

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Whitby.

ARCHITECTURAL REVIEW & APPROVAL

SEP 22 2015

John S. Williams Limited, Architect

NOTE: (TYPICAL)
PROVIDE SOLID WOOD BLOCKING
BETWEEN TOP OF STEEL BEAM
AND U/S OF SUBFLOOR ABOVE
WHERE POINT LOADS OCCUR.

JOB COPY

PLANS EXAMINED
SUBJECT TO REVISIONS NOTED

CHIEF BUILDING OFFICIAL
TOWN OF WHITBY DATE May 17, 2016

This examination does not exempt the Owner, Designer and the Builder from complying with all pertinent regulations and by-laws of the Town of Whitby and the Ontario Building Code.

Electrical Contractor
Registration Agency
of the
Electrical
Safety
Authority

ALL ELECTRICAL INSTALLATIONS
MUST BE INSPECTED BY THE
ELECTRICAL SAFETY AUTHORITY
SEPARATE INSPECTION
APPLICATIONS MUST BE FILED
FOR MORE INFORMATION PLEASE CALL:
1-877-ESA-SAFE (572-7233)
PLUG IN SAFELY. HIRE A LICENSED
ELECTRICAL CONTRACTOR
FIND A CONTRACTOR AT
www.plugsafely.ca



SEPT 21, 2015

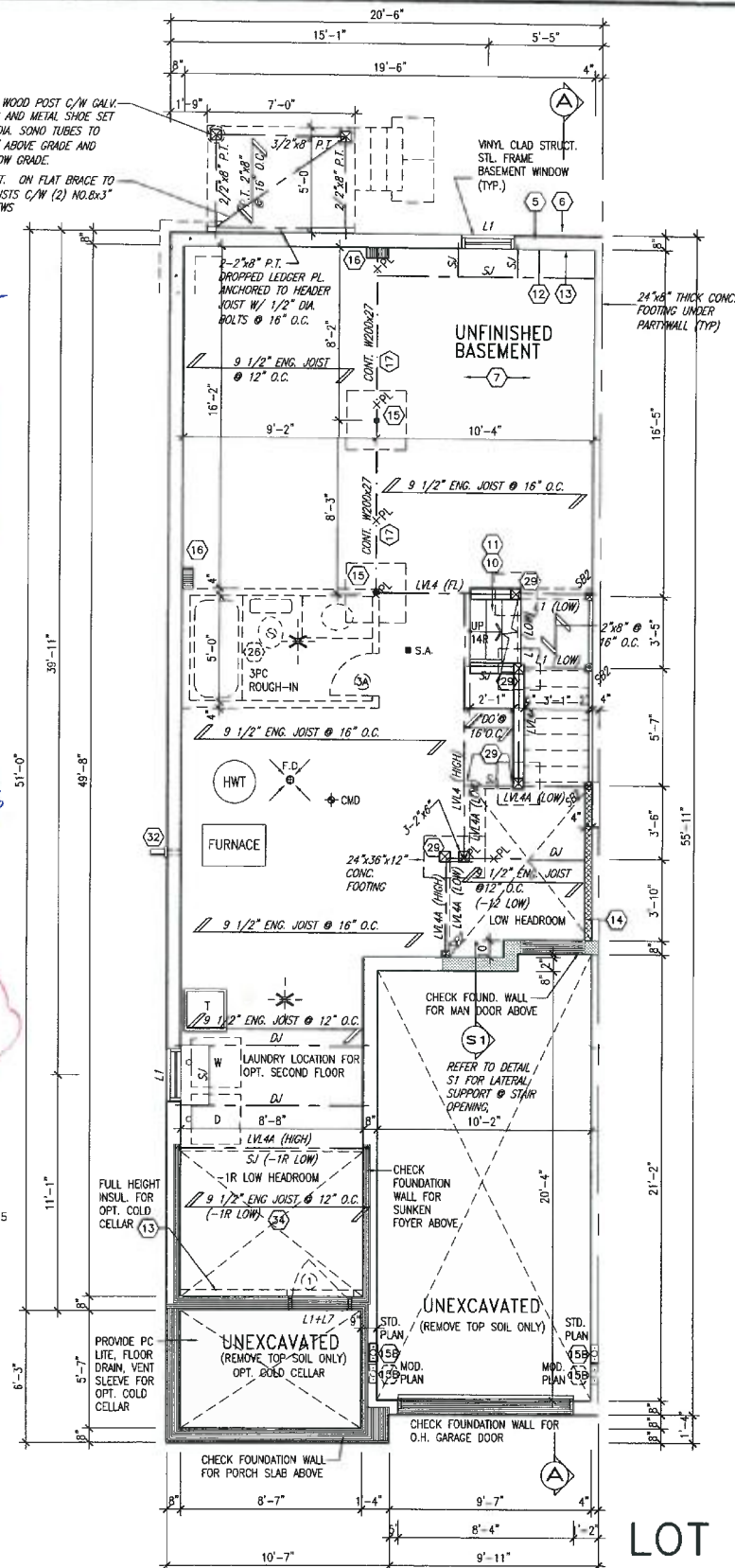
NOTE:
REFER TO FLOOR TRUSS MANUF. FOR
FLOOR TRUSS LAYOUTS & LVL SIZES.

NOTE:
S/B SUBFLOOR TO BE GLUED AND NAILED.
SPACE ALL FLOOR JOISTS @ 12" O.C.
UNDER ALL CERAMIC TILE AREAS.

AREA CALCULATIONS	EL. A STD.	EL. A MOD.
GROUND FLOOR AREA	872 SF	872 SF
SECOND FLOOR AREA	1068 SF	1079 SF
SUBTOTAL	1940 SF	1951 SF
DEDUCT ALL OPEN AREAS	11 SF	11 SF
TOTAL NET AREA	1929 SF (179.21 m ²)	1940 SF (180.23 m ²)
FINISHED BSMT AREA	0 SF	0 SF
COVERAGE W/OUT PORCH	1101 SF (102.29 m ²)	1101 SF (102.29 m ²)
COVERAGE W/ PORCH	1160 SF (107.76 m ²)	1160 SF (107.76 m ²)

6"x6" P.T. WOOD POST C/W GALV.
METAL CAP AND METAL SHOE SET
INTO 12" DIA. SAND TUBES TO
EXTEND 6" ABOVE GRADE AND
4'-0" BELOW GRADE.

1-2"x4" P.T. ON FLAT BRACE TO
U/S OF JOISTS C/W (2) NO.8x3"
DECK SCREWS



BASEMENT PLAN ELEV. 'A', 'A' MOD. APPLEBY 4

JOB COPY

PERMIT NO. 16-100205

LOT 8
25-4

9					
8					
7					
6					
5					
4					
3	REVISED AS PER ENG COMMENTS	15-09-17	RC		
2	ADD FOR LOT B	15-07-07	RC		
1	ISSUED FOR CLIENTS REVIEW	15-05-21	CL		
no.	description	date	by		

VAD
DESIGN

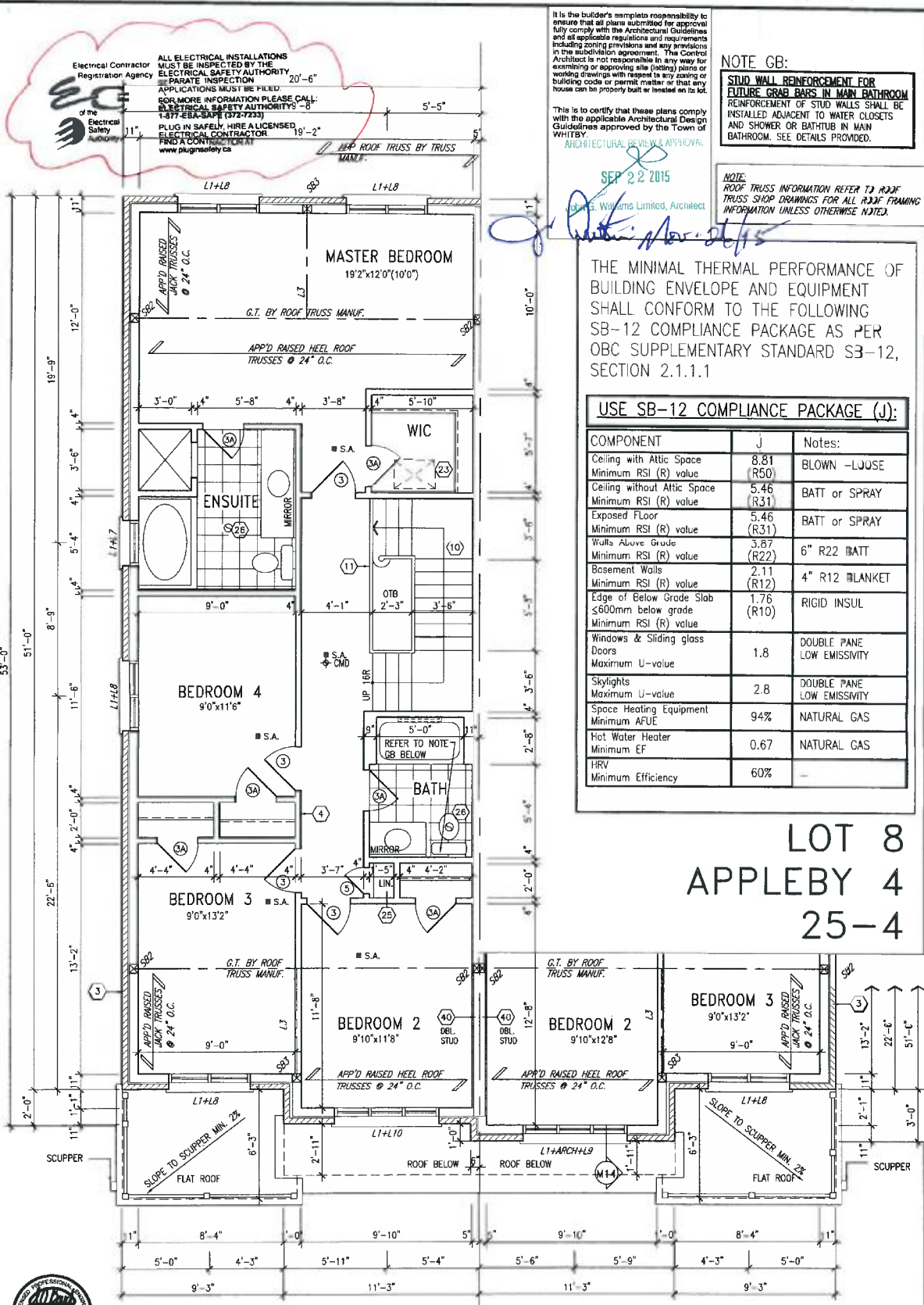
300A Wilson Avenue
Toronto ON M5H 1S8
416.630.2255 | 416.630.4782
vadesign.com

BAYVIEW WELLINGTON

UNIT 25-4
APPLEBY 4

project name	CORNERBROOK	municipality	WHITBY, ON	project no.	14037
date	MARCH 2015	checked by	scale	1/16" = 1'-0"	14037-25-4-101R
drawn by	checked by	scale	1/16" = 1'-0"	14037-25-4-101R	1
RICHARD - 16\ARCHIVE\WORKING\2014\14037-25-4-101R.dwg - Fri - Sep 18 2015 - 2:31 PM					

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OPT. SECOND FLOOR PLAN
ELEV. 'A' 4 BEDROOM

OPT. PARTIAL SECOND
FLOOR PLAN ELEV. 'A' MOD

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ARCHITECTURAL REVIEW & APPROVAL

SEP 22 2015

John G. Williams Limited, Architect

NOTE GB:
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. SEE DETAILS PROVIDED.

NOTE:
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD S3-12, SECTION 2.1.1.1

USE SB-12 COMPLIANCE PACKAGE (J):		
COMPONENT	J	Notes:
Ceiling with Attic Space	8.81 (R50)	BLOWN - LOOSE
Minimum RSI (R) value		
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Exposed Floor	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Walls Above Grade	3.87 (R22)	6" R22 BATT
Minimum RSI (R) value		
Basement Walls	2.11 (R12)	4" R12 BLANKET
Minimum RSI (R) value		
Edge of Below Grade Slab ≤600mm below grade	1.76 (R10)	RIGID INSUL
Minimum RSI (R) value		
Windows & Sliding glass Doors	1.8	DOUBLE PANE LOW EMISSIVITY
Maximum U-value		
Skylights	2.8	DOUBLE PANE LOW EMISSIVITY
Maximum U-value		
Space Heating Equipment	94%	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.67	NATURAL GAS
Minimum EF		
HRV	60%	
Minimum Efficiency		

LOT 8
APPLEBY 4
25-4

3	REVISED AS PER ENG COMMENTS	15-09-17	RC
2	ADD FOR LOT 8	15-07-07	RC
1	ISSUED FOR CLIENTS REVIEW	15-05-21	CL
no.	description	date	by

The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jane-Baptiste 25591

signature

registration information

VAS Design Inc. 42858

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAS DESIGN

300A Wilson Avenue
Toronto, ON M4H 1S8
1 416.630.2255 / 416.630.4782
vasdesign.com

BAYVIEW WELLINGTON

project name: CORNERBROOK municipality: WHITBY, ON project no: 14037

date: MARCH 2015 checked by: scale: 3/16" = 1'-0" drawing no: 14037-25-4-1078

designed by: H:\ARCHIVE\WORKING\2014\14037 BAYVIEW\25-4-1078.dwg - Fri - Sep 18, 2015 - 2:31 PM

UNIT 25-4
APPLEBY 4

OPT. SECOND FLOOR PLAN A

4

STANDARD

OPT. PLAN

UNINSULATED OPENINGS PER OBC SB-12.1.1(7)		
25-4 ELEVATION A: STD & MOD	ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F. OPENING S.F. PERCENTAGE	
FRONT	410 S.F. 65.22 S.F. 16.15 %	
LEFT SIDE	1080 S.F. 73.56 S.F. 6.81 %	
RIGHT SIDE	1080 S.F. 0.00 S.F. 0.00 %	
REAR	410 S.F. 123.67 S.F. 30.16 %	
TOTAL SQ. FT.	2980.00 S.F. 263.45 S.F. 8.84 %	
TOTAL SQ. M.	276.65 S.M. 24.48 S.M. 8.84 %	

UNINSULATED OPENINGS PER OBC SB-12.1.1(7)		
25-4 ELEVATION A: STD & MOD	ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F. OPENING S.F. PERCENTAGE	
FRONT	410 S.F. 65.22 S.F. 16.15 %	
LEFT SIDE	1080 S.F. 84.22 S.F. 7.80 %	
RIGHT SIDE	1080 S.F. 0.00 S.F. 0.00 %	
REAR	410 S.F. 123.67 S.F. 30.16 %	
TOTAL SQ. FT.	2980.00 S.F. 274.11 S.F. 9.20 %	
TOTAL SQ. M.	276.65 S.M. 25.47 S.M. 9.20 %	

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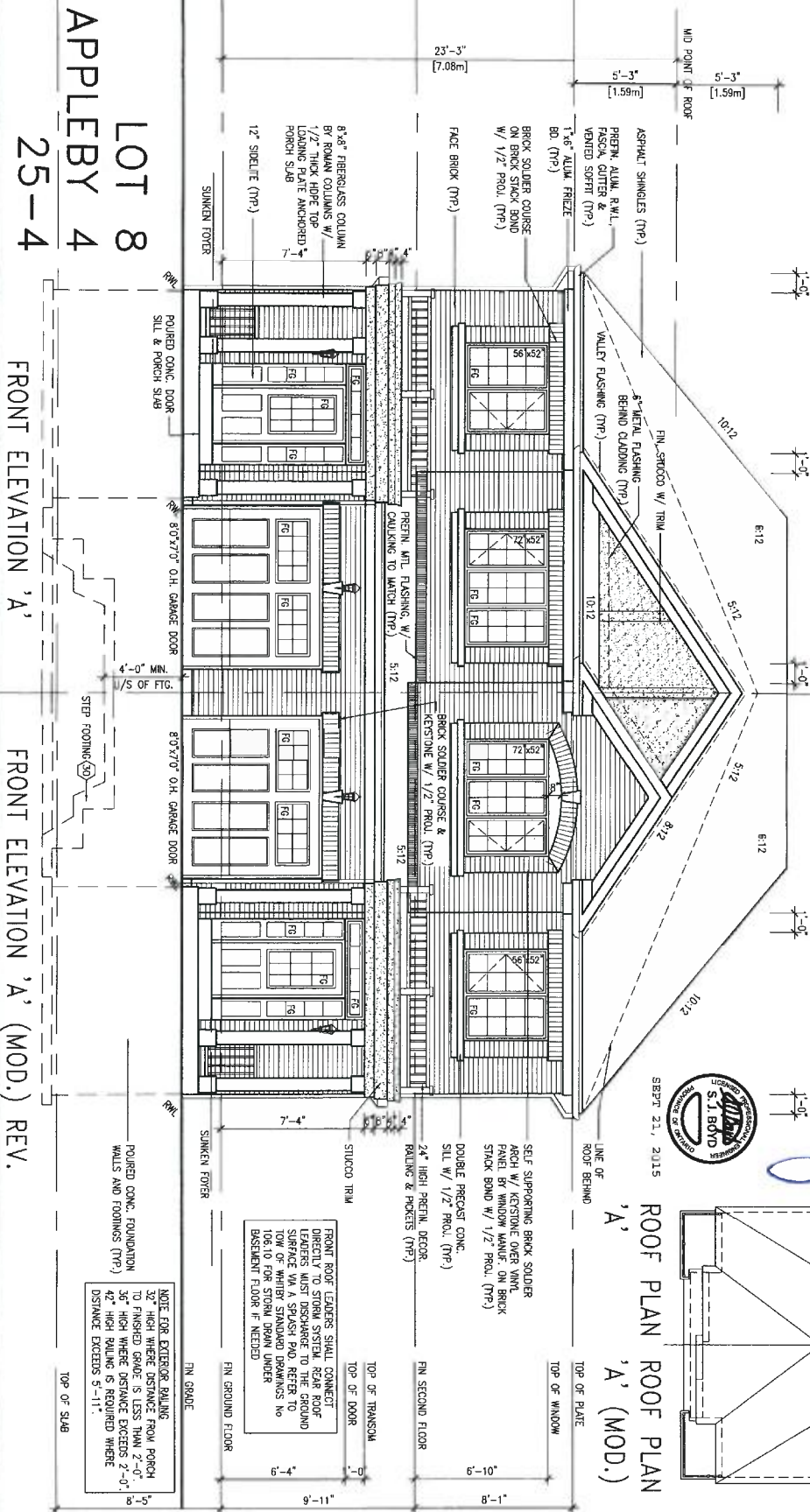
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Whitby.

ARCHITECTURAL REVIEW & APPROVAL

SEP 22 2015

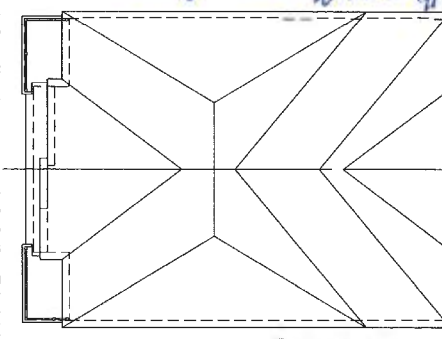
John S. Williams Licensed Architect

ALL KEYSTONE TO BE 3" TALLER THAN BRICK / STONE HEADERS



SEPT 21, 2015

ROOF PLAN
'A' (MOD.)



BAYVIEW WELLINGTON			UNIT 25-4	
CORNERBROOK			APPLEBY 4	
project name	WHITBY, ON	project no.	14037	
date	MARCH 2015	drawing no.	14037-25-4-10TB	5
checked by	scale	1/4" = 1'-0"		
drawn by	scale	3/16" = 1'-0"		
14037-25-4-10TB	14037-25-4-10TB	14037-25-4-10TB		

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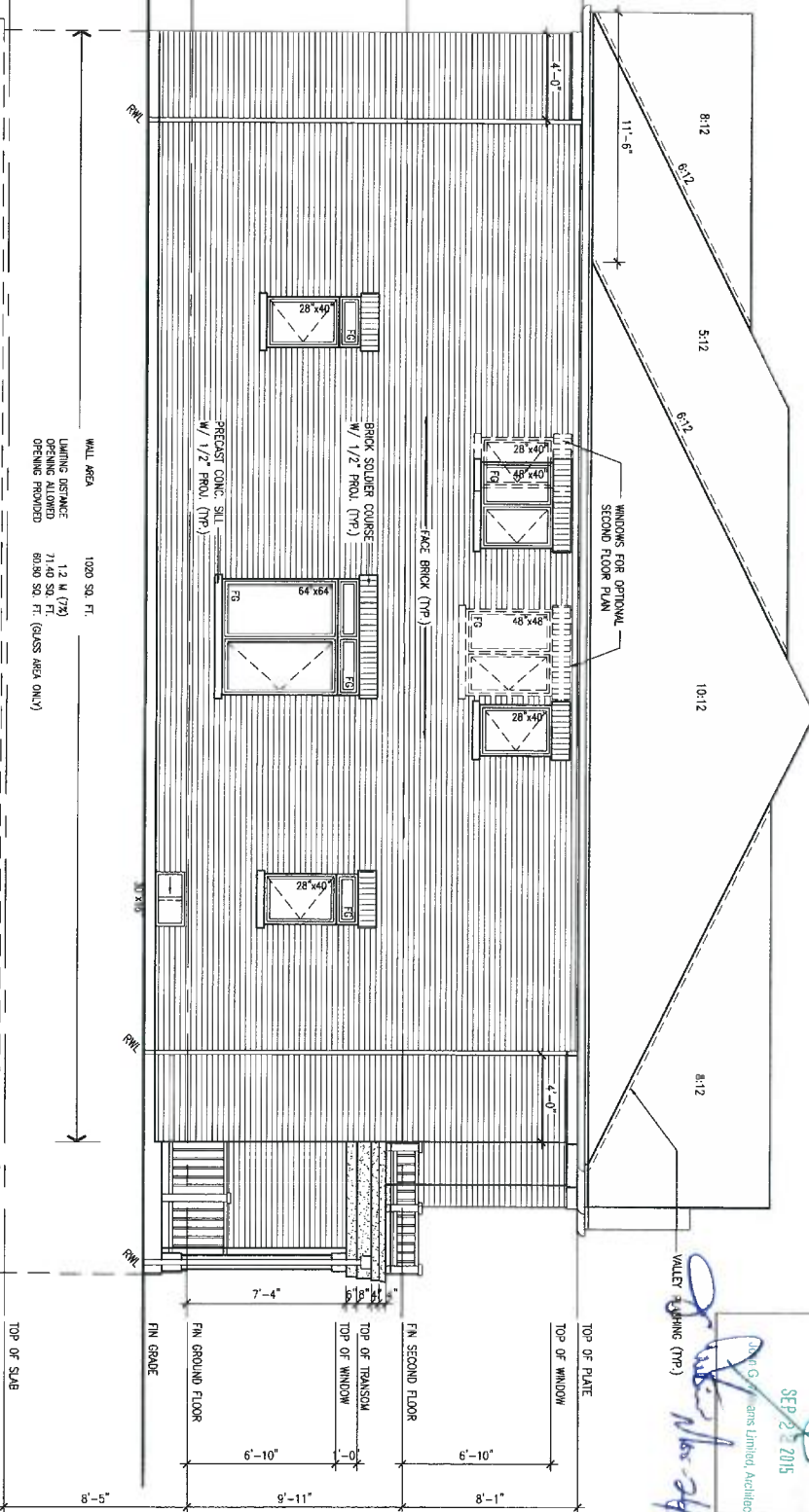
FRONT ROOF LEADERS SHALL CONNECT DIRECTLY TO STORM SYSTEM. REAR ROOF LEADERS MUST DISCHARGE TO THE GROUND SURFACE VIA A SPASH PAD. REFER TO TOW OF WHITBY STANDARD DRAWINGS NO. 106.10 FOR STORM DRAIN UNDER BASEMENT FLOOR IF NEEDED.

LEFT SIDE ELEVATION 'A'

WALL AREA
1020.00 SQ. FT.
ROOF AREA
725.11 SQ. FT.
LIMITING DISTANCE
1.2 M (7'6")
OPENING ALLOWED
71.40 SQ. FT.
OPENING PROVIDED
80.90 SQ. FT. (GLASS AREA ONLY)

REFER TO FRONT ELEVATION FOR ADDITIONAL NOTES

LOT 8
APPLEBY 4
25-4



SEPT 21, 2015

1'-0" 1'-0" 1'-0"

It is the builder's complete responsibility to ensure that all plans submitted for approval meet all applicable regulations and requirements. The architect is not responsible for any errors or omissions in the drawings or for any consequences arising from the use of the drawings. The architect is not responsible for any damage to property or persons resulting from the use of the drawings. The architect is not responsible for any damage to property or persons resulting from the use of the drawings.

SEP 21 2015

Architectural, General & Approval
Architectural, General & Approval
Architectural, General & Approval

BAYVIEW WELLINGTON

UNIT 25-4
APPLEBY 4

project name: CORNERBROOK
municipality: WHITBY, ON
date: MARCH 2015
drawn by: [signature]
checked by: [signature]
scale: 3/16" = 1'-0"
drawing no.: 14037-25-4-1078
project no.: 14037

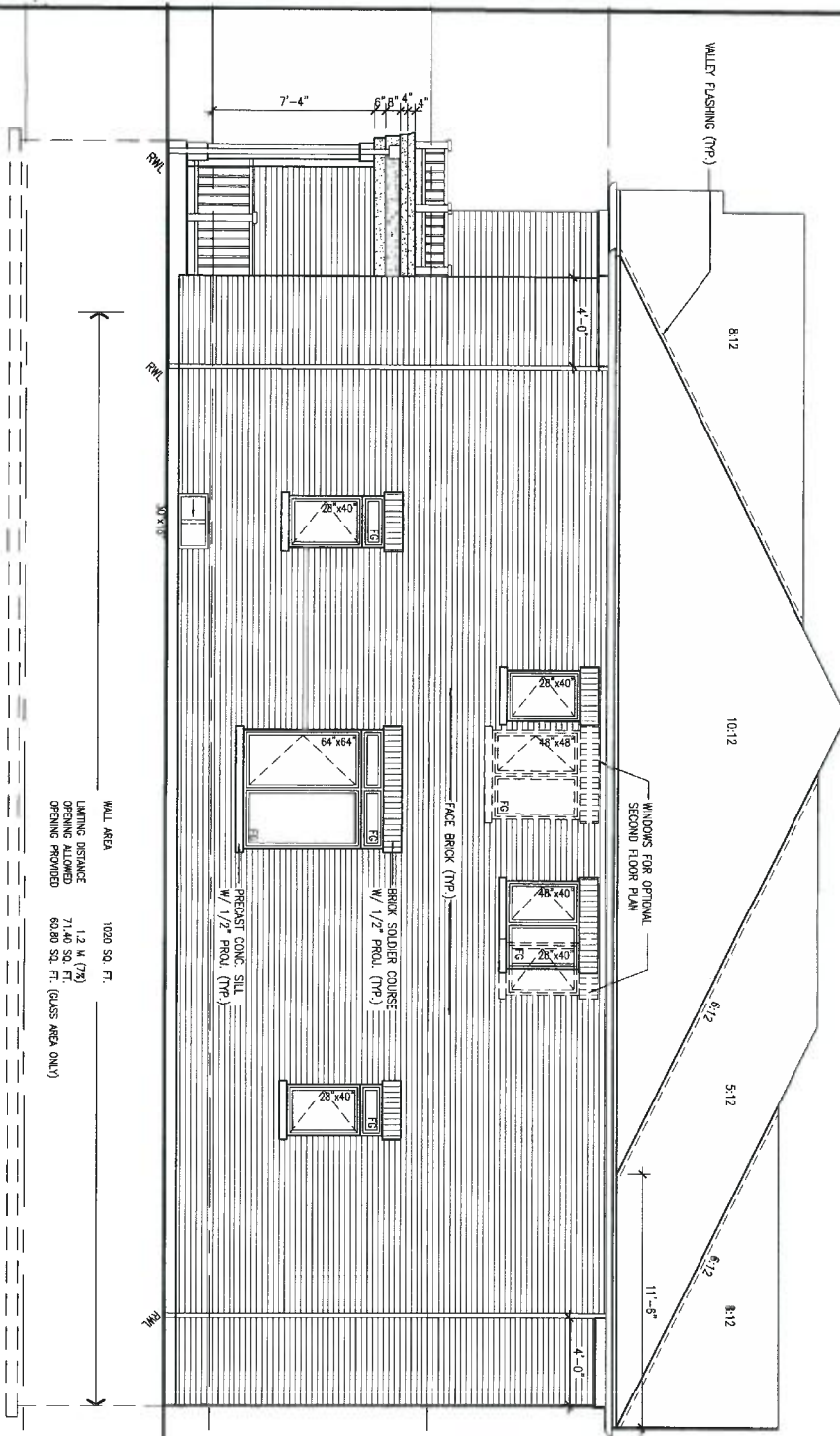
VAS DESIGN
300A Wilson Avenue
Toronto, ON M3H 1S8
416.630.2255 / 416.630.4782
vasdesign.com

The undersigned has reviewed and takes responsibility for the design and has the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.
V.A.S. Design Inc.
Wallington Jno-Baptiste 25591
name: [signature]
registration number: 42658
date: 15-08-17 RC
date: 15-07-07 RC
date: 15-05-21 CL

3. REVISED AS PER ENG COMMENTS
2. ADD FOR LOT 8
1. ISSUED FOR CLIENTS REVIEW
no. description

FRONT ROOF LEAKERS SHALL CONNECT DIRECTLY TO STORM SYSTEM. REAR ROOF LEAKERS MUST DISCHARGE TO THE GROUND SURFACE VIA A SPLASH PAD. REFER TO TOWN OF WHITBY STANDARD DRAWINGS NO. 106.10 FOR STORM DRAIN UNDER BASEMENT FLOOR IF NEEDED.

1'-0" 1'-0" 1'-0"



WALL AREA 1020 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
OPENING ALLOWED 71.40 SQ. FT.
OPENING PROVIDED 60.80 SQ. FT. (GLASS AREA ONLY)

RIGHT SIDE ELEVATION 'A' (MOD.)

REFER TO FRONT ELEVATION FOR ADDITIONAL NOTES

SEP 21, 2015



It is the builder's complete responsibility to fully comply with the Architectural Guidelines and all applicable regulations and requirements in the subject matter agreement. The Council of the Municipality of Whitby, Ontario, is not responsible for the design or construction of the building or for the safety of the building or for the safety of the occupants of the building. The Council of the Municipality of Whitby, Ontario, is not responsible for the design or construction of the building or for the safety of the building or for the safety of the occupants of the building. The Council of the Municipality of Whitby, Ontario, is not responsible for the design or construction of the building or for the safety of the building or for the safety of the occupants of the building.

ARCHITECTURAL REVIEW APPROVAL
SEP 22 2015
The Guilds United Architect

Handwritten signature: J. Bordo

LOT 8
APPLEBY 4
25-4

1	ISSUED FOR CLIENTS REVIEW	15-05-21	CL
2	ADD FOR LOT 8	15-07-07	RC
3	REVISED AS PER ENG COMMENTS	15-09-17	RC
4			
5			
6			
7			
8			
9			

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416.630.2255 | 416.630.4782
vo3design.com

BAYVIEW WELLINGTON

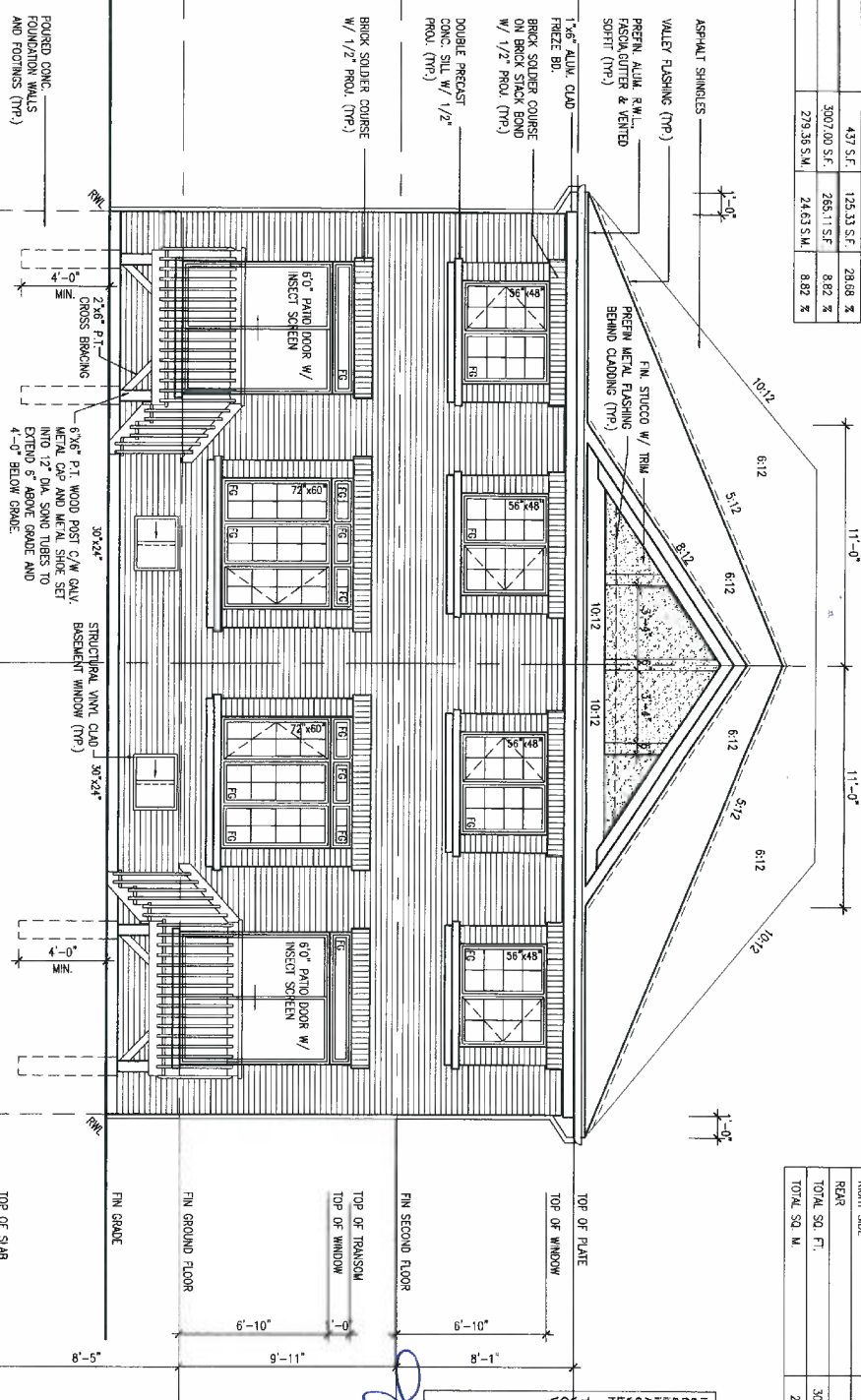
**UNIT 25-4
APPLEBY 4**

project name CORNERBROOK	municipality WHITBY, ON	project no. 14037
date MARCH 2015	scale 3/16" = 1'-0"	file name 14037-25-4-1078
drawn by BRICHARD	checked by H:\ARCHIVE\WORKING\2014\14037\DW\units\25-4-1078.dwg	drawn on 7

UNINSULATED OPENINGS (PER OBC. SB-12.2.1.1.(7))

UNINSULATED OPENINGS (PER 980, 58-12.2.11.7)	
25-4' ELEVATION A, WOOD	ENERGY EFFICIENCY - SEE SP. 5812
ELEVATION	WALL AND S.F. OPENING S.F. PERCENTAGE
FRONT	410 S.F. 66.22 S.F. 16.15 %
LEFT SIDE	1080 S.F. 72.56 S.F. 6.81 %
RIGHT SIDE	1080 S.F. 0.00 S.F. 0.00 %
REAR	437 S.F. 125.33 S.F. 28.68 %
TOTAL SQ. FT.	3007.00 S.F. 265.11 S.F. 8.82 %
TOTAL SQ. M.	279.35 SQ. M. 24.63 SQ. M. 8.82 %

FRONT ROOF LEADERS SHALL CONNECT DIRECTLY TO STORM SYSTEM. REAR ROOF LEADERS MUST DISCHARGE TO THE GROUND SURFACE VIA A SPLASH PAD. REFER TO TOW OF WHITNEY STANDARD DRAWINGS NO 106.10 FOR STORM DRAIN UNDER BASEMENT FLOOR IF NEEDED



REAR ELEVATION 'A' (R)
WALK OUT DECK COND.
5R OR GREATER

REAR ELEVATION 'A'
WALK OUT DECK COND.
SR OR GREATER

REFER TO FRONT
ELEVATION FOR ADDITIONAL
NOTES

LOT 8
APPLEBY 4
25-4

OPT. PLAN

UNINSULATED OPENINGS (PER OGC 59-122.117C)		25-4 ELEVATION A MOD: W00	
ELEMENT	FRONT	REAR	ENERGY EFFICIENCY S.F. PERFORMANCE
FRONT	410 S.F.	6122 S.F.	16.15 %
LEFT SIDE	1080 S.F.	8422 S.F.	7.80 %
RIGHT SIDE	1080 S.F.	0.00 S.F.	0.00 %
REAR	437 S.F.	12533 S.F.	28.88 %
TOTAL SQ. FT.	3007.00 S.F.	27737 S.F.	9.17 %
TOTAL SQ. M.	279.36 S.M.	2562 S.M.	9.17 %

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Whiteby.

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ARCHITECTURAL REVIEW & APPROVAL

SEP 22 2015

~~John G. Williams's Limited, Architect~~

of 11/11/2020

SEPT 21, 2015



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste 25.

name
registration information
VA3 Design Inc. 428

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All dimensions and specifications are instruments of service and the

Drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

A3

BAYVIEW WELLINGTON

UNIT 25-4
APPLEBY 4

project name
CORNERROOM

municipality.

project no.

CORNER

HEIBY, ON-

MARCH 2015

REAR ELEVATION A WOOD

—

14037-25-4-LOTE

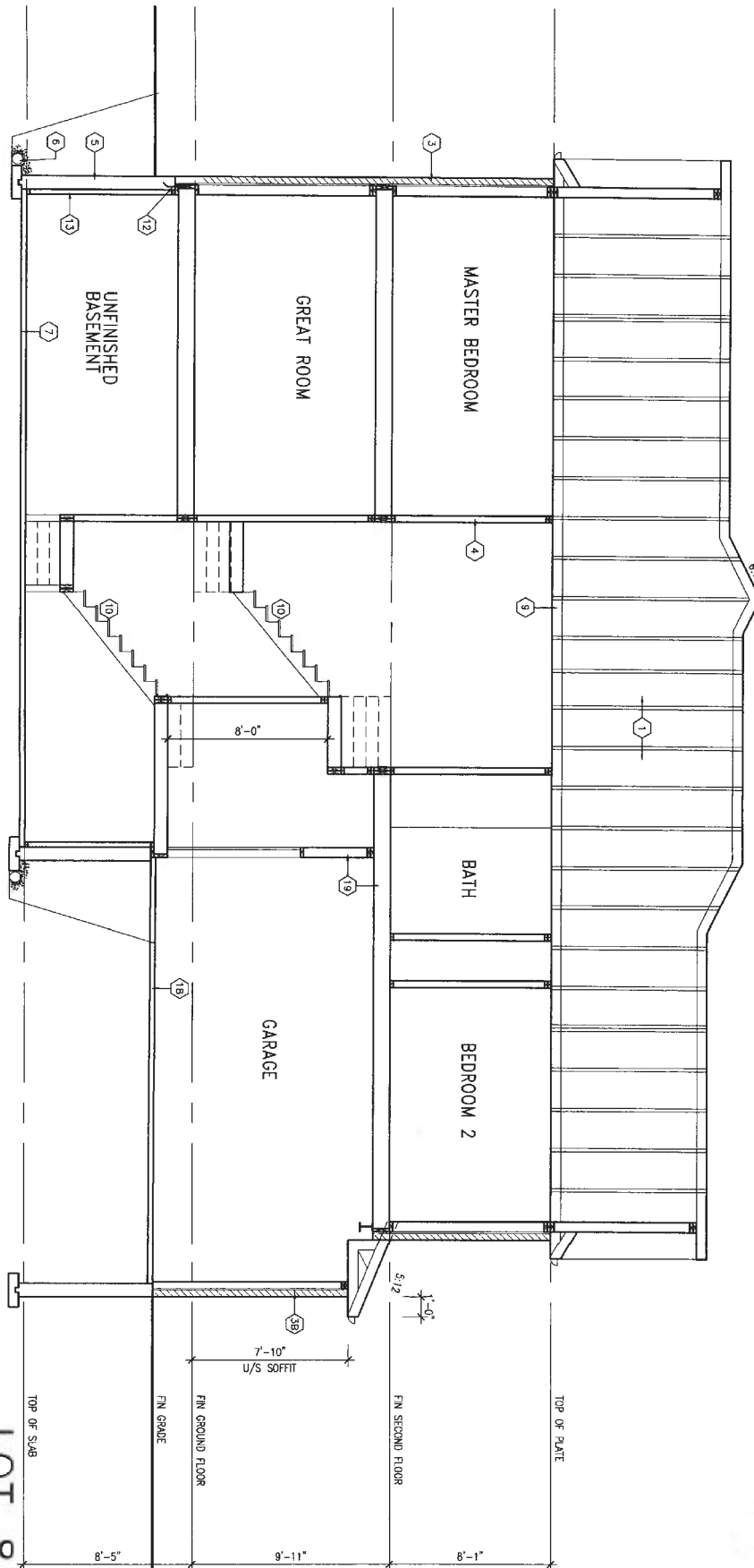
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SECTION A-A

LOT 8
APPLEBY 4
25-4



SEPT 21, 2015



9					
8					
7					
6					
5					
4					
3	REVISED AS PER ENG COMMENTS	15-09-17	RC		
2	ADD FOR LOT 8	15-07-07	RC		
1	ISSUED FOR CLIENTS REVIEW	15-05-21	CL		
no.	description	date	by		

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Wallingford, Jan-Baptiste 25591
VA3 Design Inc. 42658

name
registration information
VA3 Design Inc.
signature

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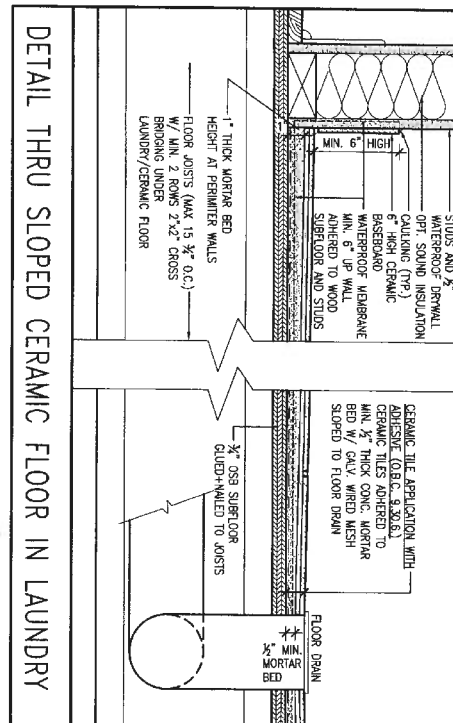
VA3 DESIGN
300A Wilson Avenue
Toronto, ON M3H 1S8
T 416.630.2255 F 416.630.4782
va3design.com

BAYVIEW WELLINGTON
project name
CORNERBROOK
municipality
WHITBY, ON

drawn by
MARCH 2015
checked by
scale
3/16" = 1'-0"

UNIT 25-4
APPLEBY 4
project no.
14037

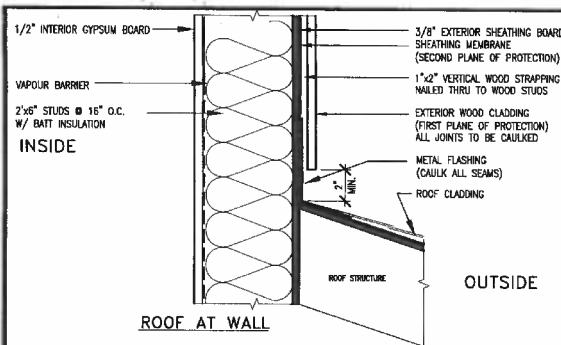
SECTION 'A-A'
drawing no.
9



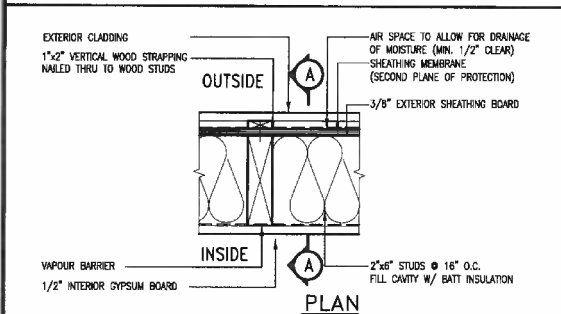
9.				The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.				qualification information
7.				
6.				Wallington Jno-Bailliste 25591
5.				name
4.				registration information
3.	REVISED AS PER ENG COMMENTS	15-09-17	RC	42658
2.	ADD FOR LOT 8	15-07-07	RC	
1.	ISSUED FOR CLIENTS REVIEW	15-05-21	CL	
no.	description	date	by	

VAD3 DESIGN
300A Wilson Avenue
Toronto, ON M3H 1S8
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vad3design.com

BAYVIEW WELLINGTON		UNIT 25-4	
project name		project no.	
CORNERBROOK	WHITBY, ON	14037	
date	checked by	scale	drawing no.
MARCH 2015		3/16" = 1'-0"	10
drawn by	checked by	scale	file name
			14037-25-4-1018
REVISION - H:\ARCHIVE\WORKING\2015\14037.dwg\unibo\unibo\14037-25-4-1018.dwg - Fri - Sep 18 2015 - 2:31 PM			



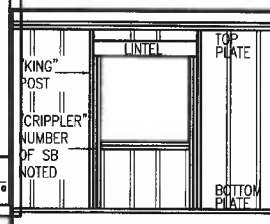
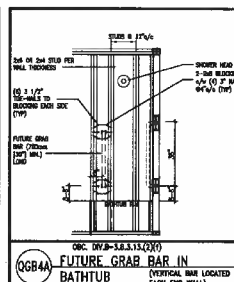
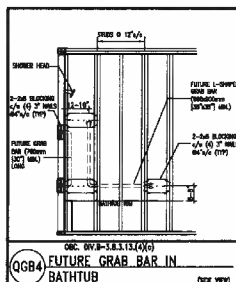
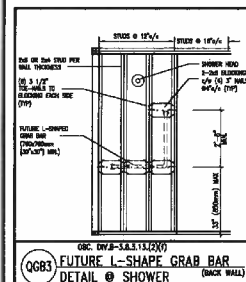
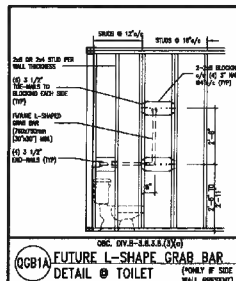
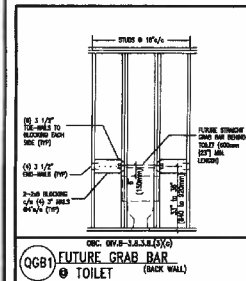
SEPT 21, 2015



EXTERIOR WOOD CLADDING WALL ASSEMBLY

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KN (300 LB). REFER TO OBC DIV. B- 9.5.2.3. WATER CLOSET 3.8.3.8.(3)(c) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(f). BATHTUB & 3.8.3.13.(4)(c). AND DETAILS PROVIDED.



MAX. HEIGHT FOR 2"x4\" GARAGE WALL IS AS FOLLOWS:
 2"x4" @ 16" O.C. - 9'-10"
 2"x4" @ 12" O.C. - 10'-9"
 3"x4" @ 16" O.C. - 11'-2"
 3"x4" @ 12" O.C. - 12'-4"

NOTES:

- FOR ROOF DESIGN SNOW LOAD OF 2.5 KPa.
- SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR JOIST LENGTH OF 2.5m OF ONE FLOOR.
- PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0").
- PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE.
- FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
- STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
- STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

MAX. HEIGHT FOR 2"x6\" EXTERIOR WALL IS AS FOLLOWS:
 2"x6" @ 16" O.C. - 12'-6"
 2"x6" @ 12" O.C. - 13'-10"
 2"x6" @ 16" O.C. - 15'-0"
 2"x6" @ 12" O.C. - 17'-4"

NOTES:

- FOR ROOF DESIGN SNOW LOAD OF 2.5 KPa.
- SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
- PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0").
- PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
- WALL FRAMING SHALL CONFORM TO OBC 9.23.10.1.(2).
- FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
- STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
- STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

STUD INFORMATION TAKEN FROM OBC TABLE A-30

9.					
7.					
6.					
5.					
4.					
3.					
2.	UPDATE TO CODE	APR 16-15	RC		
1.	ISSUE FOR CLIENT REVIEW	MAY 07-14	RC		
no.	description	date	by		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
 Wellington Area-Baptiste 25581
 name
 registration information
 VAS Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be retained at the completion of the work. Drawings are not to be used.

VAS DESIGN
 300A Wilson Avenue
 Toronto ON M3H 1S8
 416.830.2255 / 416.830.4782
 vasdesign.com

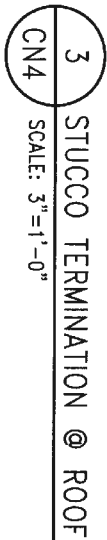
BAYVIEW WELLINGTON		CONST NOTE	
project name CORNERBROOK	municipality WHITBY	project no. 14037	
date APR 2014	checked by RC	scale 3/16" = 1'-0"	CONSTRUCTION NOTES 14037-CONST-002 2015
drawing no. CN2		drawing no. 14037	



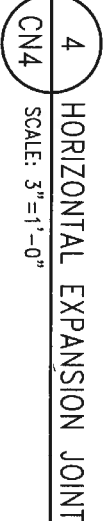
ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

[illegible]

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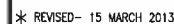
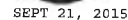
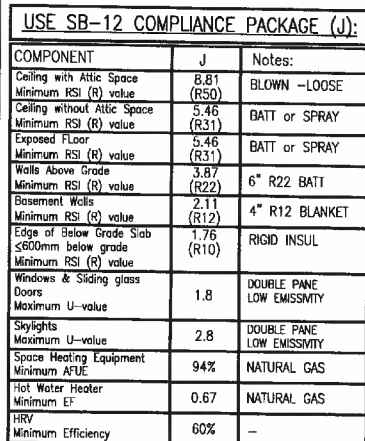


ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.



9	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		 3504 Wilson Avenue Toronto ON M3H 1S8 T 416.630.2255 / F 416.630.4782 valdesign.com	BAYVIEW WELLINGTON		CONST. NOTE	
8	project name			project number		drawing no.	
7	CORNERSBROOK			14037		CN4	
6	data			CONSTRUCTION NOTES			
5	APR 2014		checked by		scale		
4	APR 2014		-		3/16" = 1'-0"		
3	RC NO = 15-ARCHITECT WORKING DTD 14		14037-CONST-ORC 2015		14037-CONST-ORC 2015		
2	no description		14037-CONST-ORC 2015		14037-CONST-ORC 2015		
1	no description		14037-CONST-ORC 2015		14037-CONST-ORC 2015		

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 2.1.1.1

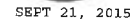


SECTION AT W.O.D/W.O.B.

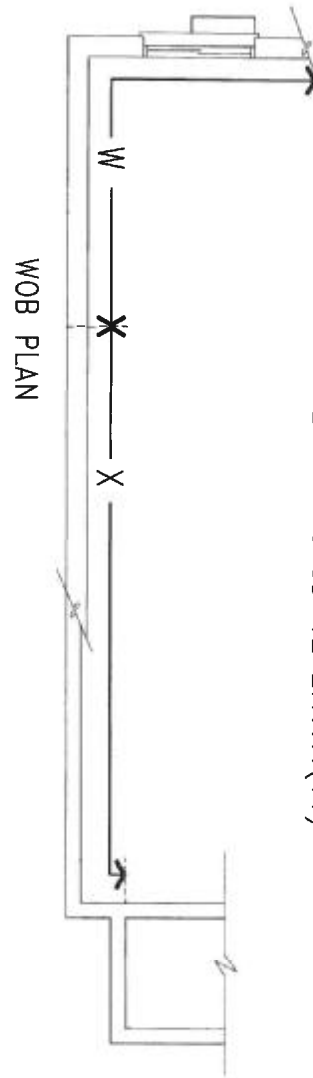
SEMI & SINGLES ONLY

9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		 3004 Wilson Avenue Toronto, ON M6H 1S8 T 416-630-2525 F 416-630-4782 vab3design.com	BAYVIEW WELLINGTON		CONST NOTE	
8			qualification information			project name CORNERBROOK		municipality WHITBY	
7			Wellington Jim-Borghetto <i>Jim Borghetto</i>			date APR 19 2014		drawing no. 14037	
6			registration information 2551 42658			checked by scale $3/16" = 1'-0"$		CONSTRUCTION NOTES 14037-CONST-05-2015	
5			name VAS Design Inc.			date MAY 07-14		date 15 MAY 2015	
4			registration information VAS Design Inc.			date MAY 07-14		date 15 MAY 2015	
3			Designer must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of VAS Design which must be returned to the completion of the work. Any reproduction is to be made at the owner's expense.					CN6	
2	UPDATE TO CODE APR 16-15		RC						
1	ISSUE FOR CLIENT REVIEW MAY 07-14		RC						
0	description date bu		RC						

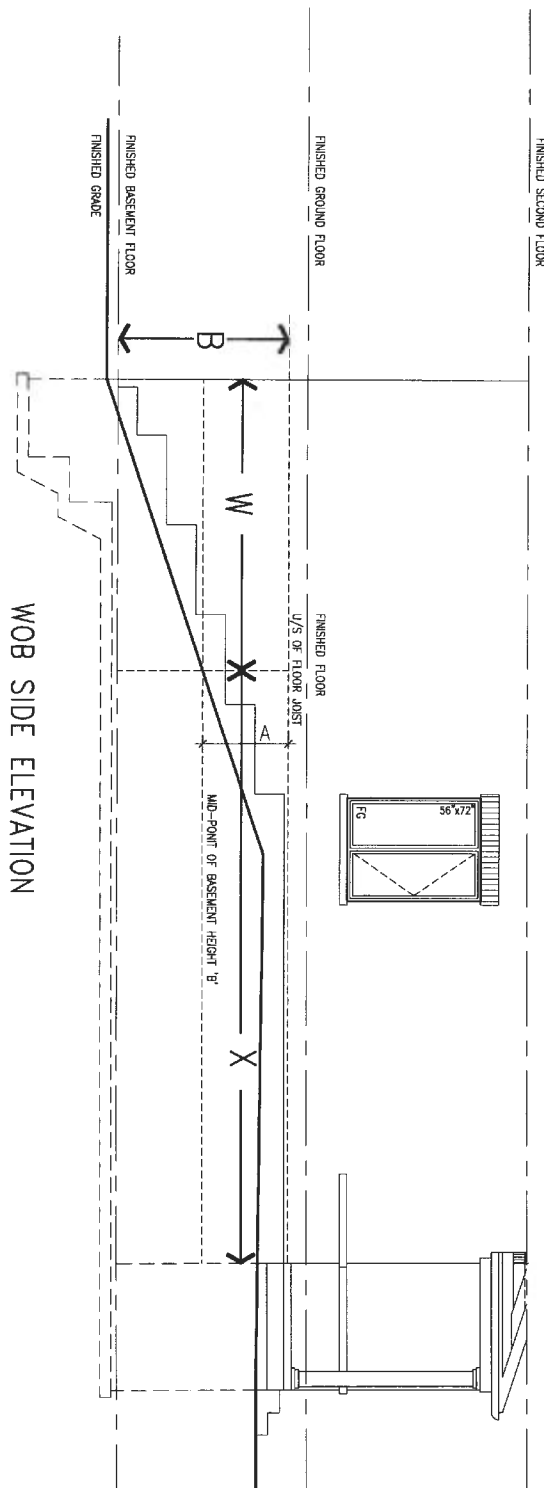
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COMPLIANCE TO OBC SB-12 2.1.1.1(11)



WOB PLAN



WOB SIDE ELEVATION

WHEN EXPOSED WALL "A" IS GREATER THAN 50%
OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "W"
IS NOT LESS THAN IS REQUIRED FOR ABOVE
GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50%
OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "X"
IS NOT LESS THAN BASEMENT WALL AS
REQUIRED BY TABLE 2.1.1.2A

APR - 15		☐ undesignated has reviewed and taken responsibility for this design and sees the specifications and treats the requirements set out as his or her own.
MAY - 07-14		The Ontario Building Code is by Design?
no description		qualification information name: Wellington Jiro-Baptiste registration information: VAJ Design Inc. ID number: 25591 / 42658
DATE:		Contractor must specify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which shall remain in the possession of the contractor. Drawings will be loaned to you at no charge.

2. UPDATE TO CODE APR 16-15 Contractor must specify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which shall remain in the possession of the contractor. Drawings will be loaned to you at no charge.

3. ISSUE FOR CLIENT REVIEW MAY 07-14 DATE: _____

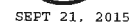
no description date by: _____

VAD DESIGN
 302A Wilson Avenue
 Toronto ON M5H 1S8
 Tel: 416.630.2525 x416.630.4782
www.vaddesign.com

BAYVIEW WELLINGTON		CONST NOTE	
project name	CORNERBROOK	drawing no.	14037
client	WHITBY	drawing title	CONSTRUCTION NOTES
date	APR 2014	scale	As Shown
checked by	[Signature]	drawn by	[Signature]
revision	RCD - H:\ARCHIVE\WORKING\2014\14037.BWUnits\14037-CNST-OBC 2015.dwg - Thu - Sep 17 2015 - 2:33 PM	file name	14037-CNST-OBC 2015

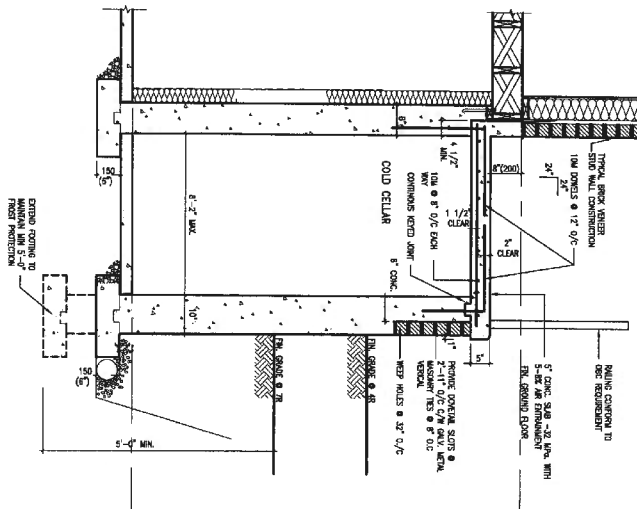
CN7

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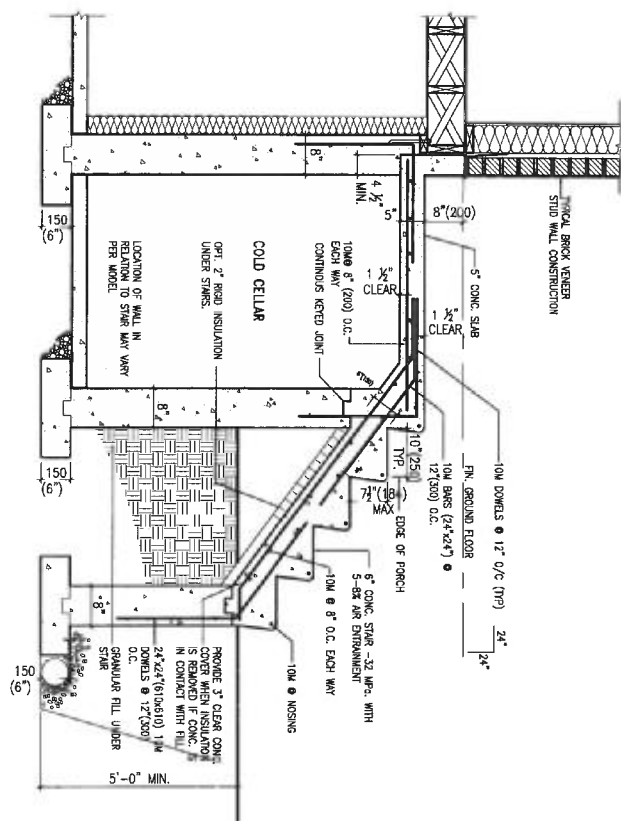
SECTION AT PORCH FOR 4-7R CONDITION
SCALE: N.T.S.

SCALE: N.T.S.



EXTERIOR CONC. STAIR DETAIL (6 RISERS/ 7 RISERS SIMILAR),
SCALE:

SCALE: N.T.S.



9		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code as a Designer.	
8		certification information:	
7		name: <i>William J. Jno. [Signature]</i>	2559
6		registration information: <i>[Signature]</i>	509
5		VAS Design Inc.	42656
4			
3			
2	UPDATE TO CODE	APR 16-15 RC	
1	ISSUE FOR CLIENT REVIEW	MAY 07-14 RC	
	no. description	date	



DESIGN
300A Wilson Avenue
Toronto ON M3H 1S8
416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

CONST NOTE

name
CORNERBROOK

WHITBY

14037

APR 2014

100

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CONSTRUCTION NOTES

drawing no. 0110

drawn by
RC

checked

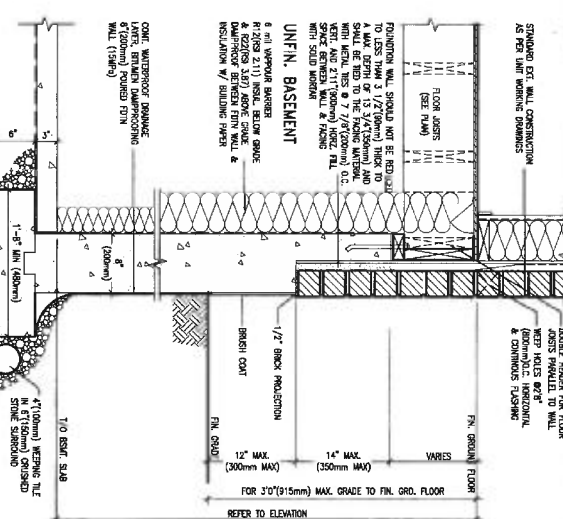
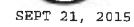
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file name
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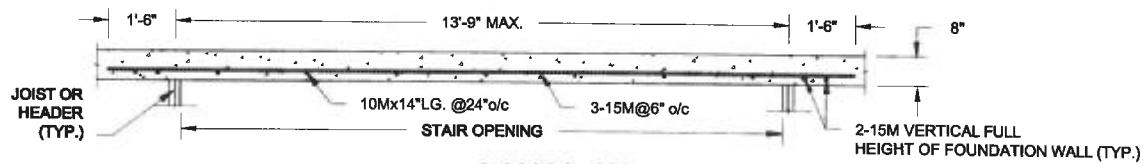
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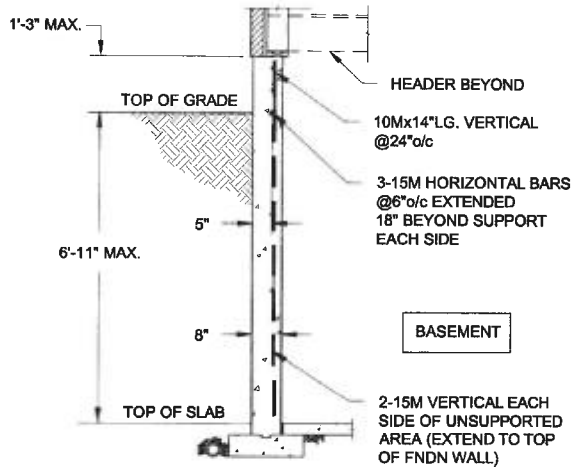


WALK-OUT DECK WALL SECTION FOR
GRADE TO FIN. FLOOR 3'0"(900mm)
MAX. HEIGHT DIFFERENCE
N.T.S.

1. UPDATE TO CODE 2. ISSUE FOR CLIENT REVIEW 3. NO DESCRIPTION APR 16-15 MAY 07-14 date by	The undersigned has reviewed and taken responsibility for the design and has the specifications and meets the requirements set out in the Ontario Building Code to be a Designer. <i>J. Baptiste</i> 25591 signature name: Wellington Jao-Baptiste SCM registration information: VAS Design Inc. 42658 300A Wilson Avenue Scarborough, ON M1S 1S8 # 416.630.2255 / 416.630.4782 va3design.com	4. BAYVIEW WELLINGTON 5. CONST NOTE project name: CORNERBROOK location: WHITBY date: APR 2014 checked by: <i>W</i> scale: 3/16" = 1'-0" RCRD - H:\ARCHIVE\WORK\2014\14037\BAYWELL\14037-CONST-01B 2014.dwg - Sep 17 2015 - 2:13 PM CONSTRUCTION NOTES 14037-CONST-008 2015 CN9
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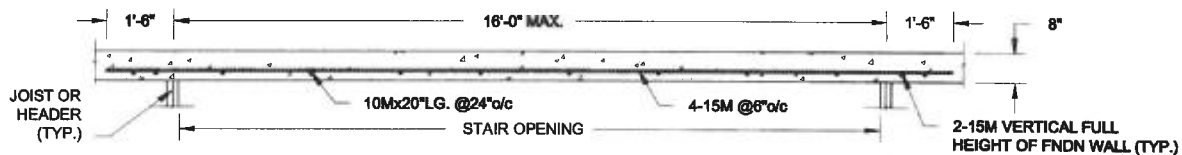
PLAN VIEW
NOT TO SCALE



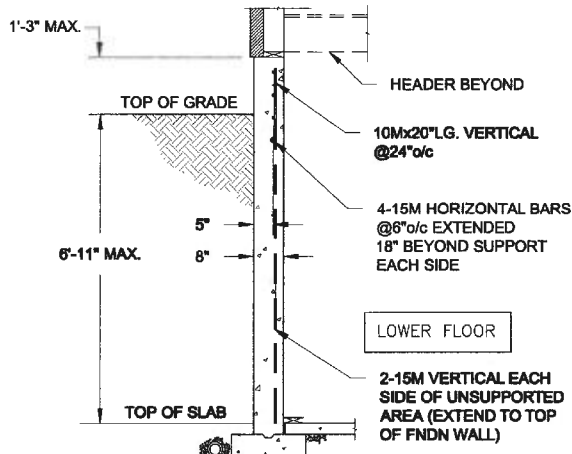
NOTE:

1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 15 MPa. MIN.
3. REINFORCING STEEL TO BE GRADE 400.

1A
S1 **LATERALLY UNSUPPORTED WALL**
SCALE: 3/8" = 1'-0"



PLAN VIEW
NOT TO SCALE



NOTE:

1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 15 MPa. MIN.
3. REINFORCING STEEL TO BE GRADE 400.

1B
S1 **LATERALLY UNSUPPORTED WALL**
SCALE: 3/8" = 1'-0"

Scale: AS NOTED		QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal:  S.J. BOYD PROFESSIONAL ENGINEER PROVINCE OF ONTARIO SEPT 21, 2015		Project: BAYVIEW WELLINGTON HOMES - COMMERBROOK PROJECT WHISBY, ONTARIO	
Date: SEP-04-2015			TYPICAL STRUCTURAL DETAILS			
Drawn: SC	Checked: SJB		Project No.: 15-169		Drawing No.: S1	

4"

SIMPSON LUS28 HANGERS
2x8 P.T.

DECK JOISTS
U.N.O. ON PLAN
2x8 P.T. LEDGER
C/W 1/2"Ø BOLTS
@ 16" O/C TO RIM

U.N.O. ON PLAN
2-2x8 P.T. LEDGER
c/w 1/2"Ø BOLTS
@ 16" o/c

SOLID RIM BOARD

9 1/2" JOIST DEPTH

2x8 P.T.

2-2x8 BLOCKING BETWEEN STUDS C/W 2-3 1/2" END NAILS PER PLY

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL.
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL.
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

4"

2"

11 7/8" JOIST DEPTH

2x8

SIMPSON LUS28 HANGERS
2x8 P.T. DECK JOISTS

U.N.O. ON PLAN
2x8 P.T. LEDGER
C/W 1/2" Ø BOLTS
@ 16" O/C TO RIM

2-PLY SOLID RIM BOARD

4"

SIMPSON
LUS28
HANGERS

2-PLY
SOLID RIM BOARD

11 7/8" JOIST DEPTH

2"

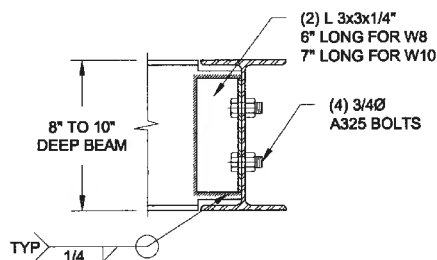
6" THICK
CONC. SHELF
ON 10" THICK
FNDN WALL

4"

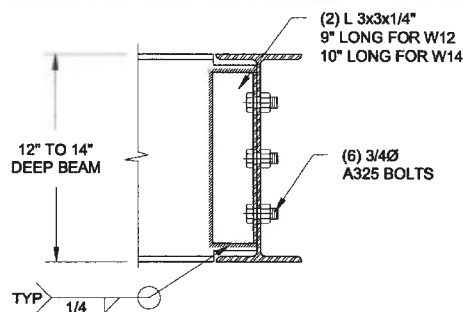
4"

10' ON PLAN
P.T. LEDGER
1/2"Ø BOLTS
" O/C TO RIM

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL.
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL.
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.



NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX
AND W10x39 (W250x58) BEAM MAX.



**NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX
AND W14x48 (W360x72) BEAM MAX.**

3 **STEEL BEAM CONNECTION DETAIL**
S2 SCALE: 1-1/2" = 1'-0"

Scale:
AS NOTED

Date: SEP-04-2011

Drawn:
SC

Checked:	
SJA	

QUAILE ENGINEERING LTD.



**38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: gualle.eng@rogers.com**

Engineer's Seal



SEPT 21, 2015

Project

LAYVIEW WELLINGTON HOMES - CONFERBROOK PROJECT
WHITTY, CHAND

TYPICAL STRUCTURAL DETAILS

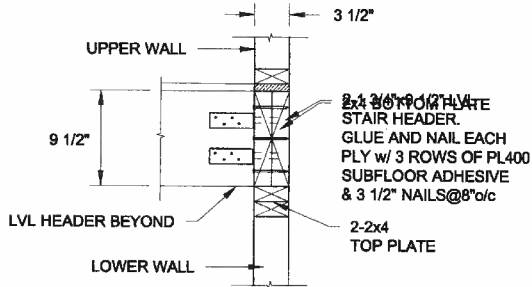
Project No.:

15-159

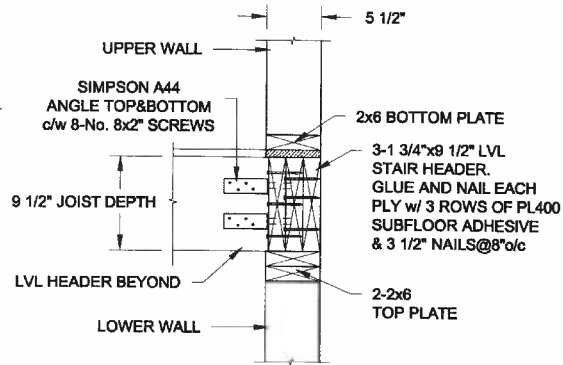
Drawing No.:

52

FOR 9 1/2" JOIST DEPTH

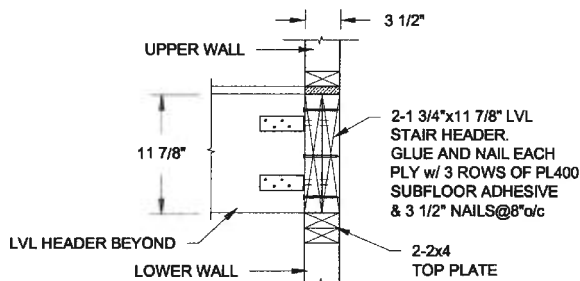


1A
S3 STAIR HEADER @ PARTYWALL
SCALE: 1" = 1'-0"

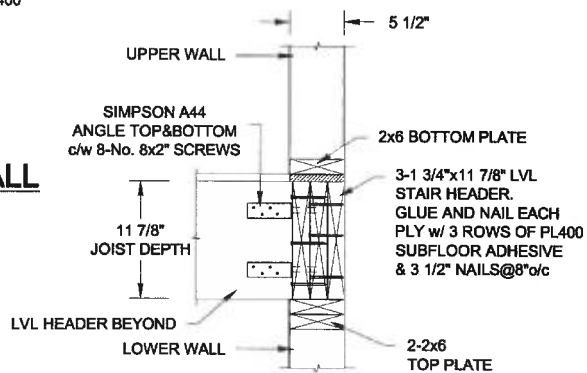


1B
S3 STAIR HEADER @ EXTERIOR WALL
SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



2A
S3 STAIR HEADER @ PARTYWALL
SCALE: 1" = 1'-0"



2B
S3 STAIR HEADER @ EXTERIOR WALL
SCALE: 1" = 1'-0"

Scale: AS NOTED		QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal  S.J. BOYD SEPT 21, 2015	Project: BAYVIEW WELLINGTON BONES - CORNERBOOK PROJECT WHITBY, ONTARIO	
Date: SEP-04-2015				TYPICAL STRUCTURAL DETAILS	
Drawn: SC	Checked: SJB	Project No.: 15-159		Drawing No.: S3	