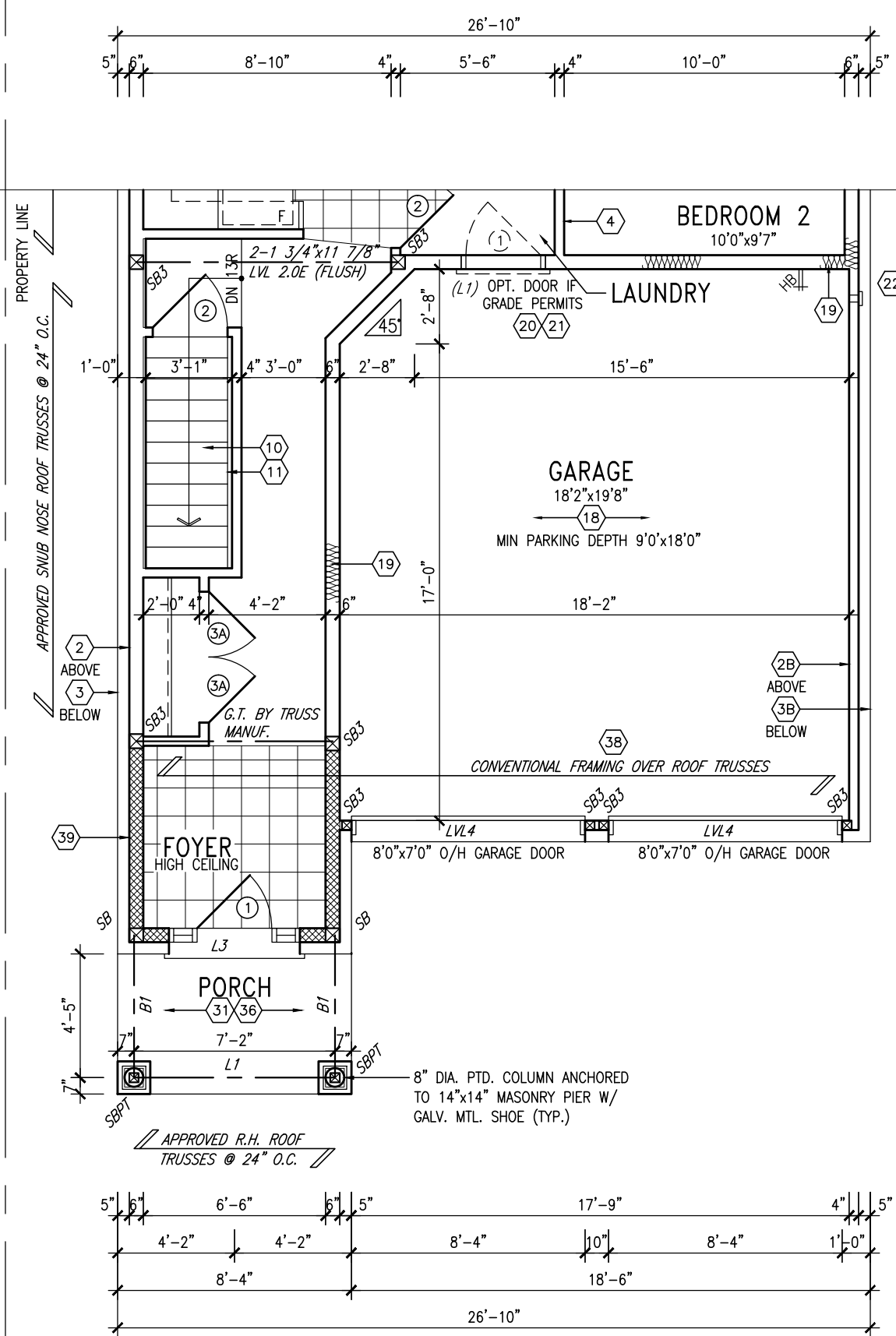
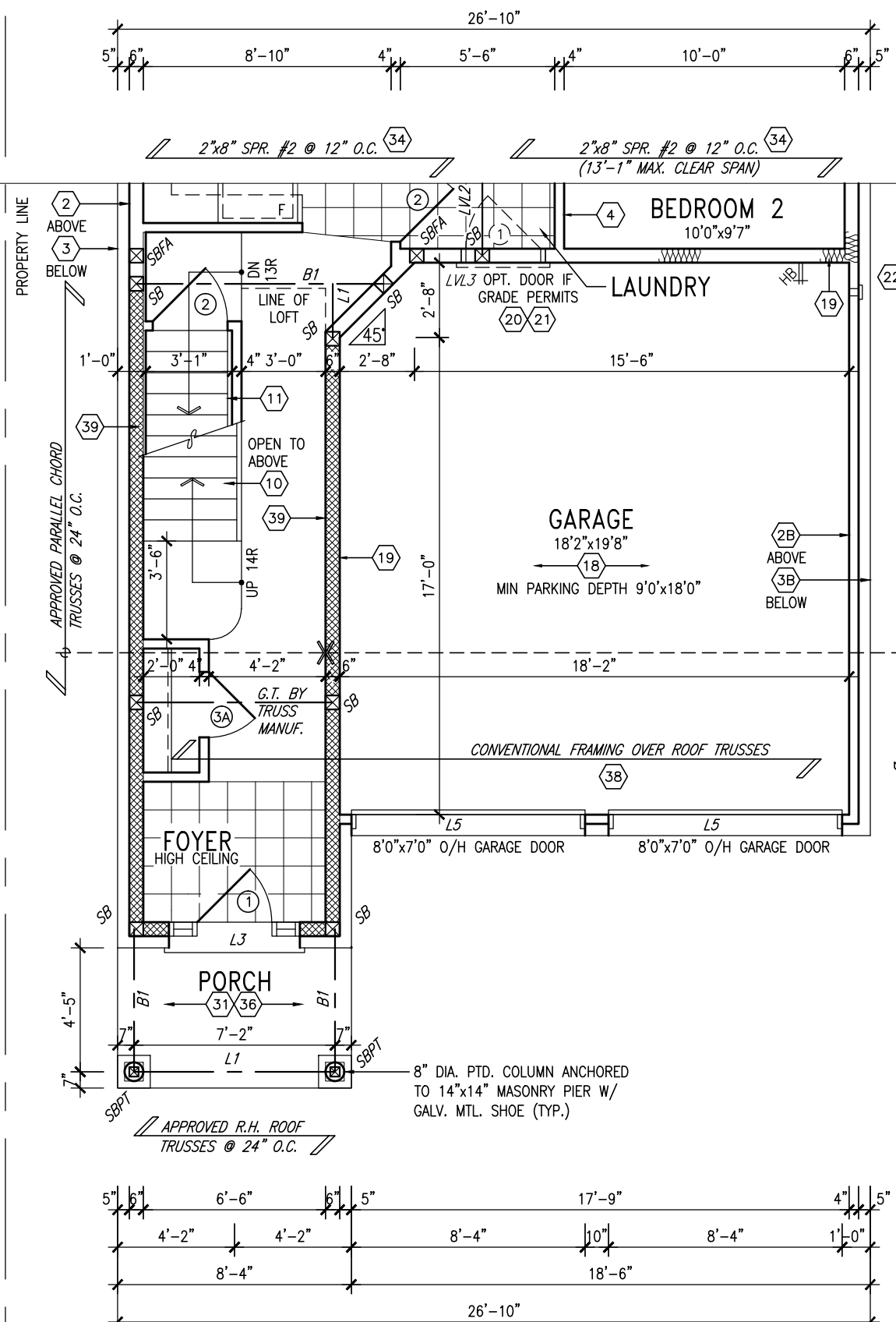
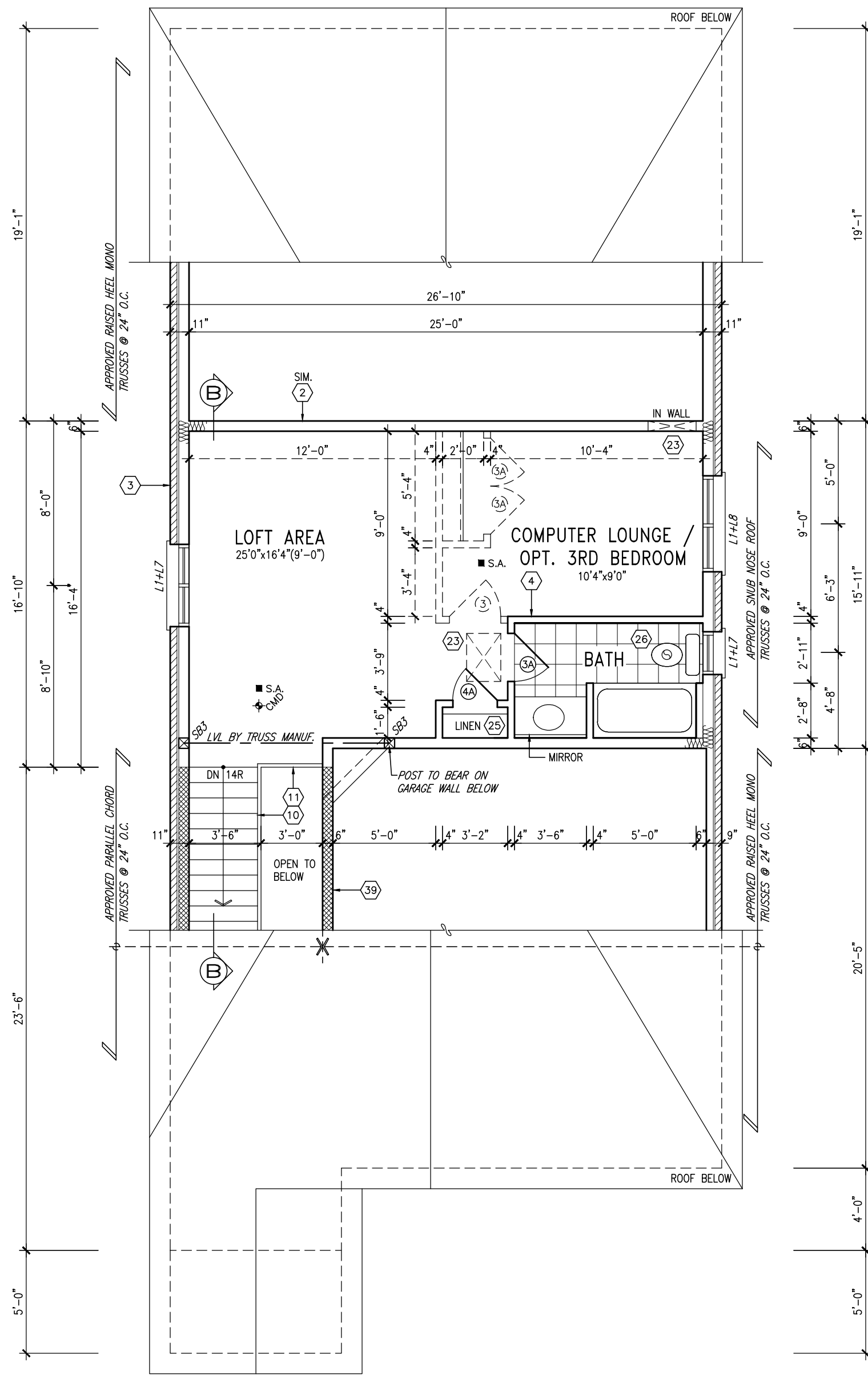




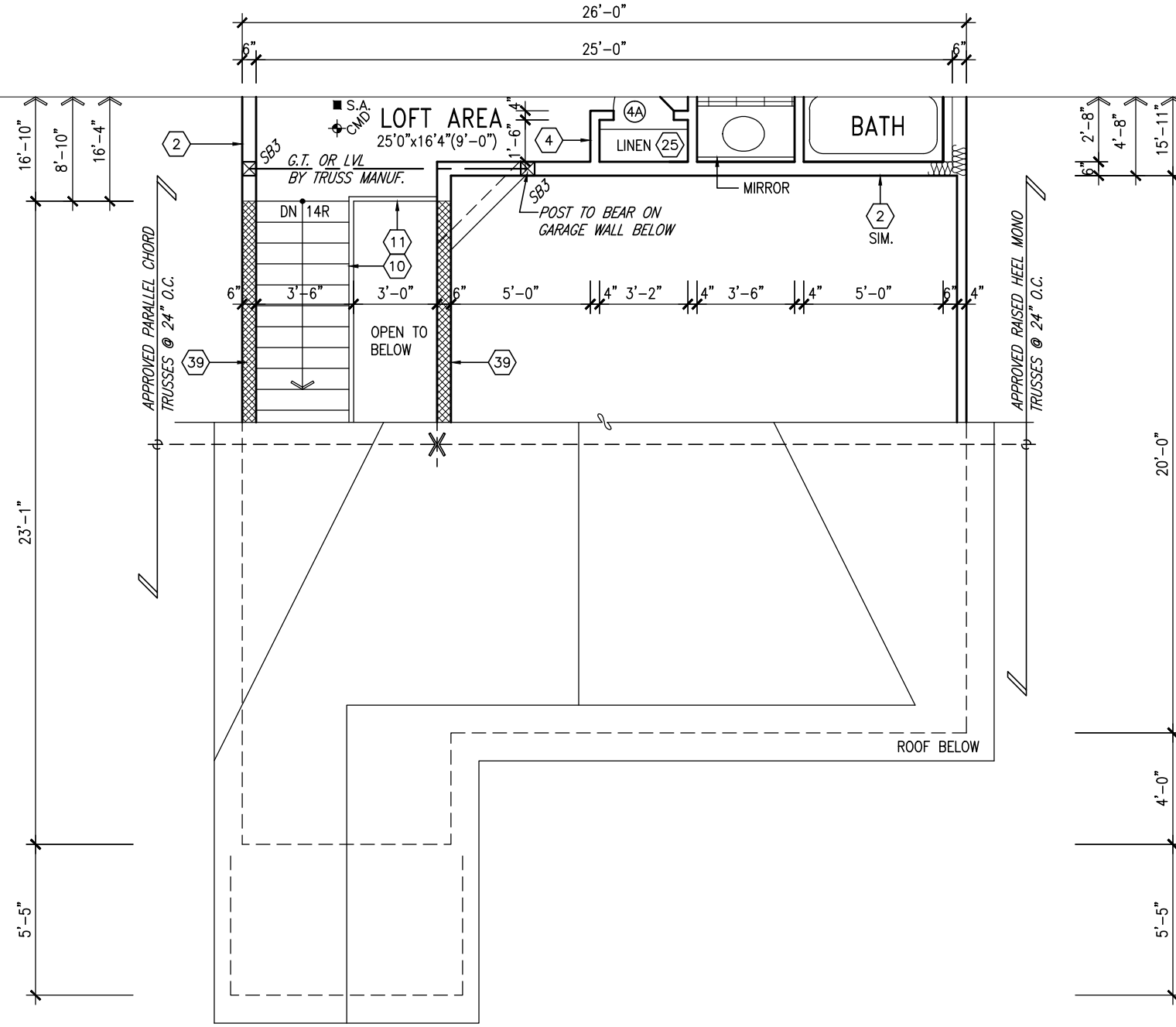
PARTIAL GROUND FLOOR PLAN
ELEV. 'B'



PARTIAL GROUND FLOOR PLAN
ELEV. 'B' W/OPTIONAL LOFT



OPT. LOFT PLAN
ELEV. 'A'



PARTIAL OPT. LOFT PLAN
ELEV. 'B'

NOTE:
TRUSS SHOP DRAWINGS FOR ALL ROOF TRUSS INFORMATION UNLESS OTHERWISE NOTED.

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM.
FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KN (300 lb).
REFER TO CBC: 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(f), AND DETAILS PROVIDED.

1 VERTICAL STUDS
9'-0" HIGH CEILINGS
2/2"x6" SPR. #2 OR 3/2"x4" SPR. #2

VERTICAL STUDS
8'-0" HIGH CEILINGS
2/2"x6" SPR. #2 OR 3/2"x4" SPR. #2 (4" WALL)
6-3 1/2" LONG COMMON NAILS

2 SOLID BLOCKING
2/2"x8" SPR. #2 NAILED WITH 3-ROWS OF 3" LONG COMMON NAILS @ 6" O.C. AND END NAILED TO STUDS WITH 6-3 1/2" LONG COMMON NAILS

BUILT-UP WOOD POST:
DOUBLE OR TRIPLE STUDS NAILED TOGETHER W/ 3" LONG COMMON NAILS @ 11 3/4" O.C. MAX. VERT. (AS PER O.B.C. 9.17.4.2.)

2/2"x8 BLOCKING
TRIPLE 2x4 STUD OR DOUBLE 2x6 STUD

SOLID BLOCKING PLAN DETAIL

SOLID BLOCKING ELEVATION DETAIL

GB1 FUTURE GRAB BAR @ TOILET

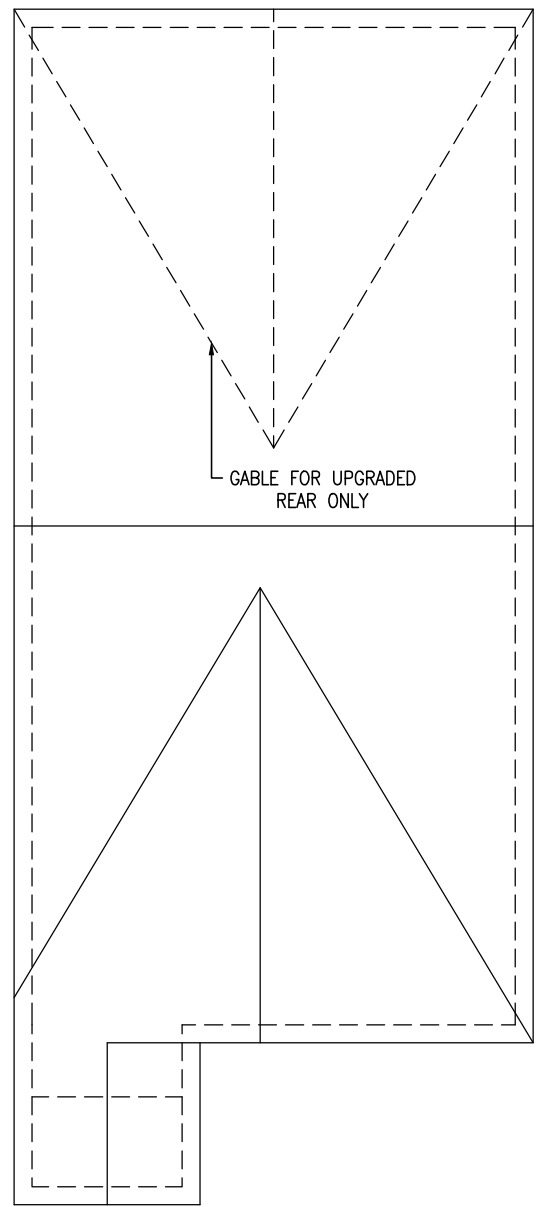
GB1A FUTURE DIAGONAL GRAB BAR DETAIL

GB1B FUTURE L-SHAPE GRAB BAR DETAIL

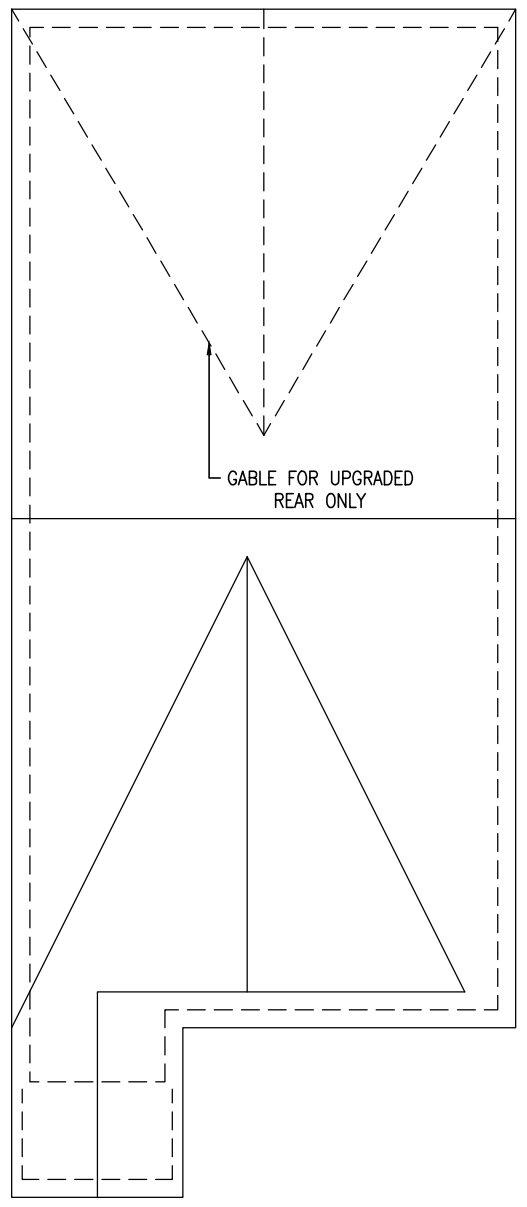
GB2 FUTURE U-SHAPE GRAB BAR @ TOILET W/ REAR GRAB BAR

GB2 FUTURE U-SHAPE GRAB BAR @ TOILET W/ REAR GRAB BAR

GB3 FUTURE GRAB BAR IN SHOWER / BATHTUB



ROOF PLAN
ELEV. 'A'



ROOF PLAN
ELEV. 'B'

AREA CALCULATIONS W/LOFT	ELEV. A	ELEV. B
GROUND FLOOR AREA	1138 SF	1138 SF
LOFT FLOOR AREA	434 SF	421 SF
SUBTOTAL	1572 SF	1559 SF
DEDUCT ALL OPEN AREAS	XX SF	XX SF
TOTAL NET AREA	1572 SF (145.0m ²)	1559 SF (144.6m ²)
FINISHED BSMT AREA	XX SF	XX SF
COVERAGE W/OUT PORCH	1520 SF (141.2 m ²)	1520 SF (141.2 m ²)
COVERAGE W/ PORCH	1562 SF (145.1 m ²)	1562 SF (145.1 m ²)

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR CLIENT REVIEW	SEPT 26/07 KL	
2	REVISED AS PER TRUSS MANUF.'S COMMENTS	NOV 14/07 KL	
3	REVISED AS PER ENGINEER'S COMMENTS	DEC. 11/07 KL	
4	ISSUED FOR PERMIT	DEC. 19/07 KL	
5	REVISED AS PER TRUSS MANUF.'S COMMENTS	JAN. 11/08 KL	
6	CHANGE WINDOW MANUF./ UPDATE TO 2012	MAR. 19/12 AM	
7	UPDATE CBC 2012	MAY 27-14 OS	
8	REVISED AS PER ENG. COMMENTS	AUG 01-14 RE	

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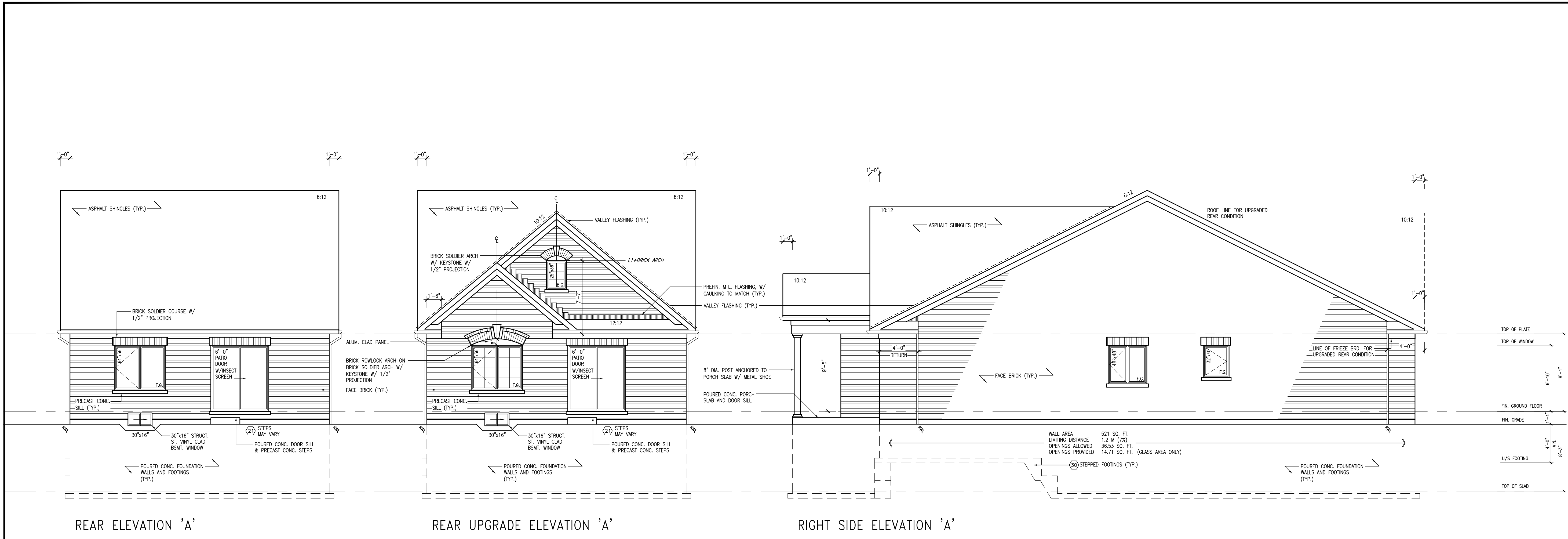
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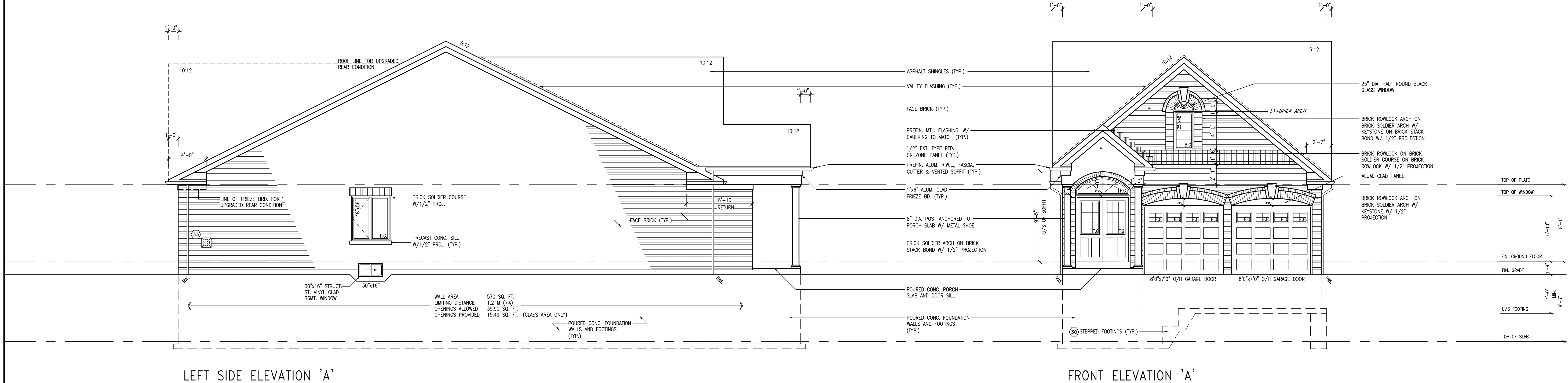
PROJECT NAME	VICTORIA VILLAGE	PROJECT NO.	07004
CLIENT	ST CATHERINES		
DATE	PRESTON 6		

35-5

OPT. LOFT ELEV. 'A' PART. FLOOR PLANS ELEV. 'B'



UNINSULATED OPENINGS (PER GBC 38-12.2.1.1.7)		ELEVATION A
TOTAL INSULATED WALL AREA	1731.96 S.F.	160.90 S.M.
TOTAL UNINSULATED OPENINGS	107.22 S.F.	9.96 S.M.
PERCENTAGE OF OPENINGS	6.19 %	6.19 %



UNINSULATED OPENINGS (PER GBC 38-12.2.1.1.7)		ELEVATION A
TOTAL INSULATED WALL AREA	1731.96 S.F.	160.90 S.M.
TOTAL UNINSULATED OPENINGS	107.22 S.F.	9.96 S.M.
PERCENTAGE OF OPENINGS	6.19 %	6.19 %

no.	description	date	by
1	ISSUED FOR CLIENT REVIEW	SEPT 26/07 KL	
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4	ISSUED FOR PERMIT	DEC. 19/07 KL	
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6	CHANGE WINDOW MANUF./ UPDATE TO 2012	MAR 19/12 AA	
7	UPDATE GBC 2012	MAY 27-14 OS	
8	REVISED AS PER ENG. COMMENTS	AUG 01-14 RE	

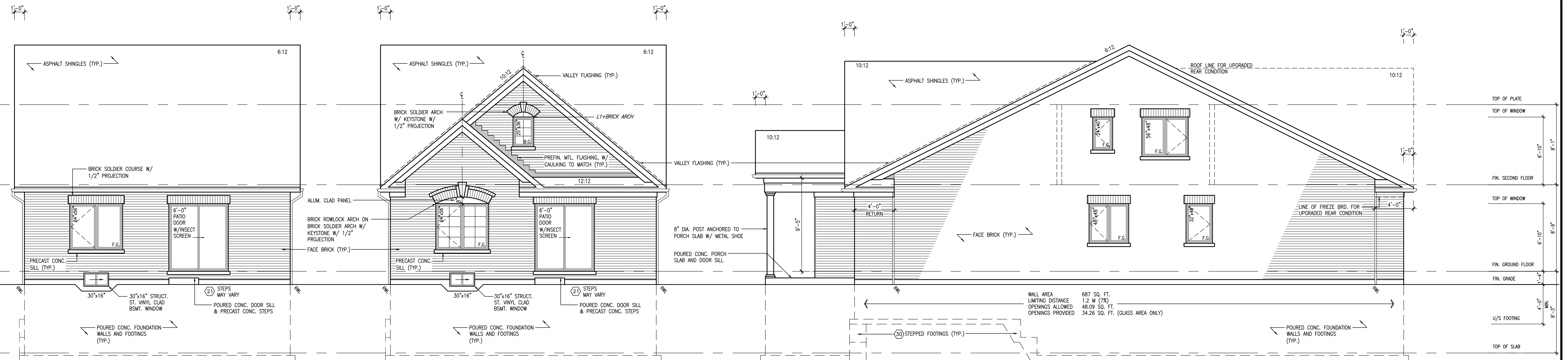
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BAYVIEW WELLINGTON			
project name	VICTORIA VILLAGE	project no.	07004
location	ST. CATHARINES	sheet no.	35-5
date	PRESTON 6	drawing title	ELEV. 'A' STANDARD CONDITION
drawn by	JANE 2007	checked by	3/16" = 1'-0"
date	07004-35-5-08C2012	drawn by	3/6

35-5

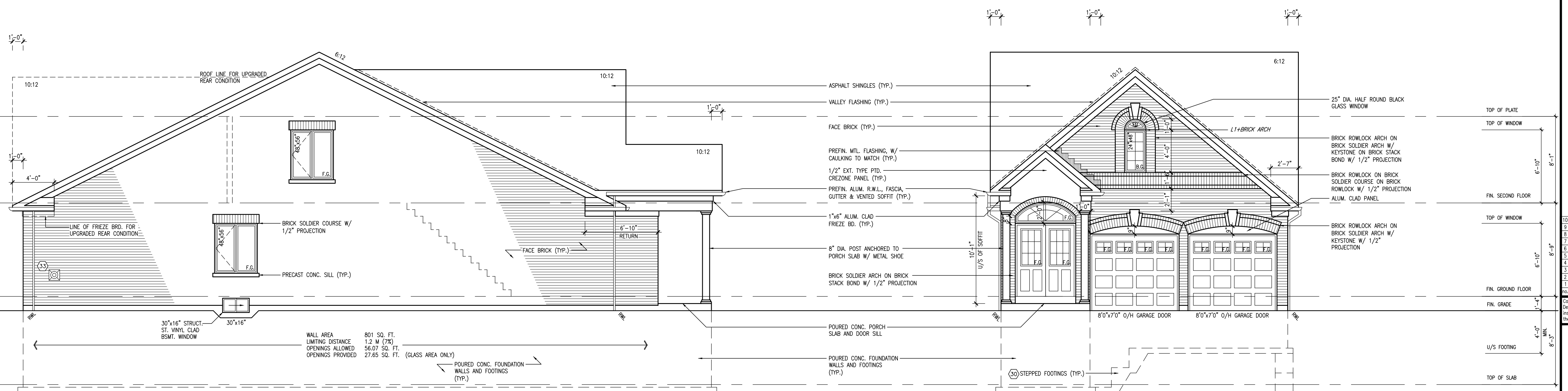


REAR ELEVATION 'A'
WITH OPTIONAL LOFT

REAR UPGRADE ELEVATION 'A'
WITH OPTIONAL LOFT

RIGHT SIDE ELEVATION 'A'
WITH OPTIONAL LOFT

UNINSULATED OPENINGS (PER CBC: SB-12.2.1.1.7)	ELEVATION A LOFT
TOTAL INSULATED WALL AREA	2044 S.F. 189.89 S.M.
TOTAL UNINSULATED OPENINGS	170.92 S.F. 15.88 S.M.
PERCENTAGE OF OPENINGS	8.36 % 8.36 %



LEFT SIDE ELEVATION 'A'
WITH OPTIONAL LOFT

FRONT ELEVATION 'A'
WITH OPTIONAL LOFT

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR CLIENT REVIEW	SEPT 26/07 KL	
2	REVISED AS PER TRUSS MANUF.'S COMMENTS	NOV 14/07 KL	
3	REVISED AS PER ENGINEER'S COMMENTS	DEC. 11/07 KL	
4	ISSUED FOR PERMIT	DEC. 19/07 KL	
5	REVISED AS PER TRUSS MANUF.'S COMMENTS	JAN. 11/08 KL	
6	CHANGE WINDOW MANUF./ UPDATE TO 2012	MAR. 19/12 AA	
7	UPDATE CBC 2012	MAY 27-14 OS	
8	REVISED AS PER ENG. COMMENTS	AUG 01-14 RE	

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PROJECT NAME: **VICTORIA VILLAGE**
PROJECT NO.: **07004**

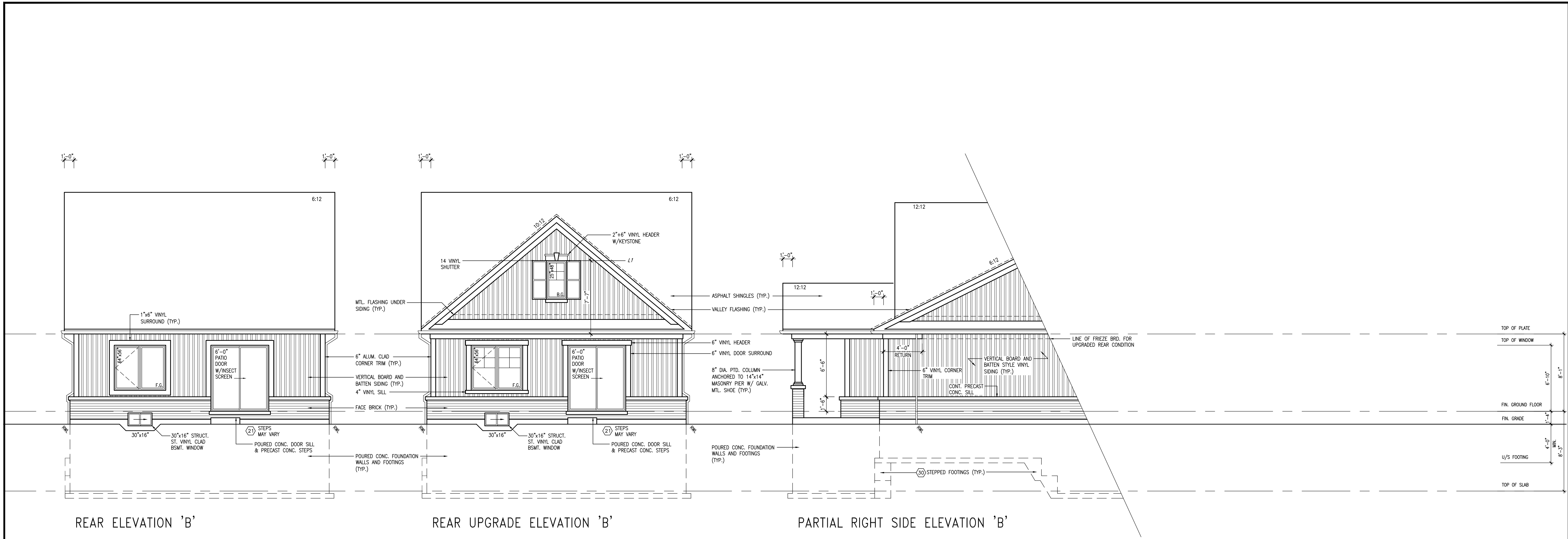
CLIENT: **ST. CATHARINES**
NAME: **PRESTON 6**

DATE: **JUNE 2007**
DRAWN BY: **JP**
CHECKED BY: **JP**
DATE: **07004-35-5-08C2012**

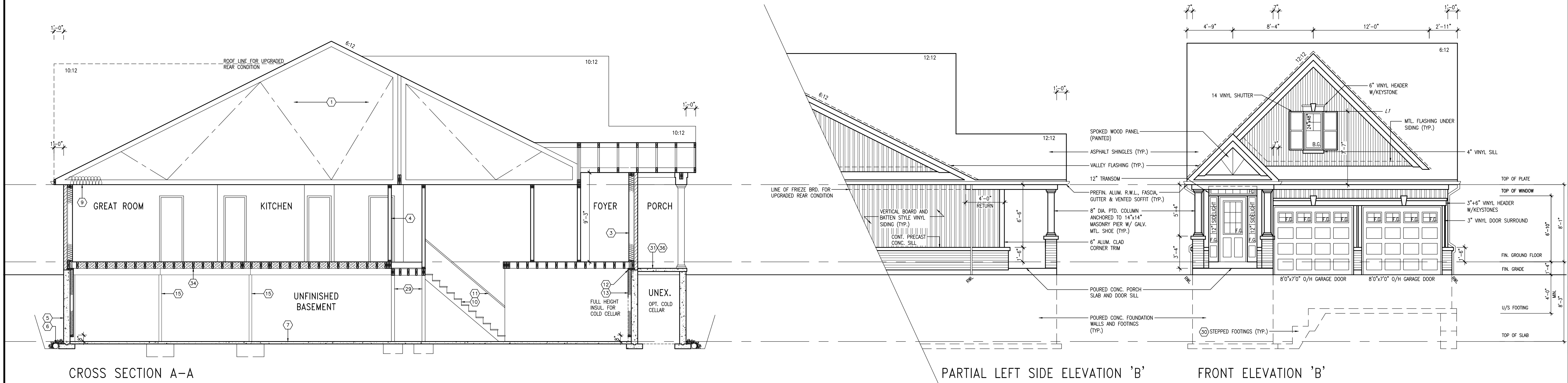
ELEV. 'A' OPT. LOFT CONDITION
3/16" = 1'-0"

35-5

4/6



UNINSULATED OPENINGS (PER GBC: SB-12.2.1.1.1.7)		ELEVATION B	
TOTAL INSULATED WALL AREA	1731.96 S.F.	160.90 S.M.	
TOTAL UNINSULATED OPENINGS	107.22 S.F.	9.96 S.M.	
PERCENTAGE OF OPENINGS	6.19 %	6.19 %	



NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR CLIENT REVIEW	SEPT 26/07	KL
2	REVISED AS PER TRUSS MANUF.'S COMMENTS	NOV 14/07	KL
3	REVISED AS PER ENGINEER'S COMMENTS	DEC. 11/07	KL
4	ISSUED FOR PERMIT	DEC. 19/07	KL
5	REVISED AS PER TRUSS MANUF.'S COMMENTS	JAN. 11/08	KL
6	CHANGE WINDOW MANUF./ UPDATE TO 2012	MAR. 19/12	AM
7	UPDATE GBC 2012	MAY 27-14	OS
8	REVISED AS PER ENG. COMMENTS	AUG 01-14	RE

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BAYVIEW WELLINGTON			
Project Name	VICTORIA VILLAGE	Project No.	07004
Client	ST CATHERINES	Scale	3/16" = 1'-0"
Address	PRESTON 6	Sheet No.	35-5
ELEV. 'B' STANDARD CONDITION		Drawn by	JP
DATE		Checked by	JP
JUNE 2007		File Name	07004-35-5-08C2012
Drawn by		Scale	3/16" = 1'-0"
JP		Sheet No.	35-5
		Sheet No.	5/6

35-5

COMPLIANCE TO OBC SB-12 2.1.1.1(11)

WOB PLAN

WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

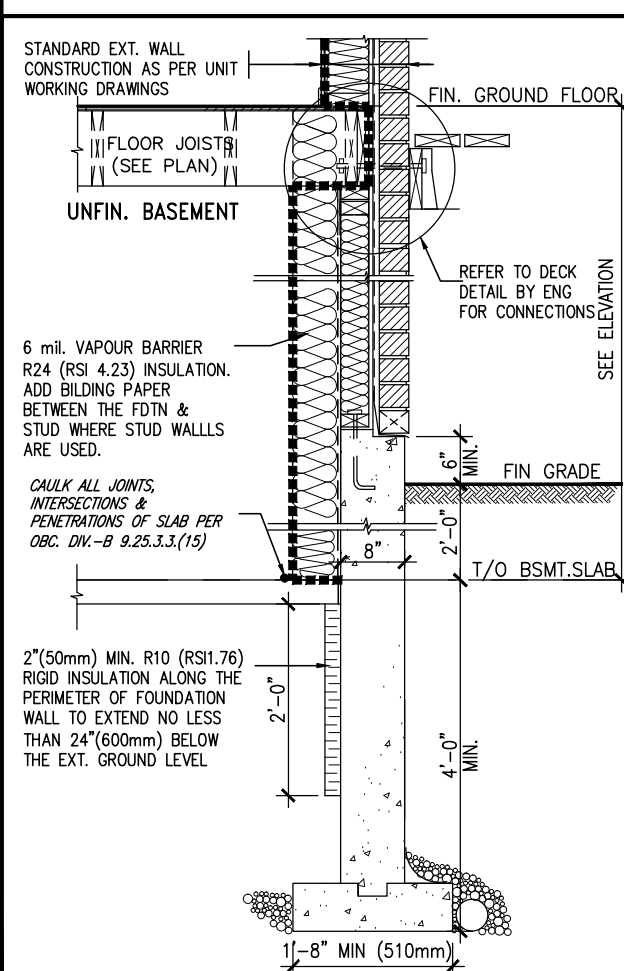
WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A

WOB SIDE ELEVATION

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 2.1.1.1

USE SB-12 COMPLIANCE PACKAGE (J);

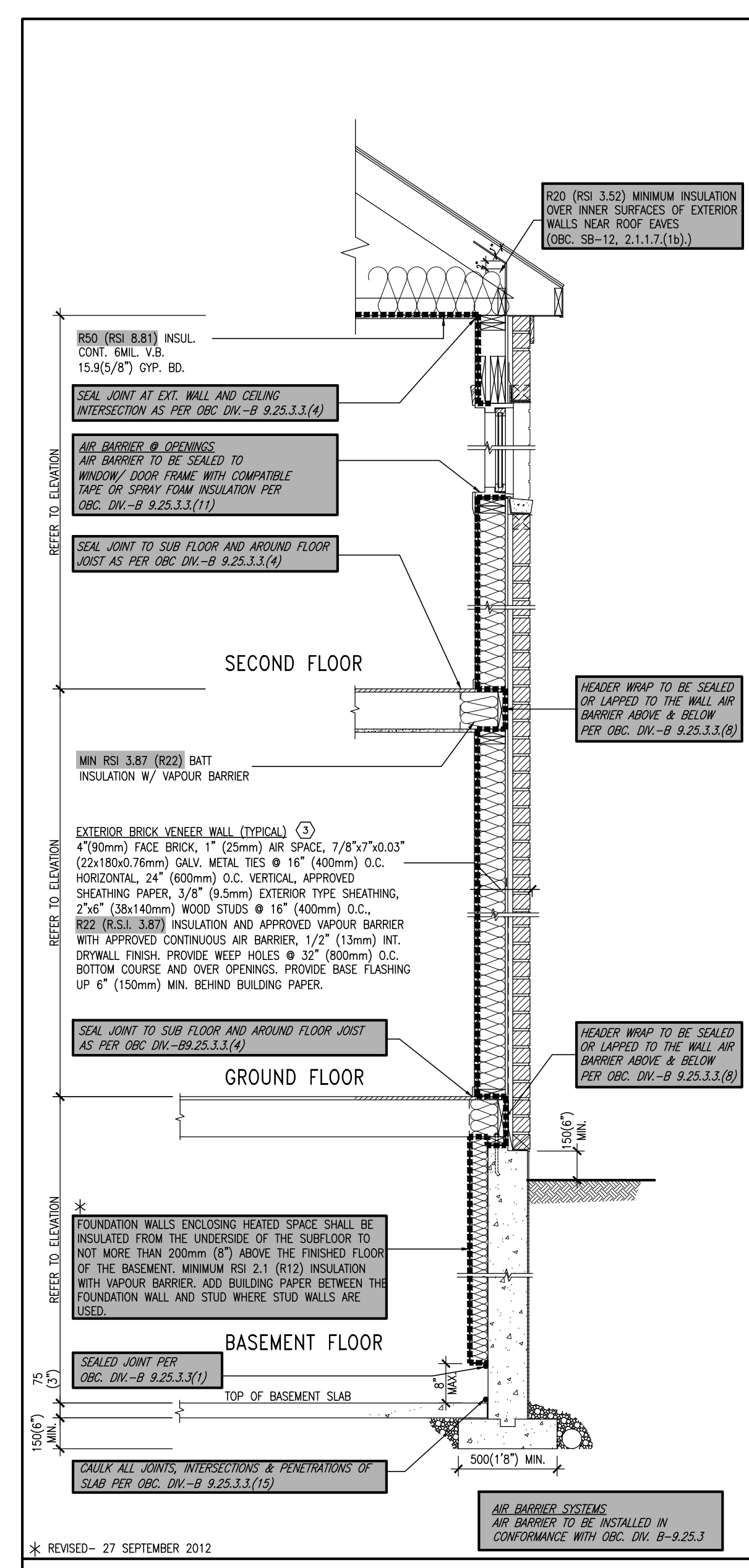
COMPONENT	J	Notes:
Ceiling with Attic Space	8.81 (R50)	BLOWN -LOOSE
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Exposed Floor	5.46 (R31)	BATT or SPRAY
Walls Above Grade	3.87 (R22)	6" R22 BATT
Basement Walls	2.11 (R12)	4" R12 BLANKET
Edge of Below Grade Slab ≤600mm below grade	1.76 (R10)	RIGID INSUL
Windows & Sliding glass Doors	1.8	DOUBLE PANE LOW EMISSIVITY
Skylights	2.8	DOUBLE PANE LOW EMISSIVITY
Space Heating Equipment	94%	NATURAL GAS
Hot Water Heater	0.67	NATURAL GAS
HRV	60%	-



* REVISED - 15 MARCH 2013

SECTION AT W.O.D/W.O.B.

PACKAGE J



EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION W/ BRICK VENEER SCALE: 1/2" = 1'-0"

UNINSULATED OPENINGS (PER OBC, SB-12.2.1.1(7))	ELEVATION B
TOTAL INSULATED WALL AREA	2044 S.F. 189.89 S.M.
TOTAL UNINSULATED OPENINGS	170.92 S.F. 15.85 S.M.
PERCENTAGE OF OPENINGS	8.36 % 8.36 %

REAR ELEVATION 'B' WITH OPTIONAL LOFT

REAR UPGRADE ELEVATION 'B' WITH OPTIONAL LOFT

PARTIAL RIGHT SIDE ELEVATION 'B' WITH OPTIONAL LOFT

PARTIAL LEFT SIDE ELEVATION 'B' WITH OPTIONAL LOFT

FRONT ELEVATION 'B' WITH OPTIONAL LOFT

CROSS SECTION B-B

35-5

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	DEC. 19/07 KL	
2	REVISED AS PER ENGINEER'S COMMENTS	NOV. 14/07 KL	
3	REVISED AS PER TRUSS MANUFACTURER'S COMMENTS	SEPT. 26/07 KL	
4	ISSUED FOR CLIENT REVIEW		

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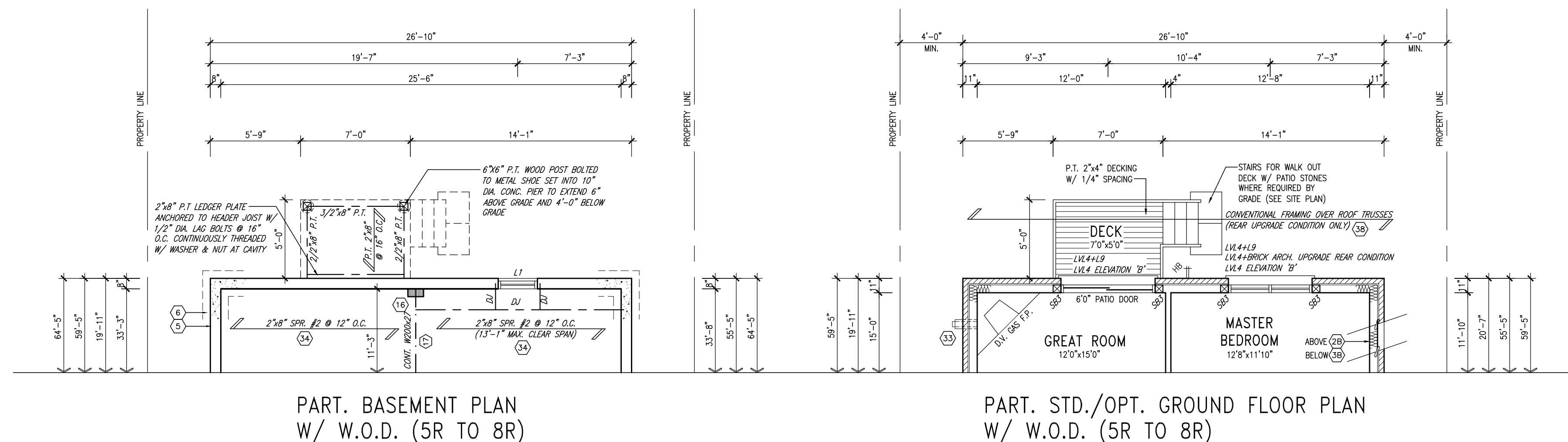
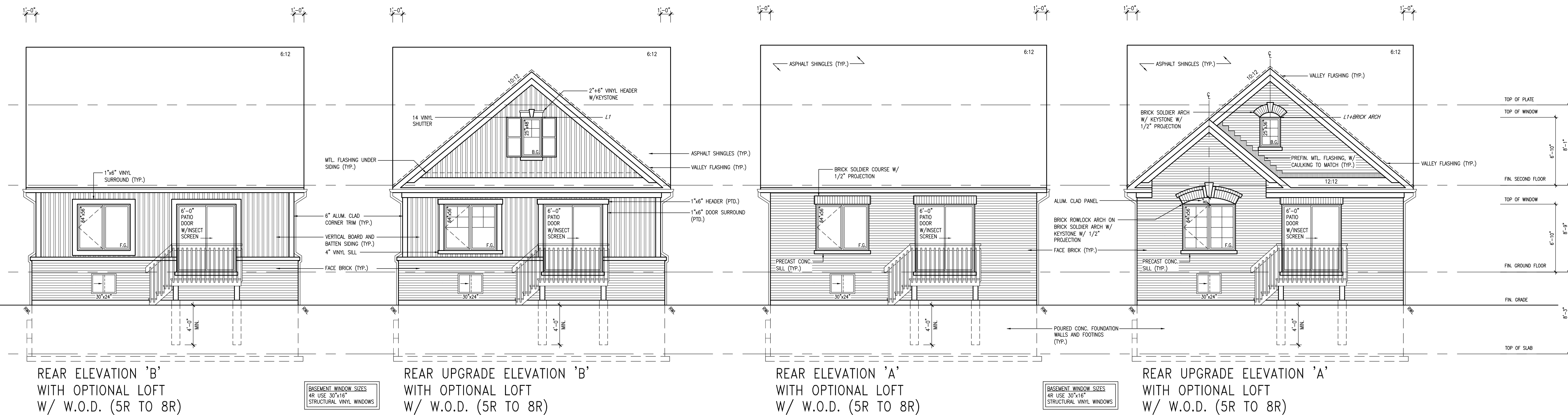
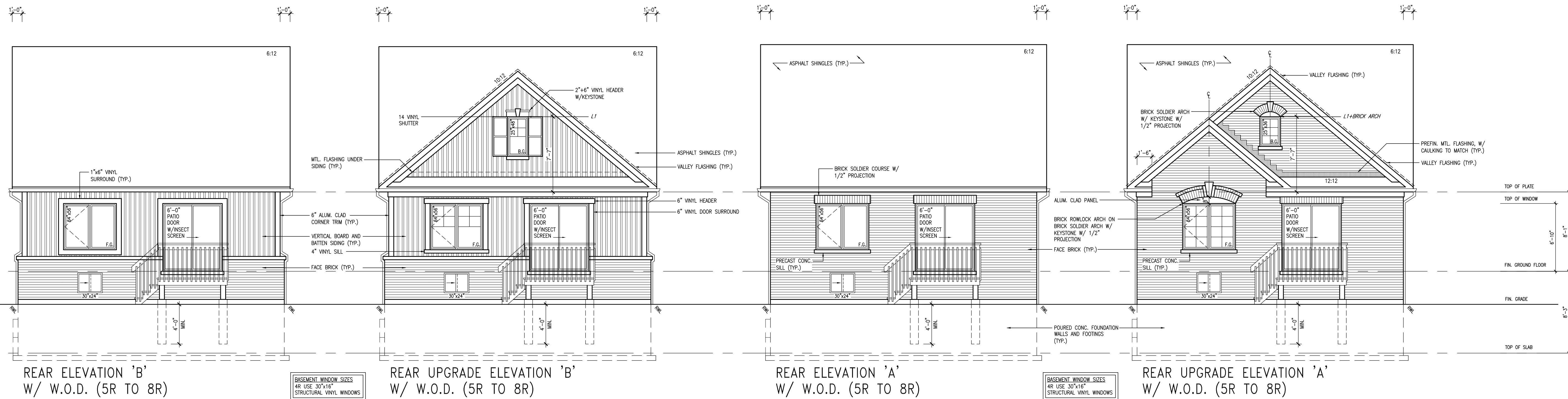
BAYVIEW WELLINGTON

Project Name: **VICTORIA VILLAGE**
Client: **ST. CATHARINES**
Phase: **PRESTON 6**

Project No.: **07004**
Elev. "B" OPT. LOFT CONDITION
Scale: **3/16" = 1'-0"**
Date: **2007**
Drawn by: **JP**
Checked by: **JP**
Project No.: **07004-35-5-08C2012**

35-5

6/6



10	ISSUED FOR CLIENT REVIEW	SEPT 26/07 KL
9	REVIEWED AS PER TRUSS MANUF.'S COMMENTS	NOV 14/07 KL
8	ISSUED FOR PERMIT	DEC 11/07 KL
7	REVIEWED AS PER TRUSS MANUF.'S COMMENTS	NOV 14/07 KL
6	CHANGE WINDOW MANUF./ UPDATE TO 2012	MAR 19/12 AA
5	REVIEWED AS PER TRUSS MANUF.'S COMMENTS	JAN 11/08 KL
4	UPDATE GBC 2012	MAY 27-14 OS
3	REVIEWED AS PER ENG. COMMENTS	AUG 01-14 RE
2	REVISIONS AS PER ENG. COMMENTS	
1	ISSUED AS PER ENG. COMMENTS	

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PROJECT NAME: VICTORIA VILLAGE
PROJECT NO: 07004
ST CATERINES
PRESTON 6
35-5
FLOOR PLANS 'A'
DATE: 2007
DRAWN BY: [signature]
CHECKED BY: [signature]
DATE: 07004-35-5-08C001

35-5