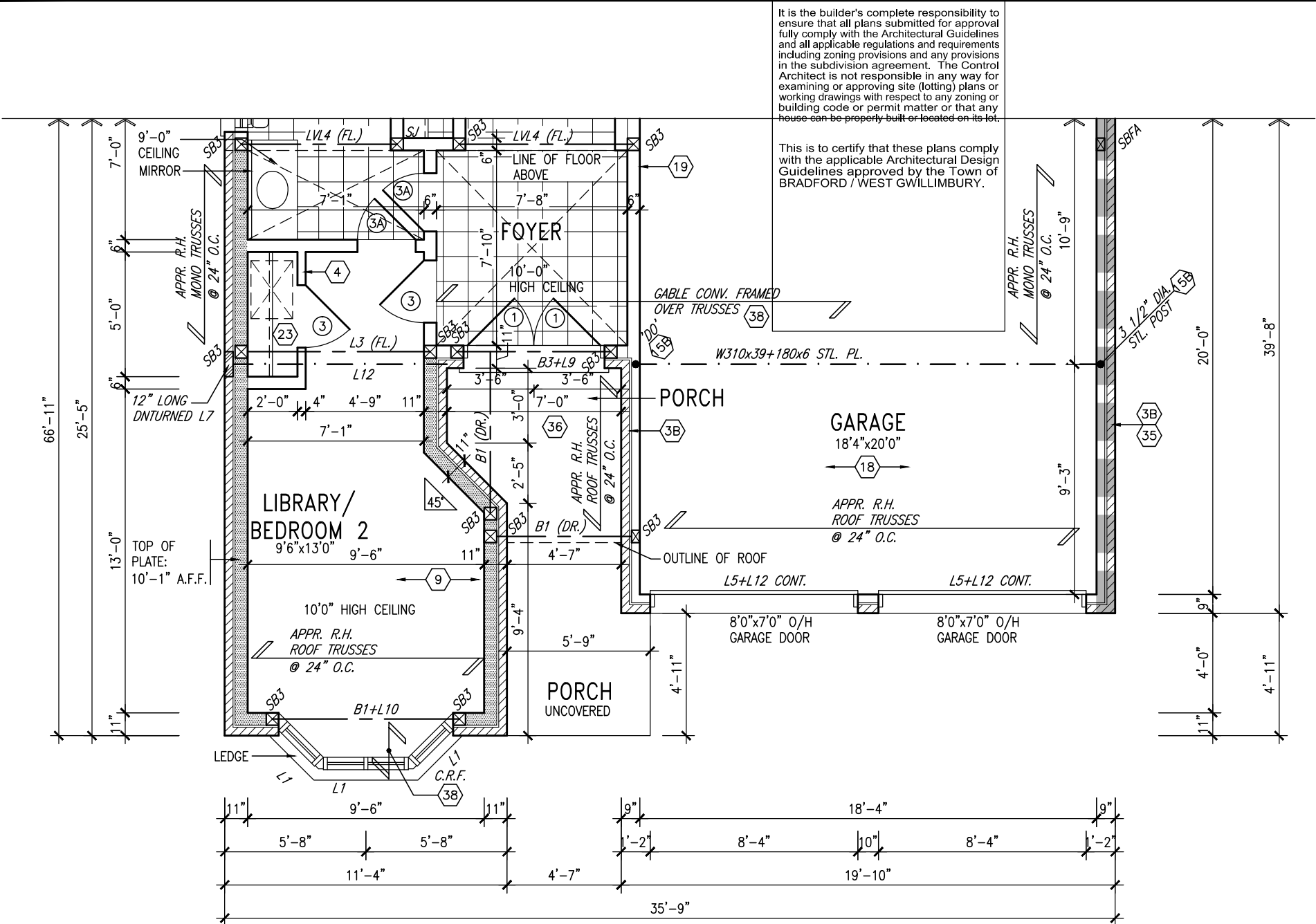
9.	.	.
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4.	.	.
3.	REVISED AS PER ENG'S COMMENTS	15-05-04 RC
2.	ADDED REAR UPGRADE ELEVATIONS.	14-10-06 GW
1.	ISSUED FOR CLIENT COMMENT AND PRICING	14-09-15 RAAM
no.	description	date by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		
qualification information		
Wellington Jno-Baptiste	25591	BCIN
name	signature	
registration information		
VA3 Design Inc.	42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		

**VA3 DESIGN**

300A Wilson Avenue  
Toronto ON M3H 1S8  
t 416.630.2255 f 416.630.4782  
va3design.com

BAYVIEW WELLINGTON			S42-1B LOFT		
project name			municipality		
GREEN VALLEY ESTATES			BRADFORD, ON		
date			project no.		
2014-09			13045		
drawn by			LOFT PLAN - ELEVATION 'A'		
checked by			drawing no.		
RAAM			3		
scale			file name		
3/16" = 1'-0"			13045-S42-1B-LOFT		
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GROUND FLOOR PLAN – ELEV. 'B'

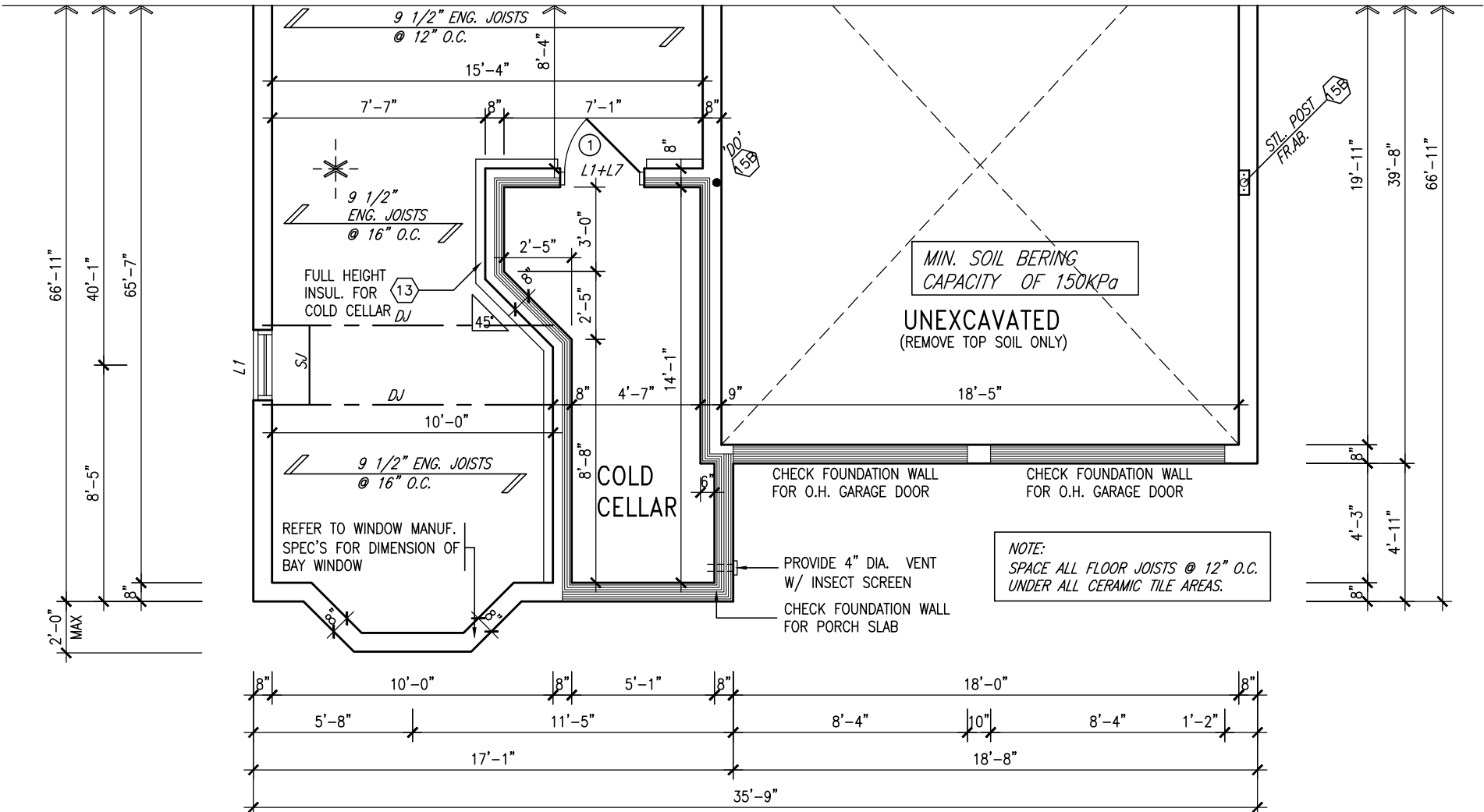
REFER TO FULL PLANS FOR TYPICAL NOTES.

NOTE:  
SPACE ALL FLOOR JOISTS @ 12" O.C.  
UNDER ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO  
REFER TO SHOP DRAWINGS  
FOR ALL TRUSS-JOIST  
INFORMATION AND DETAILS.  
UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING  
FLOOR LOADS ARE TO BE  
SPECIFIED BY FLOOR TRUSS  
MANUFACTURER.

NOTE:  
REFER TO ROOF TRUSS MANUF. FOR  
ROOF TRUSS LAYOUTS & BEAM SIZES.



BASEMENT PLAN – ELEV. 'B'

INDICATES FIRE RATED WALL ASSEMBLY

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4.	.	.	.
3.	REVISED AS PER ENG'S COMMENTS	15-05-04	RC
2.	ADDED REAR UPGRADE ELEVATIONS.	14-10-06	GW
1.	ISSUED FOR CLIENT COMMENT AND PRICING	14-09-15	RAAM
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591  
name  
signature  
registration information  
VA3 Design Inc. 42658

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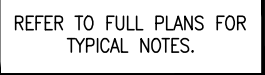
**VA3**  
**DESIGN**

300A Wilson Avenue  
Toronto ON M3H 1S8  
t 416.630.2255 f 416.630.4782  
va3design.com

<b>BAYVIEW WELLINGTON</b>		<b>S42-1B LOFT</b>	
project name	GREEN VALLEY ESTATES	municipality	BRADFORD, ON
date	2014-09	project no.	13045
drawn by	RAAM	scale	3/16" = 1'-0"
checked by		file name	13045-S42-1B-LOFT
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-1B-LOFT.dwg - Wed - Jun 3 2015 - 10:35 AM		drawing no.	
		<b>4</b>	

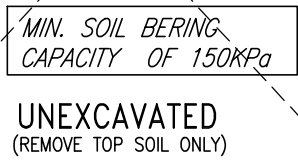


This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



NOTE: FLOOR FRAMING INFO  
REFER TO SHOP DRAWINGS  
FOR ALL TRUSS-JOIST  
INFORMATION AND DETAILS.  
UNLESS OTHERWISE NOTED.

**NOTE:**  
REFER TO ROOF TRUSS MANUF. FOR  
ROOF TRUSS LAYOUTS & BEAM SIZES.



CHECK FOUNDATION WALL FOR O.H. GARAGE DOOR	CHECK FOUNDATION WALL FOR O.H. GARAGE DOOR
— PROVIDE 4" DIA. VENT W/ INSECT SCREEN	
CHECK FOUNDATION WALL FOR PORCH SLAB	

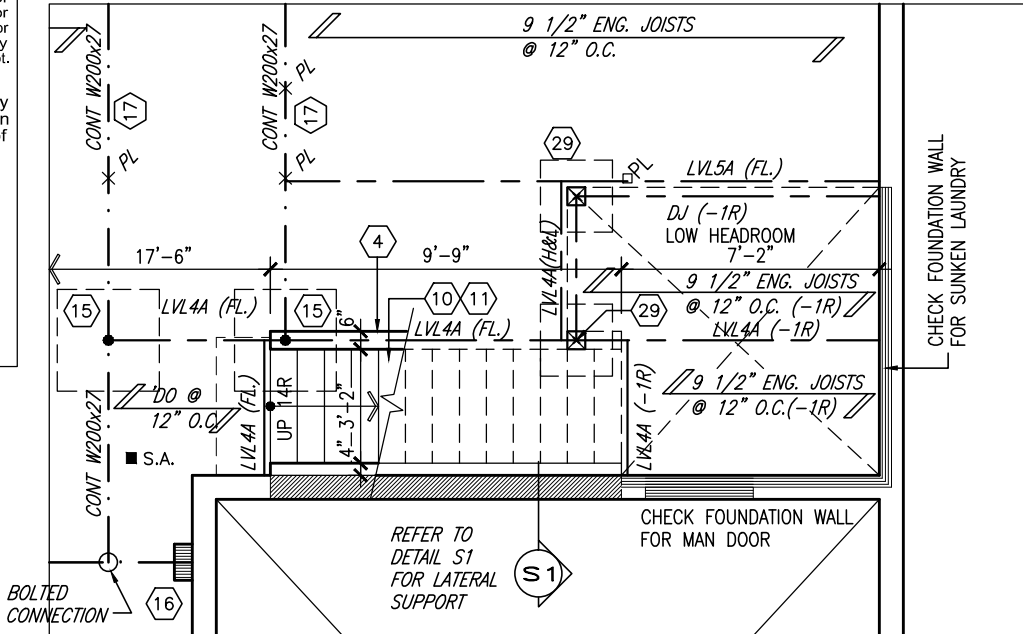
BASEMENT PLAN - ELEV. 'C'

9	.	.	.	<div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div><div>Wellington Jno-Baptiste</div><div><div>signature</div><div>BCIN</div></div><div>25591</div><div>42658</div></div>	<div><div>VA3</div><div>DESIGN</div><div>300A Wilson Avenue</div><div>Toronto ON M3H 1S8</div><div>t 416.630.2255 f 416.630.4782</div><div>va3design.com</div></div>	BAYVIEW WELLINGTON		S42-1B LOFT	
8	.	.	.			project name	municipality	project no.	
7	.	.	.			GREEN VALLEY ESTATES	BRADFORD, ON	13045	
6	.	.	.			date	PARTIAL FLOOR PLANS - ELEVATION 'C'		
5	.	.	.			2014-09	drawing no.		
4	.	.	.	drawn by	checked by	scale	file name	5	
3	REVISED AS PER ENG'S COMMENTS	15-05-04	RC	RAAM	-	3/16" = 1'-0"	13045-S42-1B-LOFT		
2	ADDED REAR UPGRADE ELEVATIONS.	14-10-06	GW	RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-1B-LOFT.dwg - Wed - Jun 3 2015 - 10:35 AM					
1	ISSUED FOR CLIENT COMMENT AND PRICING	14-09-15	RAAM						
no.	description	date	by						

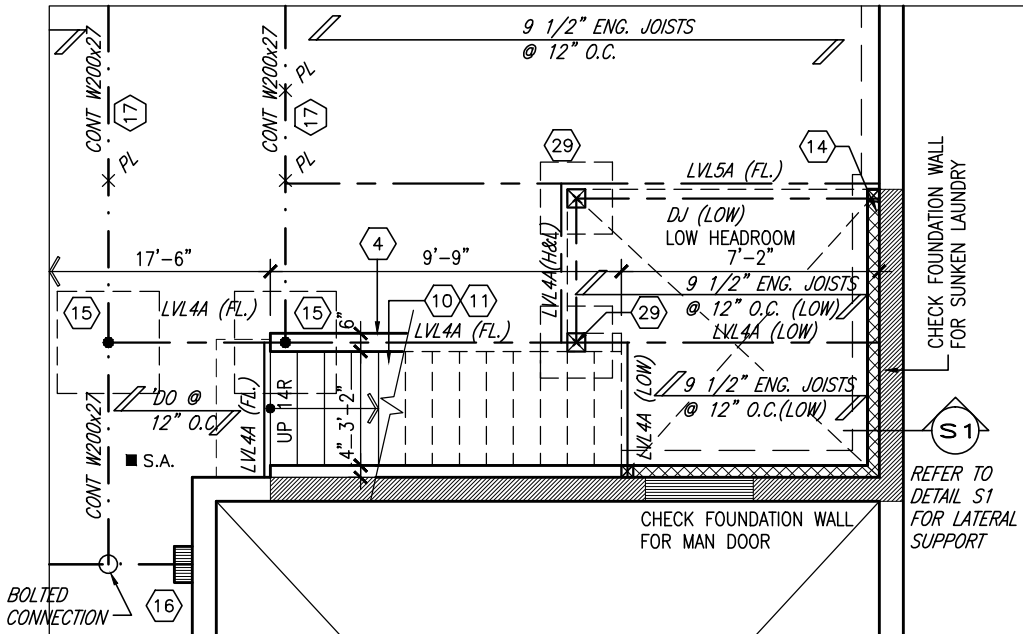
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



PARTIAL BASEMENT PLAN  
W/ 1R SUNKEN MUD AREA ABOVE



REFER TO FULL PLANS FOR  
TYPICAL NOTES.

PARTIAL BASEMENT PLAN  
W/ 2R OR MORE SUNKEN MUD  
AREA ABOVE

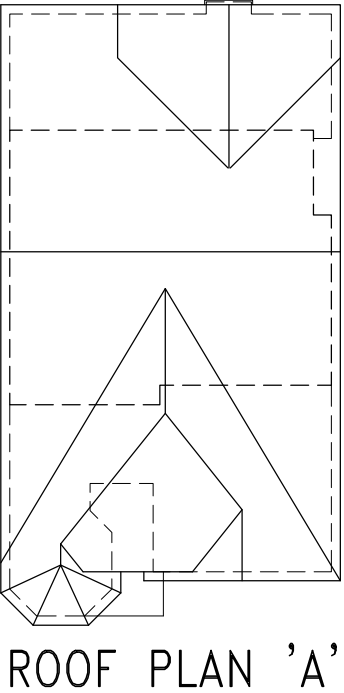
9.	.	.	<div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div>Wellington Jno-Baptiste <i>Jno-Baptiste</i> 25591</div> <div>name signature BCIN</div> <div>registration information VA3 Design Inc. 42658</div>	<div><div>VA3</div><div>DESIGN</div><div>300A Wilson Avenue Toronto ON M3H 1S8 t 416.630.2255 f 416.630.4782 va3design.com</div></div>	BAYVIEW WELLINGTON		S42-1B LOFT
8.	.	.			project name	municipality	project no.
7.	.	.			GREEN VALLEY ESTATES	BRADFORD, ON	13045
6.	.	.					
5.	.	.					
4.	.	.				drawing no.	
3	REVISED AS PER ENG'S COMMENTS	15-05-04	RC	date 2014-09 PARTIAL BASEMENT PLAN W/ SUNKEN LAUNDRY ABOVE			6
2	ADDED REAR UPGRADE ELEVATIONS.	14-10-06	GW	drawn by checked by scale file name			
1	ISSUED FOR CLIENT COMMENT AND PRICING	14-09-15	RAAM	RAAM - 3/16" = 1'-0" 13045-S42-1B-LOFT			
no.	description	date	by	RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-1B-LOFT.dwg - Wed - Jun 3 2015 - 10:35 AM			

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UNINSULATED OPENINGS (PER OBC. SB-12,2.1.1.(7))

S42-1B LOFT ELEVATION A		ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	416.00 S.F.	60.33 S.F.	14.50 %	
LEFT SIDE	1004.00 S.F.	73.89 S.F.	7.36 %	
RIGHT SIDE	1033.00 S.F.	56.00 S.F.	5.42 %	
REAR	466.00 S.F.	170.72 S.F.	36.64 %	
TOTAL SQ. FT.	2919.00 S.F.	360.94 S.F.	12.37 %	
TOTAL SQ. M.	271.18 S.M.	33.53 S.M.	12.37 %	



S42-1B LOFT

BAYVIEW WELLINGTON



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Wellington Jno-Baptiste 25591 BCN  
V3 Design Inc. 42658

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no.	description	date	by
9			
8			
7			
6			
5			
4			
3	REVISED AS PER ENG'S COMMENTS	15-05-04	RC
2	ADDED REAR UPGRADE ELEVATIONS.	14-10-06	GW
1	ISSUED FOR CLIENT COMMENT AND PRICING	14-09-15	RAM

project name	municipality	project no.
GREEN VALLEY ESTATES	BRADFORD, ON	13045
date	checked by	scale
2014-09	RAM	3/16" = 1'-0"
drawn by	checked by	scale
RAM	RAM	3/16" = 1'-0"
file name	drawing no.	
13045-S42-1B-LOFT	7	

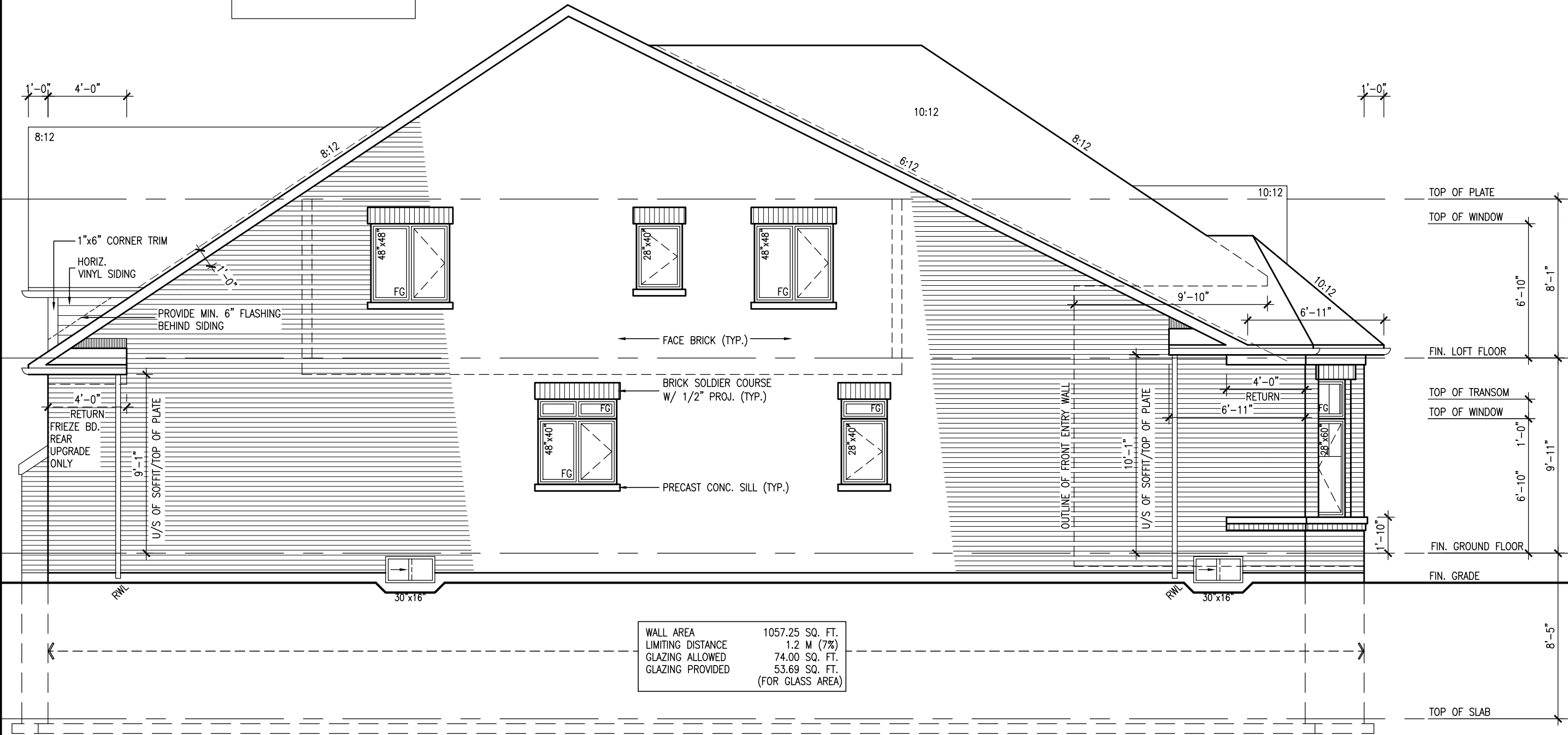
Richard - H:\ARCHIVE\WORKING\2013\13045-BW\units\13045-S42-1B-LOFT.dwg - Wed Jun 3 2015 - 10:35 AM

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REFER TO FRONT ELEVATION FOR  
TYPICAL NOTES.

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LEFT SIDE ELEVATION 'A'

BAYVIEW WELLINGTON

S42-1B LOFT

project name	GREEN VALLEY ESTATES	municipality	BRADFORD, ON	project no.	13045
date	2014-09	checked by	RAAM	drawing no.	8
drawn by	RAAM	scale	3/16" = 1'-0"	file name	13045-S42-1B-LOFT
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**VAS3**  
**DESIGN**  
3004 Wilson Avenue  
Toronto, ON M3H 1S8  
t 416.630.2255 f 416.630.4782  
vas3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information	25591	BCN
Wellington Jno-Baptiste	Signature	42658
name	Wellington Jno-Baptiste	BCN
registration information	VAS Design Inc.	
date	15-05-04	RC
3	REVISED AS PER ENG'S COMMENTS	
2	ADDED REAR UPGRADE ELEVATIONS.	
1	ISSUED FOR CLIENT COMMENT AND PRICING	
14-09-15	RAAM	
date	14-09-15	RAAM
by	RAAM	
description		

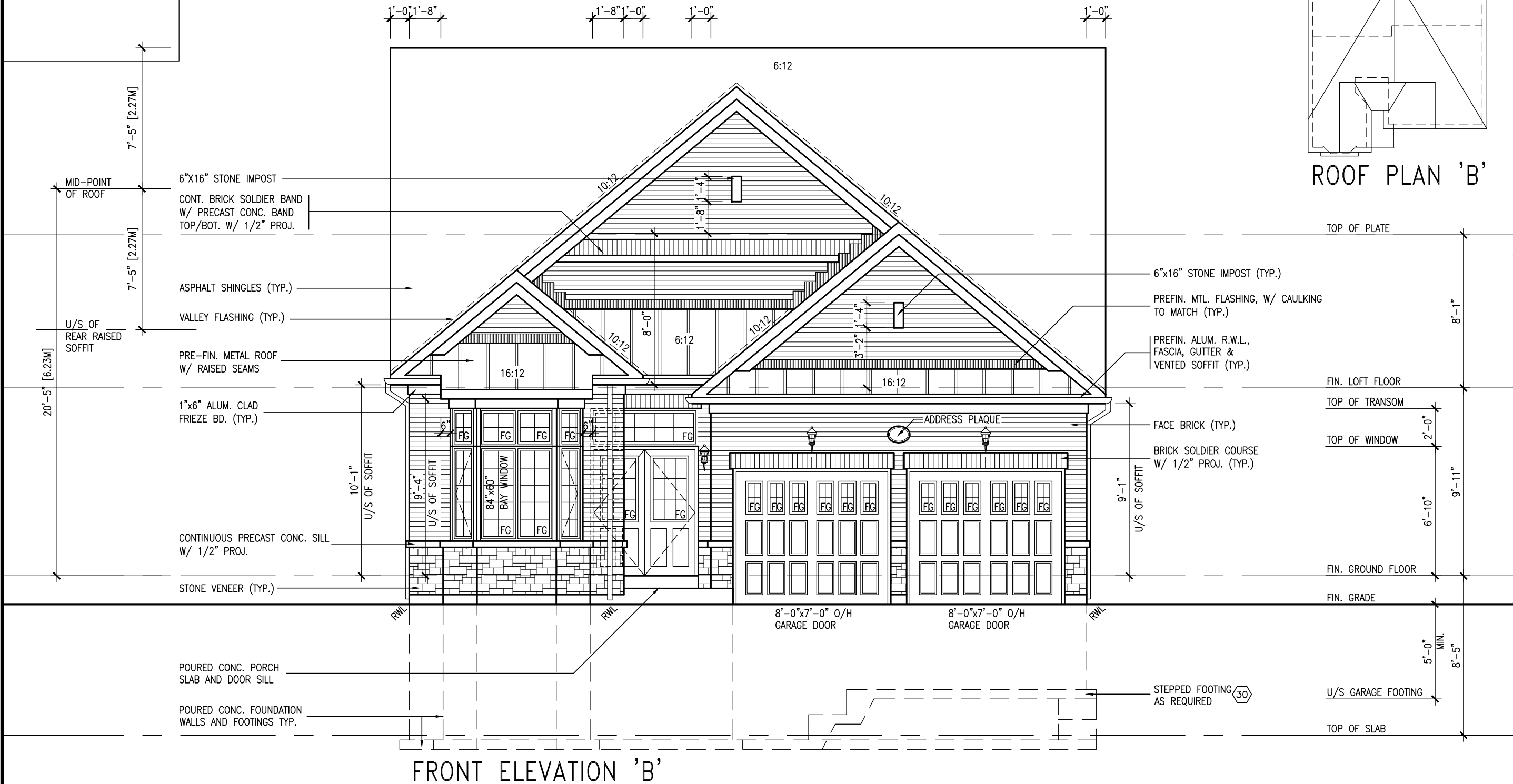
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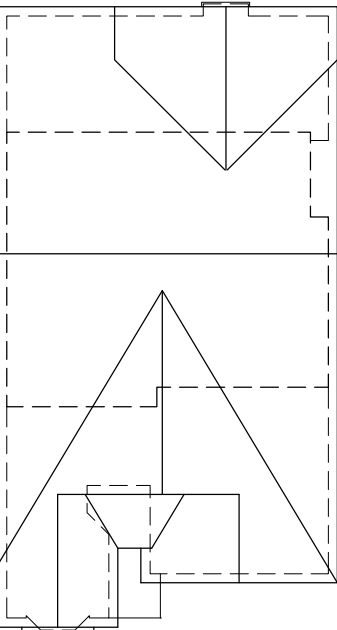


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UNINSULATED OPENINGS (PER OBC. SB-12,2.1.1.(7))			
S42-1B LOFT ELEVATION B	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	408.00 S.F.	49.83 S.F.	12.21 %
LEFT SIDE	1004.00 S.F.	73.89 S.F.	7.36 %
RIGHT SIDE	1037.00 S.F.	56.00 S.F.	5.40 %
REAR	466.00 S.F.	170.72 S.F.	36.64 %
TOTAL SQ. FT.	2915.00 S.F.	350.44 S.F.	12.02 %
TOTAL SQ. M.	270.81 S.M.	32.56 S.M.	12.02 %



# ROOF PLAN 'B'



**S42-1B LOFT**

**BAYVIEW WELLINGTON**

<b>project name</b>	<b>municipality</b>	<b>project no.</b>
<b>GREEN VALLEY ESTATES</b>	<b>BRADFORD, ON</b>	<b>13045</b>
<b>date</b>	<b>FRONT ELEVATION 'B'</b>	<b>drawing no.</b>
<b>2014-09</b>		<b>11</b>
<b>drawn by</b>	<b>scale</b>	<b>file name</b>
<b>RAMM</b>	<b>checked by</b> —	<b>13045-S42-1B-LOFT</b>
	<b>3/16" = 1'-0"</b>	
<b>RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-1B-LOFT.dwg - Wed - Jun 3 2015 - 10:35 AM</b>		

**VA3**  
**DESIGN**  
300A Wilson Avenue  
Toronto ON M3H 1S8  
16.630.2255 f 416.630.  
va3design.com

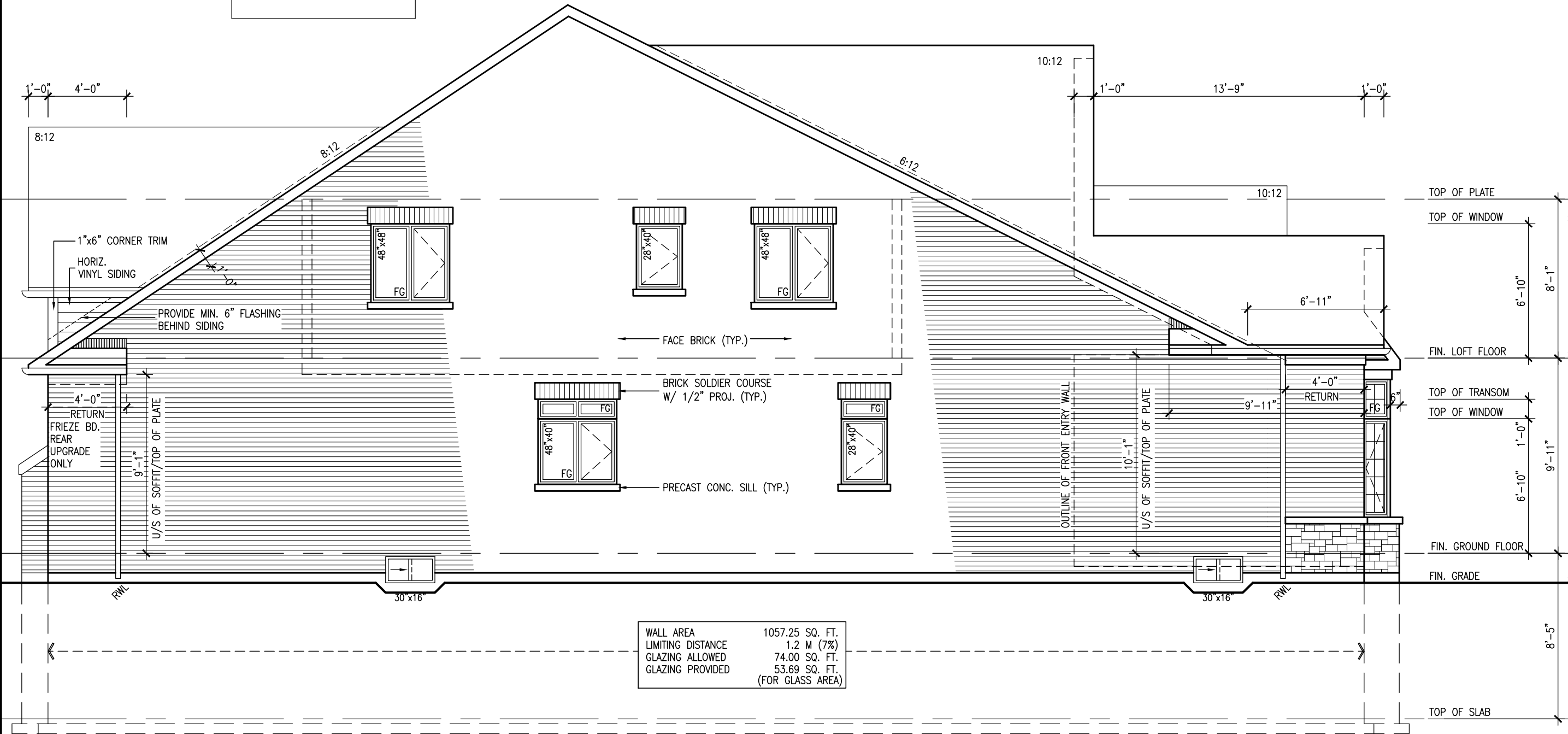
<p>The undersigned has reviewed and takes responsibility for this design (and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p>	<p>Wellington Jno-Baptiste</p> <p>signature</p>	<p>25591</p> <p>BCIN</p>
<p>name</p> <p>registration information</p> <p>CONTRACTOR VAS Design Inc.</p>	<p>47658</p>	<p>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</p>

9.	.	.	15-05-04	RC
8.	.	.	14-10-06	GW
7.	.	.	14-09-15	RAM
6.	.	.	date	by
5.	.	.		
4.	.	.		
3.	REVISED AS PER ENG'S COMMENTS			
2.	ADDED REAR UPGRADE ELEVATIONS.			
1.	ISSUED FOR CLIENT COMMENT AND PRICING			
no.	description			

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LEFT SIDE ELEVATION 'B'

**BAYVIEW WELLINGTON**

**VA3**  
**DESIGN**  
300A Wilson Avenue  
Toronto ON M3H 1S8  
t 416.630.2255 f 416.630.  
va3design.com

<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p> <p><b>Wellington Jno-Baptiste</b></p> <p>name</p> <p>registration information</p> <p><b>VA33 Design Inc.</b></p>	<p><i>W. J. Baptiste</i></p> <p>signature</p> <p><b>25591</b></p> <p>BCIN</p> <p><b>42658</b></p>
---	---

Contractor must verify all dimensions on the job and report any discrepancy to the design professional immediately. The design professional is responsible for the accuracy of the drawings and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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5	.			.	
4	.			.	
3	REVISED AS PER ENG'S COMMENTS		15-05-04	RC	
2	ADDED REAR UPGRADE ELEVATIONS.	GW	14-10-06	GW	
1	ISSUED FOR CLIENT COMMENT AND PRICING		14-09-15	15-09-15	15-09-15
no.	description		date	by	

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(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE) 45 MINUTE FIRE RATING @  
HEADER  
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER  
OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM  
JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	25591
8	.	.	.	qualification information	
7	.	.	.		
6	.	.	.		
5	.	.	.	name	BCIN
4	.	.	.	registration information	42658
3	REVISED AS PER ENG'S COMMENTS	15-05-04	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
2	ADD REAR UPGRADE ELEVATIONS.	14-10-06	CW		
1	ISSUED FOR CLIENT COMMENT AND PRICING	14-09-15	RAM		
0	description	date	by		



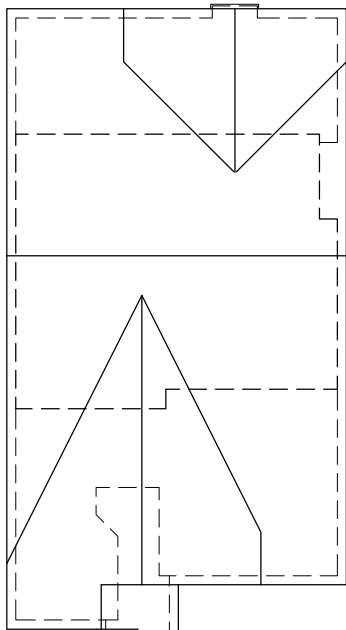
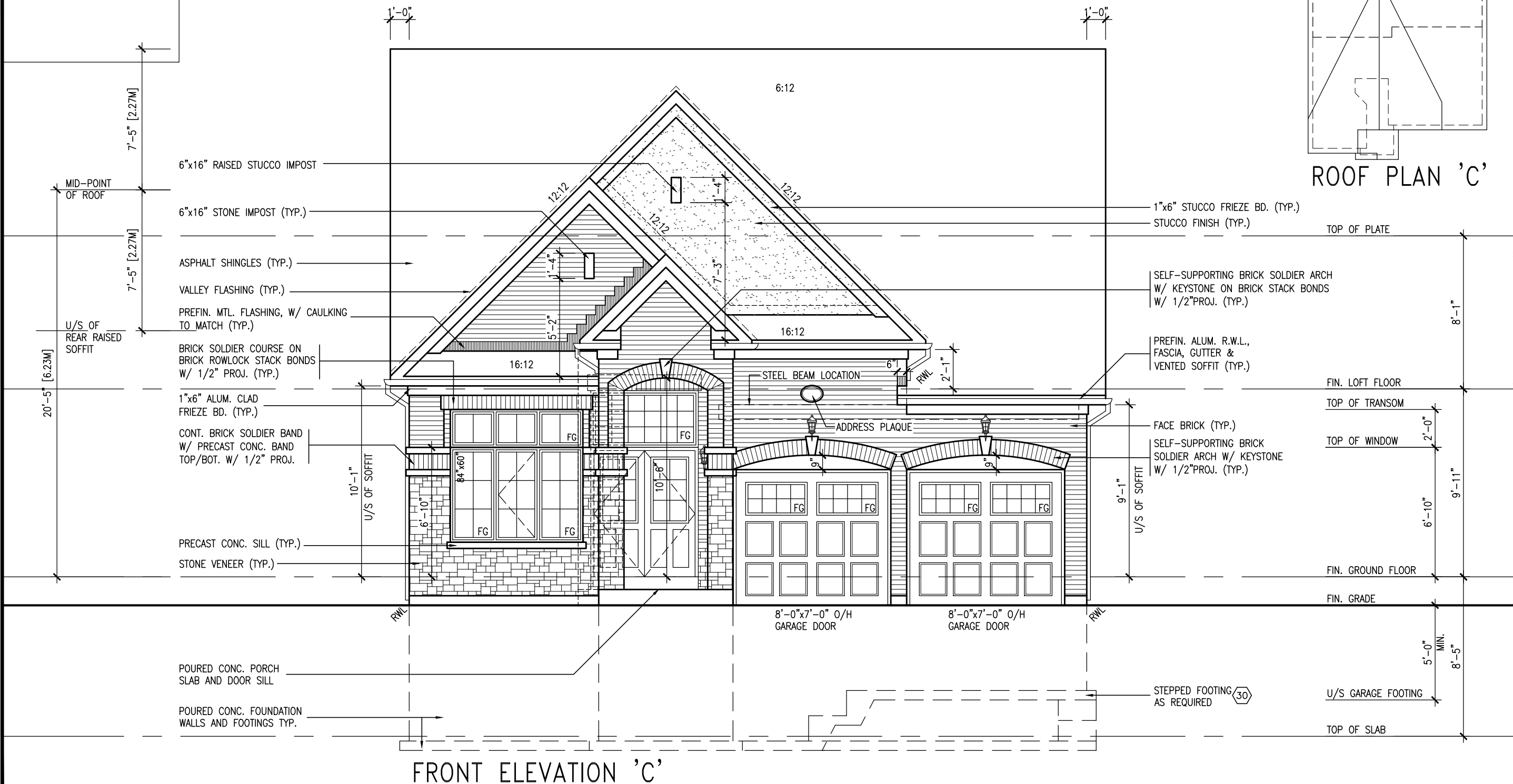
**V3 DESIGN**  
300A Wilson Avenue  
Toronto, ON M4M 1S8  
t 416.630.2255 f 416.630.4782  
v3design.com

<b>BAYVIEW WELLINGTON</b>	<b>BRADFORD, ON</b>	<b>S42-1B LOFT</b>
project name <b>GREEN VALLEY ESTATES</b>	municipality	
project no. <b>13045</b>		drawing no. <b>13</b>
date <b>2014-09</b>	RIGHT SIDE ELEVATION 'B'	
drawn by <b>RAM</b>	scale <b>3/16" = 1'-0"</b>	file name <b>13045-S42-1B-LOFT</b>
checked by <b>—</b>		Richard — H:\ARCHIVE WORKING\2014\13045-S42-1B-LOFT.dwg — Wed — Jun 3 2015 — 10:35 AM

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

UNINSULATED OPENINGS (PER OBC. SB-12,2.1.1.(7))			
S42-1B LOFT ELEVATION C	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	438.00 S.F.	66.00 S.F.	15.07 %
LEFT SIDE	1049.00 S.F.	73.89 S.F.	7.04 %
RIGHT SIDE	1104.00 S.F.	56.00 S.F.	5.07 %
REAR	466.00 S.F.	170.72 S.F.	36.64 %
TOTAL SQ. FT.	3057.00 S.F.	366.61 S.F.	11.99 %
TOTAL SQ. M.	284.00 S.M.	34.06 S.M.	11.99 %



ROOF PLAN 'C'

**S42-1B LOFT**

**BAYVIEW WELLINGTON**

project name	project no.
GREEN VALLEY ESTATES	13045
multiplicity	
BRADFORD, ON	
date	drawing no.
2014-09	14
drawn by	FRONT ELEVATION 'C'
RAAM	file name
checked by	13045-S42-1B-LOFT
scale	
$3/16" = 1'-0"$	
RICHARD - H:\ARCHIVE\WORKING\2013\13045.SW\units\42\13045-S42-1B-LOFT.dwg - Wed - Jun 3 2015 - 10:35 AM	

**V3**  
**DESIGN**  
300A Wilson Avenue  
Toronto ON M3H 1S8  
16.630.2255 f 416.630.  
v3design.com

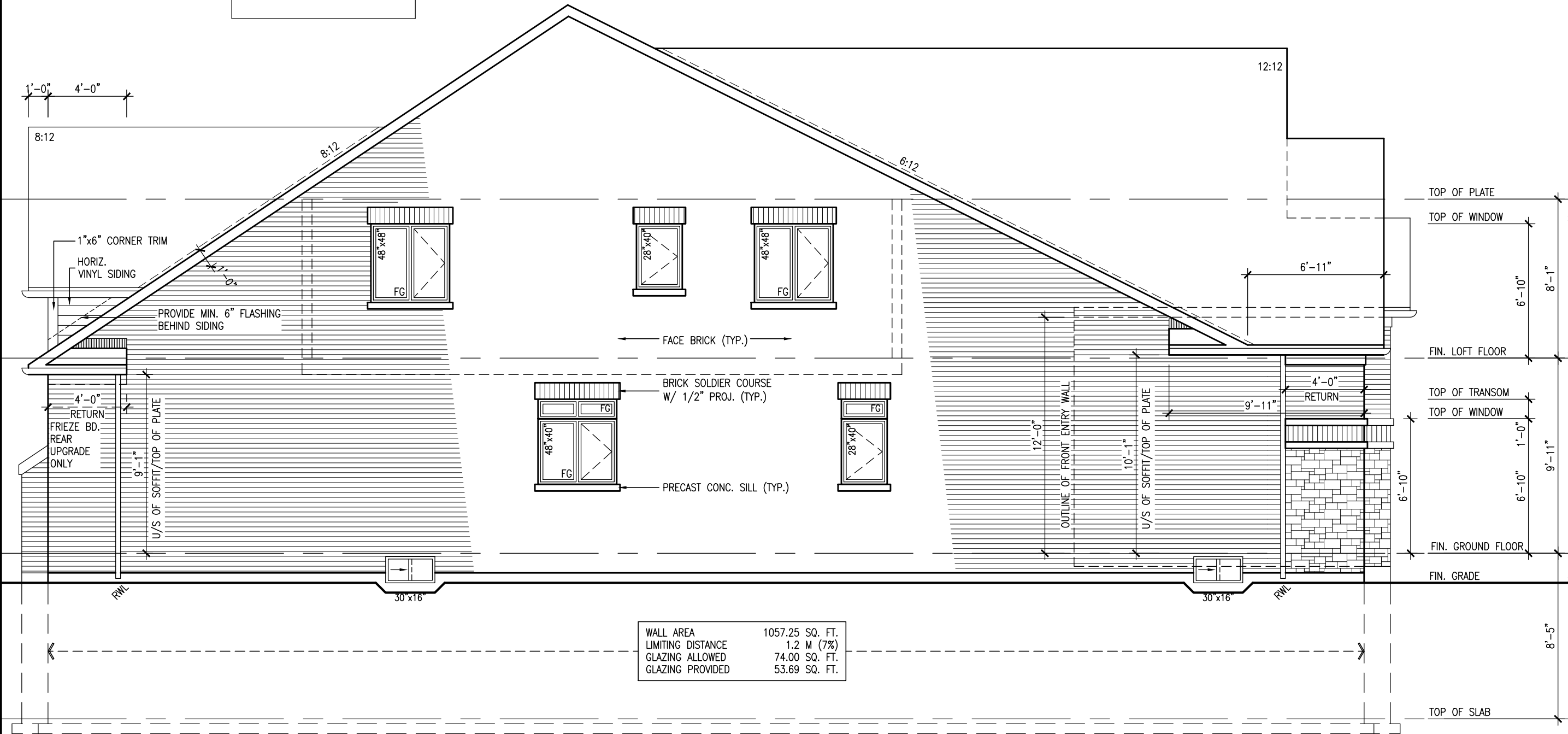
<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p> <p><b>Wellington Inno-Baptiste</b></p> <p>name</p> <p>registration information</p> <p><b>CONTRACTOR V Design Inc.</b></p>	<p>signature</p> <p><i>[Signature]</i></p> <p>BCIN</p> <p><b>47658</b></p>
--	--

9.	.	.	.
8.	.	.	.
7.	.	.	.
6.	.	.	.
5.	.	.	.
4.	.	.	.
3.	REVISED AS PER ENG'S COMMENTS	15-05-04	RC
2.	ADDED REAR UPGRADE ELEVATIONS.	14-10-06	GW
1.	ISSUED FOR CLIENT COMMENT AND PRICING	14-03-15	RAM
no.	description	date	by

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LEFT SIDE ELEVATION 'C'

9	.	.	.	The undersigned has released and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	25591
8	.	.	.	qualification information	
7	.	.	.		
6	.	.	.		
5	.	.	.	Wellington Jno-Baptiste <i>W. Baptiste</i>	25591
4	.	.	.	name	BCIN
3	.	.	.	registration information	42658
2	.	.	.	VA3 Design Inc.	
1	.	.	.	signature	
3	REVISED AS PER ENG'S COMMENTS	15-05-04	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
2	ADD REAR UPGRADE ELEVATIONS.	14-10-06	CW		
1	ISSUED FOR CLIENT COMMENT AND PRICING	14-09-15	RAM		
no.	description	date	by		



**VA3  
DESIGN**  
300A Wilson Avenue  
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t 416.630.2255 f 416.630.4782  
vcdesign.com

**S42-1B LOFT**

**BAYVIEW WELLINGTON**

**GREEN VALLEY ESTATES**

**BRADFORD, ON**

**LEFT SIDE ELEVATION 'C'**

**scale** **3/16" = 1'-0"**

**checked by** **—**

**date** **2014-09**

**drawn by** **RAM**

**project no.** **13045**

**drawing no.** **15**

**project name** **GREEN VALLEY ESTATES**

**municipality** **BRADFORD, ON**

**file name** **13045-S42-1B-LOFT**

**date** **13045-S42-1B-LOFT**

**checked by** **—**

**scale** **3/16" = 1'-0"**

**drawn by** **RAM**

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**checked by** **—**

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**drawn by** **RAM**</

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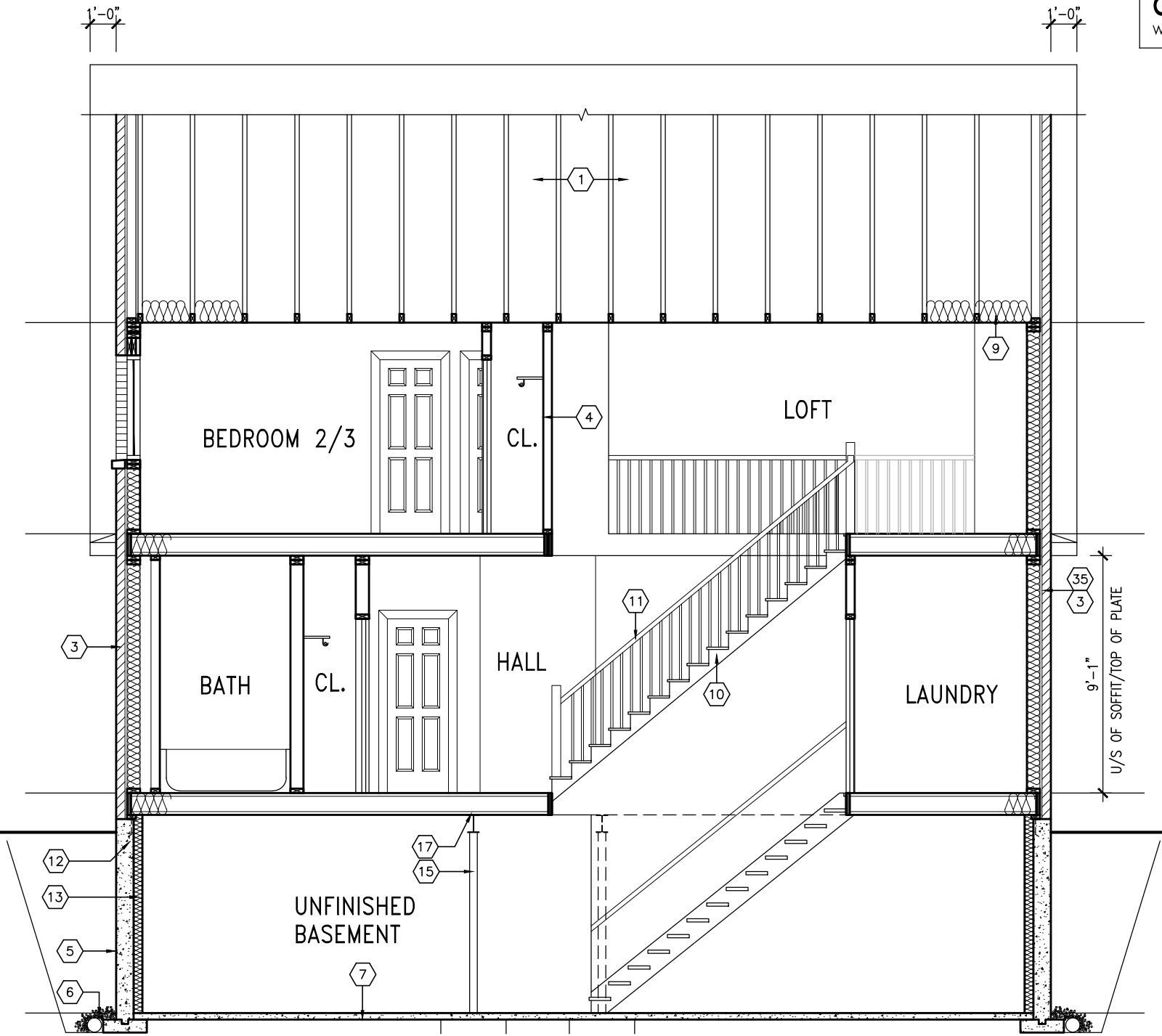
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE) 45 MINUTE FIRE RATING @  
HEADER  
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER  
OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM  
JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

[illegible]

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CROSS SECTION A-A

Ground floor area  
Loft floor area  
Subtotal  
Deduct all open area

**Total net area**

Finished basement area  
Coverage  
without porch

**Coverage**  
with porch

**EL. A**

1794 sq ft  
1130 sq ft  
2924 sq ft  
00 sq ft

**2924 sq ft**

271.65 sq m

00 sq ft

2198 sq ft  
204.20 sq m

**2286 sq ft**

212.38 sq m

**EL. B**

1814 sq ft  
1130 sq ft  
2944 sq ft  
00 sq ft

**2944 sq ft**

273.51 sq m

00 sq ft

2217 sq ft  
205.97 sq m

**2301 sq ft**

213.77 sq m

**EL. C**

1803 sq ft  
1130 sq ft  
2933 sq ft  
00 sq ft

**2933 sq ft**

272.48 sq m

00 sq ft

2207 sq ft  
205.03 sq m

**2300 sq ft**

213.67 sq m

TOP OF PLATE

TOP OF WINDOW

FIN. LOFT FLOOR

FIN. GROUND FLOOR

FIN. GRADE

TOP OF SLAB

**BAYVIEW WELLINGTON**

**S42-1B LOFT**

project no. 13045  
municipality BRADFORD, ON  
date 2014-09  
checked by RAAM  
drawn by RAAM  
scale 3/16" = 1'-0"

drawing no. 17  
file name 13045-S42-1B-LOFT  
date 2015-06-03  
checked by RAAM  
drawn by RAAM  
scale 3/16" = 1'-0"

**VAS DESIGN**

3004 Wilson Avenue  
Toronto, ON M3H 1S8  
t 416.630.2255 f 416.630.4782  
vasdesign.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information  
Wellington Jno-Baptiste 25591 BCON

name registration information  
VAS Design Inc. 42658

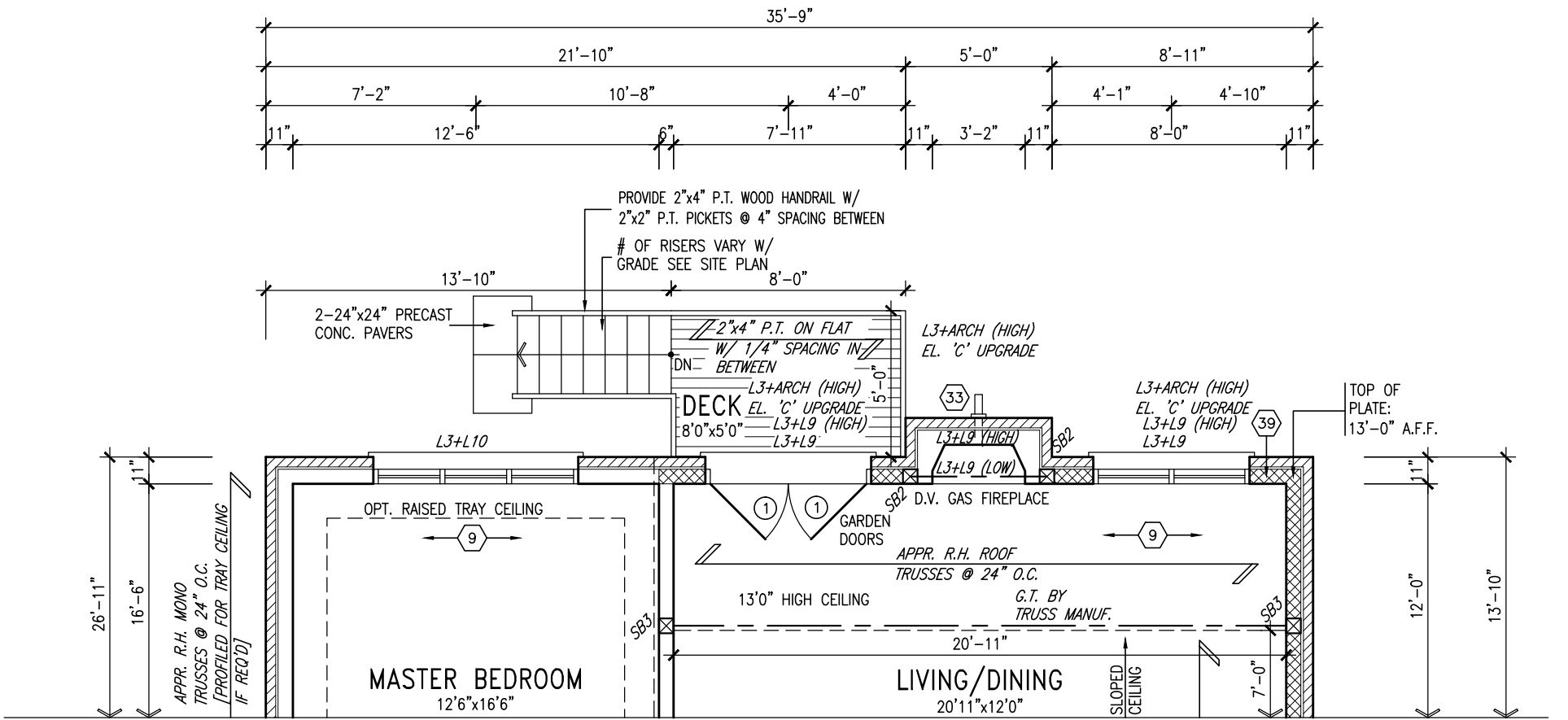
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15-05-04 RC  
14-10-06 GW  
14-09-15 RAAM

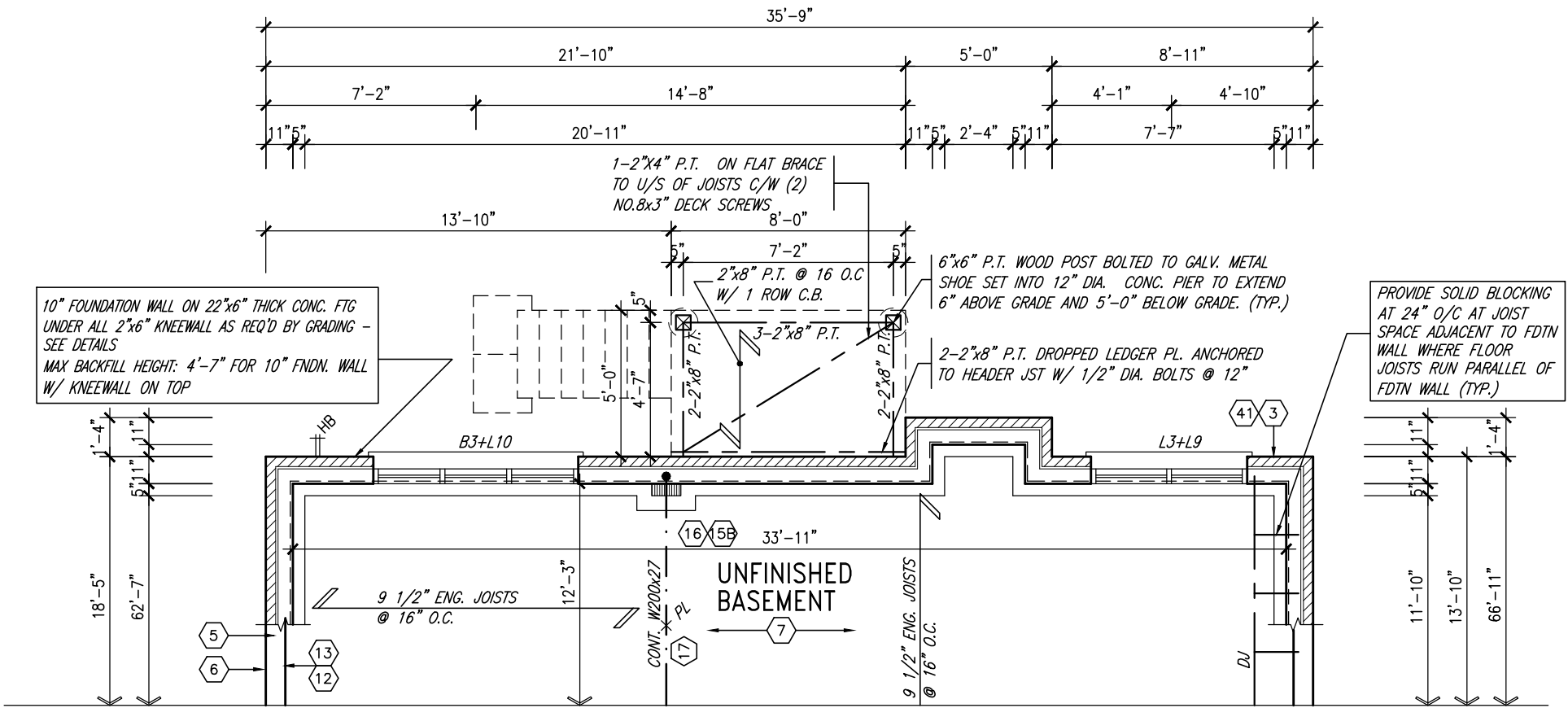
3 REVISED AS PER ENG'S COMMENTS  
2 ADDED REAR UPGRADE ELEVATIONS  
1 ISSUED FOR CLIENT COMMENT AND PRICING

no. description  
date by

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PART GRND FLOOR PLAN 'A'  
W.O.D. CONDITION  
ELEVS 'B' & 'C' SIMILAR



PART BSMT PLAN 'A'  
W.O.D. CONDITION  
ELEVS 'B' & 'C' SIMILAR

NOTE:  
SPACE ALL FLOOR JOISTS @ 12" O.C.  
UNDER ALL CERAMIC TILE AREAS.

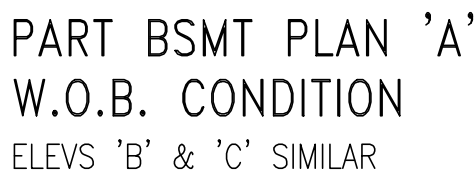
NOTE: FLOOR FRAMING INFO  
REFER TO SHOP DRAWINGS  
FOR ALL TRUSS-JOIST  
INFORMATION AND DETAILS.  
UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING  
FLOOR LOADS ARE TO BE  
SPECIFIED BY FLOOR TRUSS  
MANUFACTURER.

REFER TO FULL PLANS FOR  
TYPICAL NOTES.

NOTE:  
REFER TO ROOF TRUSS MANUF. FOR  
ROOF TRUSS LAYOUTS & BEAM SIZES.

9.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	<b>VA3 DESIGN</b> 300A Wilson Avenue Toronto ON M3H 1S8 t 416.630.2255 f 416.630.4782 va3design.com	<b>BAYVIEW WELLINGTON</b>	project name <b>GREEN VALLEY ESTATES</b>	municipality <b>BRADFORD, ON</b>	project no. <b>13045</b>	drawing no. <b>18</b>
8.	.	.	qualification information						
7.	.	.	Wellington Jno-Baptiste 25591 signature BCIN						
6.	.	.	registration information						
5.	.	.	VA3 Design Inc. 42658						
4.	.	.							
3.	REVISED AS PER ENG'S COMMENTS	15-05-04	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		date 2014-09	checked by RAAM	scale 3/16" = 1'-0"	file name 13045-S42-1B-LOFT
2.	ADDED REAR UPGRADE ELEVATIONS.	14-10-06	GW						
1.	ISSUED FOR CLIENT COMMENT AND PRICING	14-09-15	RAAM						
no.	description	date	by						



NOTE:  
REFER TO ROOF TRUSS MANUF. FOR  
ROOF TRUSS LAYOUTS & BEAM SIZES.

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste  25591 name signature BCIN registration information VA3 Design Inc. 42658	 300A Wilson Avenue Toronto ON M3H 1S8 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON		S42-1B LOFT	
8	.	.	.			project name	municipality	project no.	
7	.	.	.			GREEN VALLEY ESTATES	BRADFORD, ON	13045	
6	.	.	.			date	PARTIAL FLOOR PLANS - W.O.B. CONDITION		drawing no.
5	.	.	.	2014-09					
4	.	.	.	drawn by	checked by	scale	file name	19	
3	REVISED AS PER ENG'S COMMENTS	15-05-04	RC	RAAM	-	3/16" = 1'-0"	13045-S42-1B-LOFT		
2	ADDED REAR UPGRADE ELEVATIONS.	14-10-06	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-1B-LOFT.dwg - Wed Jun 3 2015 - 10:35 AM				
1	ISSUED FOR CLIENT COMMENT AND PRICING	14-09-15	RAAM						
no.	description	date	by						

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UNINSULATED OPENINGS (PER OBC. SB-12,2.1.1.(7))			
S42-1B LOFT ELEVATION A W.O.D.	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	416.00 S.F.	60.33 S.F.	14.50 %
LEFT SIDE	1004.00 S.F.	73.89 S.F.	7.36 %
RIGHT SIDE	1033.00 S.F.	56.00 S.F.	5.42 %
REAR	627.00 S.F.	205.18 S.F.	32.72 %
TOTAL SQ. FT.	3080.00 S.F.	395.40 S.F.	12.84 %
TOTAL SQ. M.	286.14 S.M.	36.73 S.M.	12.84 %

UNINSULATED OPENINGS (PER OBC. SB-12,2.1.1.(7))			
S42-1B LOFT ELEVATION B W.O.D.	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	408.00 S.F.	49.83 S.F.	12.21 %
LEFT SIDE	1004.00 S.F.	73.89 S.F.	7.36 %
RIGHT SIDE	1037.00 S.F.	56.00 S.F.	5.40 %
REAR	627.00 S.F.	205.18 S.F.	32.72 %
TOTAL SQ. FT.	3076.00 S.F.	384.90 S.F.	12.51 %
TOTAL SQ. M.	285.77 S.M.	35.76 S.M.	12.51 %

UNINSULATED OPENINGS (PER OBC. SB-12,2.1.1.(7))			
S42-1B LOFT ELEVATION C W.O.D.	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	438.00 S.F.	66.00 S.F.	15.07 %
LEFT SIDE	1049.00 S.F.	73.89 S.F.	7.04 %
RIGHT SIDE	1104.00 S.F.	56.00 S.F.	5.07 %
REAR	627.00 S.F.	205.18 S.F.	32.72 %
TOTAL SQ. FT.	3218.00 S.F.	401.07 S.F.	12.46 %
TOTAL SQ. M.	298.96 S.M.	37.26 S.M.	12.46 %



REAR ELEVATION 'A' - W.O.D. CONDITION  
EL. 'B' & 'C' SIMILAR

project no.

13045

drawing no.

20

project name

BAYVIEW WELLINGTON

municipality

BRADFORD, ON

project name

GREEN VALLEY ESTATES

date

2014-09

drawn by

RAAM

checked by

-

scale

3/16" = 1'-0"

file name

13045-S42-1B-LOFT

date

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

UNINSULATED OPENINGS (PER OBC. SB-12.2.1.1.(7)			
S42-1B LOFT ELEVATION A W.O.B.	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	416.00 S.F.	60.33 S.F.	14.50 %
LEFT SIDE	1004.00 S.F.	73.89 S.F.	7.36 %
RIGHT SIDE	1033.00 S.F.	56.00 S.F.	5.42 %
REAR	731.00 S.F.	264.44 S.F.	36.18 %
TOTAL SQ. FT.	3184.00 S.F.	454.66 S.F.	14.28 %
TOTAL SQ. M.	295.80 S.M.	42.24 S.M.	14.28 %

UNINSULATED OPENINGS (PER OBC. SB-12,2.1.1.(7))			
S42-1B LOFT ELEVATION B W.O.B.	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	408.00 S.F.	49.83 S.F.	12.21 %
LEFT SIDE	1004.00 S.F.	73.89 S.F.	7.36 %
RIGHT SIDE	1037.00 S.F.	56.00 S.F.	5.40 %
REAR	731.00 S.F.	264.44 S.F.	36.18 %
TOTAL SQ. FT.	3180.00 S.F.	444.16 S.F.	13.97 %
TOTAL SQ. M.	295.43 S.M.	41.26 S.M.	13.97 %
UNINSULATED OPENINGS (PER OBC. SB-12,2.1.1.(7))			
S42-1B LOFT ELEVATION C W.O.B.	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	438.00 S.F.	66.00 S.F.	15.07 %
LEFT SIDE	1049.00 S.F.	73.89 S.F.	7.04 %
RIGHT SIDE	1104.00 S.F.	56.00 S.F.	5.07 %
REAR	731.00 S.F.	264.44 S.F.	36.18 %
TOTAL SQ. FT.	3322.00 S.F.	460.33 S.F.	13.86 %
TOTAL SQ. M.	308.62 S.M.	42.77 S.M.	13.86 %



REAR ELEVATION 'A' – W.O.B. CONDITION  
EL. 'B' & 'C' SIMILAR

no.	description	date	by
1	ISSUED FOR CLIENT COMMENT AND PRICING	14-09-15	RAM
2	ADDED REAR UPGRADE ELEVATIONS.	14-10-06	GW
3	REVISED AS PER ENG'S COMMENTS	15-05-04	RC
4			
5			
6			
7			
8			
9			

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information


**Wellington Jno-Baptiste** 25591

name registration information BCIN

*Jno-Baptiste* *Signature* 42658

**VAS Design Inc.**

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



300A Wilson Avenue  
Toronto, ON M3H 1S8  
† 416.630.2255 f 416.630.4782  
vo3design.com

project name	project no.	project no.
<b>GREEN VALLEY ESTATES</b>	<b>BRADFORD, ON</b>	<b>13045</b>
date	scale	drawing no.
<b>2014-09</b>	<b>3/16" = 1'-0"</b>	<b>21</b>
drawn by	checked by	file name
<b>RAM</b>	<b>—</b>	<b>13045-S42-1B-LOFT</b>
RICHARD — H:\ARCHIVE\WORKING\2013\13045-S42-1B-LOFT.dwg — Wed — Jun 3 2015 — 10:35 AM		

**BAYVIEW WELLINGTON**

**S42-1B LOFT**

REFER TO FRONT ELEVATION FOR  
TYPICAL NOTES.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



ROOF PLAN 'A'

S42-1B LOFT

BAYVIEW WELLINGTON

GREEN VALLEY ESTATES

BRADFORD, ON

UPGRADED REAR ELEVATION 'A'

13045

22

3/16" = 1'-0"

2014-09

RAAM

13045-S42-1B-LOFT

13045-S42-1B-LOFT

13045-S42-1B-LOFT

13045-S42-1B-LOFT

13045-S42-1B-LOFT

13045-S42-1B-LOFT

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3/16" = 1'-0"

2014-09

RAAM

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13045-S42-1B-LOFT

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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

[illegible]

ROOF PLAN 'B'

TOP OF PLATE

8'-1"

FIN. LOFT FLOOR

TOP OF TRANSOM  
TOP OF WINDOW

FIN. GROUND FLOOR

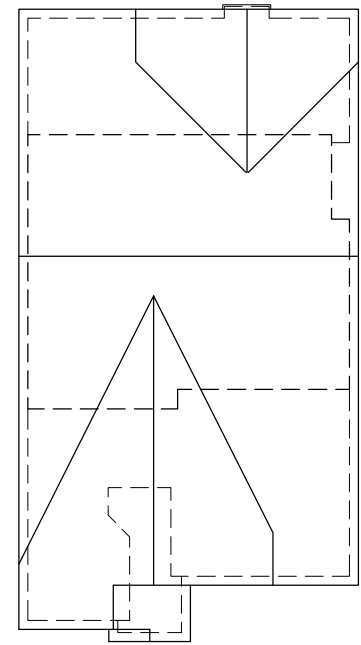
FIN. GRADE

3'-5"

TOP OF SLAB

[illegible]

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



ROOF PLAN 'C'

**BAYVIEW WELLINGTON**

**VA3**  
**DESIGN**  
300A Wilson Avenue  
Toronto ON M3H 1S8  
16.630.2255 f 416.630.  
va3design.com

<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p> <p><b>Wellington Jno-Baptiste</b></p> <p>name</p> <p>registration information</p> <p><b>VA33 Design Inc.</b></p>	<p><i>W. J. Baptiste</i></p> <p>signature</p> <p><b>25591</b></p> <p>BCIN</p> <p><b>42658</b></p>
---	---

Contractor must verify all dimensions on the job and report any discrepancy to the design professional immediately. The design professional is responsible for the accuracy of the drawings and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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3	REVISED AS PER ENG'S COMMENTS	15-05-04	RC	
2	ADDED REAR UPGRADE ELEVATIONS.	14-10-06	GW	
1	ISSUED FOR CLIENT COMMENT AND PRICING	14-09-15	RAM	
no.	description	date	by	

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project name	project no.
GREEN VALLEY ESTATES	13045
BRADFORD, ON	

[illegible]

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UNINSULATED OPENINGS (PER OBC. SB-12.2.1.1.(7))			
S42-1B LOFT ELEVATION A W.O.D.	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	416.00 S.F.	60.33 S.F.	14.50 %
LEFT SIDE	1004.00 S.F.	73.89 S.F.	7.36 %
RIGHT SIDE	1033.00 S.F.	56.00 S.F.	5.42 %
REAR	627.00 S.F.	181.83 S.F.	29.00 %
TOTAL SQ. FT.	3080.00 S.F.	372.05 S.F.	12.08 %
TOTAL SQ. M.	286.14 S.M.	34.56 S.M.	12.08 %

[illegible]

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FACE BRICK (TYP.)

BRICK SOLDIER COURSE  
W/ 1/2" PROJ. (TYP.)

PRECAST CONC. SILL (TYP.)

6"x6" P.T. WOOD POST  
BOLTED TO GALV. METAL  
SHOE SET INTO 12" DIA.  
CONC. PIER TO EXTEND 6"  
ABOVE GRADE AND 5'-0"  
BELOW GRADE. (TYP.)

TOP OF PLATE  
(LIVING/ DINING)

13'-0" U/S OF SOFFIT  
TOP OF PLATE

1' - 0''

1' - 0''

A horizontal number line with two points marked. The first point is labeled  $1'$  and the second point is labeled  $0''$ . Both labels are positioned above the line, and the points are marked with short vertical tick marks.

8:12

10.12.

16:12

ASPHALT SHINGLES

33



—2"X6" CROSSING  
BRACING

RETURN FRIEZE BOARD  
—AND BANDING 4'-0"  
ALONG SIDES (TYP.)

	9'-1"
	U/S OF SOFFIT/TOP OF PLATE

PROVIDE 2"x4" P.T. WOOD HANDRAIL W/  
2"x2" P.T. PICKETS @ 4" SPACING BETWEEN

TOP OF PLATE

FIN. LOFT FLOOR

TOP OF TRANSOM  
TOP OF WINDOW

FIN. GROUND FLOOR

TOP OF WINDOW

FIN. GRADE

TOP OF SLAB

UPGRADED REAR ELEVATION 'B' - W.O.D. CONDITION

UNINSULATED OPENINGS (PER OBC. SB-12,2.1.1.(7))			
S42-1B LOFT ELEVATION B W.O.D.	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	408.00 S.F.	49.83 S.F.	12.21 %
LEFT SIDE	1004.00 S.F.	73.89 S.F.	7.36 %
RIGHT SIDE	1037.00 S.F.	56.00 S.F.	5.40 %
REAR	627.00 S.F.	181.83 S.F.	29.00 %
TOTAL SQ. FT.	3076.00 S.F.	361.55 S.F.	11.75 %
TOTAL SQ. M.	285.77 S.M.	33.59 S.M.	11.75 %

**VA3**  
**DESIGN**  
300A Wilson Avenue  
Toronto ON M3H 1S8  
16.630.2255 f 416.630.  
va3design.com

<p>The undersigned has reviewed and takes responsibility for this design and understands how the qualifications and meets the requirements set out in the Ontario Building Code as a Designer.</p> <p>qualification information</p>	<p>Wellington Jno-Baptiste</p>	<p>25599</p>
	<p>name</p> <p>registration information</p> <p>signature</p>	<p>BDON</p> <p>425655</p>

Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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3.	REVISED AS PER ENG'S COMMENTS	15-05-04	RC	
2.	ADDED REAR UPGRADE ELEVATIONS.	14-10-06	GW	
1.	ISSUED FOR CLIENT COMMENT AND PRICING	14-09-15	RAM	
no.	description	date	by	

**S42-1B LOFT**

**BAYVIEW WELLINGTON**

project name	municipality	project no.
GREEN VALLEY ESTATES	BRADFORD, ON	13045
date	drawn by	drawing no.
2014-09	RAAM	26
checked by scale file name		
UPGRADED REAR ELEV. 'B' - W.O.D. CONDITION $3/16'' = 1'-0''$ 13045-S42-1B-LOFT		
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW Units_42'\13045-S42-1B-LOFT.dwg - Wed Jun 3 2015 - 10:35 AM		

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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



UNINSULATED OPENINGS (PER OBC. SB-12,2.1.1.(7))			
S42-1B LOFT ELEVATION C W.O.D.		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	408.00 S.F.	49.83 S.F.	12.21 %
LEFT SIDE	1004.00 S.F.	73.89 S.F.	7.36 %
RIGHT SIDE	1037.00 S.F.	56.00 S.F.	5.40 %
REAR	627.00 S.F.	181.83 S.F.	29.00 %
TOTAL SQ. FT.	3076.00 S.F.	361.55 S.F.	11.75 %
TOTAL SQ. M.	285.77 S.M.	33.59 S.M.	11.75 %

BAYVIEW WELLINGTON		S42-1B LOFT	
project name	GREEN VALLEY ESTATES	municipality	BRADFORD, ON
project no.	13045	drawing no.	26
date	2014-09	date	2014-09
drawn by	RAAM	checked by	RAAM
scale	3/16" = 1'-0"	file name	13045-S42-1B-LOFT
13045-S42-1B-LOFT			
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-1B-LOFT.dwg - Wed - Jun 3 2015 - 10:36 AM			

**VAS3 DESIGN**  
3004 Wilson Avenue  
Toronto, ON M3H 1S8  
t 416.630.2255 f 416.630.4782  
vas3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		25591 BCN	
Wellington Jno-Baptiste		42658	
name		RC	
registration information		15-05-04	
Vas Design Inc.		GW	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.		14-10-06	
DRAWINGS		14-09-15	
date		by	
description		no.	
3. REVISED AS PER ENG'S COMMENTS		4.	
2. ADDED REAR UPGRADE ELEVATIONS.		5.	
1. ISSUED FOR CLIENT COMMENT AND PRICING		6.	
BASEMENT WINDOW SIZES		7.	
4R-8R USE 30"x24" VINYL		8.	
CLAD STRUCTURAL STEEL		9.	
FRAME BASEMENT WINDOWS		10.	

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UNINSULATED OPENINGS (PER OBC. SB-12,2.1.1.(7))			
S42-1B LOFT ELEVATION B W.O.B.	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	408.00 S.F.	49.83 S.F.	12.21 %
LEFT SIDE	1004.00 S.F.	73.89 S.F.	7.36 %
RIGHT SIDE	1037.00 S.F.	56.00 S.F.	5.40 %
REAR	731.00 S.F.	264.44 S.F.	36.18 %
TOTAL SQ. FT.	3180.00 S.F.	444.16 S.F.	13.97 %
TOTAL SQ. M.	295.43 S.M.	41.26 S.M.	13.97 %

BAYVIEW WELLINGTON		S42-1B LOFT	
project name	GREEN VALLEY ESTATES	municipality	BRADFORD, ON
project no.	13045	drawing no.	28
date	2014-09	date	2014-09
drawn by	RAAM	checked by	RAAM
scale	3/16" = 1'-0"	file name	13045-S42-1B-LOFT
UPGRADED REAR ELEV. 'B' - W.O.B. CONDITION			

**VAS DESIGN**  
3004 Wilson Avenue  
Toronto, ON M3H 1S8  
t 416.630.2255 f 416.630.4782  
vasdesign.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		signature		BCN	
Wellington Jno-Baptiste		25591		42658	
name		registration information		RC	
15-05-04		14-10-06		14-09-15	
REVISED AS PER ENG'S COMMENTS		ADDED REAR UPGRADE ELEVATIONS.		ISSUED FOR CLIENT COMMENT AND PRICING	
date		by		description	

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



UPGRADED REAR ELEVATION 'C' - W.O.B. CONDITION

UNINSULATED OPENINGS (PER OBC. SB-12,2.1.1.(7))			
S42-1B LOFT ELEVATION C W.O.B.	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	438.00 S.F.	66.00 S.F.	15.07 %
LEFT SIDE	1049.00 S.F.	73.89 S.F.	7.04 %
RIGHT SIDE	1104.00 S.F.	56.00 S.F.	5.07 %
REAR	731.00 S.F.	264.44 S.F.	36.18 %
TOTAL SQ. FT.	3322.00 S.F.	460.33 S.F.	13.86 %
TOTAL SQ. M.	308.62 S.M.	42.77 S.M.	13.86 %

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by

15-05-04 RC

14-10-06 GW

14-09-15 RAM

REVISED AS PER ENG'S COMMENTS

ADDED REAR UPGRADE ELEVATIONS.

ISSUED FOR CLIENT COMMENT AND PRICING

Wellington Jno-Baptiste

Signature

25591

BCN

42658

VAS Design Inc.

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste

Signature

25591

BCN

42658

VAS Design Inc.

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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13045-S42-1B-LOFT

3/16" = 1'-0"

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UPGRADED REAR ELEV. 'C' - W.O.B. CONDITION

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UPGRADED REAR ELEV. 'C' - W.O.B. CONDITION

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CONSTRUCTION NOTES (Unless otherwise noted)

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. **ONT. REG. 332/12-2012 OBC**

1. ROOF CONSTRUCTION

NO.210 (10.25kg/m2) ASPHALT SHINGLES, 10mm (3/8") PLYWOOD SHEATHING WITH "H" CLIPS. APPROVED WOOD TRUSSES @ 600mm (24") O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 900mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (12") BEYOND INNER FACE OF EXTERIOR WALL, (EAVES PROTECTION NOT REQ'D FOR ROOF SLOPES 8:12 OR GREATER) 38x89 (2"x4") TRUSS BRACING @ 1830mm (6'-0") O.C. AT BOTTOM CHORD. PREFIN. ALUM. EAVESTROUGH, FASCIA, RWL & VENTED SOFFIT. PROVIDE ICE & WATER SHIELD TO ALL ROOF/WALL SURFACES SUSCEPTIBLE TO ICE DAMMING. ROOF SHEATHING TO BE FASTENED 150 (6") c/c ALONG EDGES & INTERMEDIATE SUPPORTS WHEN TRUSSES SPACED GREATER THAN 406 (16"). ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% AT EAVES & MIN. 25% AT RIDGE (OBC 9.19.1.2.).

2. FRAME WALL CONSTRUCTION (2"x6") (SB-12-TABLE 2.1.1.2.A) SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE. REFER TO OBC SB-12, TABLE 2.1.1.2.A. FOR REQUIRED MINIMUM THERMAL INSULATION.

2A. FRAME WALL CONSTRUCTION (2"x6") (R2B) SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 28mm (1 1/8") EXTERIOR STRUCTURAL INSULATED SHEATHING RSI 0.7 (R4) BY "BP" OR EQUAL, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 4.23 (R24) INSUL. AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE.

2B. FRAME WALL CONSTRUCTION (2"x4")- GARAGE WALLS SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm (9'-10"), WITH APPR. DIAGONAL WALL BRACING. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE.

2C. RESERVED

2D. STUCCO WALL CONSTRUCTION (2"x4") -GARAGE WALLS STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXPANDED OR EXTRUDED RIGID POLYSTYRENE ON APPROVED AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x89 (2"x4") STUDS @ 400 (16") O.C.. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

2E. WALLS ADJACENT TO ATTIC SPACE - NO CLADDING 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. MID-HEIGHT BLOCKING REQ'D. IF NO SHEATHING APPLIED. REFER TO OBC SB-12, TABLE 2.1.1.2.A. FOR REQUIRED MINIMUM THERMAL INSULATION.

3. BRICK VENEER CONSTRUCTION (2"x6") (SB-12-TABLE 2.1.1.2.A) 90mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x7.6mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPROVED SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., INSULATION & APPR. VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. REFER TO OBC SB-12, TABLE 2.1.1.2.A. FOR REQUIRED MINIMUM THERMAL INSULATION. BRICK TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3A. BRICK VENEER CONSTRUCTION (2"x6") (R2B) 90mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x7.6mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPR. SHEATHING PAPER, 28mm (1 1/8") EXT. STRUCT. INSULATED SHEATHING RSI 0.7 (R4) BY "BP" OR EQUAL, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 4.23 (R24) INSUL. & APPR. VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER. 13mm (1/2") INT. DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") ABOVE FINISH GRADE.

3B. BRICK VENEER CONSTRUCTION (2"x4")- GARAGE WALLS 90mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x7.6mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPR. SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm 9'-10") WITH APPR. DIAGONAL WALL BRACING. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. BRICK TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3C. STUCCO WALL CONSTRUCTION (2"x6") STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOYS A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXTRUDED OR EXPANDED RIGID POLYSTYRENE ON APPR. CONTIN. AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x140 (2"x6") STUDS @ 400mm (16") O.C., INSULATION, APPROVED VAPOUR BARRIER, 13mm (1/2") GYPSUM WALLBOARD INTERIOR FINISH. REFER TO OBC SB-12, TABLE 2.1.1.2.A. FOR REQUIRED MINIMUM THERMAL INSULATION. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

4. INTERIOR STUD PARTITIONS FOR BEARING PARTITIONS 38x89 (2"x4") @ 400mm (16") O.C. FOR 2 STOREYS AND 300mm (12") O.C. FOR 3 STOREYS, NON-BEARING PARTITIONS 38x89 (2"x4") @ 600mm (24") O.C. PROVIDE 38x89 (2"x4") BOTTOM PLATE AND 2/38x89 (2"/2"x4") TOP PLATE, 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS. PROVIDE 38x140 (2"x6") STUDS/PLATES WHERE NOTED.

5. FOUNDATION WALL/FOOTINGS: (9.15.3, 9.15.4, 9.13.2, 9.14.2.1.(2)) 200mm (8") POURED CONC. FDTN. WALL 15MPa (2200psi) WITH BITUMENOUS DAMPPROOFING AND DRAINAGE LAYER. DRAINAGE LAYER REQ'D. WHEN BASEMENT INSUL. EXTENDS 900 (2'-11") BELOW FIN. GRADE. DRAINAGE LAYER IS NOT REQ'D. WHEN FDTN. WALL IS WATERPROOFED. MAXIMUM POUR HEIGHT 2390 (7'-10") ON 500x155 (20"x6") CONTINUOUS KEYED CONC. FTG. BRACE FDTN. WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL. WITH MIN. BEARING CAPACITY OF 150kPa OR GREATER. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED. STOREYS SUPPORTING IW/ MASONRY VENEER IW/ SIDING ONLY.

1	16" WIDE x 6" DEEP	16" WIDE x 6" DEEP
2	20" WIDE x 6" DEEP	20" WIDE x 6" DEEP
3	26" WIDE x 9" DEEP	20" WIDE x 6" DEEP

-SEE OBC 9.15.3.  
-MAXIMUM FLOOR LIVE LOAD OF 2.4kPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1").  
-REFER TO SOILS REPORT FOR SOIL CONDITIONS AND BEARING CAPACITY.

STRIP FOOTING SUPPORTING EXTERIOR WALLS (FOR W.O.B.) -ASSUMING MASONRY VENEER CONSTRUCTION, MAX. FLOOR LIVE LOAD OF 2.4kPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1"). THE STRIP FOOTING SIZE IS AS FOLLOWS:

2 STOREY WITH WALK-OUT BASEMENT 545x175 (2'2"x7')

6. FOUNDATION DRAINAGE OBC. 9.14.2. & 9.14.3. 100mm (4") DIA. FOUNDATION DRAINAGE TILE 150mm (6") CRUSHED STONE OVER AND AROUND DRAINAGE TILES.

7. BASEMENT SLAB OBC. 9.3.1.6.(1)(b), 9.16.4.5.(1), 9.25.3.3.(15) 80mm (3") MIN. 25MPa (3600psi) CONC. SLAB ON 100mm (4") COARSE GRANULAR FILL, OR 20MPa (3000psi) CONC. WITH DAMPPROOFING BELOW SLAB. UNDER SLAB INSULATION PER SB-12. ALL SLAB JOINTS & PENETRATIONS TO BE CAULKED.

8. EXPOSED FLOOR TO EXTERIOR (SB-12-TABLE 2.1.1.2.A) PROVIDE RSI 5.46 (R31) INSULATION, APPROVED VAPOUR BARRIER AND CONTINUOUS AIR BARRIER, FINISHED SOFFIT.

9. ATTIC INSULATION (SB-12-TABLE 2.1.1.2.A) (SB-12-2.1.1.7) RSI 8.81 (R50) BLOWN IN ROOF INSULATION AND APPROVED VAPOUR BARRIER, 16mm (5/8") INT. DRYWALL FINISH OR APPROVED EQUAL. RSI 3.52 (R20) MIN. ABOVE INNER SURFACE OF EXTERIOR WALL

10. ALL STAIRS/EXTERIOR STAIRS -OBC. 9.8.- UNIFORM RISE -5mm (1/4") MAX BETWEEN ADJACENT TREADS OR LANDINGS -10mm (1/2") MAX BETWEEN TALLEST & SHORTEST RISE IN FLIGHT

MAX. RISE	= 200 (7'-7/8")
MIN. RUN	= 210 (8'-1/4")
MIN. TREAD	= 235 (9'-1/4")
MAX. NOSING	= 25 (1")
MIN. HEADROOM	= 1950 (6'-5")
RAIL @ LANDING	= 900 (2'-11")
RAIL @ STAIR	= 865 (2'-10") to 965 (3'-2")
MIN. STAIR WIDTH	= 860 (2'-10")
FOR CURVED STAIRS	
MIN. RUN	= 150 (6")
MIN. AVG. RUN	= 200 (8")

11. HANDRAILS -OBC. 9.8.7.- FINISHED RAILING ON PICKETS SPACED MAXIMUM 100mm (4") BETWEEN PICKETS. CLEARANCE BETWEEN HANDRAIL AND SURFACE BEHIND IT TO BE 50 (2") MIN. HANDRAILS TO BE CONTINUOUS EXCEPT FOR NEWEL POST AT CHANGES OF DIRECTION .

INTERIOR GUARDS -OBC. 9.8.8.- INTERIOR GUARDS: 900mm (2'-11") MIN. HIGH EXTERIOR GUARDS - OBC. 9.8.8. 900mm (36") HIGH GUARD WHERE DISTANCE FROM PORCH TO FIN. GRADE IS LESS THAN 1800mm (71"). 1070mm (42") HIGH GUARD IS REQUIRED WHERE DISTANCE EXCEEDS 1800mm (71").

12. SILL PLATE - OBC. 9.23.7. 38x89 (2"x4") SILL PLATE WITH 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG. EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C., CAULKING OR 25 (1") MIN. MINERAL WOOL BETWEEN PLATE AND TOP OF FDTN. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

13. BASEMENT INSULATION (SB-12-2.1.1.6), 9.25.2.3, 9.13.2.6) FOUNDATION WALLS ENCLOSING HEATED SPACE SHALL BE INSULATED FROM THE UNDERSIDE OF THE SUBFLOOR TO NOT MORE THAN 200mm (8") ABOVE THE FINISHED FLOOR & NO CLOSER THAN 50mm (2") OF THE BASEMENT SLAB. INSULATION TO HAVE APPROVED VAPOUR BARRIER. DAMPPROOF WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. NOTE: FULL HEIGHT INSULATION AT COLD CELLAR WALLS. REFER TO OBC SB-12, TABLE 2.1.1.2.A. FOR REQUIRED MINIMUM THERMAL INSULATION. AIR BARRIER TO BE SEALED TO FDTN. WALL WITH CAULKING.

14. BEARING STUD PARTITION 38x89 (2"x4") STUDS @ 400mm (16") O.C. 38x89 (2"x4") SILL PLATE ON DAMPPROOFING MATERIAL, 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG. EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C. 100mm (4") HIGH CONC. CURB ON 350x155 (14"x6") CONC. FOOTING. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

15. STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3) 89mm(3-1/2") DIA x 3.0mm(0.118) SINGLE WALL TUBE TYPE 2 ADJUSTABLE STL. COL. W/ MIN. CAPACITY OF 71.2kN (16,000lbs.) AT A MAX. EXTENSION OF 2318mm (7'-7 1/2") CONFORMING TO CAN/CGSB-7.2-94. AND WITH 150x150x9.5 (6"x6"x3/8") STL. PLATE TOP & BOTTOM. 870x870x410 (34"x34"x16") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 kpa. MINIMUM AND AS PER SOILS REPORT.

15A. STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3) 89mm(3-1/2") DIA x 4.78mm(1.88) FIXED STL. COL. WITH 150x150x9.5 (6"x6"x3/8") STL. TOP & BOTTOM PLATE ON 1070x1070x460 (42"x42"x18"). CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 kpa. MIN. AND AS PER SOILS REPORT.

15B. STEEL COLUMN 90mm(3-1/2") DIA x 4.78mm(1.88) NON-ADJUSTABLE STL. COL. TO BE ON 150x150x9.5 (6"x6"x3/8") STEEL TOP PLATE, & BOTTOM PLATE. BASE PLATE 120x250x12.5 (4 1/2"x10"x1/2") WITH 2-12mm DIA. x 300mm LONG x50mm HOOK ANCHORS (2-1/2"x12"x2") FELD WELD COL. TO BASE PLATE.

16. BEAM POCKET OR 300x150 (12"x6") POURED CONC. NIB WALLS. MIN. BEARING 90mm (3-1/2")

17. 19x64 (1"x3") CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

18. GARAGE SLAB 100mm (4") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 100 (4") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT.

19. GARAGE CEILINGS/INTERIOR WALLS 13mm (1/2") GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE. TAPE AND SEAL ALL JOINTS AIRTIGHT PER O.B.C. 9.10.9.16. REFER TO SB-12, TABLE 2.1.1.2.A. FOR REQUIRED THERMAL INSULATION.

20. DOOR AND FRAME GASPROOFED. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHERSTRIPPING PER OBC 9.10.13.15.

21. EXTERIOR STEP PRECAST CONCRETE STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX. RISE 200mm (7-7/8") MIN. TREAD 250mm (9'-1/2"). SEE OBC. 9.8.9.2., 9.8.9.3. & 9.8.10.

22. DRYER EXHAUST (OBC-6.2.3.8,(7) & 6.2.4.1.1.) CAPPED DRYER EXHAUST VENTED TO EXTERIOR. (USE 100mm (4") DIA. SMOOTH WALL VENT PIPE)

23. INSULATED ATTIC ACCESS (OBC-9.19.2.1. & SB12-2.1.1.7) ATTIC ACCESS HATCH WITH MIN. DIMENSION OF 545x610mm (21 1/2"x24") & A MIN. AREA OF 0.32 SQ.M. (3.44 SQ.FT.) WITH WEATHERSTRIPPING. RSI 3.52 (R20) RIGID INSUL. BACKING.

24. FIREPLACE CHIMNEYS OBC. 9.21. TOP OF FIREPLACE CHIMNEY SHALL BE 915mm (3'-0") ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 610mm (2'-0") ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 3050mm (10'-0") FROM THE CHIMNEY.

25. LINEN CLOSET, 4 SHELVES MIN. 350mm (1'-4") DEEP.

26. MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR AS REQUIRED BY OBC. 9.32.3.5. & 9.32.3.10.

27. STEEL BEARING PLATE FOR MASONRY WALLS 280x280x16 (11"x11"x5/8") STL. PLATE FOR STL BEAMS AND 280x280x12 (11"x11"x1/2") STL. PLATE FOR WOOD BEAMS BEARING ON CONC. BLOCK PARTYWALL, ANCHORED WITH 2-19mm (3/4") x 200mm (8") LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL WITH NON-SHRINK GROUT.

OR SOLID WOOD BEARING FOR WOOD STUD WALLS SOLID BEARING TO BE AT LEAST AS WIDE AS THE SUPPORTED MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT-UP WOOD STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH OBC 9.17.4.(2).

28. RESERVED

29. BEARING WOOD POST (BASEMENT) (OBC 9.17.4.) 3-38x140 (3-2"x6") BUILT-UP POST ON METAL BASE SHOE ANCHORED TO CONC. WITH 12.7 DIA. BOLT, 610x610x300 (24"x24"x12") CONC. FOOTING.

30. STEPPED FOOTINGS OBC 9.15.3.9. MIN. HORIZ. STEP = 600mm (24"). MAX. VERT. STEP = 600mm (24")

31. SLAB ON GRADE MIN. 100mm (4") CONCRETE SLAB ON GRADE ON 100mm (4") COARSE GRANULAR FILL. REINFORCED WITH 6x6-W2.9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32 MPa (4640 psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE. REFER TO OBC SB-12, TABLE 2.1.1.2.A. FOR REQUIRED MINIMUM THERMAL INSULATION UNDER SLAB.

32. DIRECT VENTING GAS FURNACE/ H.W.T. VENT DIRECT VENT FURNACE TERMINAL MIN. 900mm (36") FROM A GAS REGULATOR. MIN. 300mm (12") ABOVE FIN. GRADE. FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 1830mm (6'-0") FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.

33. DIRECT VENTING GAS FIREPLACE VENT DIRECT VENT GAS FIREPLACE. VENT TO BE A MINIMUM 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.

34. SUBFLOOR, JOIST STRAPPING AND BRIDGING 16mm (5/8") T & G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION (\* SEE OBC 9.30.6. \*) 6mm (1/4") PANEL TYPE UNDERLAY UNDER RESILIENT & PARQUET FLOORING. (\* SEE OBC 9.30.2. \*) FLOOR JOISTS WITH SPANS OVER 2100mm (6'-11") TO BE BRIDGED WITH 38x38 (2"x2") CROSS BRACING OR SOLID BLOCKING @ 2100mm (6'-11") O.C. MAX. AND WHERE SPECIFIED BY JOIST TABLES A-1 OR A-2 STRAPPING SHALL BE 19x64 (1"x3") @ 2100mm (6'-11") O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED. (\* SEE OBC 9.23.9.4. \*)

35. EXPOSED BUILDING FACE OBC. 9.10.15. & SB-2-2.3.5.(2) EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 min. WHERE LIMITING DISTANCE (LD) IS LESS THAN 1.2M (3'-11"). WHERE THE LD IS LESS THAN 600mm (2'-0") THE EXPOSING FACE SHALL BE CLAD IN NON-COMBUSTIBLE MATERIAL. SEE ELEVATIONS FOR ADDITIONAL NOTES. OFFENDING GARAGE WALLS INCLUDED.

36. COLD CELLAR PORCH SLAB (OBC 9.40.) FOR MAX. 2500mm (8'-2") PORCH DEPTH (SHORTEST DIM.), 150mm (6") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 200mm (7 7/8") O.C. EACH WAY IN BOTTOM THIRD OF SLAB. MIN. 30mm (1 1/4") COVER, 600x600 (23 5/8"x23 5/8") 10M DOWELS @ 600mm (23 5/8") O.C., ANCHORED IN PERIMETER FDTN. WALLS. SLOPE SLAB MIN. 1.0% FROM HOUSE WALL. SLAB TO HAVE MIN. 75mm (3") BEARING ON FDTN. WALLS. PROVIDE (L7) LINTEL OVER CELLAR DOOR WITH 100mm (4") END BEARING.

37. THE FDTN. WALL SHALL NOT BE REDUCED TO LESS THAN 90mm (3-1/2") THICK TO A MAX. DEPTH OF 600mm (24") AND SHALL BE TIED TO THE FACING MATERIAL WITH METAL TIES SPACED 200mm (8") O.C. VERTICALLY AND 900mm (36") O.C. HORIZONTALLY. FILL SPACE BETWEEN WALL AND FACING SOLID WITH MORTAR.

38. CONVENTIONAL ROOF FRAMING (2.0kpa. SNOW LOAD) 38x140 (2"x6") RAFTERS @ 400mm (16"O.C.) FOR MAX 11-7" SPAN, 38x184 (2"x8") RIDGE BOARD, 38x89 (2"x4") COLLAR TIES AT MIDSPANS. CEILING JOISTS TO BE 38x89 (2"x4") @ 400mm (16") O.C. FOR MAX. 2830mm (9'-3") SPAN & 38x140 (2"x6") @ 400 (16") O.C. FOR MAX. 4450mm (14'-7") SPAN. RAFTERS FOR BUILT-UP ROOF TO BE 38x89 (2"x4") @ 600mm (24") O.C. WITH A 38x89 (2"x4") CENTRE POST TO THE TRUSS BELOW, LATERALLY BRACED @ 1800mm (6'-0") O.C. VERTICALLY.

GENERAL NOTES

WINDOWS: 1) MINIMUM BEDROOM WINDOW -OBC. 9.9.10.1.- AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS TO HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380 mm (1'-3").

2) WINDOW GUARDS -OBC. 9.8.8.1.(6). A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11")

3) EXTERIOR WINDOWS SHALL COMPLY WITH OBC DIV.-8 9.7.3. & SB12-2.1.1.8

GENERAL: 1) MECHANICAL VENTILATION IS REQUIRED TO COMPLY WITH OBC-DIV. 8, 6.2.2. SEE MECHANICAL DRAWINGS. 2) ALL DOWNSPOUTS TO DRAIN AWAY FROM THE BUILDING AS PER OBC 9.26.1B.2. & 5.6.2.2.(3) AND MUNICIPAL STANDARDS. 3) ALL WINDOW WELLS TO DRAIN TO FOOTING LEVEL PER OBC 9.14.6.3. CHECK WITH THE LOCAL AUTHORITY. 4) STUD WALL REINFORCEMENT FOR FUTURE GRAD BARS IN MAIN BATHROOM REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.1)(d) & 3.8.3.13.(1)(i). SEE DETAIL. 5) ALL EXTERIOR DOORS TO COMPLY WITH THERMAL RESISTANCE AS STATED IN O.B.C. SB-12-2.1.1.9. 6) ALL AIR BARRIER SYSTEMS ARE REQUIRED TO COMPLY WITH O.B.C. DIV.-8 9.25.3.

LUMBER: 1) ALL LUMBER SHALL BE SPRUCE NO.2 GRADE, UNLESS NOTED OTHERWISE. 2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE. 3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No.2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE. 4) ALL LAMINATED VENEER LUMBER (L.V.L.) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.

LVL BEAMS SHALL BE 2.0E -2950Fb MIN., NAIL EACH PLY OF LVL WITH 89mm (3 1/2") LONG COMMON WIRE NAILS @ 300mm (12") O.C. STAGGERED IN 2 ROWS FOR 184, 240 & 300mm (7 1/4" 9 1/2", 11 7/8") DEPTHS AND STAGGERED IN 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 130mm (1/2") DIA. GALVANIZED BOLTS BOLTED AT MID-DEPTH OF BEAM @ 915mm (3'-0") O.C.

6) PROVIDE FACE MOUNT BEAM HANGERS TYPE "SCL" MANUFACTURED BY SIMPSON STRONG-TIE OR EQUAL FOR ALL LVL BEAM TO BEAM CONNECTIONS UNLESS OTHERWISE NOTED. REFER TO ENG. FLOOR LAYOUTS. 7) JOIST HANGERS: PROVIDE METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS.

8) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 2 ml. POLYETHYLENE FILM, No. 50 (45lbs) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 150mm (6") ABOVE THE GROUND.

STEEL: 1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300V. HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CSA-G40-21 GRADE 350W 'STRUCTURAL QUALITY STEEL'. OBC. 8-9.23.4.3. 2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

STUCCO: 1) ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR, THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

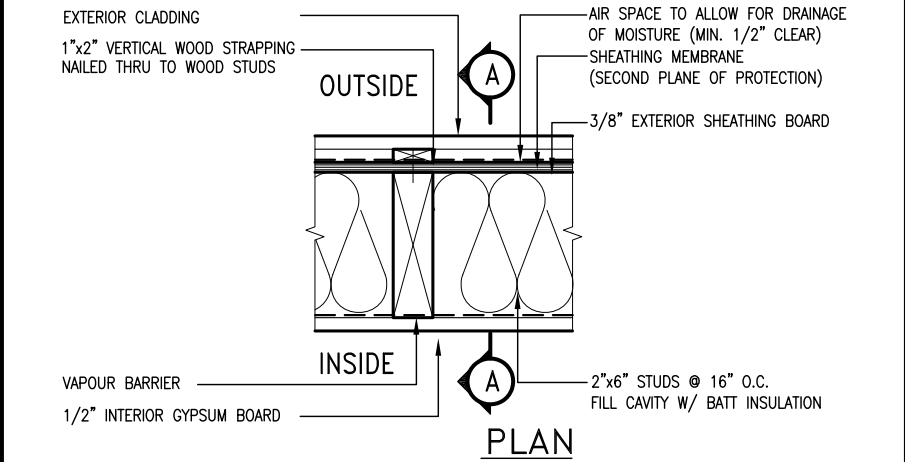
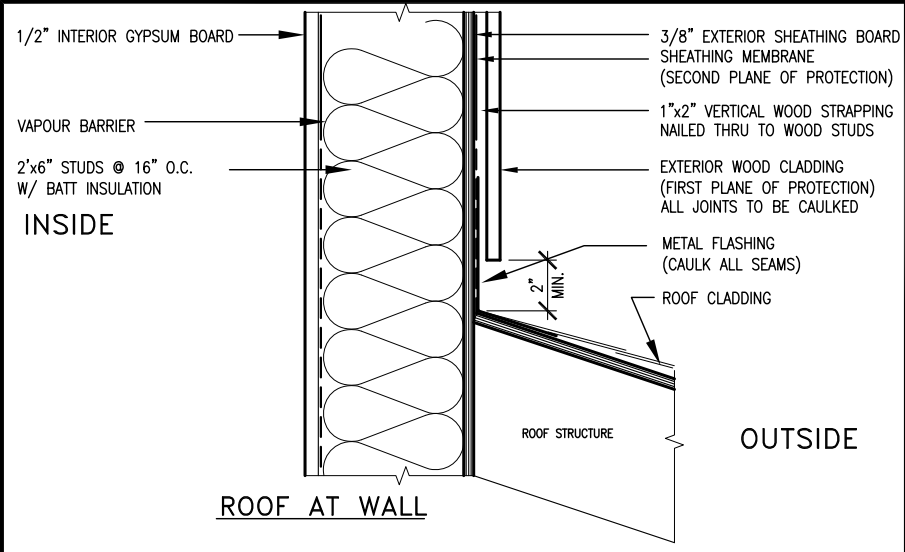
LEGEND	
	CLASS 'B' VENT
	EXHAUST FAN TO EXTERIOR
	DUPLEX OUTLET (12" ABOVE SURFACE)
	WEATHERPROOF DUPLEX OUTLET
	POT LIGHT
	LIGHT FIXTURE (PULL CHAIN)
	SWITCH
	FLOOR DRAIN
	SJ SINGLE JOIST
	DJ DOUBLE JOIST
	TJ TRIPLE JOIST
	LVL LAMINATED VENEER LUMBER
	POINT LOAD FROM ABOVE
	RESERVED
	P.T. PRESSURE TREATED LUMBER
	G.T. GIRDER TRUSS BY ROOF TRUSS MANUF.
	F.A. FLAT ARCH
	C.A. CURVED ARCH
	M.C. MEDICINE CABINET (RECESSED)
	CONC. BLOCK WALL
	DOUBLE VOLUME WALL
	SEE NOTE 39
	SOLID WOOD BEARING (SPRUCE No. 2). SOLID BEARING TO BE AS WIDE AS SUPPORTED MEMBER OR AS DIRECTED BY STRUCTURAL ENGINEER. SOLID BEARING TO BE MINIMUM 2 PIECES.
	SOLID WOOD BEARING TO MATCH FROM ABOVE

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO VA3 DESIGN BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF VA3 DESIGN WHICH IF REQUESTED MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY AFTER BUILDING PERMIT HAS BEEN ISSUED.

39. TWO STOREY VOLUME SPACES -FOR A MAXIMUM 5490 mm (18'-0") HEIGHT AND MAXIMUM SUPPORTED ROOF TRUSS LENGTH OF 6.0m. PROVIDE 2-38x140 (2-2"x6") SPR.#2 CONTIN. STUDS @ 300mm (12") O.C. (TRIPLE UP AT EVERY THIRD DOUBLE STUD FOR BRICK WALLS) C/W 9.6 (3/8") THICK EXT. PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 1220 mm (4'-0") O.C. VERTICALLY. -FOR WALLS WITH HORIZ. DISTANCES NOT EXCEEDING 2900 mm (9'-6"). PROVIDE 38x140 (2"x6") STUDS @ 400 (16") O.C. WITH CONTINUOUS 2-38x140 (2-2"x6")TOP PLATES + 1-38x140 (1-2"x6") BOTTOM PLATE & MINIMUM OF 3-38x184 (3-2"x8") CONT. HEADER AT GRND. CEILING LEVEL TOE-NAILED & GLUED AT TOP. BOTTOM PLATES AND HEADERS.

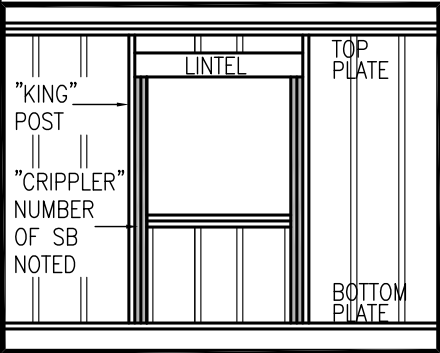
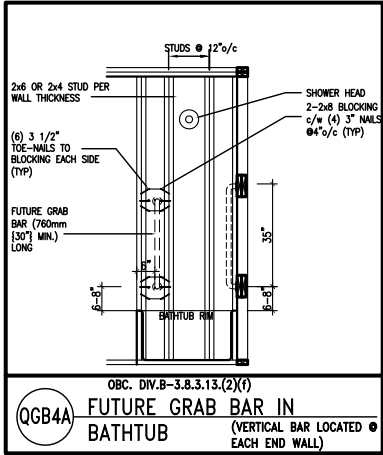
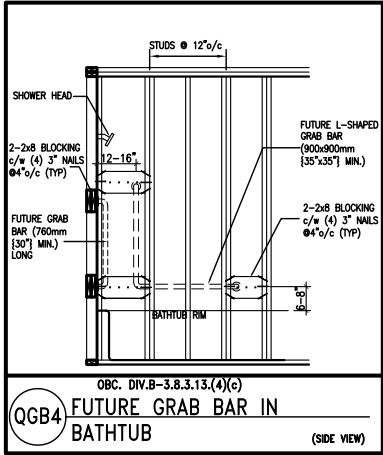
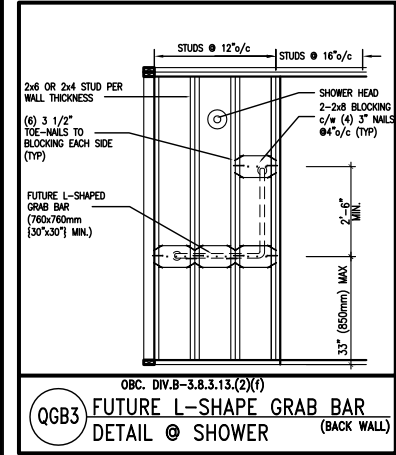
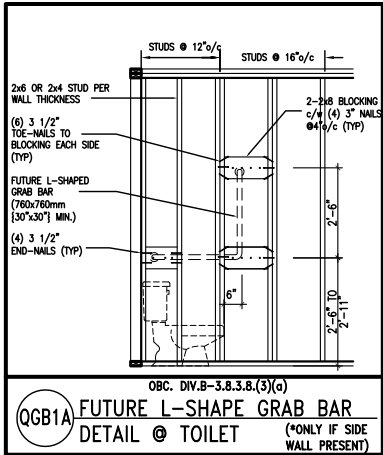
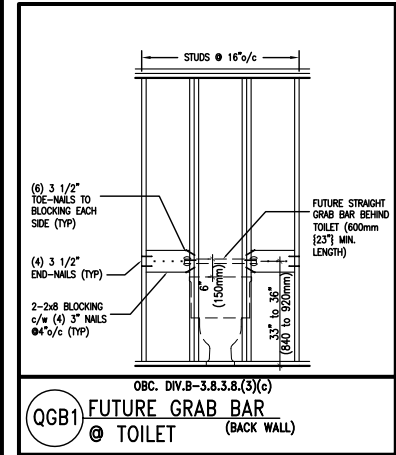
40. TYPICAL 1 HOUR RATED PARTYWALL. REFER TO DETAILS FOR TYPE AND SPECIFICATIONS.

41. FOUNDATION WALL (W.O.D./W.O.B.) -FOR LATERAL SUPPORT WHERE GRADE TO T/O BASEMENT SLAB EXCEEDS 1200mm (3'-11") PROVIDE 200mm (8") POURED CONC. FOUNDATION WALL PROVIDE VERTICAL 38



EXTERIOR WOOD CLADDING WALL ASSEMBLY

**STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM**  
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM.  
FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KN (300 lb)  
REFER TO OBC, DIV. B- 9.5.2.3., WATER CLOSET 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c), SHOWER 3.8.3.13.(2)(f), BATHTUB & 3.8.3.13.(4)(c), AND DETAILS PROVIDED.



MAX. HEIGHT FOR 2"x4" GARAGE WALL IS AS FOLLOW:  
2"x4" @ 16" O.C. - 9'-10"  
2"x4" @ 12" O.C. - 10'-9"  
3"x4" @ 16" O.C. - 11'-2"  
3"x4" @ 12" O.C. - 12'-4"

- NOTES:
- FOR ROOF DESIGN SNOW LOAD OF 2.5 KPa. SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR JOIST LENGTH OF 2.5m OF ONE FLOOR.
  - PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
  - PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE.
  - FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
  - STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
  - STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

\*\* MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOW:  
2"x6" @ 16" O.C. - 12'-6"  
2"x6" @ 12" O.C. - 13'-10"  
2"x6" @ 16" O.C. - 15'-0"  
2"x6" @ 12" O.C. - 17'-4"

MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:  
2"x8" @ 16" O.C. - 16'-0"  
2"x8" @ 12" O.C. - 17'-9"  
2"x8" @ 16" O.C. - 20'-4"  
2"x8" @ 12" O.C. - 22'-4"

- NOTES:
- FOR ROOF DESIGN SNOW LOAD OF 2.5 KPa
  - SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
  - PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
  - PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
  - WALL FRAMING SHALL CONFORM TO OBC 9.23.10.1.(2)
  - FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa
  - STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
  - STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

\*\* STUD INFORMATION TAKEN FROM OBC TABLE A-30

9	.	.	.
8	.	.	.
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4	.	.	.
3	.	.	.
2	UPDATE TO CODE	APR 16-15	RC
1	ISSUE FOR CLIENT REVIEW	MAY 07-14	RC
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591  
signature BCIN

registration information

VA3 Design Inc. 42658

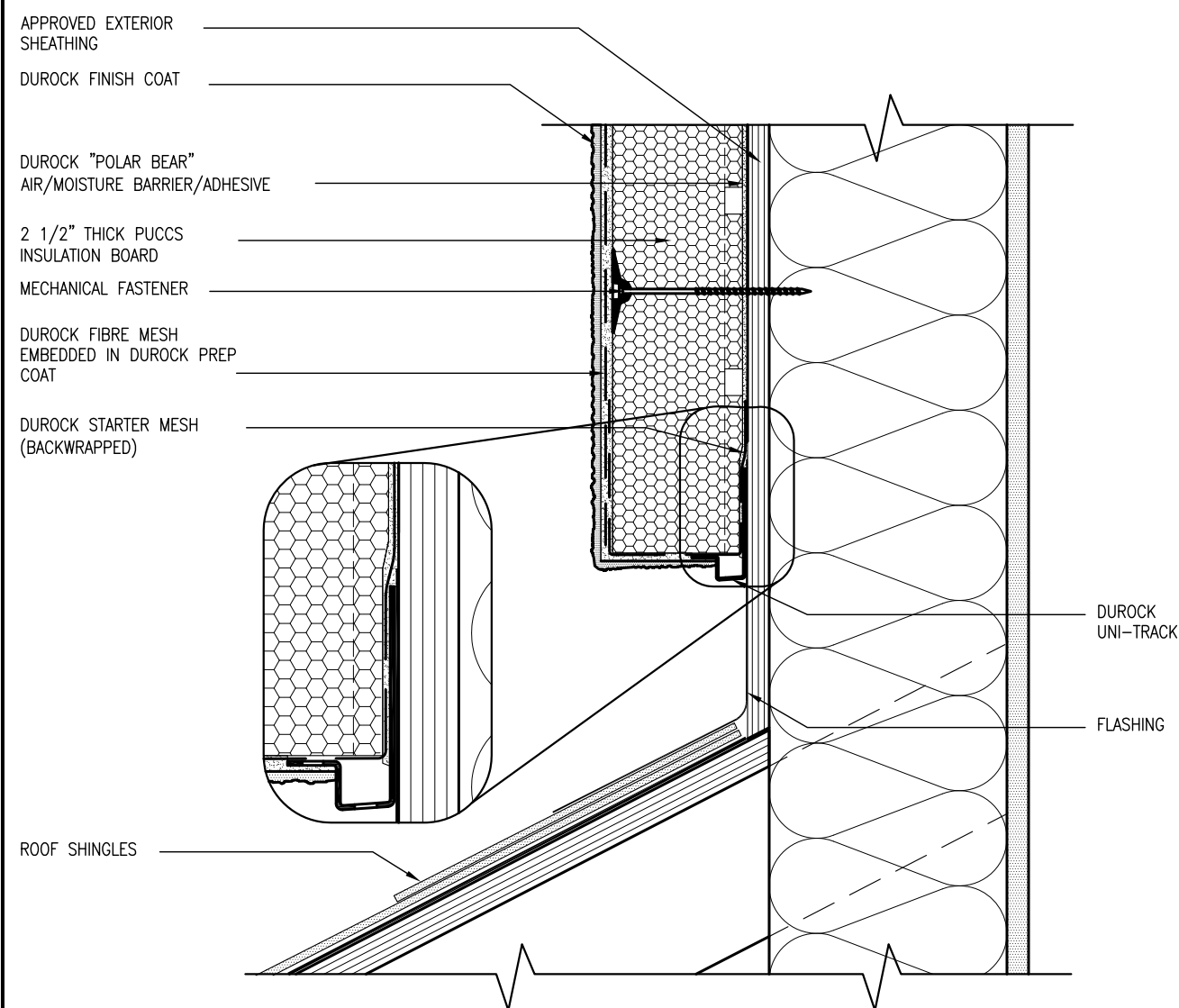
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

**VA3 DESIGN**

300A Wilson Avenue  
Toronto ON M3H 1S8  
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va3design.com

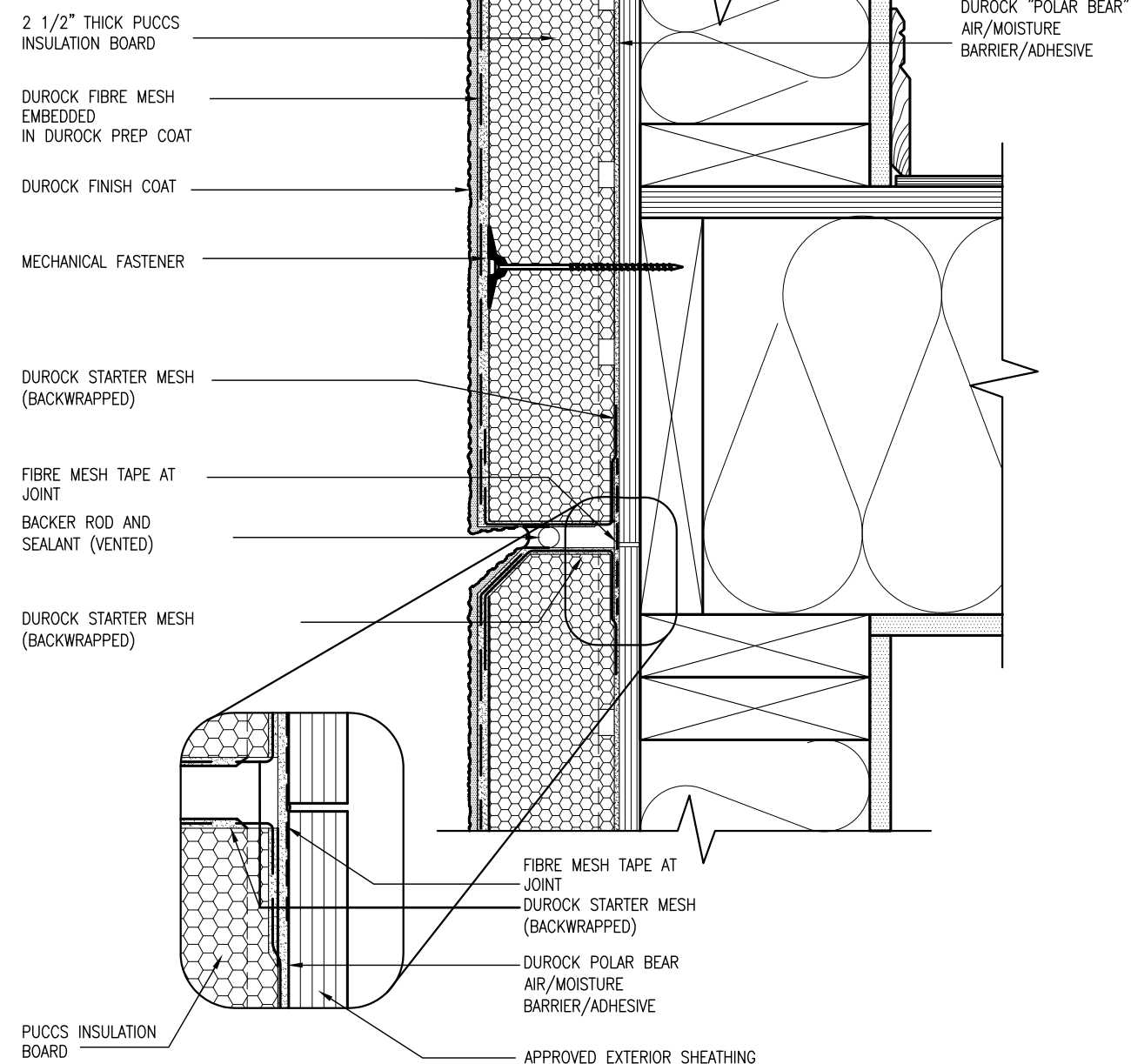
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project name GREEN VALLEY ESTATES		municipality BRADFORD	project no. 13045
date APR 2014		CONSTRUCTION NOTES	
drawn by RC	checked by -	scale 3/16" = 1'-0"	file name 13045-CONST-OBC 2015
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\13045-CONST-OBC 2015.dwg		- Thu - Apr 16 2015 - 6:56 AM	





3 STUCCO TERMINATION @ ROOF  
CN4 SCALE: 3"=1'-0"

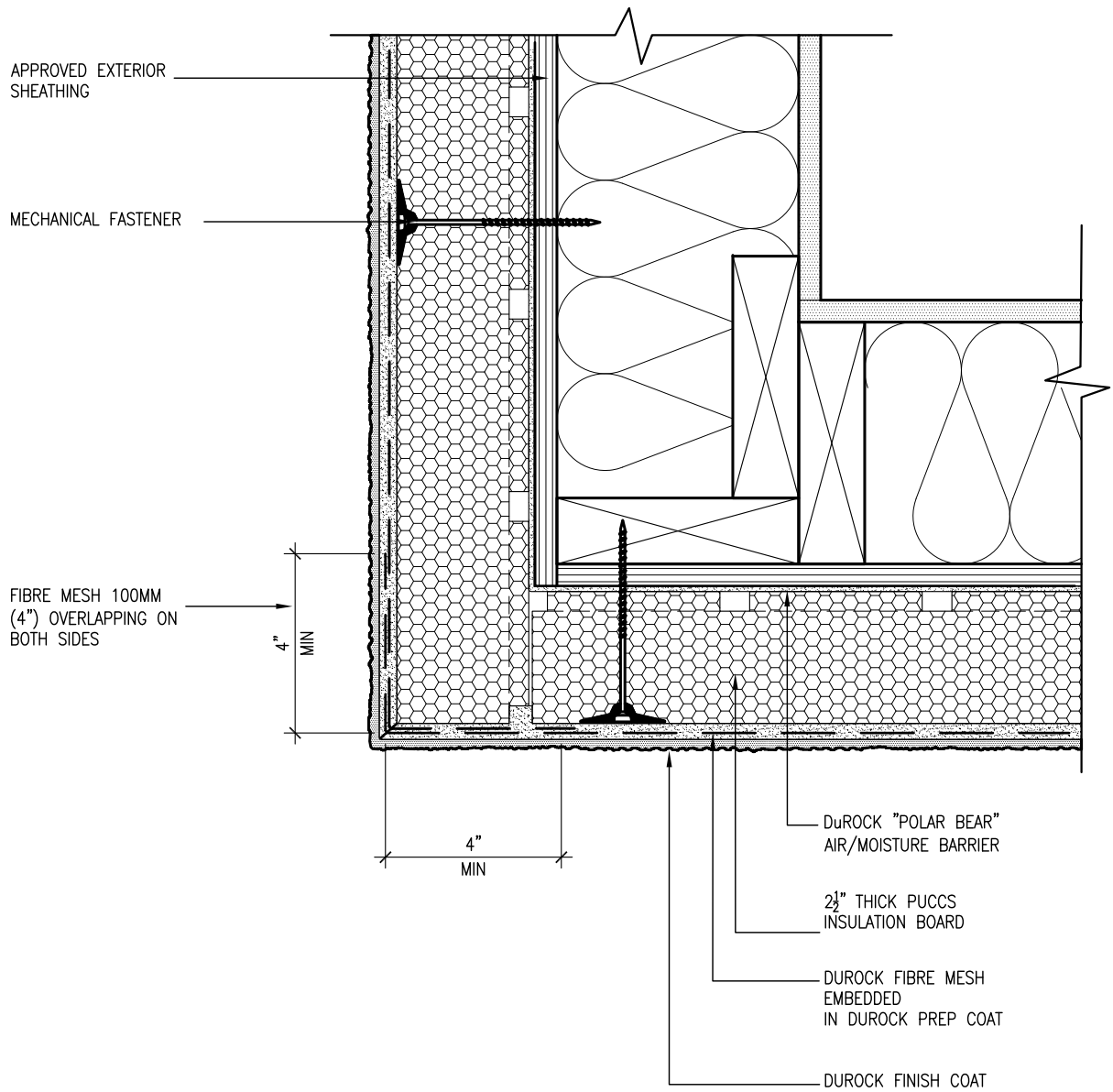
ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.  
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



4 HORIZONTAL EXPANSION JOINT  
CN4 SCALE: 3"=1'-0"

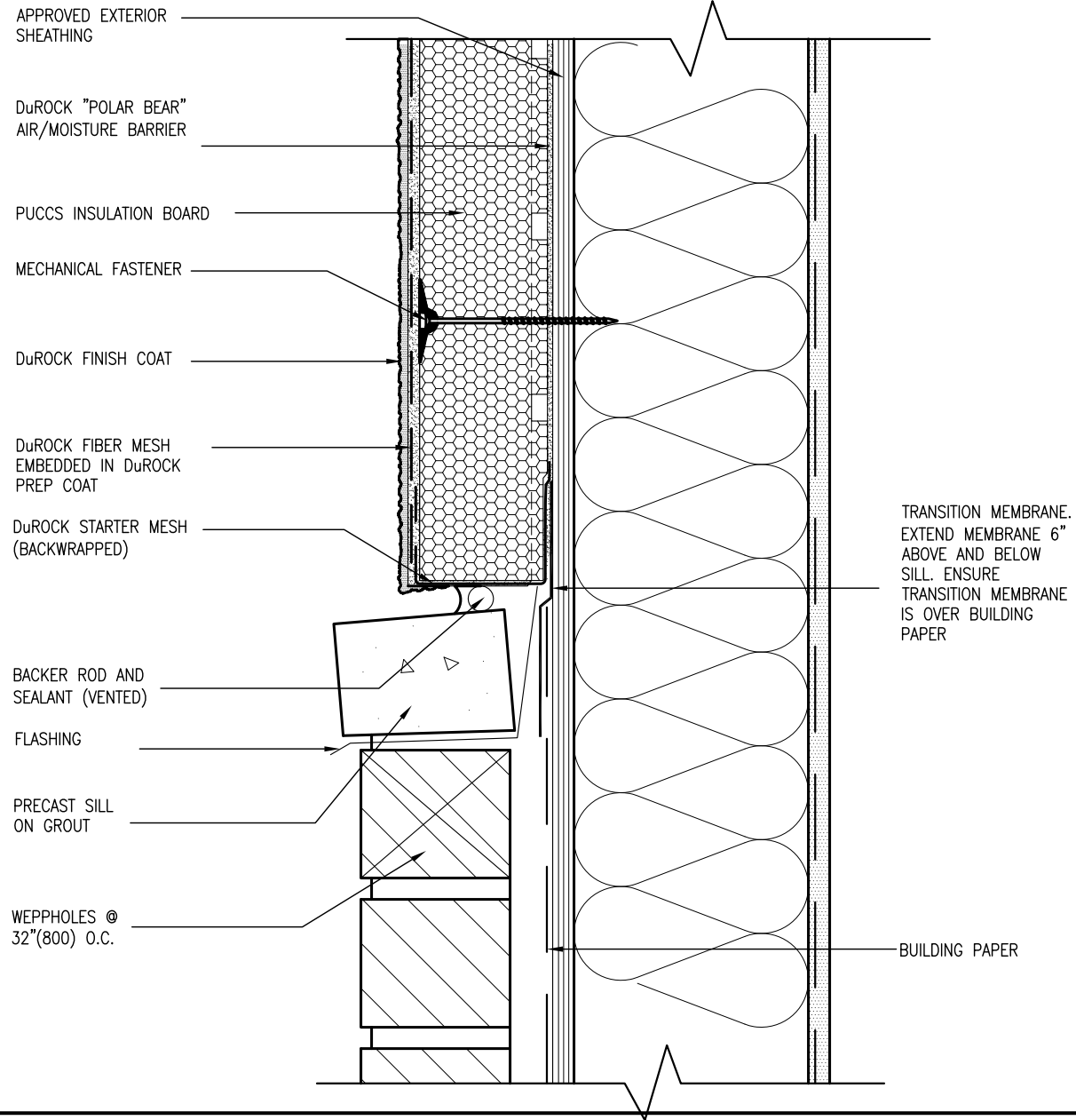
[illegible]





**5** CORNER DETAIL  
CN5 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.  
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



**6** STUCCO / MASONRY PLINTH CONNECTION  
CN5 SCALE: 3"=1'-0"



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qualification information  
name Wellington Jno-Baptiste  
registration information VAS Design Inc.  
BCIN 25591  
signature  
42658  
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
9			
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2	UPDATE TO CODE	APR 16-15 RC	RC
1	ISSUE FOR CLIENT REVIEW	MAY 07-14 RC	RC

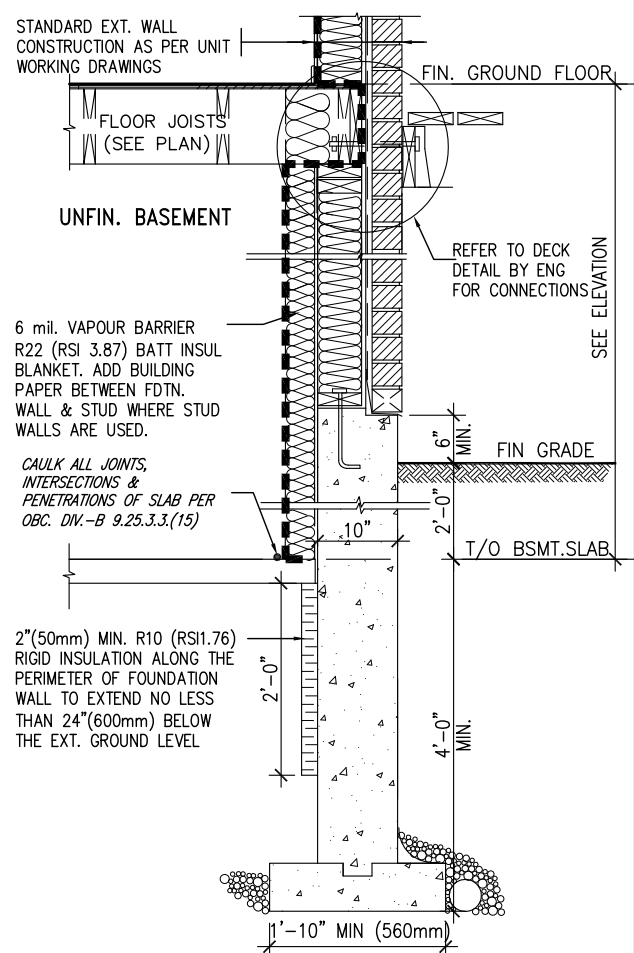
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project name GREEN VALLEY ESTATES  
municipality BRADFORD  
project no. 13045  
drawing no. CN5  
date APR 2014  
checked by RC  
scale 3/16" = 1'-0"  
checked by  
file name 13045-CONST-0BC 2015  
13045-CONST-0BC 2015.dwg  
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**CONST NOTE**

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THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 2.1.1.1

COMPONENT	J	Notes:
Ceiling with Attic Space Minimum RSI (R) value	8.81 (R50)	BLOWN –LOOSE
Ceiling without Attic Space Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Exposed Floor Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Walls Above Grade Minimum RSI (R) value	3.87 (R22)	6" R22 BATT
Basement Walls Minimum RSI (R) value	2.11 (R12)	4" R12 BLANKET
Edge of Below Grade Slab ≤600mm below grade Minimum RSI (R) value	1.76 (R10)	RIGID INSUL
Windows & Sliding glass Doors Maximum U–value	1.8	DOUBLE PANE LOW EMISSIVITY
Skylights Maximum U–value	2.8	DOUBLE PANE LOW EMISSIVITY
Space Heating Equipment Minimum AFUE	94%	NATURAL GAS
Hot Water Heater Minimum EF	0.67	NATURAL GAS
HRV Minimum Efficiency	60%	–



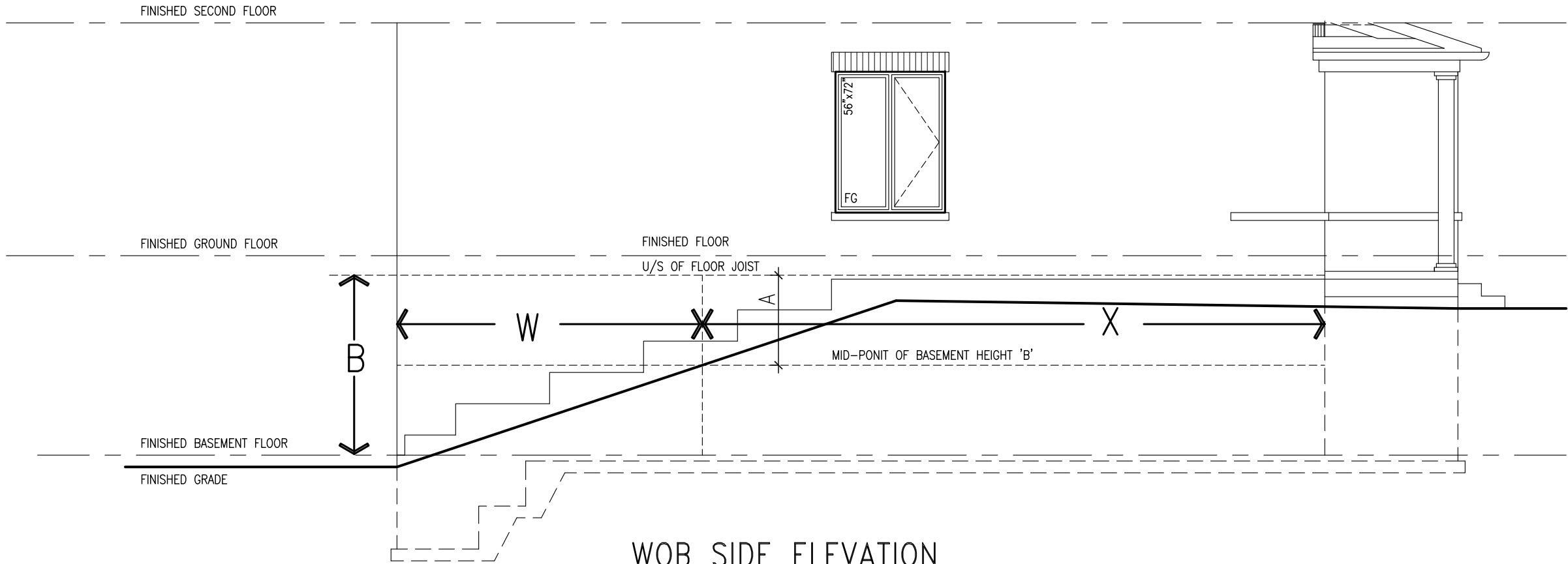
SECTION AT W.O.D/W.O.B.

SEMI &amp; SINGLES ONLY

9	.	.	<div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div>qualification information</div> <div>Wellington Jno-Baptiste25591</div> <div>name</div> <div>signatureBCIN</div> <div>registration information</div> <div>VA3 Design Inc.42658</div>	<div><div>VA3</div><div>DESIGN</div><div>300A Wilson Avenue</div><div>Toronto ON M3H 1S8</div><div>t 416.630.2255 f 416.630.4782</div><div>va3design.com</div></div>	BAYVIEW WELLINGTON		CONST NOTE		
8	.	.			project name	municipality	project no.		
7	.	.			GREEN VALLEY ESTATES	BRADFORD	13045		
6	.	.			date	CONSTRUCTION NOTES			drawing no.
5	.	.			APR 2014				
4	.	.			drawn by	checked by	scale	file name	CN6
3	.	.	RC	-	3/16" = 1'-0"	13045-CONST-0BC 2015			
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2	UPDATE TO CODE	APR 16-15	RC						
1	ISSUE FOR CLIENT REVIEW	MAY 07-14	RC						
no.	description	date	by						

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WOB PLAN

WOB SIDE ELEVATION

WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

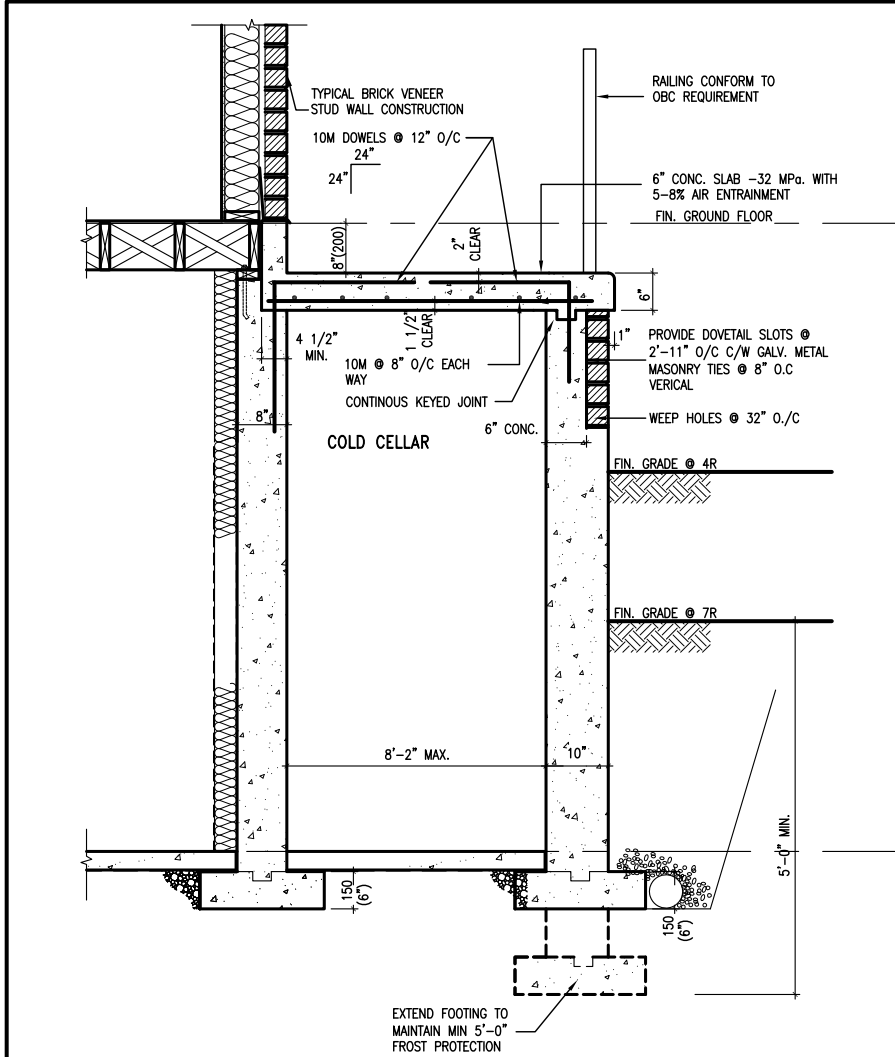
WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A

COMPLIANCE TO OBC SB-12 2.1.1.1(11)

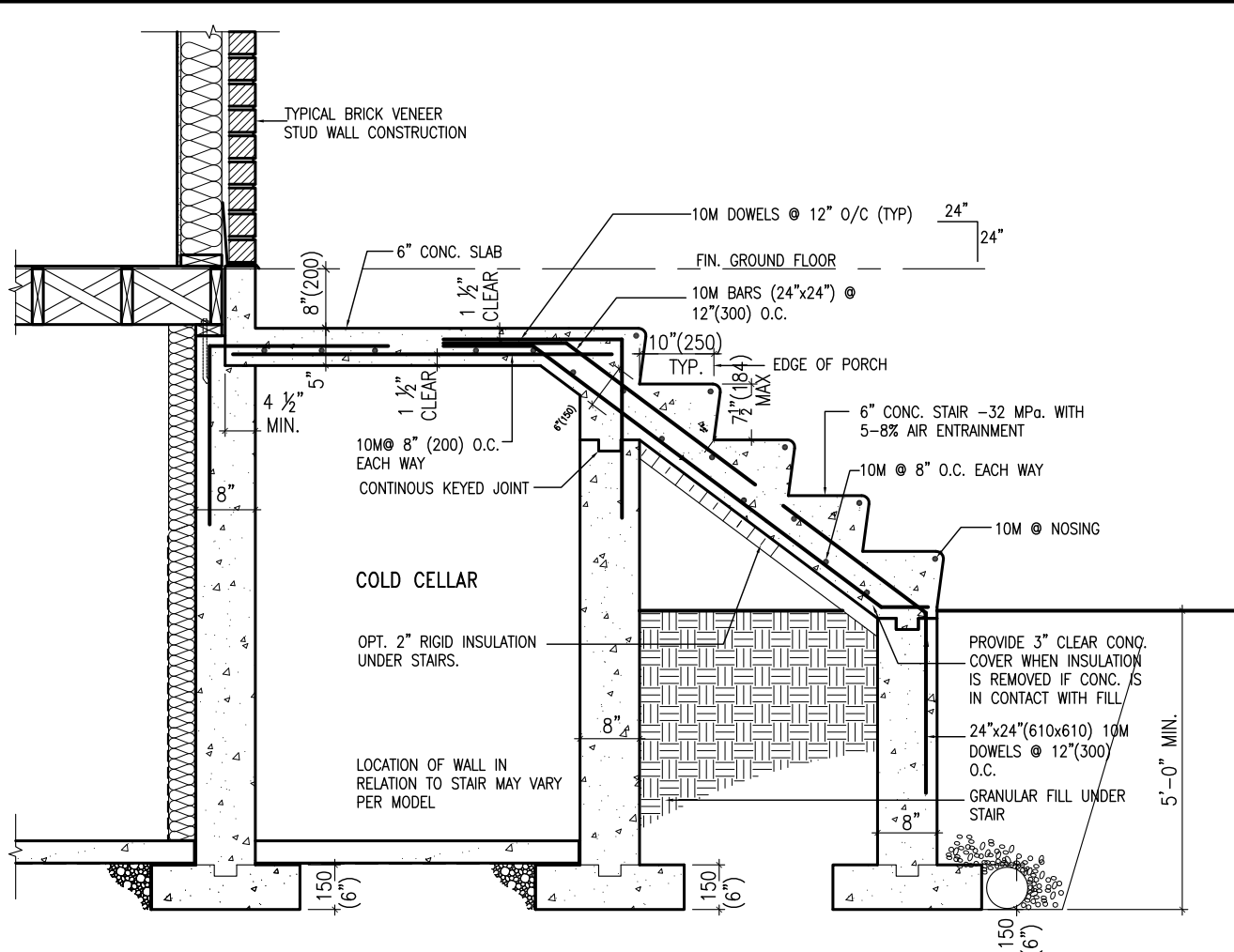
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project no.	13045	project no.	13045
date	APR 2014	drawing no.	CN7
drawn by	RC	CONSTRUCTION NOTES	
checked by	-	file name	13045-CONST-OBC 2015
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**VAS3 DESIGN**  
300A Wilson Avenue  
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t 416.630.2255 f 416.630.4782  
vas3design.com

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9 .	.	name	Wellington Jno-Baptiste
8 .	.	registration number	25591
7 .	.	BCIN	42658
6 .	.	signature	
5 .	.	name	Wellington Jno-Baptiste
4 .	.	registration number	25591
3 .	.	BCIN	42658
2 .	.	signature	
1 .	.	name	Wellington Jno-Baptiste
0 .	.	registration number	25591
9 .	.	BCIN	42658
8 .	.	signature	
7 .	.	name	Wellington Jno-Baptiste
6 .	.	registration number	25591
5 .	.	BCIN	42658
4 .	.	signature	
3 .	.	name	Wellington Jno-Baptiste
2 .	.	registration number	25591
1 .	.	BCIN	42658
0 .	.	signature	



**X1** SECTION AT PORCH FOR 4-7R CONDITION  
SCALE: N.T.S.



**X2** EXTERIOR CONC. STAIR DETAIL (6 RISERS/ 7 RISERS SIMILAR)  
SCALE: N.T.S.

**BAYVIEW WELLINGTON**

**CONST NOTE**

project name  
**GREEN VALLEY ESTATES**

municipality  
**BRADFORD**

project no.  
**13045**

drawing no.  
**CN8**

**VAS DESIGN**

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vasdesign.com

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qualification information  
**Wellington Jno-Baptiste** 25591 BCIN

name  
**Wellington Jno-Baptiste**

signature  
**Wellington Jno-Baptiste**

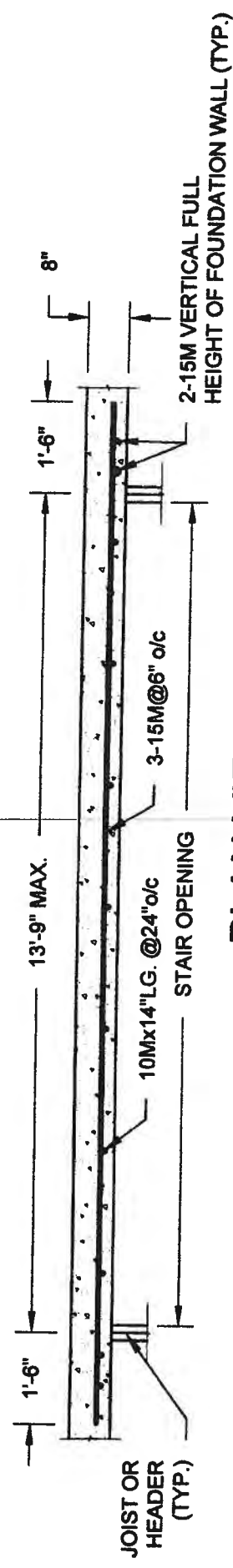
registration information  
**VAS Design Inc.** 42658

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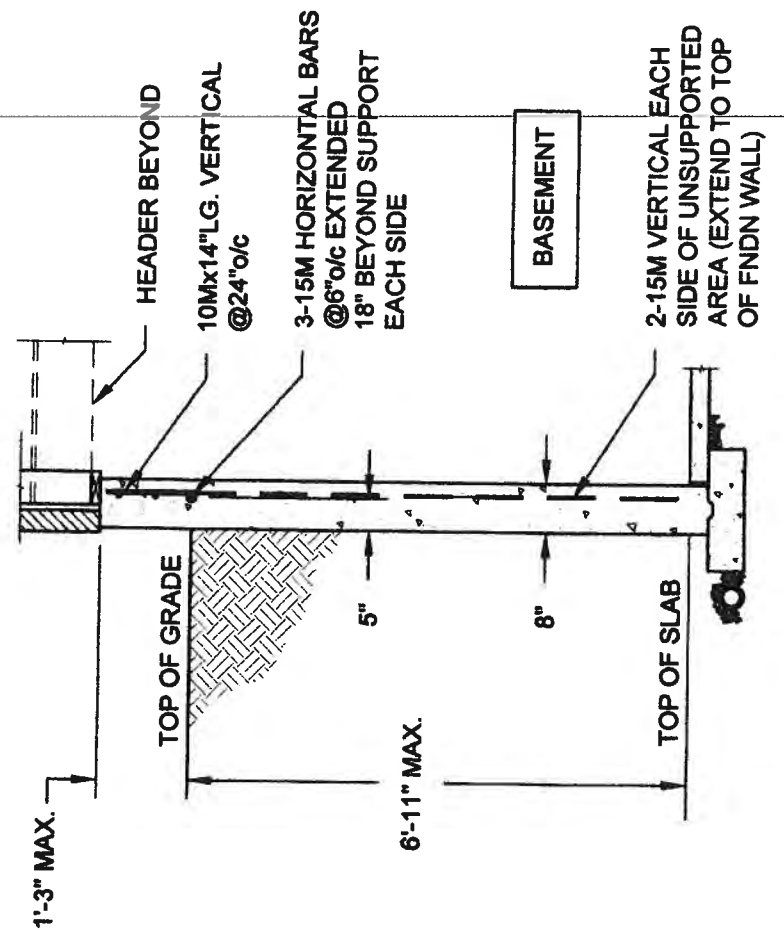
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2	UPDATE TO CODE	APR 16-15 RC	RC
1	ISSUE FOR CLIENT REVIEW	MAY 07-14 RC	RC

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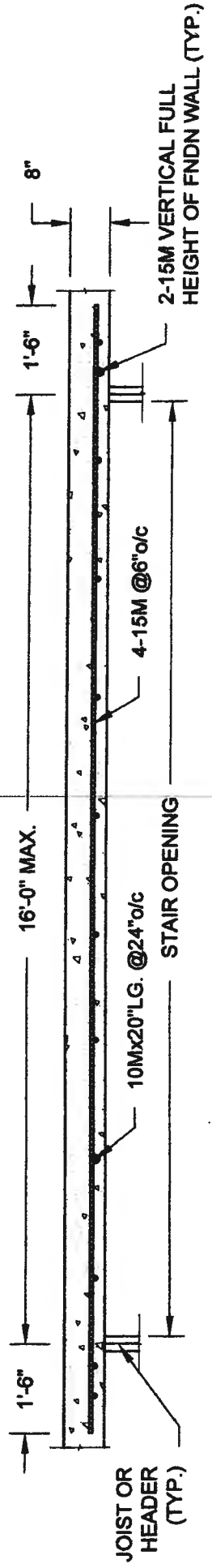


**PLAN VIEW**  
NOT TO SCALE

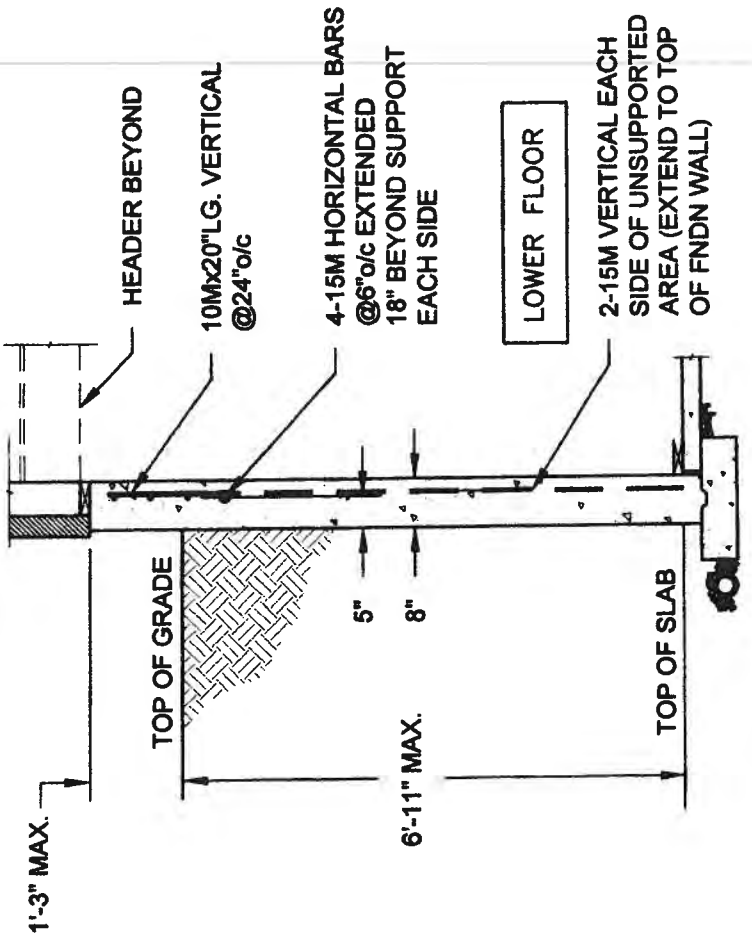


- NOTE:
1. CONFORM TO ONTARIO BUILDING CODE, 2012.
  2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 15 MPa. MIN.
  3. REINFORCING STEEL TO BE GRADE 400.

**1A**  
**S1**  
**LATERALLY UNSUPPORTED WALL**  
SCALE: 3/8" = 1'-0"



**PLAN VIEW**  
NOT TO SCALE



- NOTE:
1. CONFORM TO ONTARIO BUILDING CODE, 2012.
  2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 15 MPa. MIN.
  3. REINFORCING STEEL TO BE GRADE 400.

**1B**  
**S1**  
**LATERALLY UNSUPPORTED WALL**  
SCALE: 3/8" = 1'-0"

**QUAILE ENGINEERING LTD.**



38 Parkside Drive, UNIT 7  
Newmarket, ON  
L3Y 8J9  
T: 905-853-8547  
E: quaile.eng@rogers.com

Engineer's Seal:



MAY 27 2014

Project:

BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES PROJECT  
BRADFORD, ONTARIO

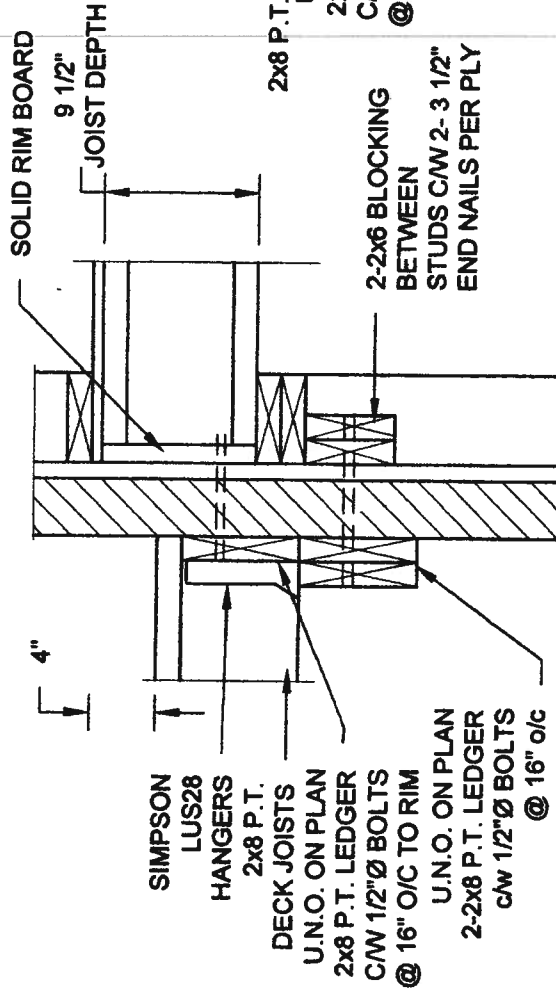
TYPICAL STRUCTURAL DETAILS

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Date: MAY-27-2014  
Drawn: SC  
Checked: SJB

Project No.: 14-095, 14-096, 14-097

Drawing No.: S1

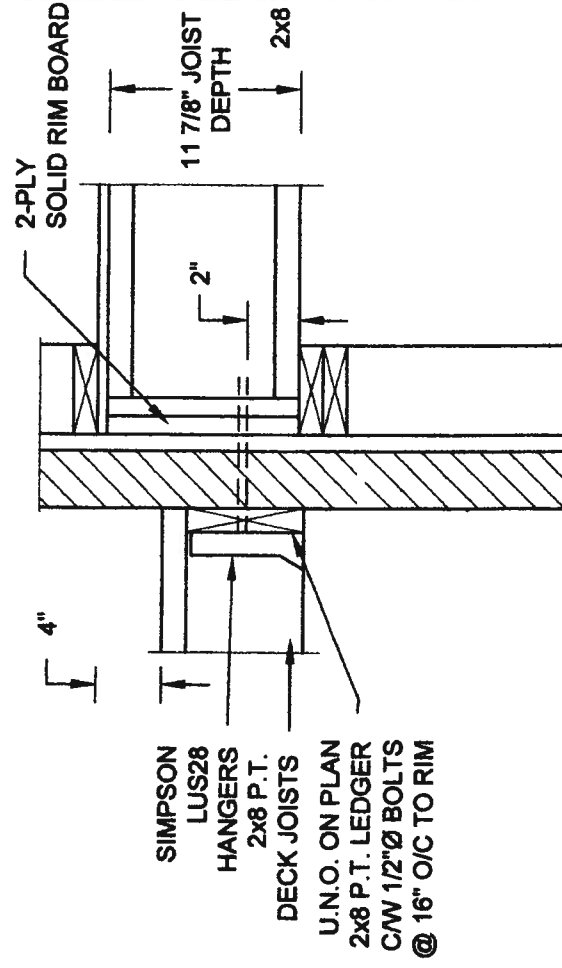
**FOR 9 1/2" JOIST DEPTH**



**1A** **DECK FASTENING DETAIL**  
**S2** SCALE: 1" = 1'-0"

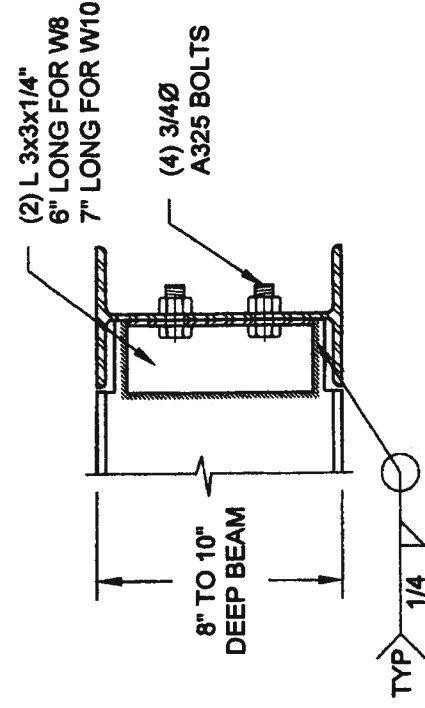
- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2'x6" @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL  
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL  
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

**FOR 11 7/8" JOIST DEPTH**



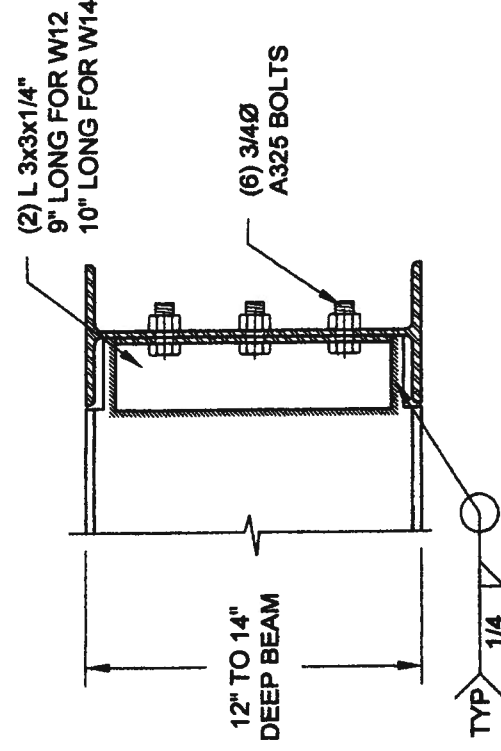
**2A DECK FASTENING DETAIL**  
**S2** SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL  
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL  
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.



**NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX  
AND W10x39 (W250x58) BEAM MAX.**


3 STEEL BE  
S2 SCALE: 1-1/2" = 1'-0"

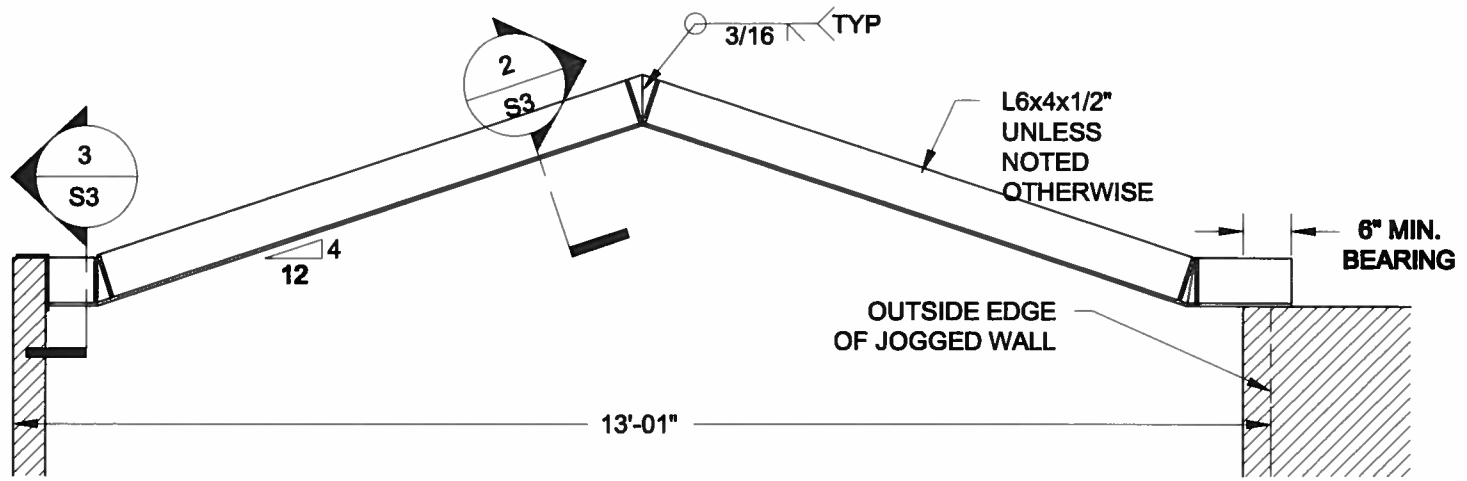


**NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX AND W14x48 (W360x72) BEAM MAX.**

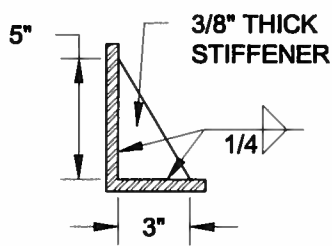
# STEEL BEAM CONNECTION DETAIL

**SCALE: 1'-1/2" = 1'-0"**

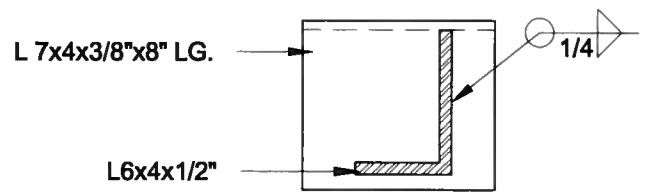
<b>Scale:</b> AS NOTED		<b>Project:</b> BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES PROJECT BRADFORD, ONTARIO	
<b>Date:</b> MAY-27-2014		<b>Project No.:</b> 14-095, 14-096, 14-097	
<b>Drawn:</b> SC		<b>Drawing No.:</b> \$2	
<b>Checked:</b> \$JB		<b>Engineer's Seal:</b>  MAY 27 2014	



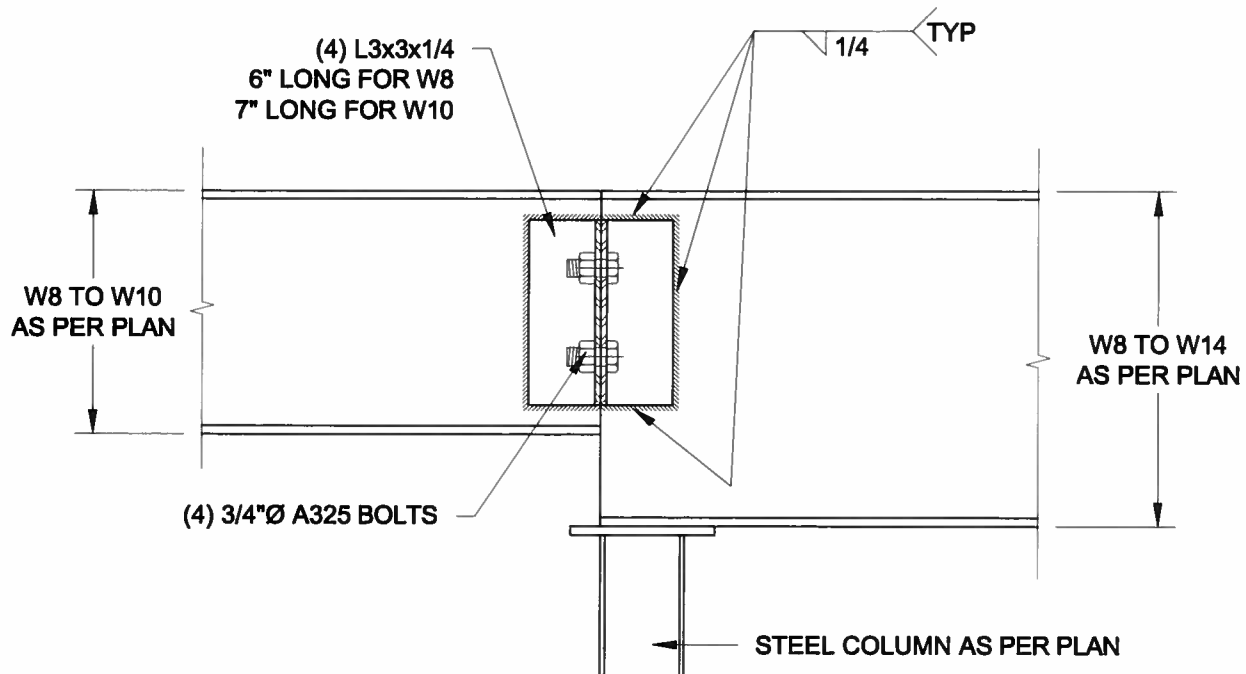
**1**  
**S3** **STEEL LINTEL AT GABLE**  
SCALE: 1/2" = 1'-0"



**2**  
**S3** **TYP. STIFFENER**  
SCALE: 1 1/2" = 1'-0"



**3**  
**S3** **INVERTED ANGLE**  
SCALE: 1 1/2" = 1'-0"



**4**  
**S3** **STEEL BEAM CONNECTION**  
SCALE: 1 1/2" = 1'-0"

Scale: AS NOTED	
Date: FEB-28-2016	
Drawn: SC	Checked: SJB

**QUAILE ENGINEERING LTD.**



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Engineer's Seal



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Project:  
BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES PROJECT  
BRADFORD, ONTARIO

TYPICAL STRUCTURAL DETAILS FOR SINGLES

Project No.:  
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Drawing No.:  
S3