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ARCHITECTURAL REVIEW & APPROVAL

OCT 10 2017

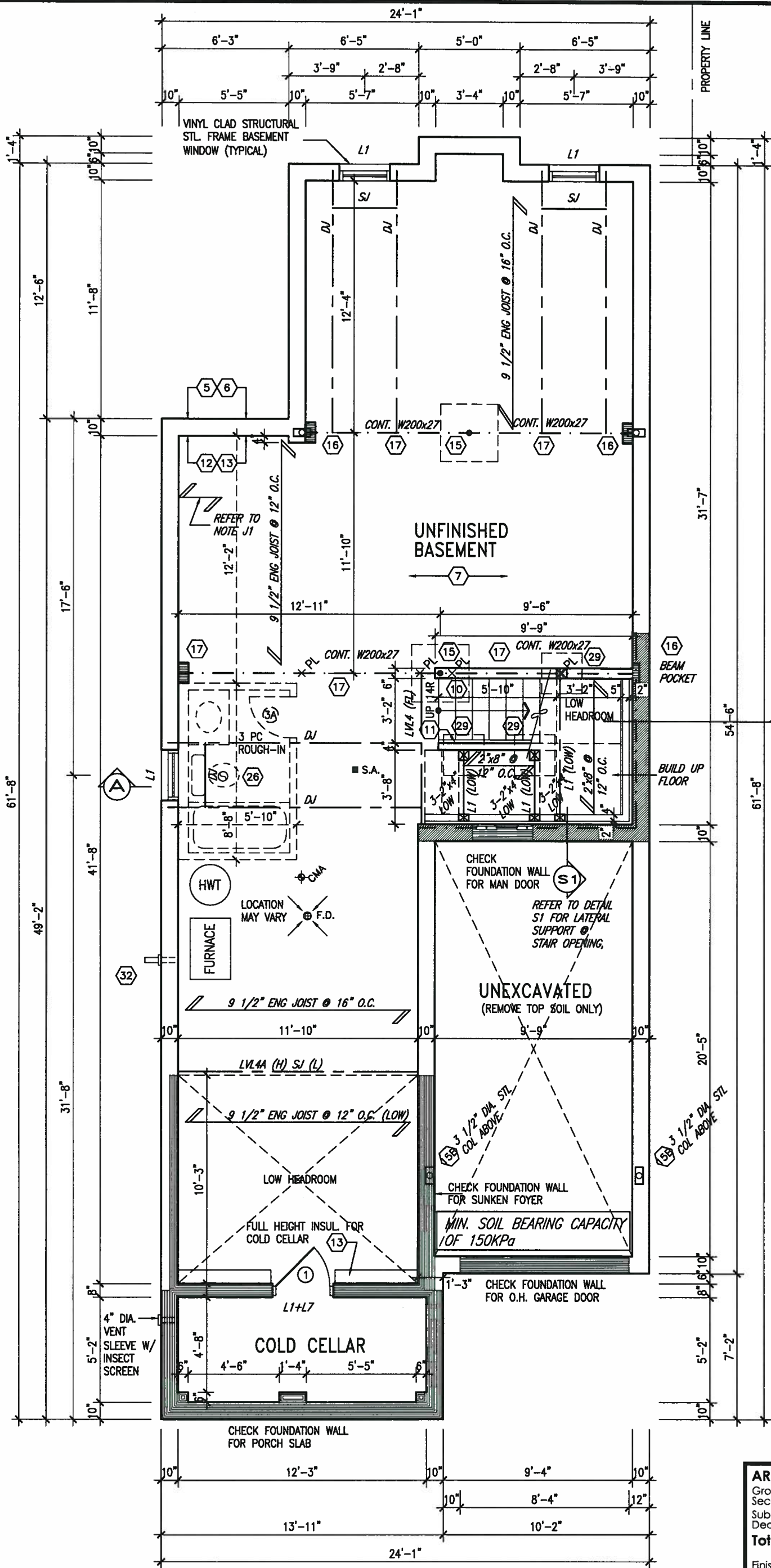
John G. Williams Limited, Architect

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.



BASEMENT FLOOR PLAN 'A'

AREAS	ELEV 'A'	ELEV 'B'	ELEV 'C'
Ground floor area	1021 SF	1021 SF	1029 SF
Second floor area	985 SF	993 SF	993 SF
Subtotal	2006 SF	2016 SF	2022 SF
Deduct all open area	0 SF	0 SF	XXXX SF
Total net area	2006 SF	2016 SF	2022 SF
Finished basement area	0000 SF	0000 SF	XXXX SF
Coverage without porch	1257 SF	1257 SF	1259 SF
Coverage with porch	1341 SF	1341 SF	1307 SF
	124.58 SM	124.58 SM	121.42 SM



OCT 4, 2017

9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8				qualification information
7				Wellington Jno-Baptiste 25591
6				name
5				registration information
4	REVISED AS PER ENG'S COMMENTS	OCT 04-17	RC	VA3 Design Inc. 42658
3	REVISED TO 10" FOUNDATION WALLS	DEC 12-16	AJE	
2	REVISED INSULATION AT STAIRS	SEPT 19/16	SB	
1	ISSUED FOR CLIENT REVIEW	JUL 04-16	RC	
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

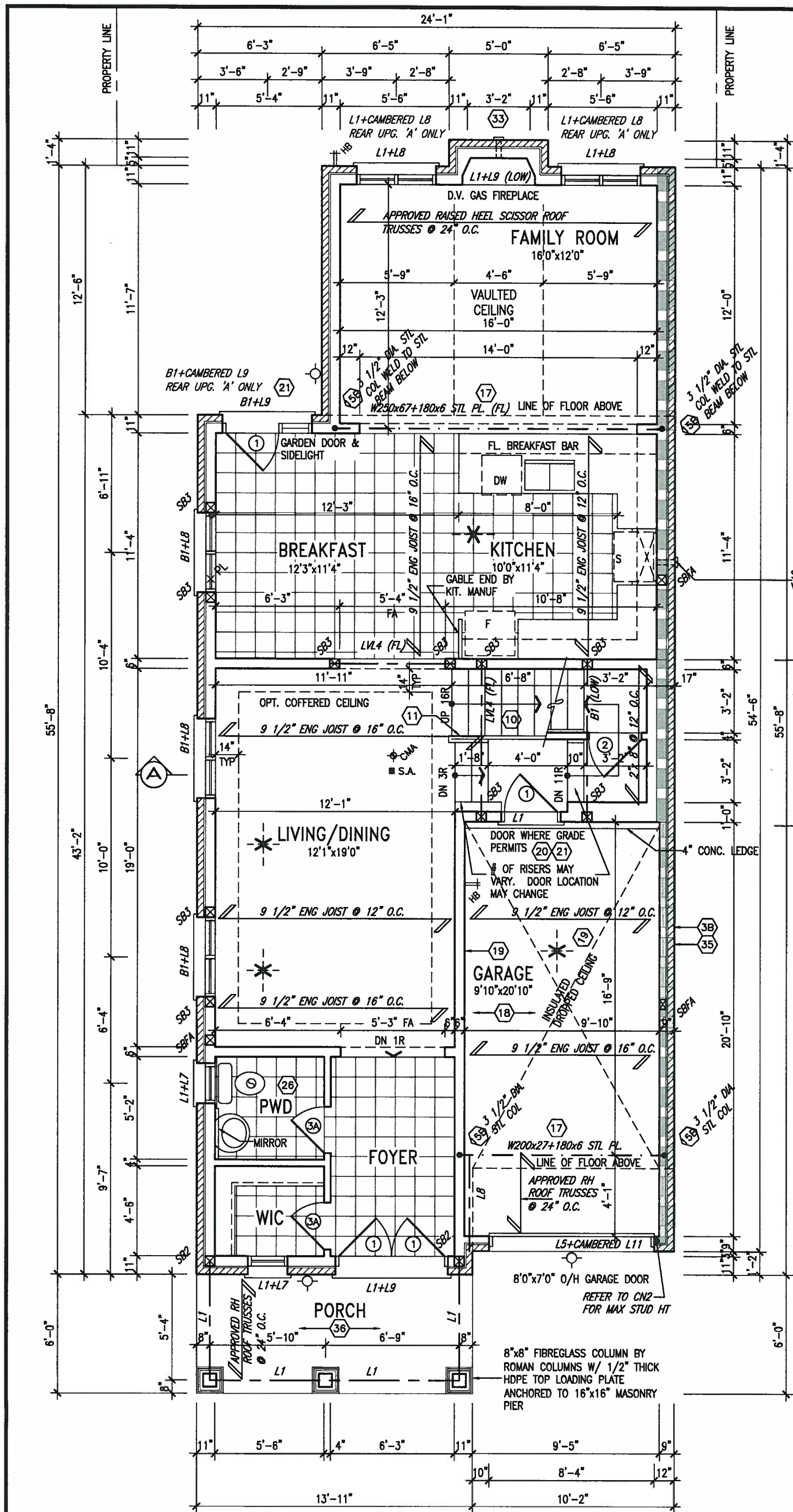


255 Consumers Rd Suite 120
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t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S30-1

project name	ALCONA	municipality	INNISFIL, ONTARIO	project no.	13049
date	NOV. 2015				
drawn by	RC	checked by	scale	BASEMENT FLOOR PLAN 'A'	drawing no.
			3/16" = 1'-0"	13049-S30-1	1
RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\30\13049-S30-1.dwg - Wed - Oct 4 2017 - 11:49 AM					



GROUND FLOOR PLAN 'A'



NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

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ARCHITECTURAL REVIEW & APPROVAL
OCT 18 2017
John G. Williams Limited, Architect

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qualification information
Wellington Jno-Baptiste 25591
name registration information BCN
VAS Design Inc. 42658

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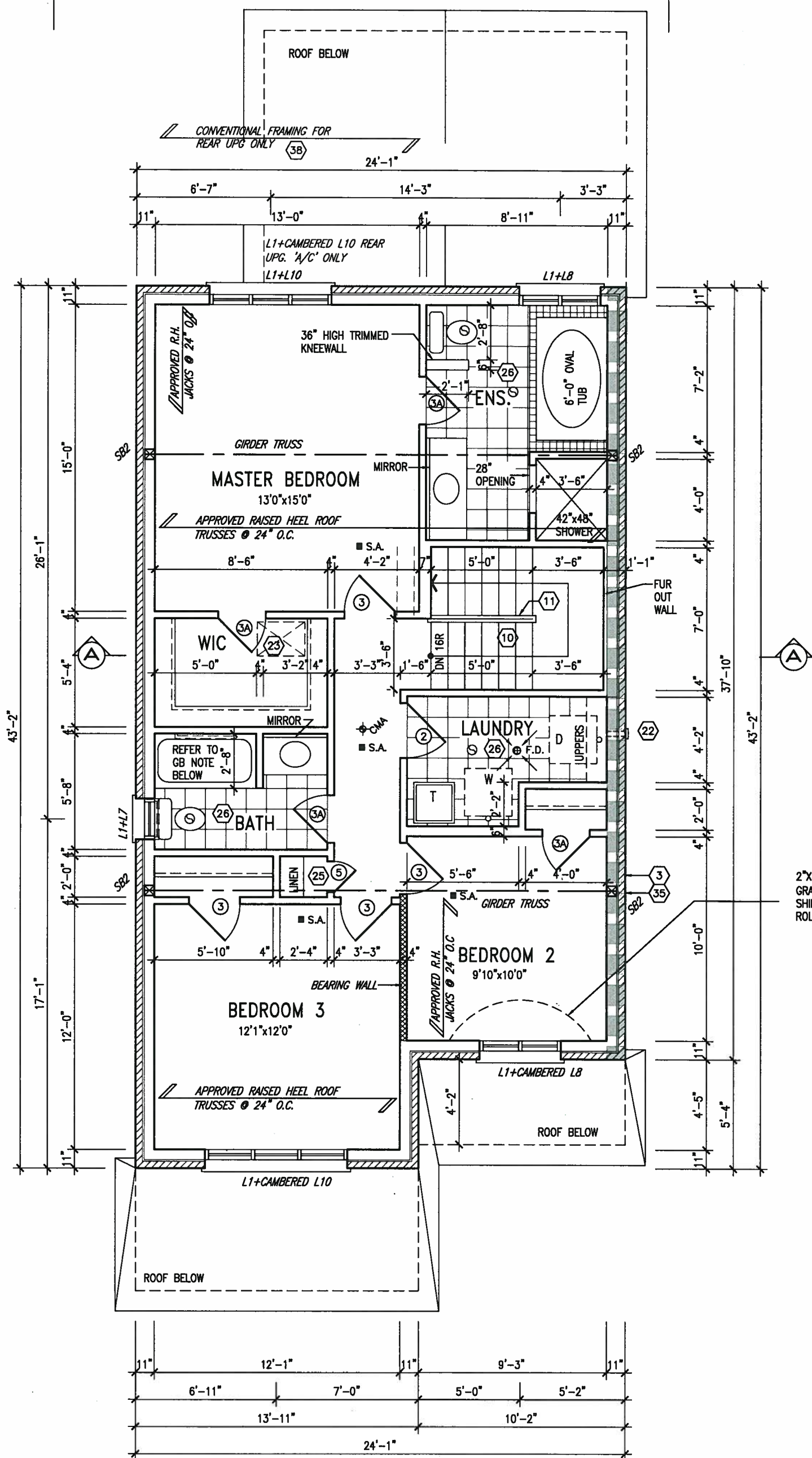
VAS3 DESIGN

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vas3design.com

BAYVIEW WELLINGTON		S30-1
project name	ALCONA	project no.
date	NOV. 2015	13049
drawn by	RC	drawing no.
checked by	scale	2
3/16" = 1'-0"		
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PROPERTY LINE

PROPERTY LINE



SECOND FLOOR PLAN 'A'

INDICATES REDUCED SIDE YARD



2"x4" @ 8" O.C. W/ 3/8" EXTERIOR
GRADE PLYWD. W/ ICE & WATER
SHIELD
ROLLED ROOF TO MATCH SHINGLE

**STUD WALL
REINFORCEMENT FOR
FUTURE GRAB BARS IN
MAIN BATHROOM**
REINFORCEMENT OF STUD WALLS
SHALL BE INSTALLED ADJACENT
TO WATER CLOSETS AND SHOWER
OR BATHTUB IN MAIN BATHROOM.
REFER TO OBC. 9.5.2.3,
3.8.3.8.(3)(a), 3.8.3.8.(3)(c),
3.8.3.13.(2)(f) & 3.8.3.13.(4)(c).
AND DETAILS PROVIDED.

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF
TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING
INFORMATION UNLESS OTHERWISE NOTED.

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OCT 10 2017

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7	.	.	.	Wellington Jno-Baptiste
6	.	.	.	signature
5	.	.	.	25591
4	REVISED AS PER ENG'S COMMENTS	OCT 04-17	RC	name registration information
3	REVISED TO 10" FOUNDATION WALLS	DEC 12-16	AJE	VAS Design Inc.
2	REVISED INSULATION AT STAIRS	SEPT 19/16	SB	42658
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no.	description	date	by	



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BAYVIEW WELLINGTON

S30-1

project name
ALCONAmunicipality
INNISFIL, ONTARIOproject no.
13049date
NOV. 2015

SECOND FLOOR PLAN 'A'

drawing no.

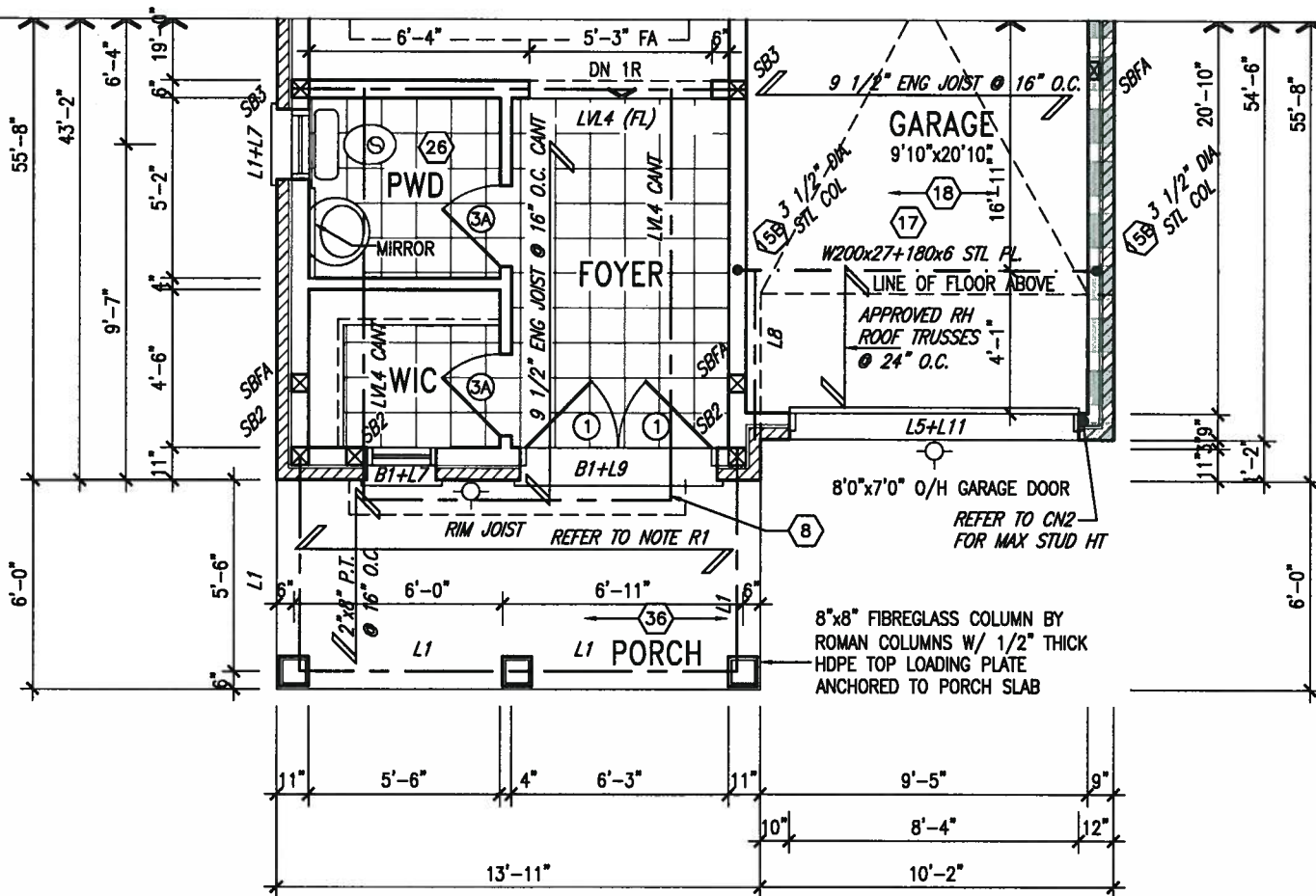
drawn by
RC

checked by

scale
3/16" = 1'-0"file name
13049-S30-1

3

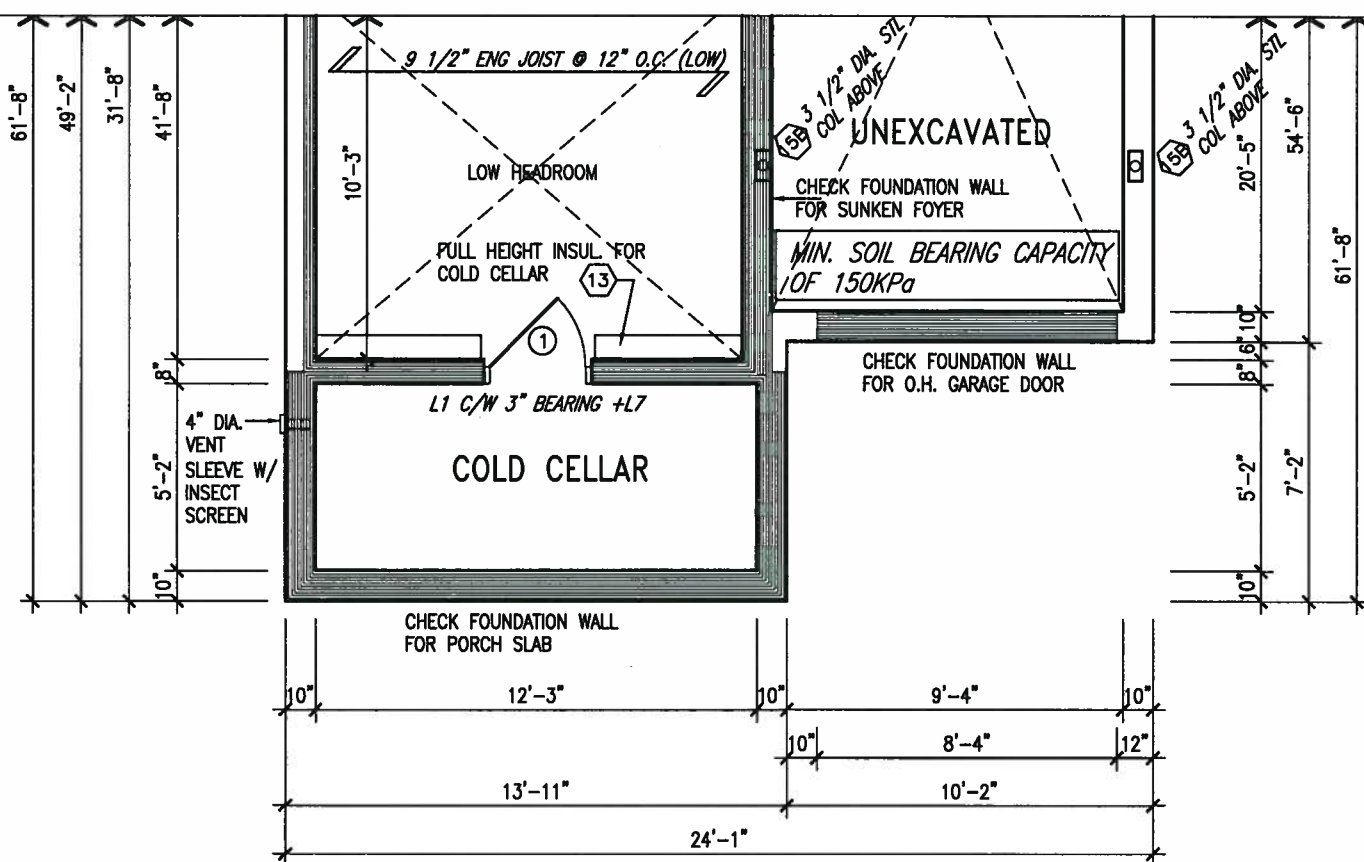
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PARTIAL GROUND FLOOR PLAN 'B'



OCT 4, 2017



PARTIAL BASEMENT FLOOR PLAN 'B'

ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/
2"x4" @ 12" O.C.
DIAGONALLY CUT CROSS
PURLINS W/ 5/8" EXTERIOR
GRADE SHEATHING W/ SINGLE
PLY ROOF MEMBRANE

NOTE: FLOOR FRAMING INFO
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INFORMATION AND DETAILS.
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7	.	.	Wellington Jno-Baptiste 25591
6	.	.	name registration information
5	.	.	VA3 Design Inc. 42658
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BAYVIEW WELLINGTON

S30-1

project name
ALCONA

municipality
INNISFIL, ONTARIO

project no.
13049

date
NOV. 2015

drawn by
RC

checked by

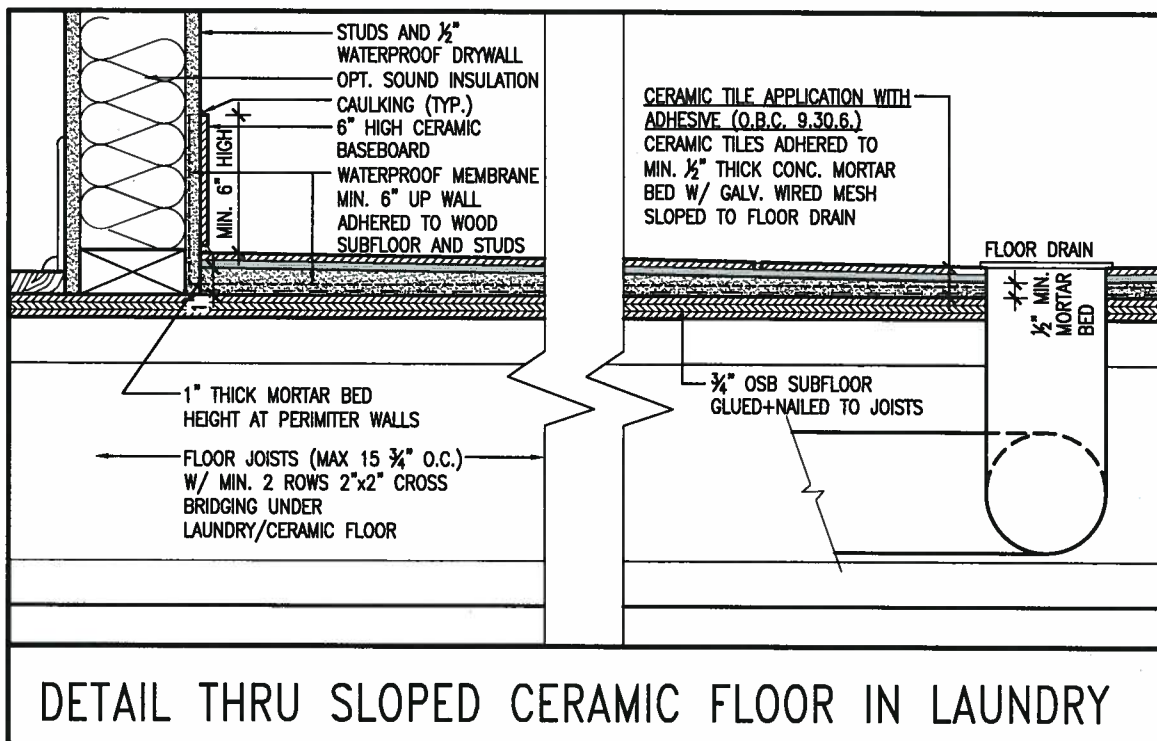
scale
3/16" = 1'-0"

PARTIAL PLAN 'B'

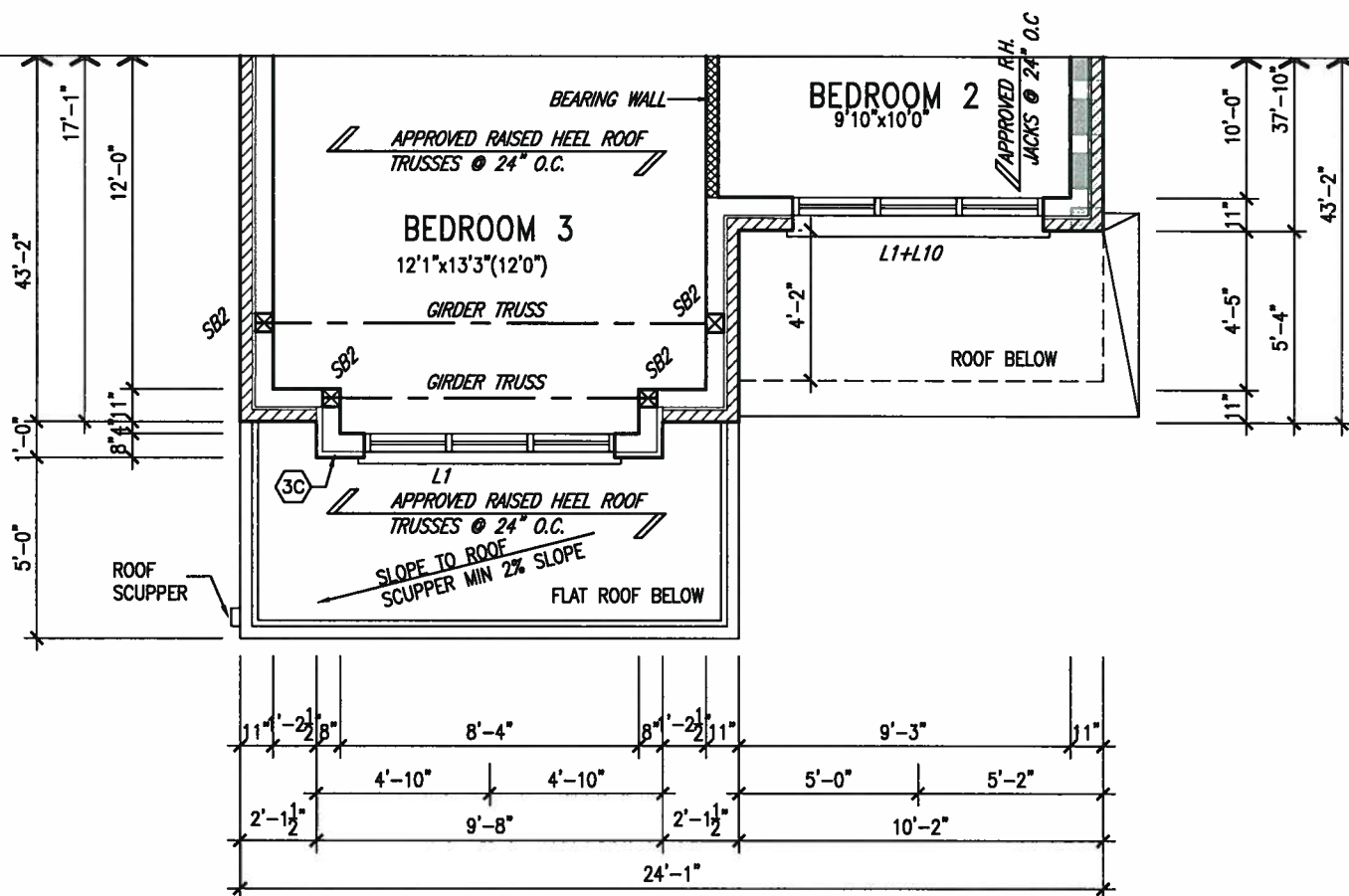
file name
13049-S30-1

drawing no.
4

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PARTIAL SECOND FLOOR PLAN 'B'

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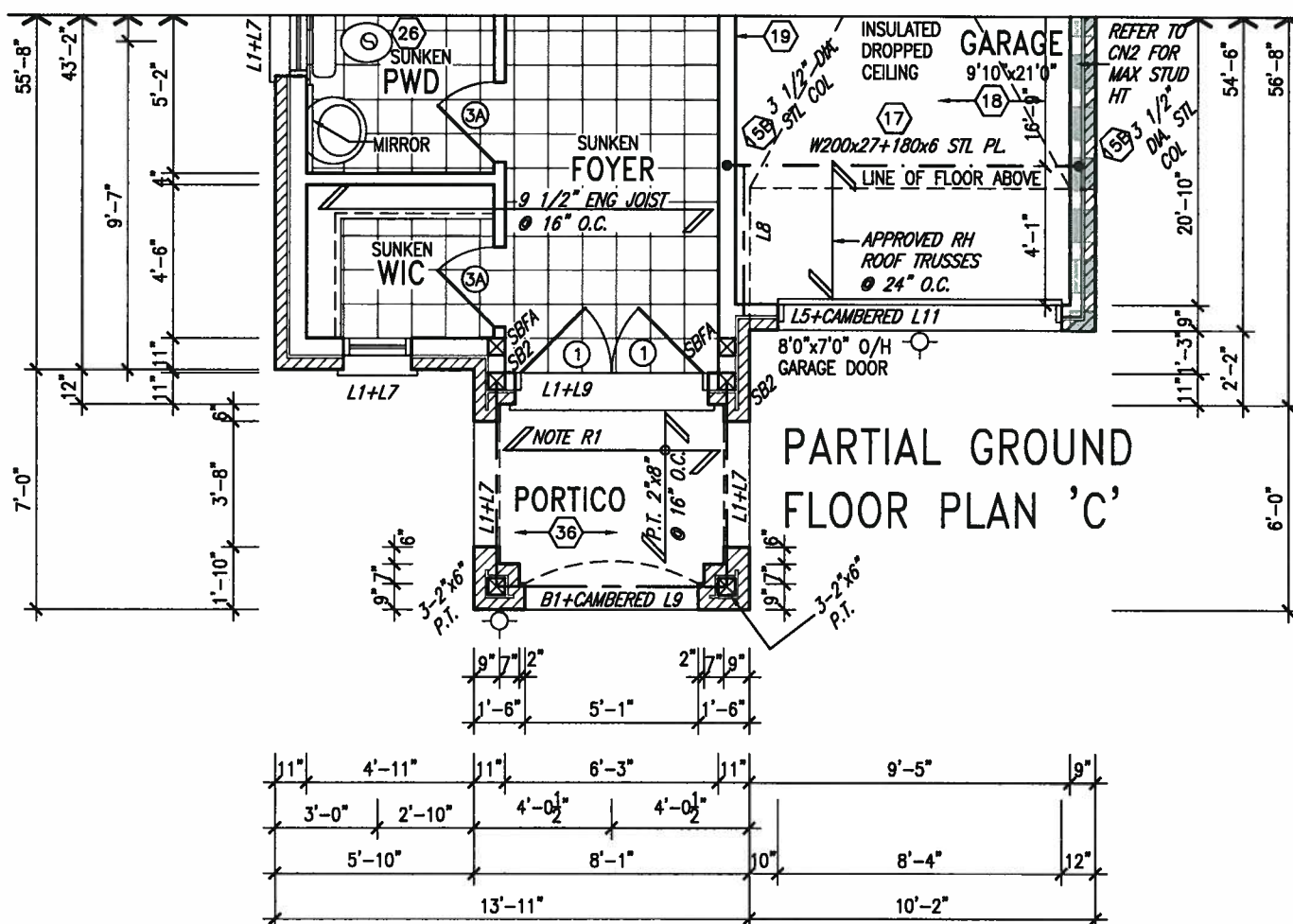
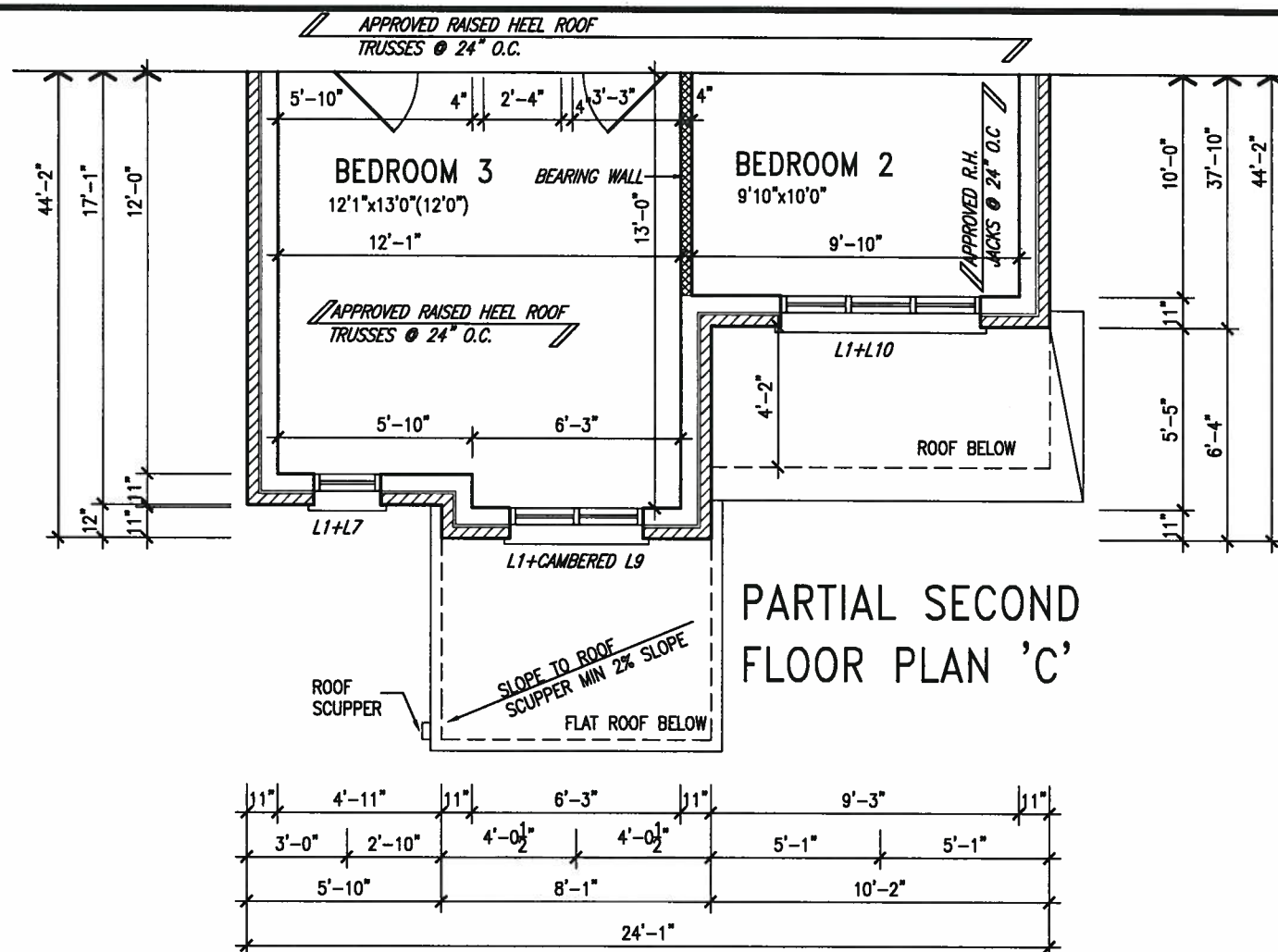


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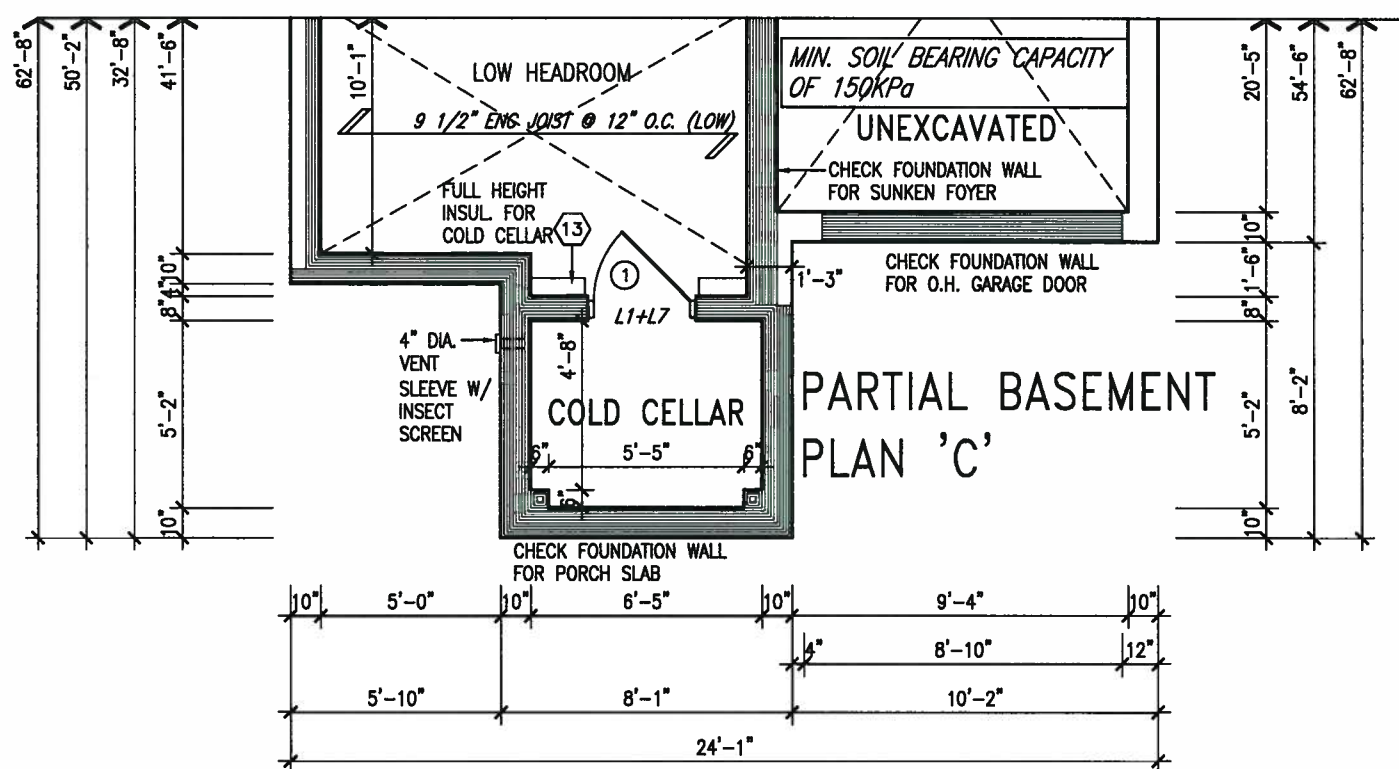
BAYVIEW WELLINGTON

S30-1

project name	ALCONA	municipality	INNISFIL, ONTARIO	project no.	13049
date	NOV. 2015	checked by	scale	3/16" = 1'-0"	
drawn by	RC	file name	13049-S30-1	drawing no.	5
PARTIAL PLAN 'B'					



OCT 4, 2017



ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/
2"x4" @ 12" O.C.
DIAGONALLY CUT CROSS
PURLINS W/ 5/8" EXTERIOR
GRADE SHEATHING W/ SINGLE
PLY ROOF MEMBRANE

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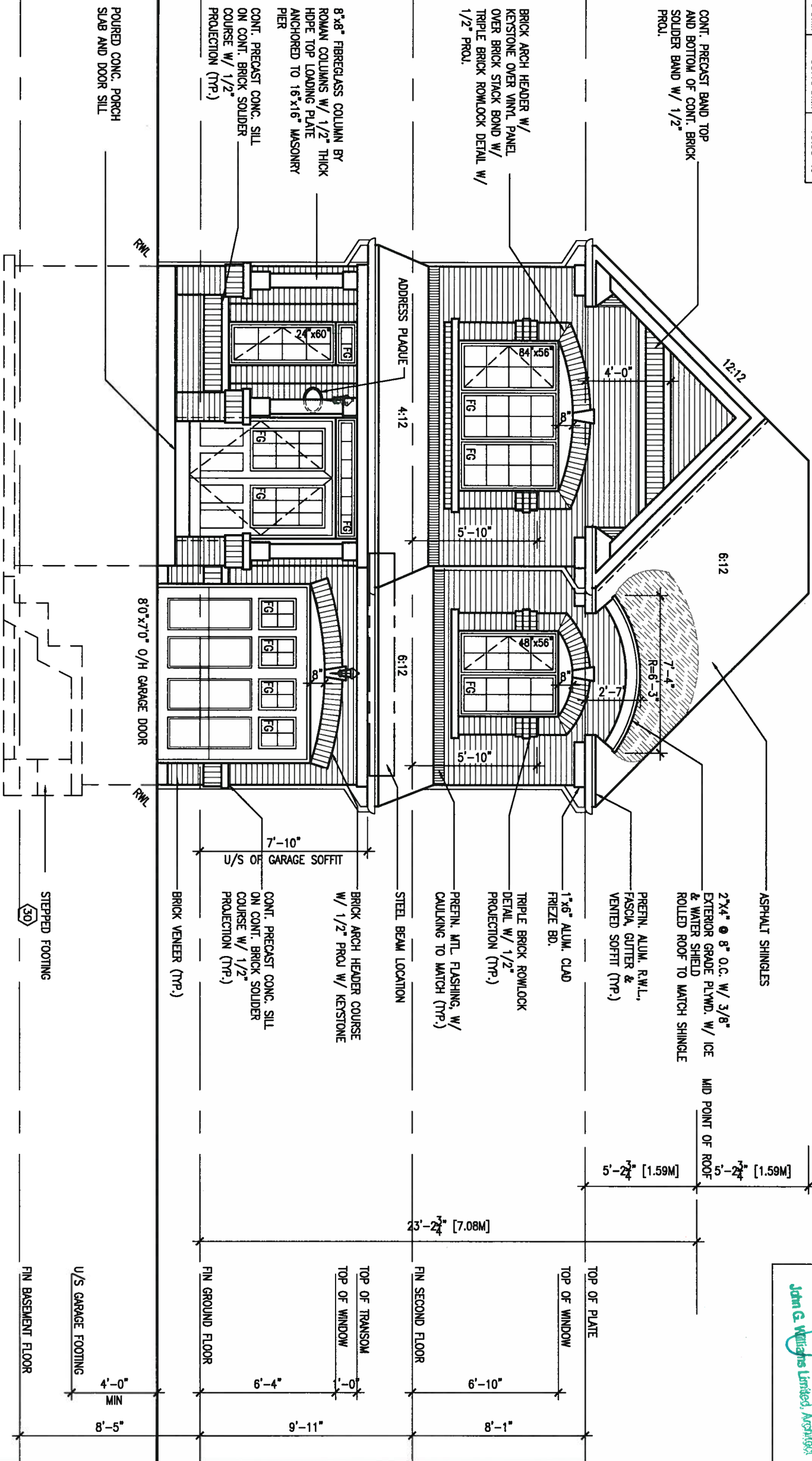


BAYVIEW WELLINGTON

S30-1

project name ALCONA	municipality INNISFIL, ONTARIO	project no. 13049
date NOV. 2015		drawing no. 6
PARTIAL PLAN 'C'		
drawn by RC	checked by 3/16" = 1'-0"	file name 13049-S30-1
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UNINSULATED OPENINGS (PER OBC, SB-12.3.1(7))			
30-1 ELEVATION A	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	482 S.F.	107.722 S.F.	22.35 %
LEFT SIDE	1002 S.F.	90.667 S.F.	9.05 %
RIGHT SIDE	1002 S.F.	0 S.F.	0.00 %
REAR	482 S.F.	125.917 S.F.	26.12 %
* OPENINGS OMITTED AS PER SB-12 3.1.1(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
	0 S.F.		
TOTAL SQ. FT.	2968.00 S.F.	324.31 S.F.	10.93 %
TOTAL SQ. M.	275.73 S.M.	30.13 S.M.	10.93 %

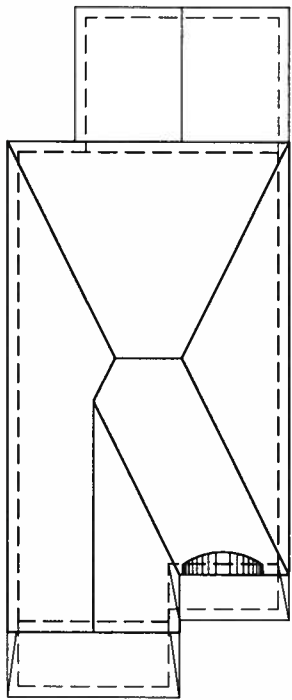


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ARCHITECTURAL REVIEW & APPROVAL
OCT 10 2017
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8	.	.	qualification information		project name	ALCONA	project no.	13049		
7	.	.	Wellington Jno-Baptiste		signature	BCIN	42658	drawing no.	7	
6	.	.	name		registration information	VA3 Design Inc.	42658	scale	3/16" = 1'-0"	
5	.	.	signature		BCIN	42658	checked by	RC	file name	13049-S30-1
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3	REVISED TO 10" FOUNDATION WALLS	DEC 12-16	AJE			municipality		INNISFIL, ONTARIO		
2	REVISED INSULATION AT STAIRS	SEPT 19/16	SB			date		NOV. 2015	FRONT ELEVATION A	
1	ISSUED FOR CLIENT REVIEW	JUL 04-16	RC			drawn by		RC	file name	
no.	description	date	by			checked by		RC	file name	
						scale		3/16" = 1'-0"	13049-S30-1	
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ROOF PLAN 'A'

John G. Williams Limited, Architect

OCT 10 2017

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PRETN. ALUM. R.W.L.,
FASCOA, GUTTER &
VENTED SOFFIT (TYP.)

1"x6" ALUM. CLAD
FRIEZE BD.

CONT. PRECAST CONC. SILL
ON CONT. BRICK SOLIDER
COURSE W/ 1/2"
PROJECTION (TYP.)

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

CONT. PRECAST CONC.
SILL ON CONT. BRICK
SOLIDER COURSE W/
1/2" PROJECTION (TYP.)
REAR UPG. ONLY

WALL AREA 1001.88 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
OPENING ALLOWED 70.13 SQ. FT.
OPENING PROVIDED 57.67 SQ. FT. (GLASS AREA)
(GLASS AREA FROM CATALOGUE)

LEFT SIDE ELEVATION 'A'

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

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6.	.	.	.	name registration information BCN
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va3design.com

BAYVIEW WELLINGTON

S30-1

project name ALCONA municipality INNISFIL, ONTARIO

project no. 13049

date NOV. 2015 checked by scale 3/16" = 1'-0"

LEFT SIDE ELEVATION A

drawing no. 8

drawn by RC file name 13049-S30-1

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(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL

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OCT 10 2017

**ROOF FOR FOR UPC.
REAR ONLY**

6:12

4-0
FOR REAR WPC
ONLY

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE) 45 MINUTE
FIRE RATING • HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' Gypsum BOARD BETWEEN FLOOR JOIST
AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR
JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

PREFIN. MTL. FLASHING, W/
CAULKING TO MATCH (TYP.)

STEPPED FOOTING

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

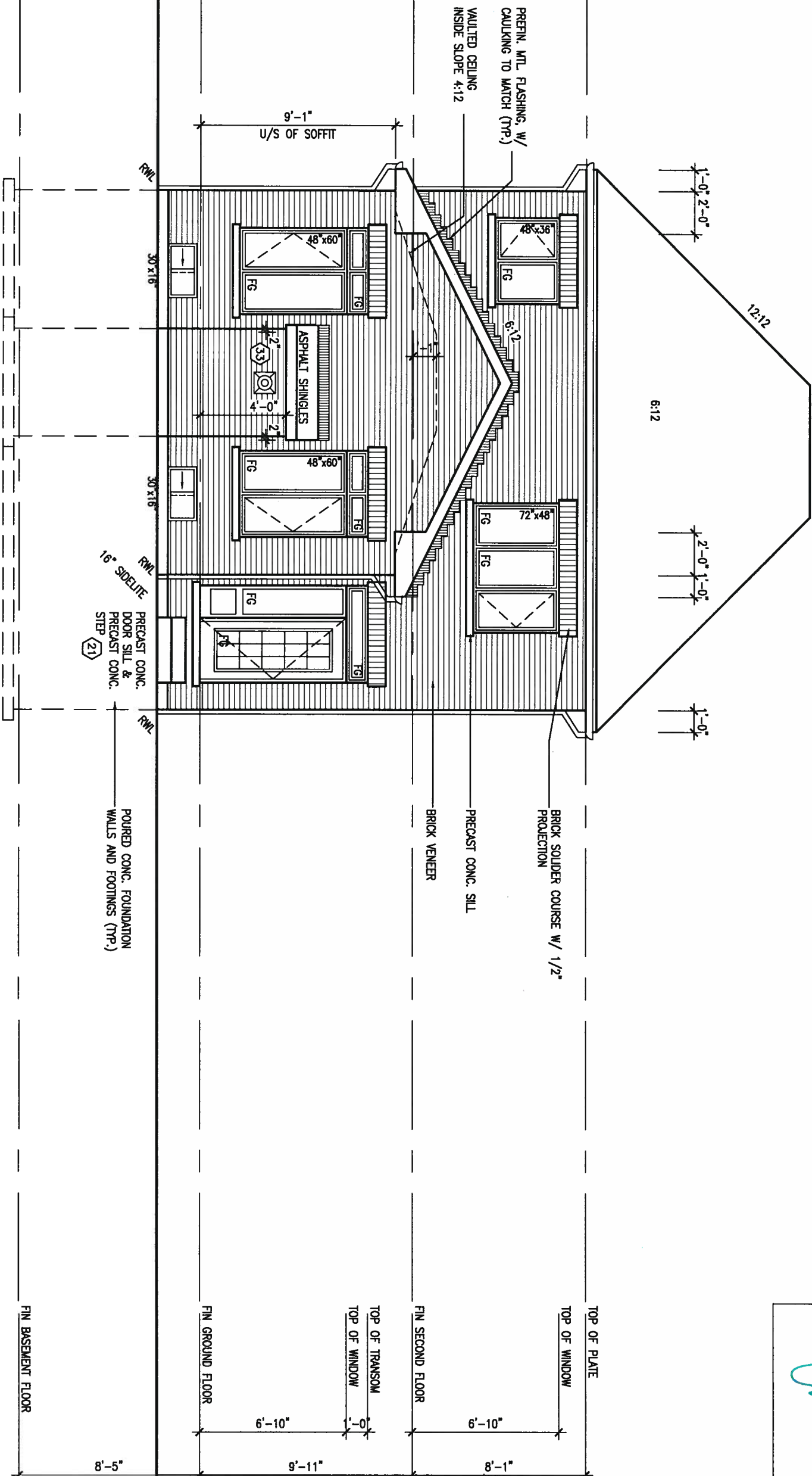
VA3
DESIGN

BAYVIEW WELLINGTON

S30-1

project name ALCONA	municipality INNISFIL, ONTARIO	project no. 13049
date NOV. 2015		drawing no. 9
drawn by RC		RIGHT SIDE ELEVATION A file name 13049-S30-1
checked by RC		
scale 3/16" = 1'-0"		
RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\30\13049-S30-1.dwg - Wed - Oct 4 2017 - 11:49 AM		

REAR ELEVATION 'A/B/C'



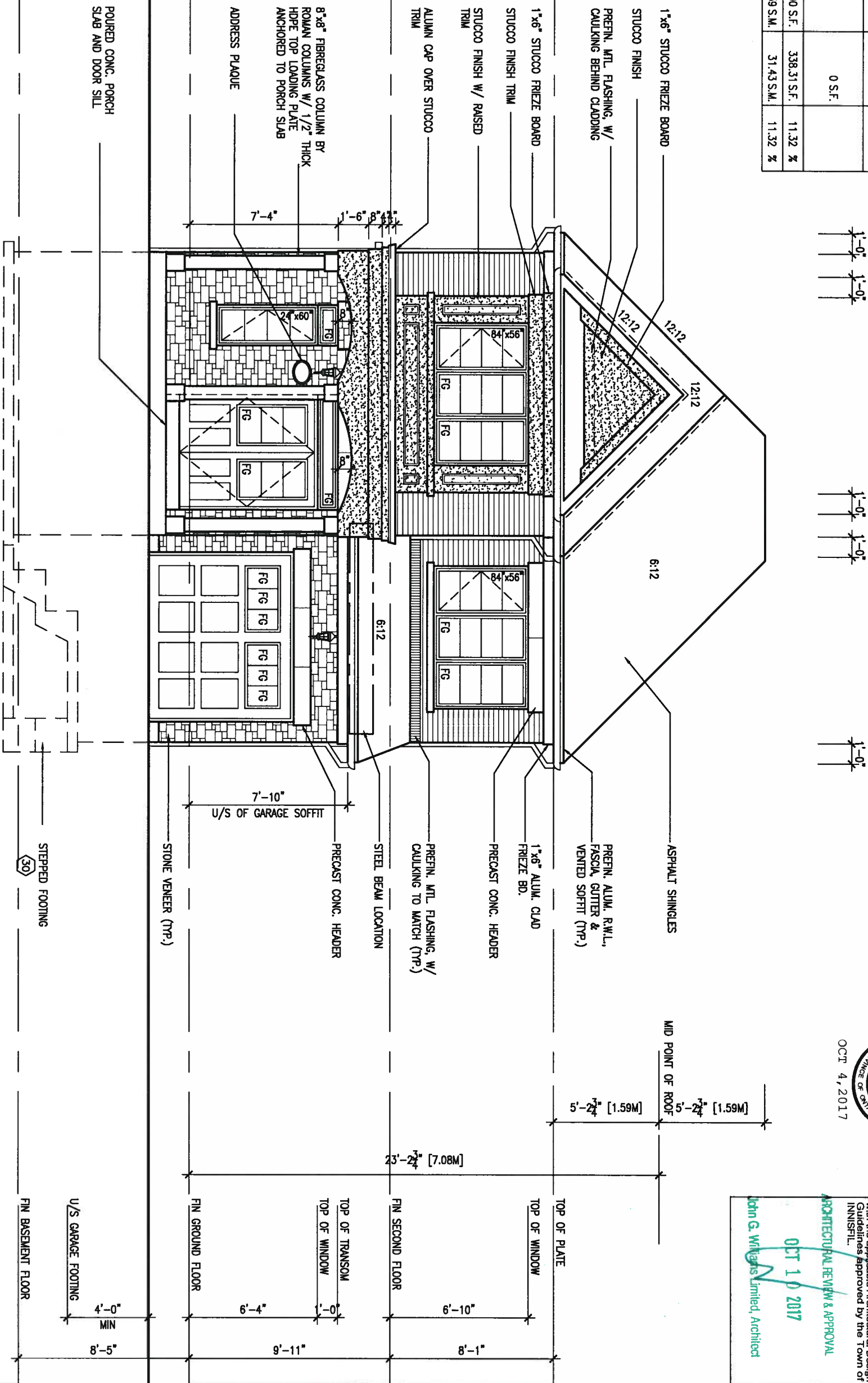
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

OCT 10 2017

John G. Williams Limited, Architect

9		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		BAYVIEW WELLINGTON		S30-1	
8		Wellington Jno-Baptiste		ALCONA		INNISFIL, ONTARIO	
7		name registration information		date		municipality	
6		VA3 Design Inc.		NOV. 2015		13049	
5		255 Consumers Rd Suite 120		checked by		REAR ELEVATION	
4		Toronto ON M2J 1R4		scale		drawing no.	
3		t 416.630.2255 f 416.630.4782		3/16" = 1'-0"		10	
2		va3design.com		file name		13049-S30-1	
1		Drawings are not to be scaled.		RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\30\13049-S30-1.dwg ~ Wed - Oct 4 2017 ~ 11:49 AM			
no.		description		date		by	
4		REVISED AS PER ENG'S COMMENTS		OCT 04-17		RC	
3		REVISED TO 10" FOUNDATION WALLS		DEC 12-16		AJE	
2		REVISED INSULATION AT STAIRS		SEPT 19/16		SB	
1		ISSUED FOR CLIENT REVIEW		JUL 04-16		RC	

UNINSULATED OPENINGS (PER OBC, SB-12.3.1(7))			
30-1 ELEVATION B	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	482 S.F.	121.722 S.F.	25.25 %
LEFT SIDE	1012 S.F.	90.667 S.F.	8.96 %
RIGHT SIDE	1012 S.F.	0 S.F.	0.00 %
REAR	482 S.F.	125.917 S.F.	26.12 %
* OPENINGS OMITTED AS PER SB-12.3.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	2988.00 S.F.	338.31 S.F.	11.32 %
TOTAL SQ. M.	277.59 S.M.	31.43 S.M.	11.32 %



OCT 4, 2017

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable building codes and regulations including zoning bylaws and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

ARCHITECTURAL REVIEW & APPROVAL
OCT 10 2017
John G. Williams Limited, Architect

9 .		The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		25591	
8 .		qualification information		BCN	
7 .		Wellington Jno-Baptiste		42658	
6 .		name			
5 .		registration information			
4 REVISED AS PER ENG'S COMMENTS		OCT 04-17	RC		
3 REVISED TO 10" FOUNDATION WALLS		DEC 12-16	AJE		
2 REVISED INSULATION AT STAIRS		SEPT 19/16	SB		
1 ISSUED FOR CLIENT REVIEW		JUL 04-16	RC		
no.	description	date	by		

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name
ALCONA

date
NOV. 2015

drawn by
RC

checked by
scale
3/16" = 1'-0"

municipality
INNISFIL, ONTARIO

project no.
13049

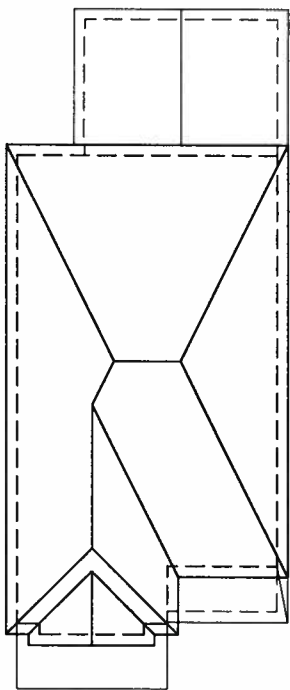
drawing no.
11

file name
13049-S30-1

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S30-1

FRONT ELEVATION B



ROOF PLAN 'B'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

ARCHITECTURAL REVIEW & APPROVAL

OCT 10 2017

John G. Wilkings Limited, Architect

ROOF FOR FOR UPS
REAR ONLY

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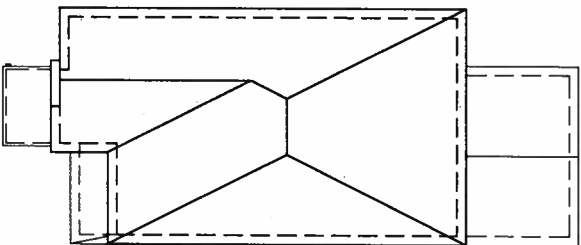
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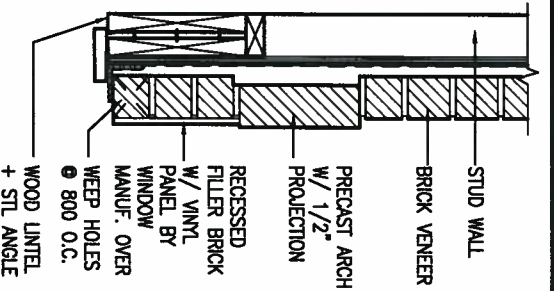
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1

UNINSULATED OPENINGS (PER OBC, SB-12.3.1(7))				
30-1 ELEVATION A	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	482 S.F.	112.389 S.F.	23.32 %	
LEFT SIDE	1002 S.F.	90.667 S.F.	9.05 %	
RIGHT SIDE	1002 S.F.	0 S.F.	0.00 %	
REAR	482 S.F.	125.917 S.F.	26.12 %	
* OPENINGS OMITTED AS PER SB-12 3.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION				
TOTAL SQ. FT.	2968.00 S.F.	328.97 S.F.	11.08 %	
TOTAL SQ. M.	275.73 S.M.	30.56 S.M.	11.08 %	

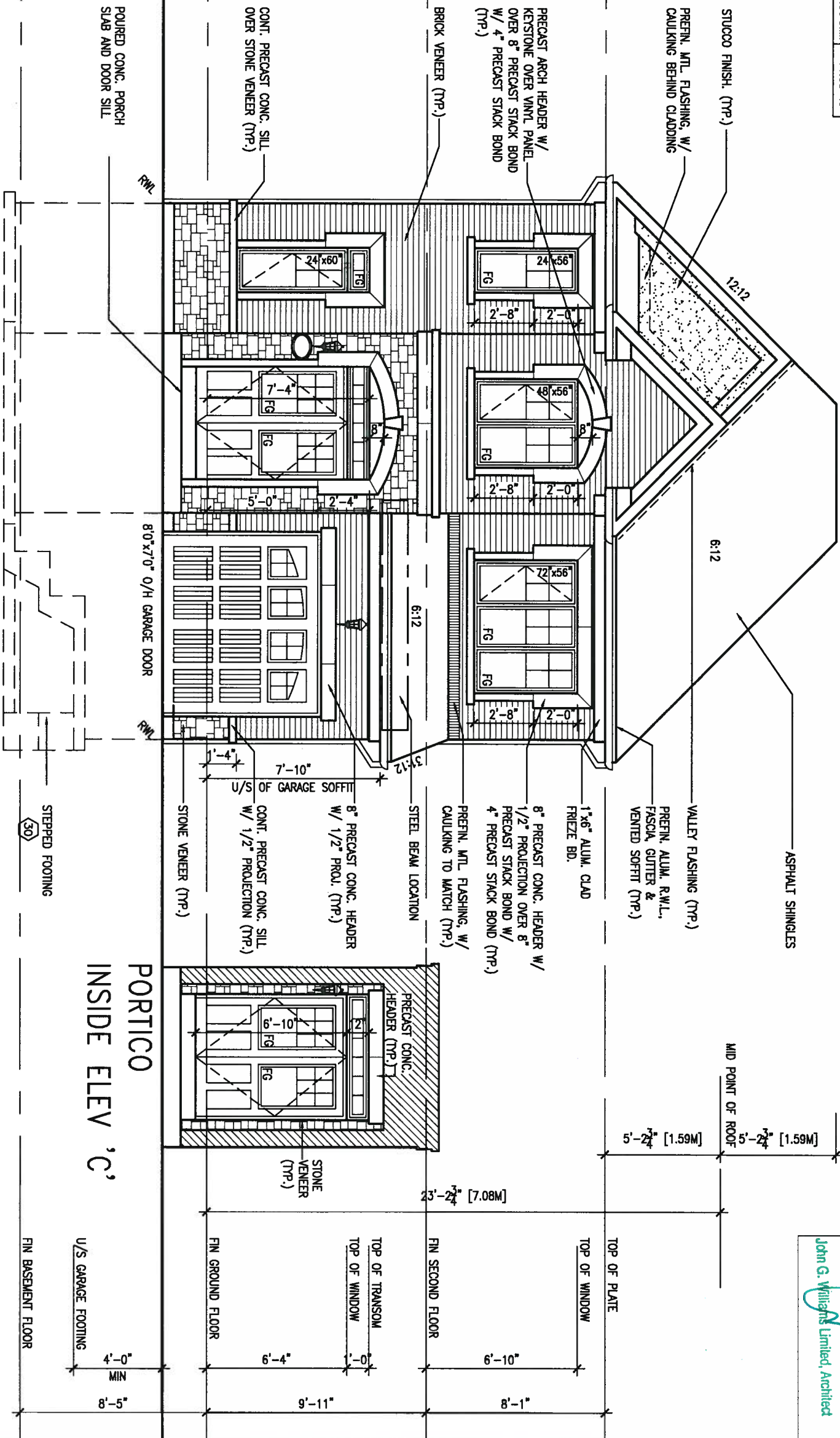


ROOF PLAN 'C'
N.T.S.



PREC. ARCH W/ VINYL
PANEL BELOW DETAIL

FRONT ELEVATION 'C'



OCT 4, 2017



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and applicable regulations and requirements in the subdivision agreement. The Control Architect is not responsible in any way for examining drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

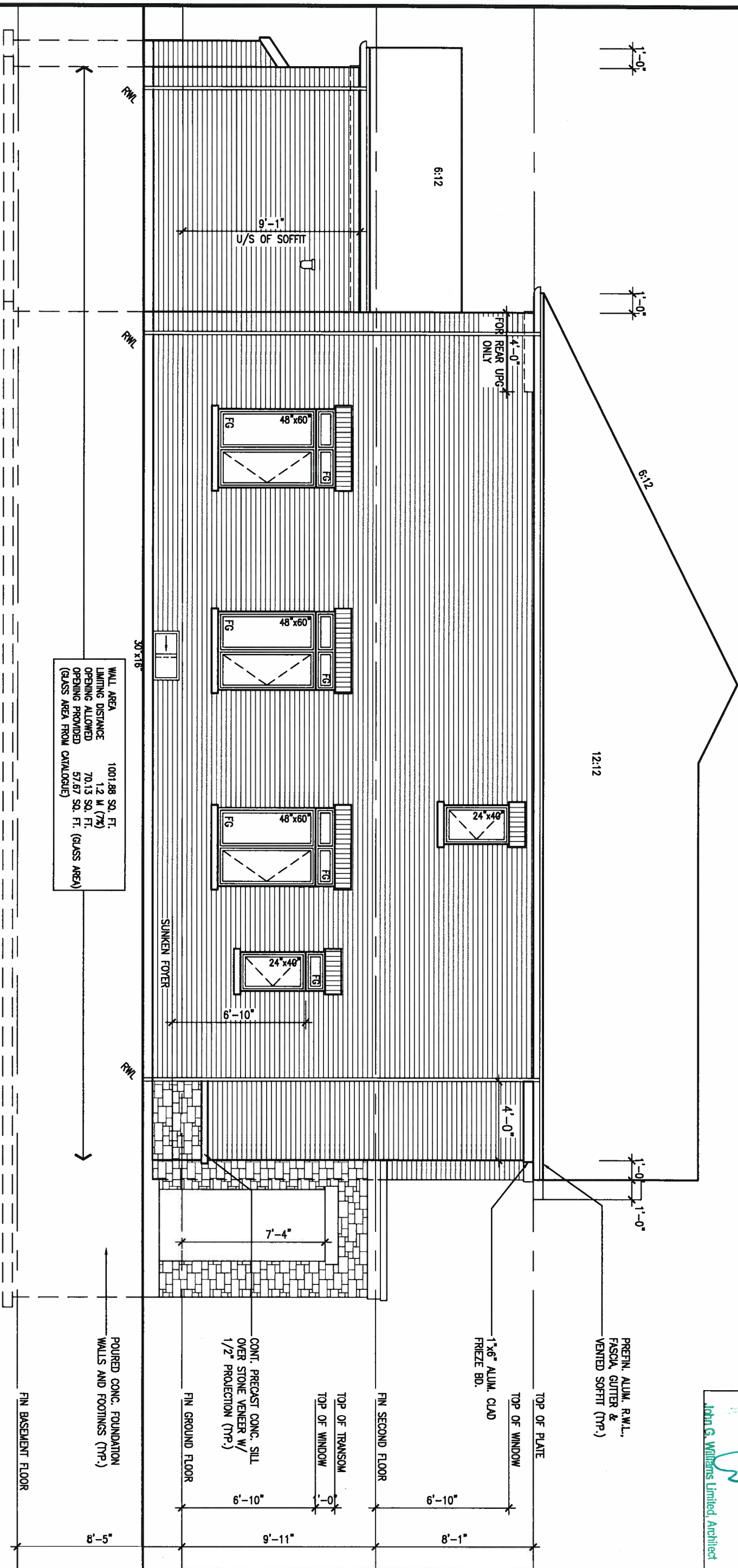
OCT 10 2017

ARCHITECTURAL REVIEW & APPROVAL

John G. Williams Limited Architect

9		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		25591		project name		municipality		project no.	
8		Wellington Jno-Baptiste		BCIN		ALCONA		INNISFIL, ONTARIO		13049	
7		name		42658		date		FRONT ELEVATION C		drawing no.	
6		registration information		VA3 Design Inc.		NOV. 2015		checked by		13049-S30-1	
5		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		255		drawn by		scale		14	
4		REVISED AS PER ENG'S COMMENTS		OCT 04-17 RC		RC		3/16" = 1'-0"		file name	
3		REVISED TO 10" FOUNDATION WALLS		DEC 12-16 AJE		RC		H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\30\13049-S30-1.dwg		Richard	
2		REVISED INSULATION AT STAIRS		SEPT 19/16 SB		RC		Wed - Oct 4 2017 - 11:49 AM			
1		ISSUED FOR CLIENT REVIEW		JUL 04-16 RC							
no.		description		date							

REFER TO FRONT
ELEVATION FOR TYPICAL
DETAILS & DIMENSIONS



OCT 4, 2017



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Control of the City of Lincoln is not responsible for examining or approving sites (lotting) plans or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

ARCHITECTURAL REVIEW & APPROVAL

OCT 10 2017

John G. Williams Limited, Architect

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name signature BCIN
5	.	.	.	registration information VAS Design Inc. 42658
4	REVISED AS PER ENG'S COMMENTS	OCT 04-17	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
3	REVISED TO 10" FOUNDATION WALLS	DEC 12-16	A/E	
2	REVISED INSULATION AT STAIRS	SEPT 19/16	SB	
1	ISSUED FOR CLIENT REVIEW	JUL 04-16	RC	
no.	description	date	by	



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S30-1

project name	municipality
ALCONA	INNISFIL, ONTARIO

project no.
13049

date NOV. 2015 LEFT SIDE ELEVATION C
 drawn by checked by scale file name
 RC 3/16" = 1'-0" 13049-S30-1
 RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\30\13049-S30-1.dwg - Wed - Oct 4 2017 - 11:49 AM

drawing no.
15

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS* WITH A MASS OF NOT LESS THAN 1.22 kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the applicable jurisdiction and to obtain the necessary approvals from the relevant authorities. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

ARCHITECTURAL REVIEW & APPROVAL
OCT 10 2017
John G. Williams M.Arch, Architect

BAYVIEW WELLINGTON

S30-1

project name	ALCONA	municipality	INNISFIL, ONTARIO	project no.	13049
date	NOV. 2015	checked by	scale	RIGHT SIDE ELEVATION C	drawing no.
drawn by	RC		3/16" = 1'-0"	13049-S30-1	16
RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\30\13049-S30-1.dwg - Wed - Oct 4 2017 - 11:49 AM					



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

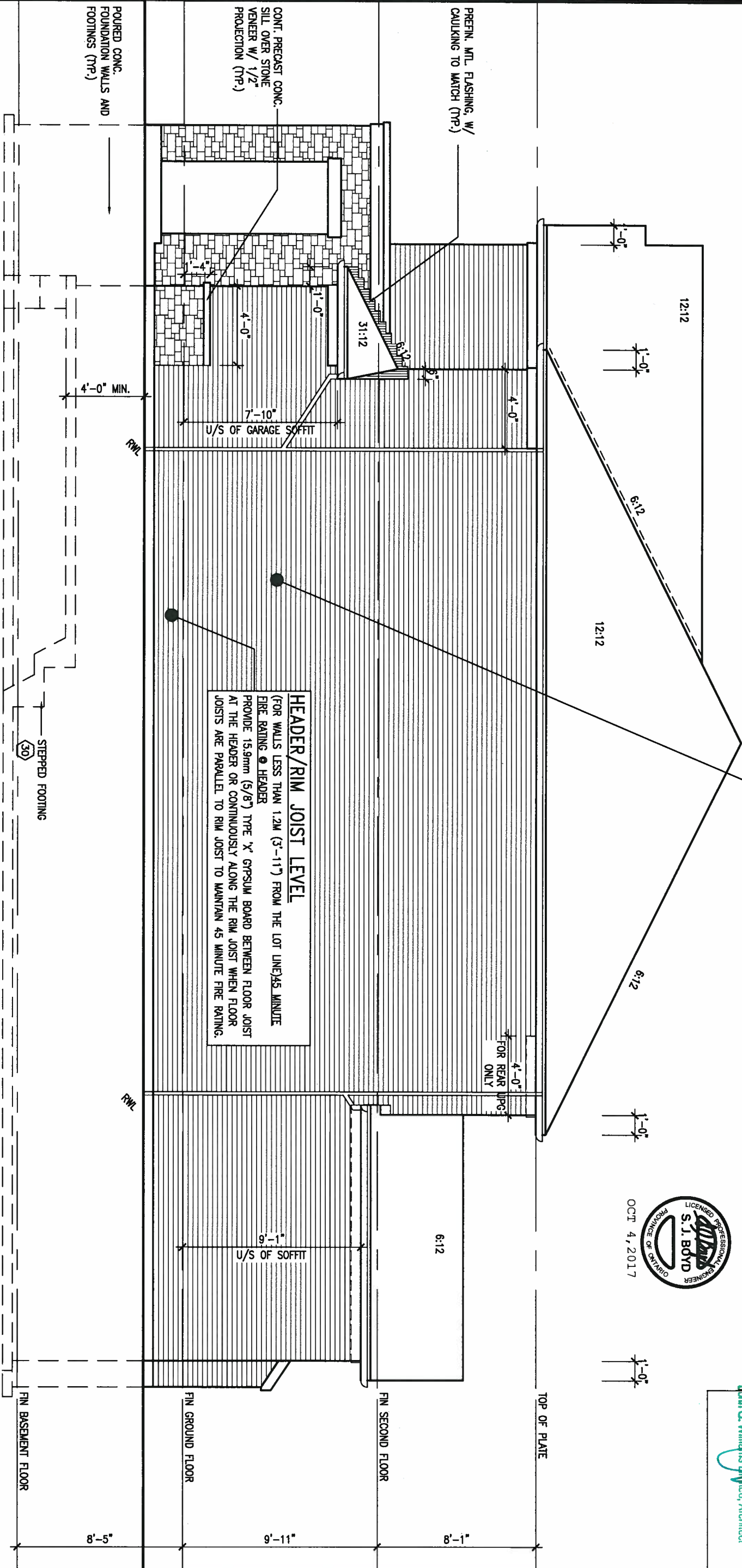
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 255591
signature
name registration information
VA3 Design Inc. 42658

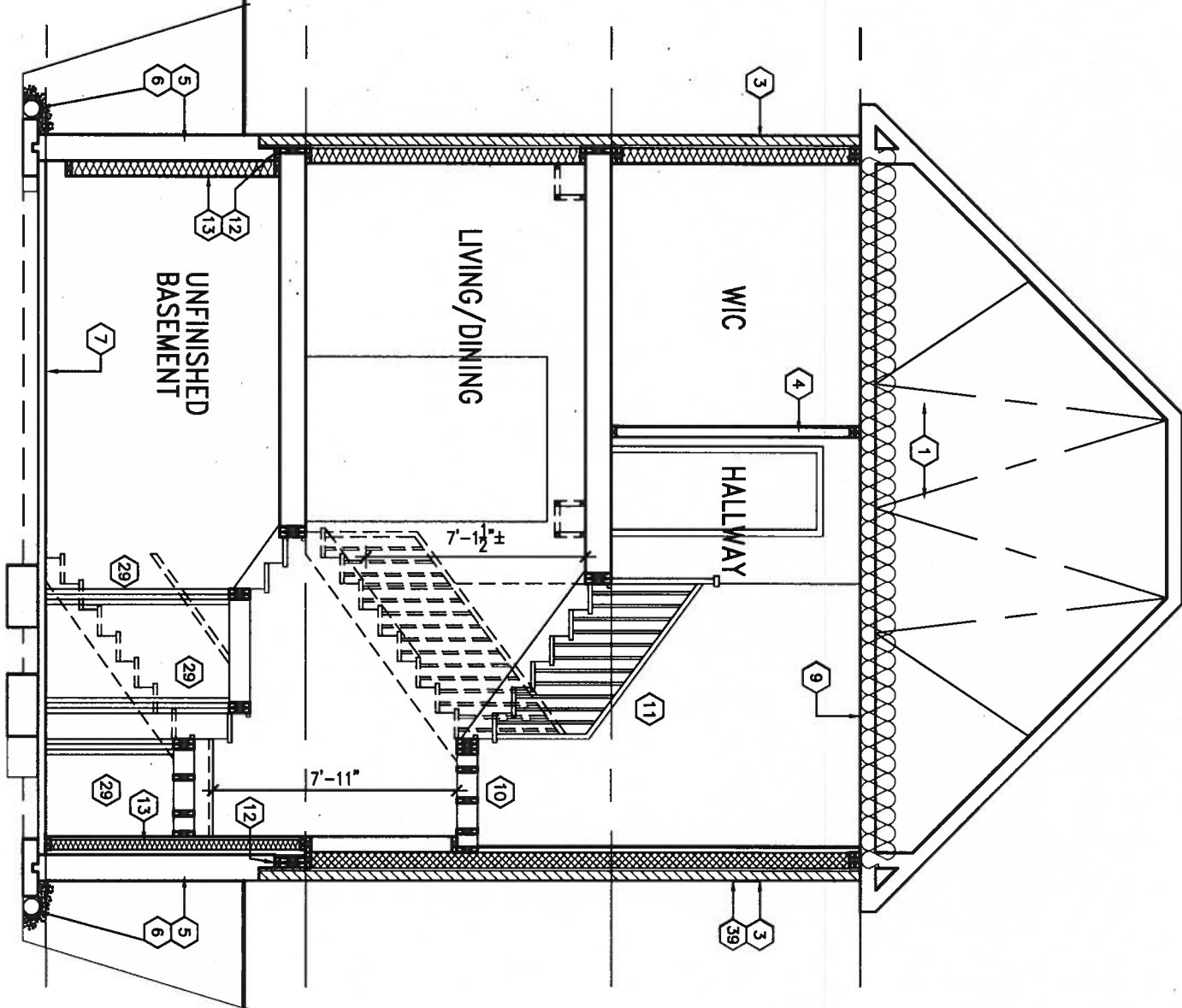
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
9			
8			
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4	REVISED AS PER ENG'S COMMENTS	OCT 04-17	RC
3	REVISED TO 10" FOUNDATION WALLS	DEC 12-16	AJE
2	REVISED INSULATION AT STAIRS	SEPT 19/16	SB
1	ISSUED FOR CLIENT REVIEW	JUL 04-16	RC

RIGHT SIDE ELEVATION 'C'



SECTION 'A-A'



OCT 4, 2017



It is the builder's complete responsibility to ensure that the construction of this house fully complies with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

9.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.	.	.	qualification information
7.	.	.	Wellington Jno-Baptiste 25591
6.	.	.	name registration information BCN
5.	.	.	VA3 Design Inc. 42658
4.	REVISED AS PER ENG'S COMMENTS	OCT 04-17	RC
3.	REVISED TO 10" FOUNDATION WALLS	DEC 12-16	AJE
2.	REVISED INSULATION AT STAIRS	SEPT 19/16	SB
1.	ISSUED FOR CLIENT REVIEW	JUL 04-16	RC
no.	description	date	by

VA3 DESIGN

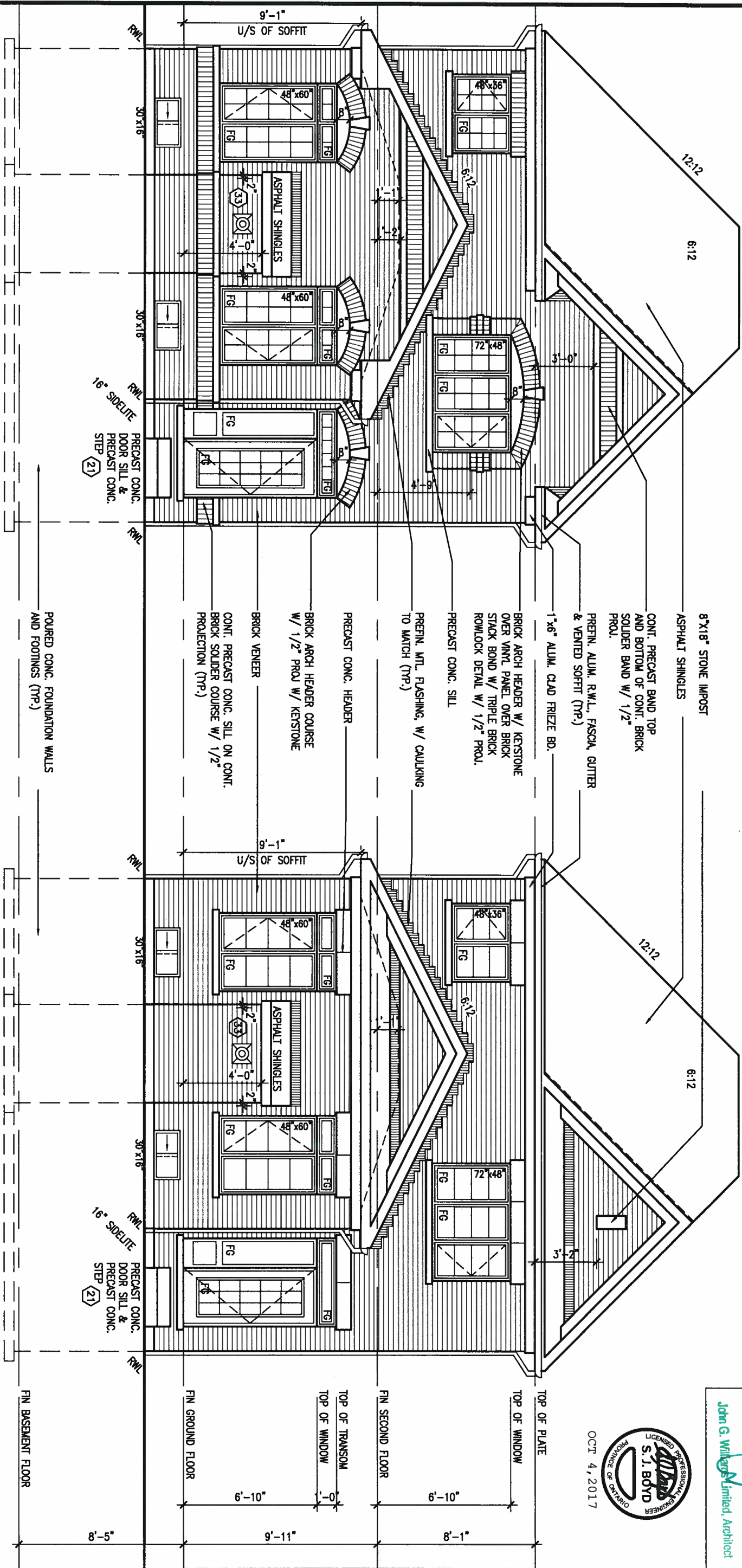
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON		S30-1	
project name	ALCONA	municipality	INNISFIL, ONTARIO
date	NOV. 2015	project no.	13049
drawn by	RC	checked by	scale
			3/16" = 1'-0"
SECTION 'A-A'		file name	13049-S30-1
RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\30\13049-S30-1.dwg - Wed - Oct 4 2017 - 11:49 AM		drawing no.	
		17	

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1'-0" 2'-0" 1'-0"

7'-7" 7'-7"



REAR ELEVATION 'A' UPGRADE

REAR ELEVATION 'B' UPGRADE

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

It is the builder's complete responsibility to ensure that all plans submitted to the City of Toronto are in accordance with the applicable zoning regulations and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

ARCHITECTURAL REVIEW & APPROVAL
OCT 1 0 2017
John G. Wilkerson Limited, Architect



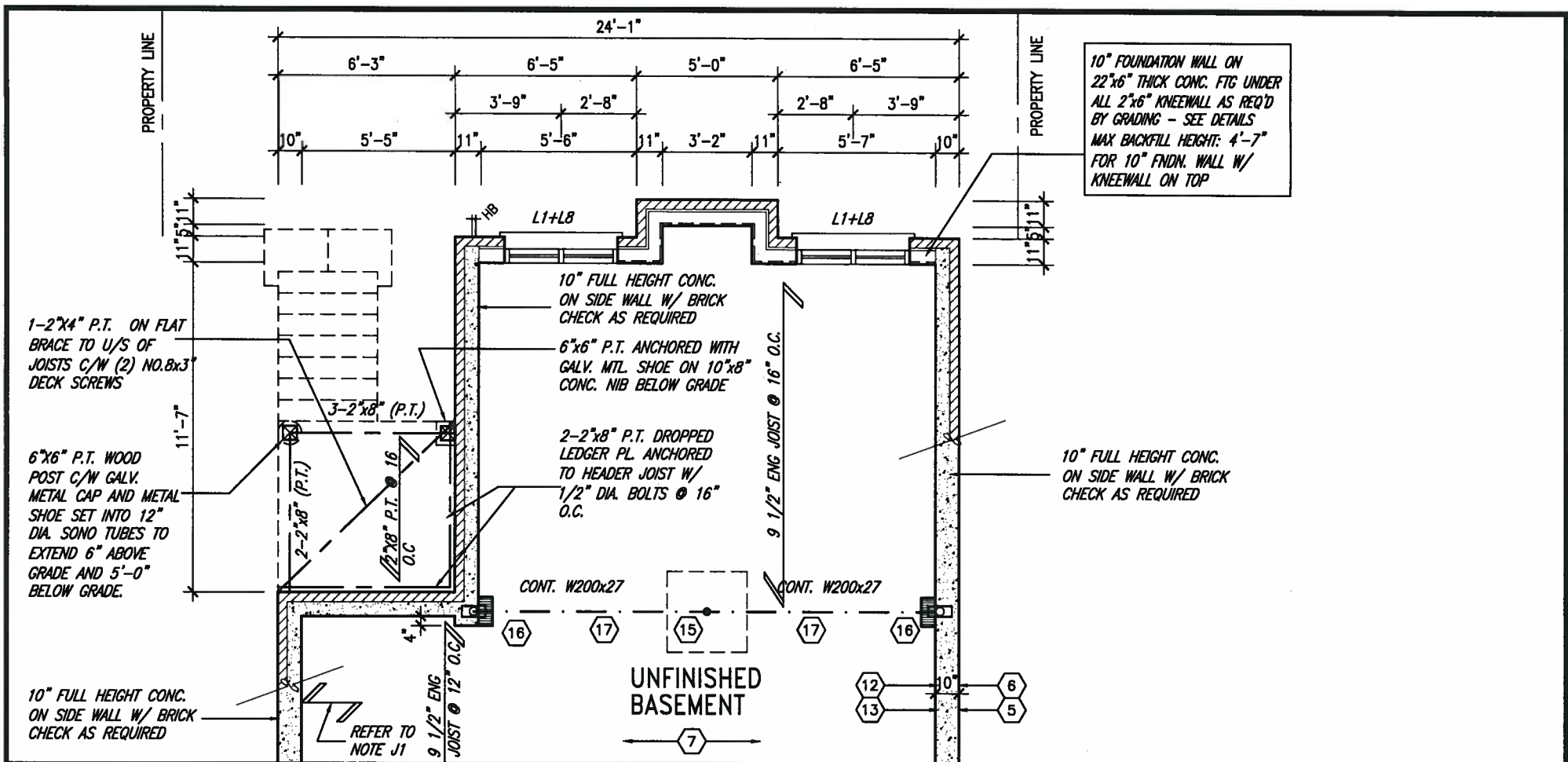
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

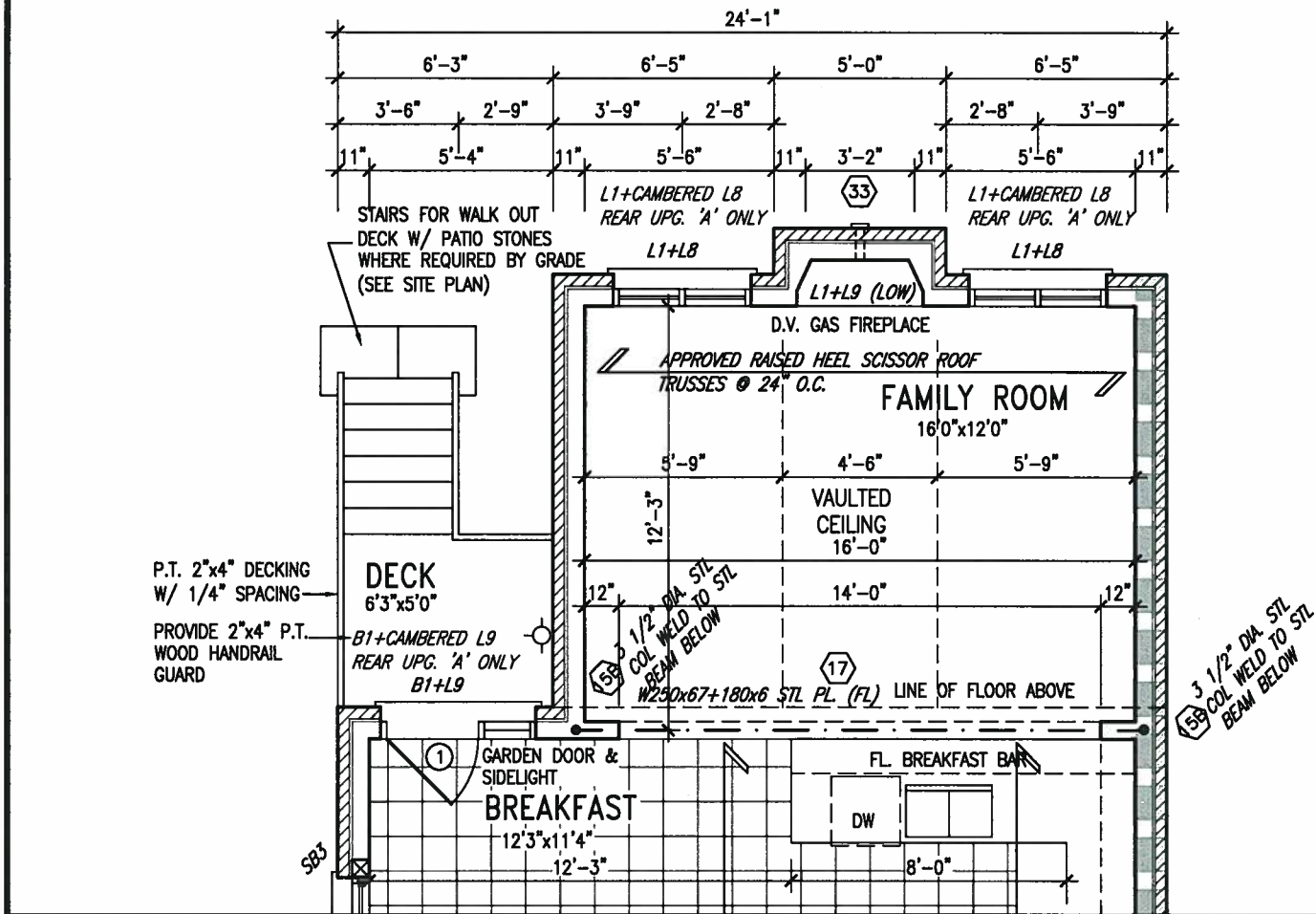
S30-1

project name	ALCONA	municipality	INNISFIL, ONTARIO	project no.	13049
date	NOV. 2015	checked by	scale	file name	
drawn by	RC		3/16" = 1'-0"	13049-S30-1	
RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\30\13049-S30-1.dwg - Wed - Oct 4 2017 - 11:49 AM					

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8	.	.	.	qualification information	
7	.	.	.	Wellington Jno-Baptiste	25591
6	.	.	.	signature	RCM
5	.	.	.	name	42658
4	REVISED AS PER ENG'S COMMENTS	OCT 04-17	RC	registration information	
3	REVISED TO 10" FOUNDATION WALLS	DEC 12-16	AJE	VA3 Design Inc.	
2	REVISED INSULATION AT STAIRS	SEPT 19/16	SB	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
1	ISSUED FOR CLIENT REVIEW	JUL 04-16	RC		
no.	description	date	by		



PARTIAL BASEMENT FLOOR PLAN W.O.D.
9R AND MORE COND



PARTIAL GROUND FLOOR PLAN W.O.D.
9R AND MORE COND

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
30-1 ELEVATION A 9R WOD	ENERGY EFFICIENCY - OBC SB12			30-1 ELEVATION B 9R WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	482 S.F.	107.722 S.F.	22.35 %	FRONT	482 S.F.	121.722 S.F.	25.25 %
LEFT SIDE	1002 S.F.	90.667 S.F.	9.05 %	LEFT SIDE	1012 S.F.	90.667 S.F.	8.96 %
RIGHT SIDE	1002 S.F.	0 S.F.	0.00 %	RIGHT SIDE	1012 S.F.	0 S.F.	0.00 %
REAR	578 S.F.	145.917 S.F.	25.25 %	REAR	578 S.F.	145.917 S.F.	25.25 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3064.00 S.F.	344.31 S.F.	11.24 %	TOTAL SQ. FT.	3084.00 S.F.	358.31 S.F.	11.62 %
TOTAL SQ. M.	284.65 S.M.	31.99 S.M.	11.24 %	TOTAL SQ. M.	286.51 S.M.	33.29 S.M.	11.62 %

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

ARCHITECTURAL REVIEW & APPROVAL

OCT 10 2017

John G. Williams Limited, Architect

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste
6	.	.	.	signature
5	.	.	.	25591
4	REVISED AS PER ENG'S COMMENTS	OCT 04-17	RC	BCIN
3	REVISED TO 10" FOUNDATION WALLS	DEC 12-16	AJE	42658
2	REVISED INSULATION AT STAIRS	SEPT 19/16	SB	
1	ISSUED FOR CLIENT REVIEW	JUL 04-16	RC	
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



BAYVIEW WELLINGTON			S30-1		
project name ALCONA		municipality INNISFIL, ONTARIO		project no. 13049	
date NOV. 2015		PARTIAL FLOOR PLAN WOD			drawing no.
drawn by RC		checked by 3/16" = 1'-0"	file name 13049-S30-1		19
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REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



ARCHITECTURAL REVIEW & APPROVAL

OCT 10 2017

John G. Williams Limited, Architect

project name ALCONA	municipality INNISFIL, ONTARIO	project no. 13049
date NOV. 2015	REAR ELEVATION WOD	
drawn by RC	checked by 3/16" = 1'-0"	file name 13049-S30-1
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255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591

name BOM

signature

registration information

VAS Design Inc. 42658

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9	.	.	.
8	.	.	.
7	.	.	.
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5	.	.	.
4	REVISED AS PER ENG'S COMMENTS	OCT 04-17	RC
3	REVISED TO 10" FOUNDATION WALLS	DEC 12-15	AJE
2	REVISED INSULATION AT STAIRS	SEPT 19/16	SB
1	ISSUED FOR CLIENT REVIEW	JUL 04-16	RC
no.	description	date	by

1'-0" 2'-0" 1'-0"

2'-0" 1'-0" 1'-0"

1'-0"

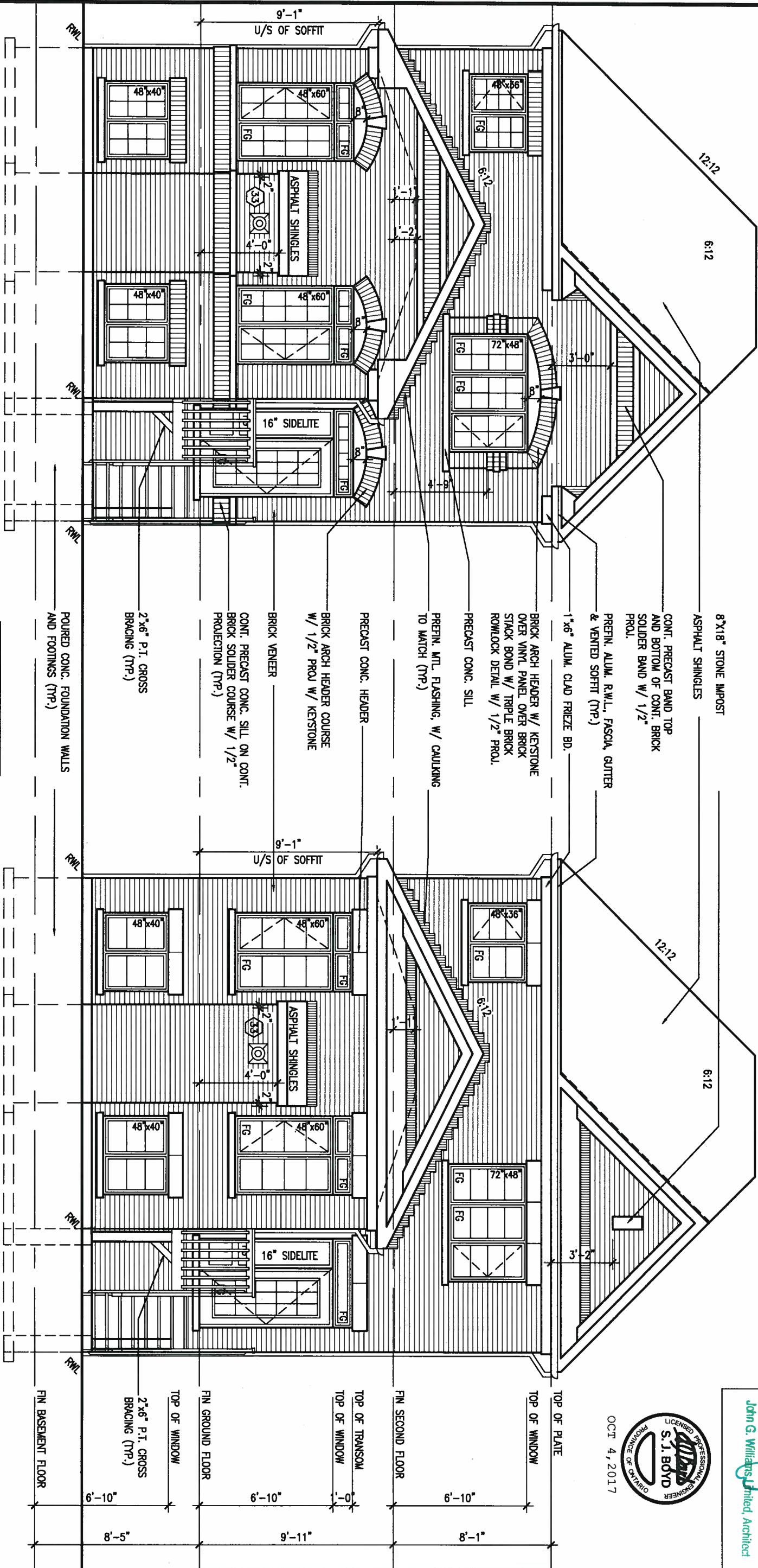
1'-0" 2'-0" 1'-0"

2'-0" 1'-0" 1'-0"

1'-0"

7'-7" 7'-7"

7'-7" 7'-7"



John G. Williams, Architect

ARCHITECTURAL REVIEW & APPROVAL

OCT 10 2017



OCT 4, 2017

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S30-1

BAYVIEW WELLINGTON

project name	ALCONA	municipality	INNISFIL, ONTARIO	project no.	13049
date	NOV. 2015	drawn by	RC	checked by	scale
					3/16" = 1'-0"
				file name	13049-S30-1
					21



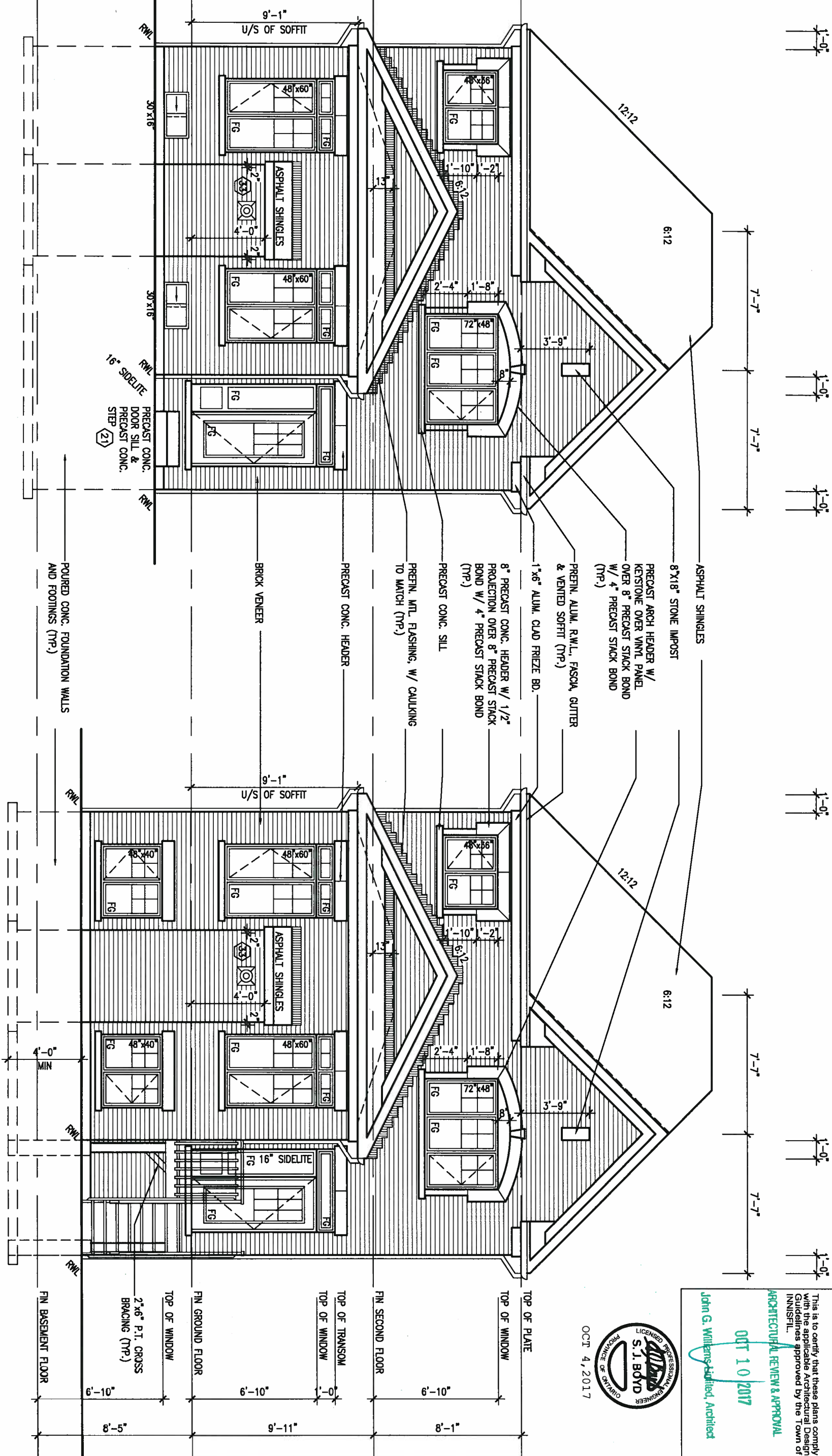
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

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qualification information
Wellington Jno-Baptiste 25591 BCR
name registration information
VA3 Design Inc. 42658

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no.	description	date	by
9.			
8.			
7.			
6.			
5.			
4.	REVISED AS PER ENG'S COMMENTS	OCT 04-17	RC
3.	REVISED TO 10" FOUNDATION WALLS	DEC 12-16	AJE
2.	REVISED INSULATION AT STAIRS	SEPT 19/16	SB
1.	ISSUED FOR CLIENT REVIEW	JUL 04-16	RC



BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

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ARCHITECTURAL REVIEW & APPROVAL

OCT 10 2017

John G. Williams, Architect



OCT 4, 2017

BAYVIEW WELLINGTON

S30-1

project name	municipality
ALCONA	INNISFIL, ONTARIO

project no.
13049

REAR ELEVATION 'C' UPGRADE

22

13049-S30-1
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drawn by
RC

checked by scale 3/16" = 1'-0"

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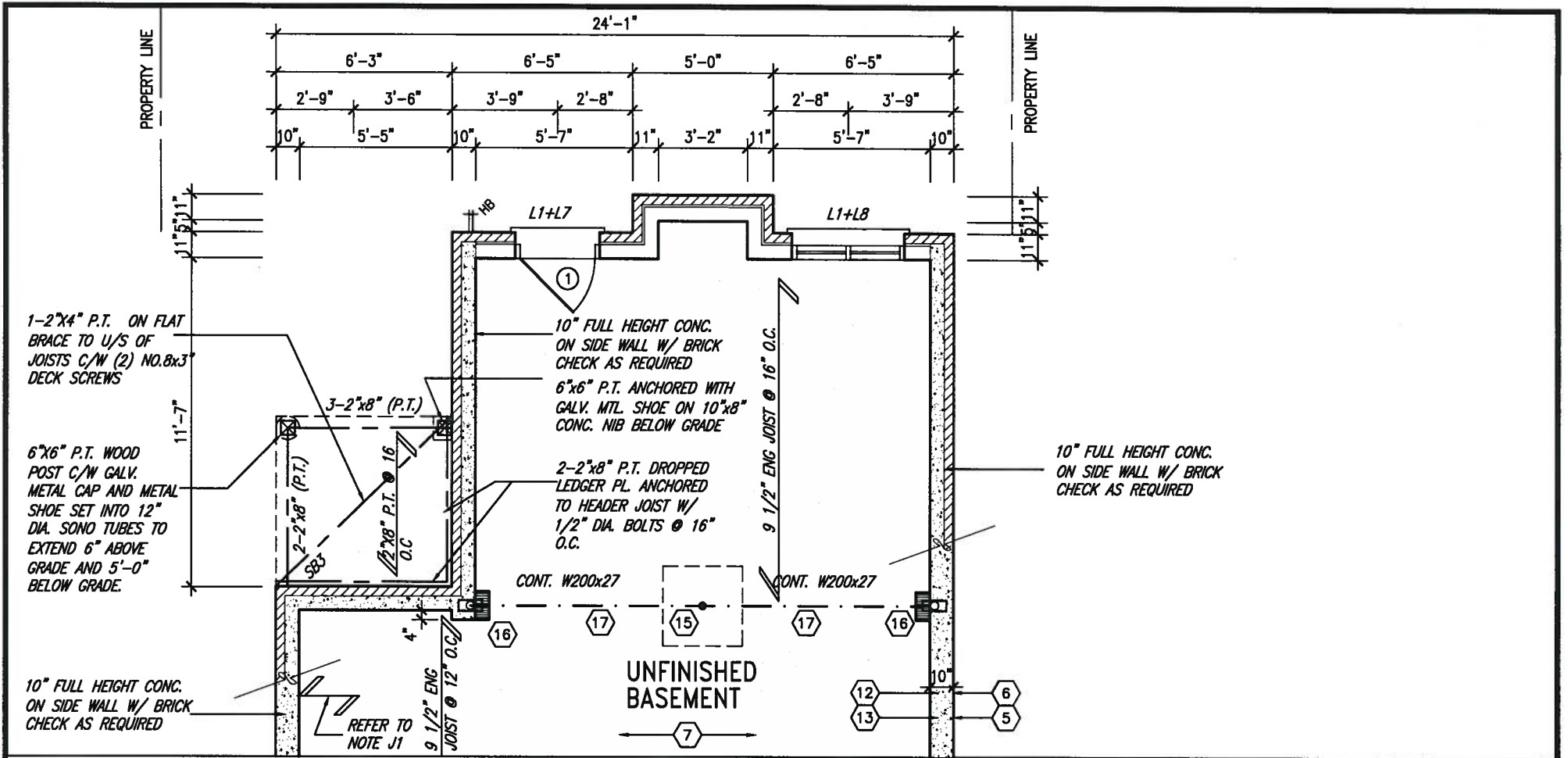
qualification information

Wellington Jno-Bo

name
registration information
VA3 Design Inc.

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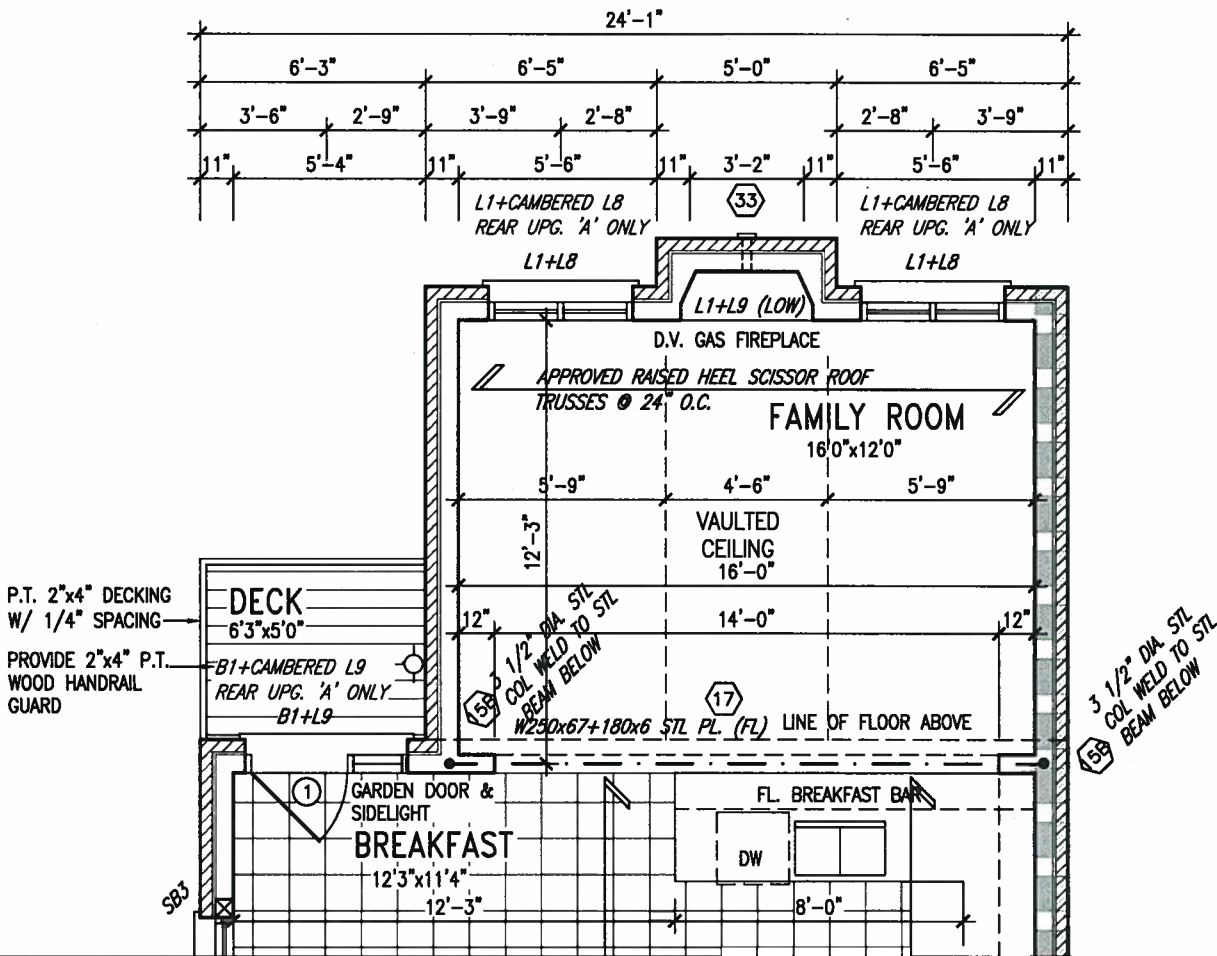
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4	REVISED AS PER ENG'S COMMENTS	OCT 04-17	RC
3	REVISED TO 10" FOUNDATION WALLS	DEC 12-15	AJE
2	REVISED INSULATION AT STAIRS	SEPT 19/16	SB
1	ISSUED FOR CLIENT REVIEW	JUL 04-16	RC
no.	description	date	by



PARTIAL BASEMENT FLOOR PLAN WALK OUT BASEMENT CONDITION



OCT 4, 2017



PARTIAL GROUND FLOOR PLAN WALK OUT BASEMENT CONDITION

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))				UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
30-1 ELEVATION A WOB		ENERGY EFFICIENCY - OBC SB12		30-1 ELEVATION B WOB		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	482 S.F.	107.722 S.F.	22.35 %	FRONT	482 S.F.	121.722 S.F.	25.25 %
LEFT SIDE	1002 S.F.	90.667 S.F.	9.05 %	LEFT SIDE	1012 S.F.	90.667 S.F.	8.96 %
RIGHT SIDE	1002 S.F.	0 S.F.	0.00 %	RIGHT SIDE	1012 S.F.	0 S.F.	0.00 %
REAR	648 S.F.	179.75 S.F.	27.74 %	REAR	648 S.F.	179.75 S.F.	27.74 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3134.00 S.F.	378.14 S.F.	12.07 %	TOTAL SQ. FT.	3154.00 S.F.	392.14 S.F.	12.43 %
TOTAL SQ. M.	291.16 S.M.	35.13 S.M.	12.07 %	TOTAL SQ. M.	293.01 S.M.	36.43 S.M.	12.43 %

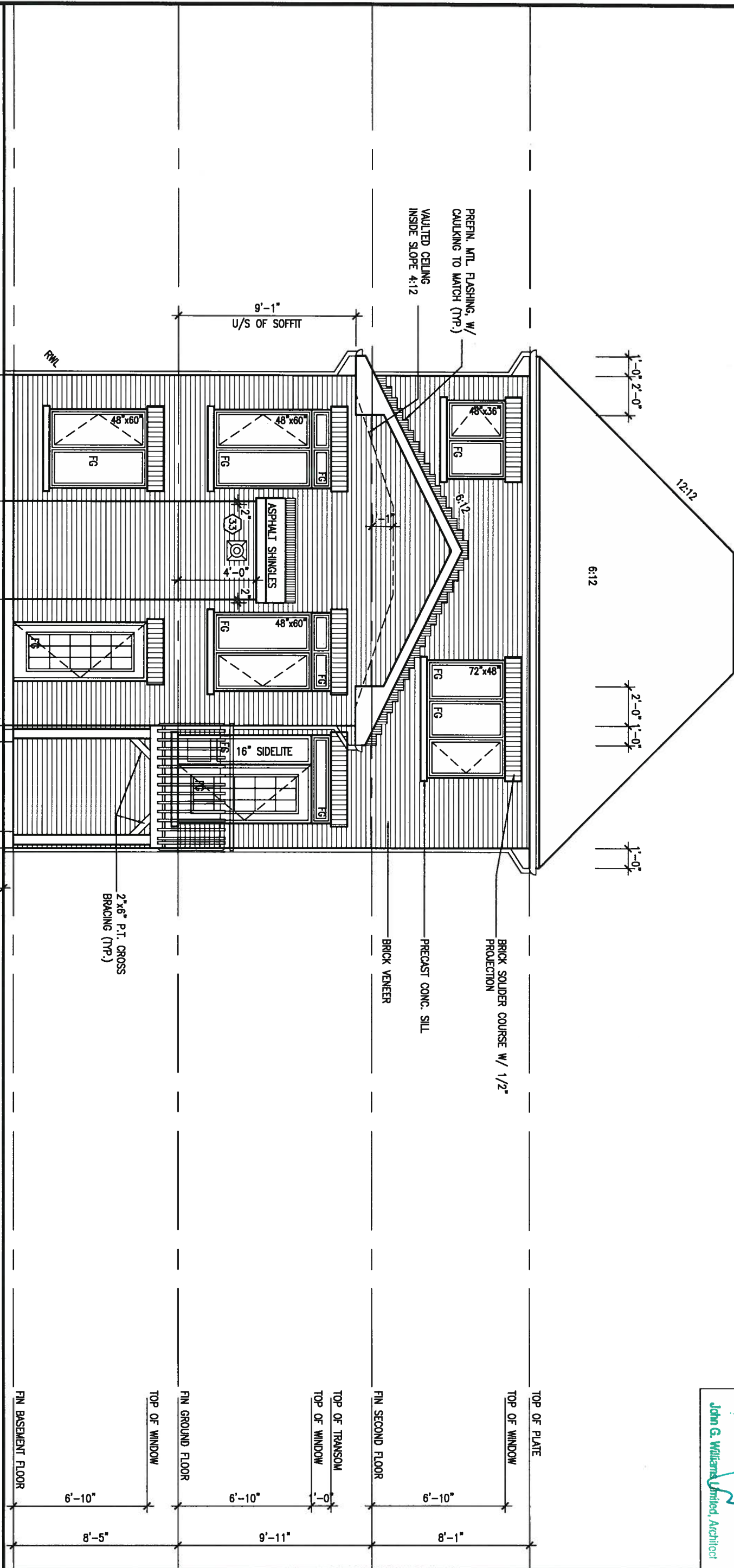
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OCT 10 2017
John G. Williams Limited, Architect

9		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		VA3 DESIGN		BAYVIEW WELLINGTON		S30-1	
8		qualification information		25591		project name		project no.	
7		Wellington Jno-Baptiste		BCIN		ALCONA		13049	
6		signature		42658		municipality		INNISFIL, ONTARIO	
5		name		255 Consumers Rd Suite 120		date		PARTIAL FLOOR PLAN WOB	
4 REVISED AS PER ENG'S COMMENTS		OCT 04-17 RC		Toronto ON M2J 1R4		NOV. 2015		drawing no.	
3 REVISED TO 10" FOUNDATION WALLS		DEC 12-16 AJE		t 416.630.2255 f 416.630.4782		drawn by		23	
2 REVISED INSULATION AT STAIRS		SEPT 19/16 SB		va3design.com		checked by		file name	
1 ISSUED FOR CLIENT REVIEW		JUL 04-16 RC				scale		13049-S30-1	
no. description		date by				3/16" = 1'-0"			
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REAR ELEVATION 'A/B/C'
WALK OUT BASEMENT COND



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ARCHITECTURAL REVIEW & APPROVAL
OCT 10 2017
John G. Williams, Limited, Architect

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

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7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	signature
5	.	.	.	name
4	REVISED AS PER ENG'S COMMENTS	OCT 04-17	RC	registration information
3	REVISED TO 10" FOUNDATION WALLS	DEC 12-16	AJE	VAS Design Inc. 42658
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no.	description	date	by	



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va3design.com

BAYVIEW WELLINGTON

S30-1

project name
ALCONA

municipality
INNISFIL, ONTARIO

project no.

date
NOV. 2015

REAR ELEVATION WOB

drawing no.

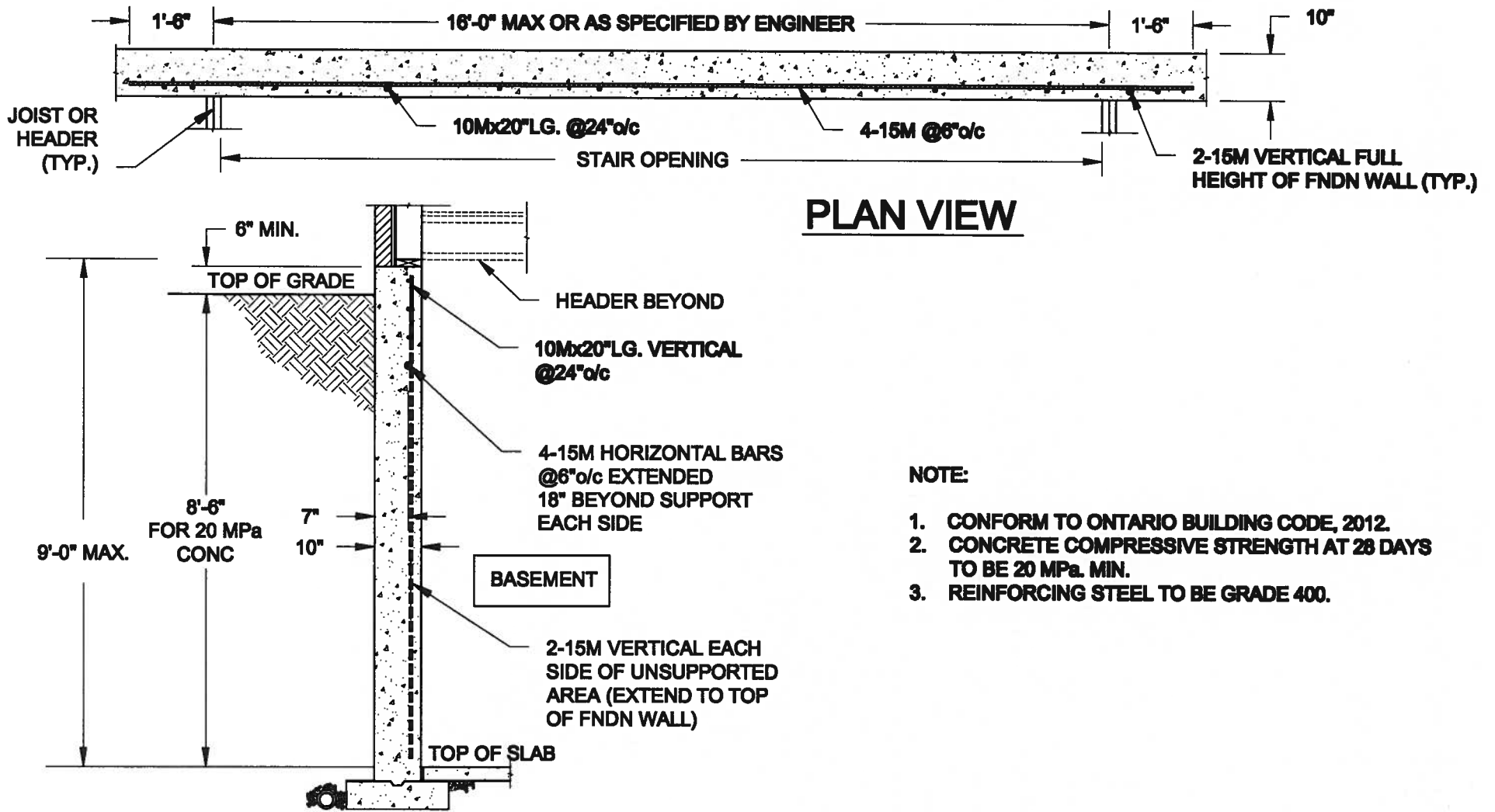
drawn by
RC

checked by
3/16" = 1'-0"

file name
13049-S30-1

24

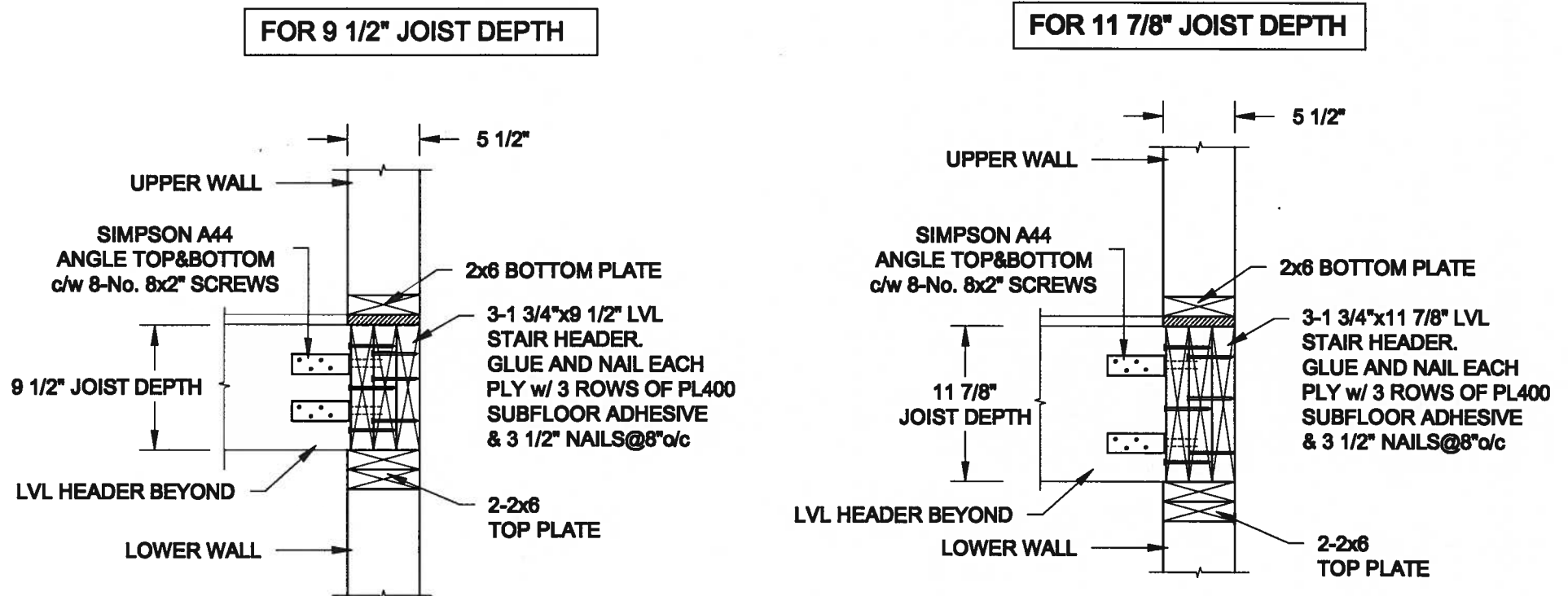
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NOTE:


1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 20 MPa. MIN.
3. REINFORCING STEEL TO BE GRADE 400.

1 LATERALLY UNSUPPORTED WALL
SCALE: 3/8" = 1'-0"

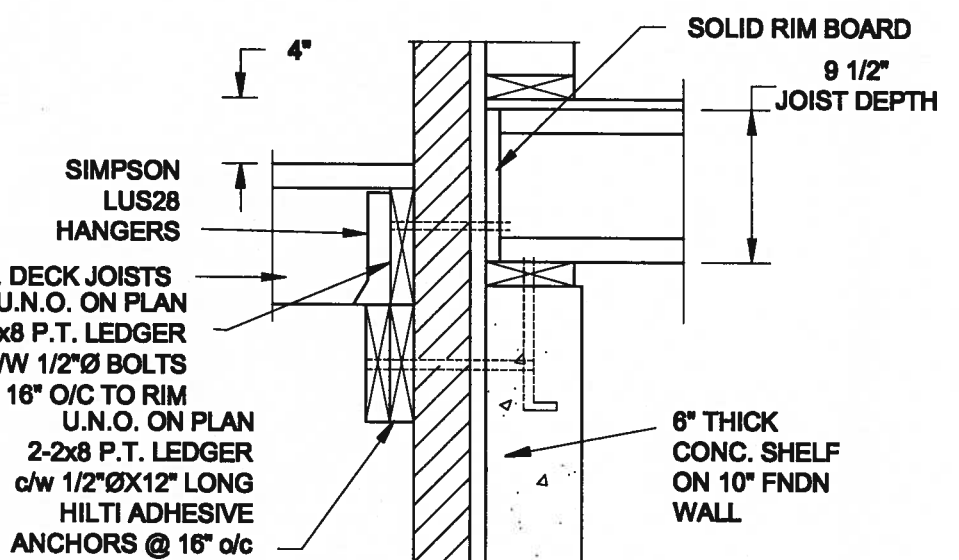
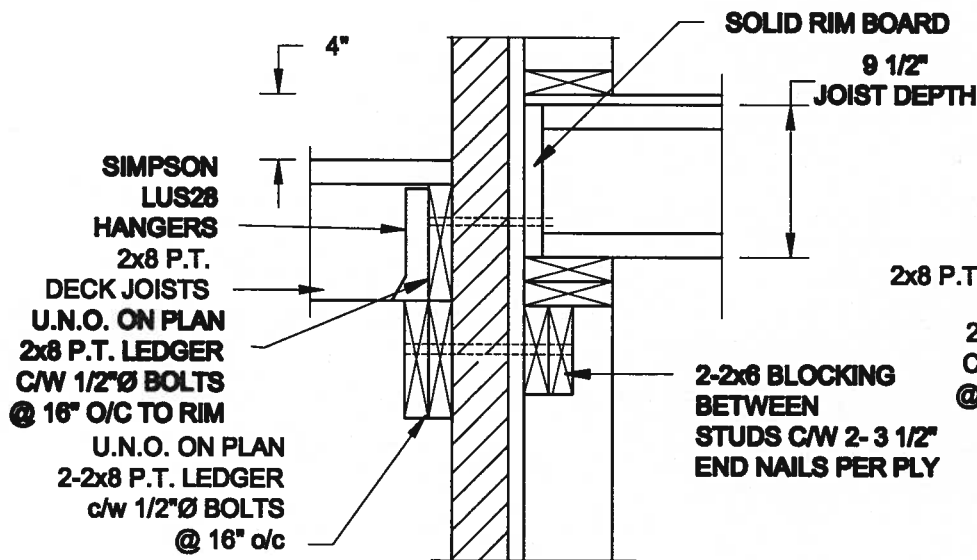


2 STAIR HEADER @ EXTERIOR WALL
SCALE: 1" = 1'-0"



Scale: AS NOTED	QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal:	Project: BAYVIEW WELLINGTON HOMES - ALCONA PROJECT INNISFIL, ONTARIO	
Date: JUL-31-2017			TYPICAL STRUCTURAL DETAILS FOR SINGLES	
Drawn: SC		Checked: SJB	Project No.: 16-083	Drawing No.: S1

FOR 9 1/2" JOIST DEPTH

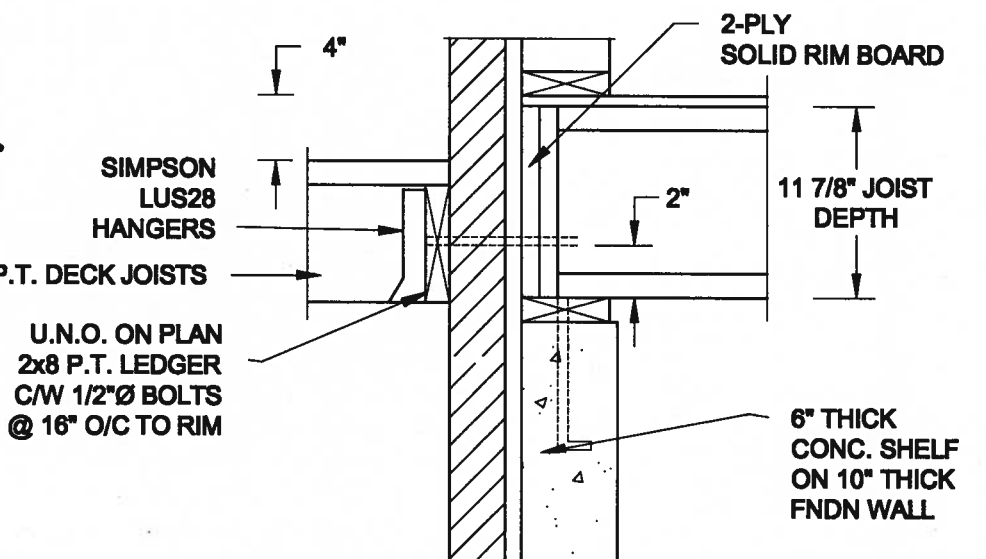
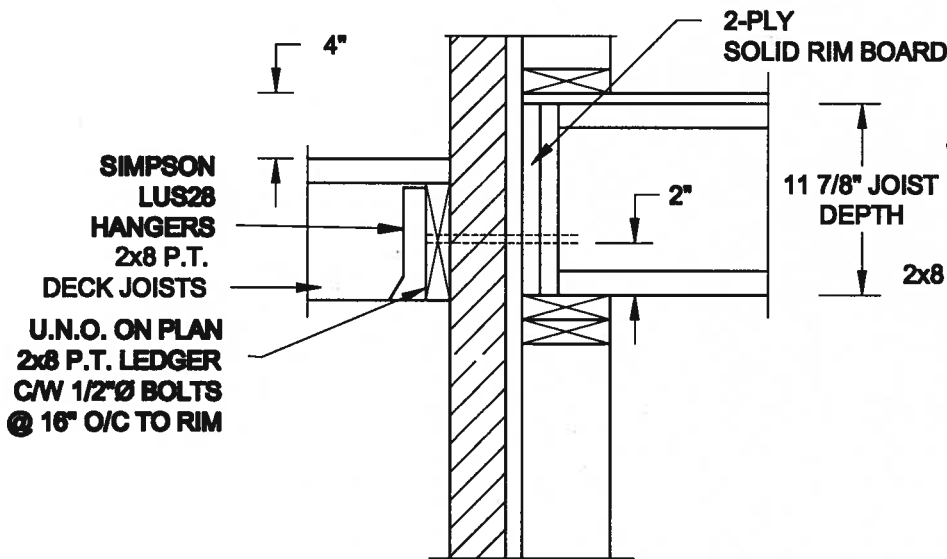


1A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

1B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

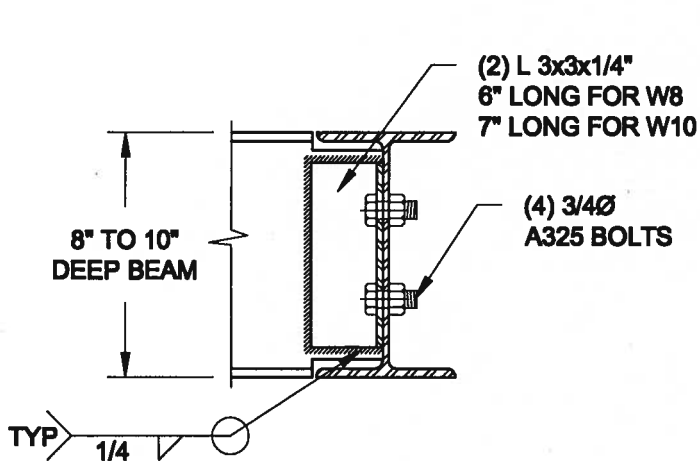
FOR 11 7/8" JOIST DEPTH



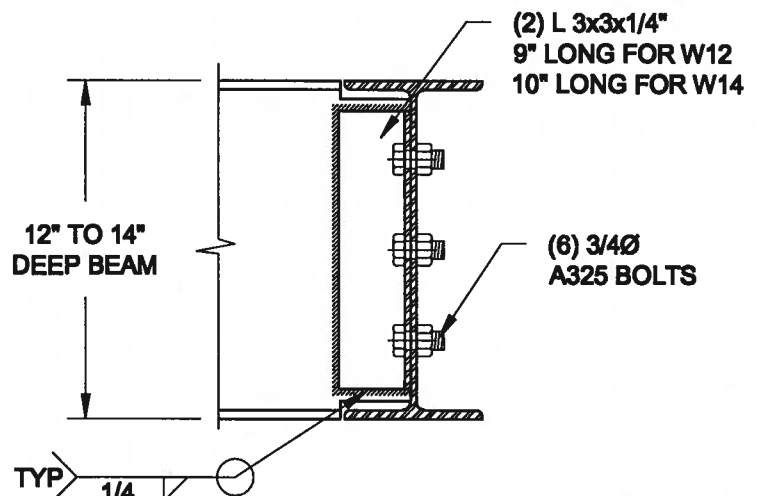
2A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

2B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.



NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX AND W10x39 (W250x58) BEAM MAX.



NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX AND W14x48 (W360x72) BEAM MAX.

3 STEEL BEAM CONNECTION DETAIL
S2 SCALE: 1-1/2" = 1'-0"



Scale:
AS NOTED

Date:
JUL-01-2017

Drawn:
SC

Checked:
SJB

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaile.eng@rogers.com

Engineer's Seal

Project

BAYVIEW WELLINGTON HOMES - ALCONA PROJECT
INNSFILL, ONTARIO

TYPICAL STRUCTURAL DETAILS FOR SINGLES

Project No.:

16-083

Drawing No.:

S2

CONSTRUCTION NOTES (Unless otherwise noted)

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. **ONT. REG. 332/12-2012 OBC**

1. ROOF CONSTRUCTION

NO.210 (10.25kg/m²) ASPHALT SHINGLES, 10mm (3/8") PLYWOOD SHEATHING WITH "H" CLIPS. APPROVED WOOD TRUSSES @ 600mm (24") O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 900mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (12") BEYOND INNER FACE OF EXTERIOR WALL. (EAVES PROTECTION NOT REQ'D FOR ROOF SLOPES 8:12 OR GREATER) 38x89 (2"x4") TRUSS BRACING @ 1830mm (6'-0") O.C. AT BOTTOM CHORD. PREFIN. ALUM. EAVESTROUGH, FASCIA, RWL & VENTED SOFFIT. PROVIDE ICE & WATER SHIELD TO ALL ROOF/WALL SURFACES SUSCEPTIBLE TO ICE DAMMING. ROOF SHEATHING TO BE FASTENED 150 (6") c/c ALONG EDGES & INTERMEDIATE SUPPORTS WHEN TRUSSES SPACED GREATER THAN 406 (16"). ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% AT EAVES & MIN. 25% AT RIDGE (OBC 9.19.1.2.).

2. FRAME WALL CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2A)
SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

2A. RESERVED

2B. FRAME WALL CONSTRUCTION (2"x4") - GARAGE WALLS
SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm (9'-10")). WITH APPR. DIAGONAL WALL BRACING. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE.

2C. RESERVED

2D. STUCCO WALL CONSTRUCTION (2"x4") - GARAGE WALLS
STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURER'S SPECIFICATIONS OVER 25mm (1") MIN. EXPANDED OR EXTRUDED RIGID POLYSTYRENE ON APPROVED AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x89 (2"x4") STUDS @ 400 (16") O.C.. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

2E. WALLS ADJACENT TO ATTIC SPACE - NO CLADDING
9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. MID-HEIGHT BLOCKING REQ'D. IF NO SHEATHING APPLIED. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

3. BRICK VENEER CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2A)
90mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x0.76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPROVED SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION & APPR. VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. BRICK TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3A. RESERVED

3B. BRICK VENEER CONSTRUCTION (2"x4") - GARAGE WALLS
90mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x0.76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPR. SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm 9'-10") WITH APPR. DIAGONAL WALL BRACING. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. BRICK TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3C. STUCCO WALL CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2A)
STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURER'S SPECIFICATIONS OVER 25mm (1") MIN. EXTRUDED OR EXPANDED RIGID POLYSTYRENE ON APPR. CONTIN. AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION, APPROVED VAPOUR BARRIER, 13mm (1/2") GYPSUM WALLBOARD INTERIOR FINISH. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

4. INTERIOR STUD PARTITIONS
FOR BEARING PARTITIONS 38x89 (2"x4") @ 400mm (16") O.C. FOR 2 STOREYS AND 300mm (12") O.C. FOR 3 STOREYS, NON-BEARING PARTITIONS 38x89 (2"x4") @ 600mm (24") O.C. PROVIDE 38x89 (2"x4") BOTTOM PLATE AND 2/38x89 (2"x4") TOP PLATE. 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 38x140 (2"x6") STUDS/PLATES WHERE NOTED.

5. FOUNDATION WALL/FOOTINGS (9.15.3, 9.15.4, 9.13.2, 9.14.2.1, 2.2)
200mm (8") POURED CONC. FDTN. WALL 15MPa [2200psi] WITH BITUMENOUS DAMPROOFING AND DRAINAGE LAYER. DRAINAGE LAYER REQ'D. WHEN BASEMENT INSUL. EXTENDS 900 (2'-11") BELOW FIN. GRADE. DRAINAGE LAYER IS NOT REQ'D. WHEN FDTN. WALL IS WATERPROOFED. MAXIMUM POUR HEIGHT 2390 (7'-10") ON 500x155 (20"x6") CONTINUOUS KEYED CONC. FTG. BRACE FDTN. WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL, WITH MIN. BEARING CAPACITY OF 150kPa OR GREATER. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED.

STOREYS SUPPORTED	W/ MASONRY VENEER	W/ SIDING ONLY
1	16" WIDE x 6" DEEP	16" WIDE x 6" DEEP
2	20" WIDE x 6" DEEP	20" WIDE x 6" DEEP
3	26" WIDE x 9" DEEP	20" WIDE x 6" DEEP

-SEE OBC 9.15.3.
-MAXIMUM FLOOR LIVE LOAD OF 2.4kPa, [50psf.] PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1").
-REFER TO SOILS REPORT FOR SOIL CONDITIONS AND BEARING CAPACITY.

STRIP FOOTING SUPPORTING EXTERIOR WALLS (FOR W.O.B.)
-ASSUMING MASONRY VENEER CONSTRUCTION, MAX. FLOOR LIVE LOAD OF 2.4kPa, (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1"). THE STRIP FOOTING SIZE IS AS FOLLOWS:

2 STOREY WITH WALK-OUT BASEMENT 545x175 (22"x7")
FOUNDATION DRAINAGE OBC 9.14.2 & 9.14.3
100mm (4") DIA. FOUNDATION DRAINAGE TILE 150mm (6") CRUSHED STONE OVER AND AROUND DRAINAGE TILES.

7. BASEMENT SLAB OBC 9.1.8.1(b), 9.18.4.5(1), 9.25.3.3(15)
80mm (3") MIN. 25MPa (3600psi) CONC. SLAB ON 100mm (4") COARSE GRANULAR FILL, OR 20MPa, (3000psi) CONC. WITH DAMPROOFING BELOW SLAB. UNDER SLAB INSULATION PER SB-12. ALL SLAB JOINTS & PENETRATIONS TO BE CAULKED.

8. EXPOSED FLOOR TO EXTERIOR (SB-12-TABLE 3.1.1.2A)
PROVIDE RSI 5.46 (R31) INSULATION, APPROVED VAPOUR BARRIER AND CONTINUOUS AIR BARRIER, FINISHED SOFFIT.

9. ATTIC INSULATION (SB-12-TABLE 3.1.1.2A) (SB-12-3.1.1.8)
RSI 10.56 (R60) 16mm IN ROOF INSULATION AND APPROVED VAPOUR BARRIER, 13mm (1/2") INT. DRYWALL FINISH OR APPROVED EQUAL. RSI 3.52 (R20) MIN. ABOVE INNER SURFACE OF EXTERIOR WALL

10. ALL STAIRS/EXTERIOR STAIRS - OBC 9.8.-
UNIFORM RISE
-5mm (1/4") MAX BETWEEN ADJACENT TREADS OR LANDINGS
-10mm (1/2") MAX BETWEEN TALLEST & SHORTEST RISE IN FLIGHT
MAX. RISE = 200 (7'-7/8")
MIN. RUN = 210 (8'-1/4")
MIN. TREAD = 235 (9'-1/4")
MAX. NOSING = 25 (1")
MIN. HEADROOM = 1950 (6'-5")
RAIL @ LANDING = 900 (2'-11")
RAIL @ STAIR = 865 (2'-10") TO 965 (3'-2")
MIN. STAIR WIDTH
FOR CURVED STAIRS
MIN. RUN = 150 (6")
MIN. AVG. RUN = 200 (8")

11. HANDRAILS - OBC 9.8.7.-
FINISHED RAILING ON PICKETS SPACED MAXIMUM 100mm (4") BETWEEN PICKETS. CLEARANCE BETWEEN HANDRAIL AND SURFACE BEHIND IT TO BE 50 (2") MIN. HANDRAILS TO BE CONTINUOUS EXCEPT FOR NEWEL POST AT CHANGES OF DIRECTION.

INTERIOR GUARDS - OBC 9.8.8.-
INTERIOR GUARDS: 900mm (2'-11") MIN. HIGH
EXTERIOR GUARDS - OBC 9.8.8.-
900mm (36") HIGH GUARD WHERE DISTANCE FROM PORCH TO FIN. GRADE IS LESS THAN 1800mm (71"). 1070mm (42") HIGH GUARD IS REQUIRED WHERE DISTANCE EXCEEDS 1800mm (71").

12. SILL PLATE - OBC 9.23.7.-
38x89 (2"x4") SILL PLATE WITH 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C., CAULKING OR 25 (1") MIN. MINERAL WOOL BETWEEN PLATE AND TOP OF FDTN. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

13. BASEMENT INSULATION (SB-12-3.1.1.7), 9.25.2.3, 9.13.2.6)
FOUNDATION WALLS ENCLOSING HEATED SPACE SHALL BE INSULATED FROM THE UNDERSIDE OF THE SUBFLOOR TO NOT MORE THAN 200mm (8") ABOVE THE FINISHED FLOOR & NO CLOSER THAN 50mm (2") OF THE BASEMENT SLAB. RSI3.52(c) (R20c) BLANKET INSULATION TO HAVE APPROVED VAPOUR BARRIER. RECOMMEND DAMPROOF WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. NOTE: FULL HEIGHT INSULATION AT COLD CELLAR WALLS. AIR BARRIER TO BE SEALED TO FOUNDATION WALL WITH CAULKING. CONTINUOUS INSULATION (ci) IS NOT TO BE INTERRUPTED BY FRAMING.

14. BEARING STUD PARTITION
38x89 (2"x4") STUDS @ 400mm (16") O.C. 38x89 (2"x4") SILL PLATE ON DAMPROOFING MATERIAL, 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C. 100mm (4") HIGH CONC. CURB ON 350x155 (14"x6") CONC. FOOTING. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

15. STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3)
89mm (3-1/2") DIA. x 3.0mm (0.118) SINGLE WALL TUBE TYPE 2 ADJUSTABLE STL. COL. W/ MIN. CAPACITY OF 71.2kN (16,000lbs.) AT A MAX. EXTENSION OF 2318mm (7'-7 1/2") CONFORMING TO CAN/C358-B-7.9.4. AND WITH 150x150x9.5 (6"x6"x3/8") STL. PLATE TOP & BOTTOM. 87x87x7x410 (34"x34"x16") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MINIMUM AND AS PER SOILS REPORT.

15A. STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3)
89mm (3-1/2") DIA. x 4.78mm (1.88) FIXED STL. COL. WITH 150x150x9.5 (6"x6"x3/8") STL. TOP & BOTTOM PLATE ON 1070x1070x460 (42"x42"x18") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MIN. AND AS PER SOILS REPORT.

15B. STEEL COLUMN
90mm (3-1/2") DIA. x 4.78mm (1.88) NON-ADJUSTABLE STL. COL. TO BE ON 150x150x9.5 (6"x6"x3/8") STEEL TOP PLATE, & BOTTOM PLATE. BASE PLATE 120x250x12.5 (4 1/2"x10"x1/2") WITH 2-12mm DIA. x 300mm LONG x50mm HOOK ANCHORS (2-1/2"x12"x2") FIELD WELD COL. TO BASE PLATE.

16. BEAM POCKET OR 300x150 (12"x6") POURED CONC. NIB WALLS.
MIN. BEARING 90mm (3-1/2")

17. 19x64 (1"x3") CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

18. GARAGE SLAB
100mm (4") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 100 (4") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT.

19. GARAGE CEILINGS/INTERIOR WALLS
13mm (1/2") GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE. TAPE AND SEAL ALL JOINTS AIRTIGHT PER O.B.C. 9.10.9.16, WALLS (R22), CEILINGS (R31). REFER TO SB-12, TABLE 3.1.1.2.A. FOR REQUIRED THERMAL INSULATION.

20. DOOR AND FRAME GASPROOFED. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHERSTRIPPING PER OBC 9.10.13.15.

21. EXTERIOR STEP
PRECAST CONCRETE STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX. RISE 200mm (7-7/8") MIN. TREAD 250mm (9-1/2"). SEE OBC. 9.8.9.2, 9.8.9.3, & 9.8.10.

22. DRYER EXHAUST (OBC 9.2.3.8(7) & 9.2.4.11)
CAPPED DRYER EXHAUST VENTED TO EXTERIOR. (USE 100mm (4") DIA. SMOOTH WALL VENT PIPE)

23. INSULATED ATTIC ACCESS (OBC 9.18.2.1 & SB12-3.1.1.8)
ATTIC ACCESS HATCH WITH MIN. DIMENSION OF 545x610mm (21 1/2"x24") & A MIN. AREA OF 0.32 SQ.M. (3.44 SQ.FT.) WITH WEATHERSTRIPPING. RSI 3.52 (R20) RIGID INSUL. BACKING.

24. FIREPLACE CHIMNEYS - OBC 9.2.1
TOP OF FIREPLACE CHIMNEY SHALL BE 915mm (3'-0") ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 610mm (2'-0") ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 3050mm (10'-0") FROM THE CHIMNEY.

25. LINEN CLOSET, 4 SHELVES MIN. 350mm (14") DEEP.

26. MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR AS REQUIRED BY OBC. 9.32.3.5, & 9.32.3.10.

27. STEEL BEARING PLATE FOR MASONRY WALLS
280x280x16 (11"x11"x5/8") STL. PLATE FOR STL BEAMS AND 280x280x12 (11"x11"x1/2") STL. PLATE FOR WOOD BEAMS BEARING ON CONC. BLOCK PARTYWALL, ANCHORED WITH 19mm (3/4") x 200mm (8") LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL WITH NON-SHRINK GROUT.

28. SOLID WOOD BEARING FOR WOOD STUD WALLS
SOLID BEARING TO BE AT LEAST AS WIDE AS THE SUPPORTED MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT-UP WOOD STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH OBC 9.17.4.2(2).

29. BEARING WOOD POST (BASEMENT) (OBC 9.17.4)
3-38x140 (3-2"x6") BUILT-UP-POST ON METAL BASE SHOE ANCHORED TO CONC. WITH 12.7 DIA. BOLT. 610x610x300 (24"x24"x12") CONC. FOOTING.

30. STEPPED FOOTINGS OBC 9.15.3.9
MIN. HORIZ. STEP = 600mm (24").
MAX. VERT. STEP = 600mm (24")

31. SLAB ON GRADE
MIN. 100mm (4") CONCRETE SLAB ON GRADE ON 100mm (4") COARSE GRANULAR FILL. REINFORCED WITH 6x6-W2.9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32 MPa (4640 psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE. WHERE REQUIRED, REFER TO OBC SB-12, TABLE 3.1.1.2.A. FOR REQUIRED MINIMUM INSULATION UNDER SLAB.

32. DIRECT VENTING GAS FURNACE/ H.W.T. VENT
DIRECT VENT FURNACE TERMINAL MIN. 900mm (36") FROM A GAS REGULATOR. MIN. 300mm (12") ABOVE FIN. GRADE. FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 1830mm (6'-0") FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.

33. DIRECT VENTING GAS FIREPLACE VENT
DIRECT VENT GAS FIREPLACE. VENT TO BE A MINIMUM 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.

34. SUBFLOOR JOIST STRAPPING AND BRIDGING
16mm (5/8") T & G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION (SEE OBC 9.30.6.) 6mm (1/4") PANEL TYPE UNDERLAY UNDER RESILIENT & PARQUET FLOORING. (SEE OBC 9.30.2.)

FLOOR JOISTS WITH SPANS OVER 2100mm (6'-11") TO BE BRIDGED WITH 38x38 (2"x2") CROSS BRACING OR SOLID BLOCKING @ 2100mm (6'-11") O.C. MAX. AND WHERE SPECIFIED BY JOIST TABLES A-1 OR A-2 STRAPPING SHALL BE 19x64 (1"x3") @ 2100mm (6'-11") O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED. (* SEE OBC 9.23.9.4. *)

35. EXPOSED BUILDING FACE OBC 9.10.15 & SB-2-2.3.5(2)
EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 min. WHERE LIMITING DISTANCE (LD) IS LESS THAN 1.2M (3'-11"). WHERE THE LD IS LESS THAN 600mm (1'-11") THE EXPOSING FACE SHALL BE CLAD IN NON-COMBUSTIBLE MATERIAL. SEE ELEVATIONS FOR ADDITIONAL NOTES. OFFENDING GARAGE WALLS INCLUDED.

36. COLD CELLAR PORCH SLAB (OBC 9.38.1)
FOR MAX. 2500mm (8'-2") PORCH DEPTH (SHORTEST DIM.), 125mm (5") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT. REIN. WITH 10M BARS @ 200mm (7 7/8") O.C. EACH WAY IN BOTTOM THIRD OF SLAB, MIN. 30mm (1 1/4") COVER. 600x600 (23 5/8"x23 5/8") 10M DOWELS @ 600mm (23 5/8") O.C., ANCHORED IN PERIMETER FDTN. WALLS. SLOPE SLAB MIN. 1.0% FROM HOUSE WALL. SLAB TO HAVE MIN. 75mm (3") BEARING ON FDTN. WALLS. PROVIDE (L7) LINTEL OVER CELLAR DOOR WITH 100mm (4") END BEARING.

THE FDTN. WALL SHALL NOT BE REDUCED TO LESS THAN 90mm (3-1/2") THICK TO A MAX. DEPTH OF 600mm (24") AND SHALL BE TIED TO THE FACING MATERIAL WITH METAL TIES SPACED 200mm (8") O.C. VERTICALLY AND 900mm (36") O.C. HORIZONTALLY. FILL SPACE BETWEEN WALL AND FACING SOLID WITH MORTAR.

38. CONVENTIONAL ROOF FRAMING (2.0Kpa. SNOW LOAD)
38x140 (2"x6") RAFTERS @ 400mm (16") O.C. FOR MAX 11'-7" SPAN, 38x184 (2"x8") RIDGE BOARD, 38x89 (2"x4") COLLAR TIES AT MIDSPANS. CEILING JOISTS TO BE 38x89 (2"x4") @ 400mm (16") O.C. FOR MAX. 2830mm (9'-3") SPAN & 38x140 (2"x6") @ 400 (16") O.C. FOR MAX. 4450mm (14'-7") SPAN. RAFTERS FOR BUILT-UP ROOF TO BE 38x89 (2"x4") @ 600mm (24") O.C. WITH A 38x89 (2"x4") CENTRE POST TO THE TRUSS BELOW, LATERALLY BRACED @ 1800mm (6'-0") O.C. VERTICALLY.

GENERAL NOTES

WINDOWS: 1) MINIMUM BEDROOM WINDOW - OBC 9.9.10.1.-
AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS TO HAVE MIN. 0.35m² UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380 mm (1'-3").

2) WINDOW GUARDS - OBC 9.8.8.1.(d)
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11")

3) EXTERIOR WINDOWS
SHALL COMPLY WITH OBC DIV.-9 9.7.3. & SB12-3.1.1.9

GENERAL:
1) MECHANICAL VENTILATION IS REQUIRED TO COMPLY WITH OBC-DIV. 8, 6.2.2. SEE MECHANICAL DRAWINGS.
2) ALL DOWNSPOUTS TO DRAIN AWAY FROM THE BUILDING AS PER OBC 9.26.18.2. & 5.6.2.2.3(3) AND MUNICIPAL STANDARDS.
3) ALL WINDOW WELLS TO DRAIN TO FOOTING LEVEL PER OBC 9.14.6.3. CHECK WITH THE LOCAL AUTHORITY.
4) STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.1.(i)(c) & 3.8.3.13.1.(i)(i). SEE DETAIL.
5) ALL EXTERIOR DOORS TO COMPLY WITH THERMAL RESISTANCE AS STATED IN O.B.C. SB-12-3.1.1.9.
6) ALL AIR BARRIER SYSTEMS ARE REQUIRED TO COMPLY WITH O.B.C. DIV.-9 9.25.3.

LUMBER:
1) ALL LUMBER SHALL BE SPRUCE NO.2 GRADE, UNLESS NOTED OTHERWISE.
2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.
3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE NO.2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.
4) ALL LAMINATED VENEER LUMBER (L.V.L.) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.

LVL BEAMS SHALL BE 2.0E-2950psi MIN. NAIL EACH PLY OF LVL WITH 89mm (3 1/2") LONG COMMON WIRE NAILS @ 300mm (12") O.C. STAGGERED IN 2 ROWS FOR 184, 240 & 300mm (7 1/4", 9 1/2", 11 7/8") DEPTHS AND STAGGERED IN 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm (1/2") DIA. GALVANIZED BOLTS BOLTED AT MID-DEPTH OF BEAM @ 915mm (3'-0") O.C.

6) PROVIDE FACE MOUNT BEAM HANGERS TYPE "SCL" MANUFACTURED BY SIMPSON STRONG-TIE OR EQUAL FOR ALL LVL BEAM TO BEAM CONNECTIONS UNLESS OTHERWISE NOTED. REFER TO ENG. FLOOR LAYOUTS.
7) JOIST HANGERS: PROVIDE METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS.
8) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE. IN CONTACT WITH CONCRETE SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 2 mm. POLYETHYLENE FILM, No. 50 (48µm) ROLL ROOFING OR OTHER DAMPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 150mm (6") ABOVE THE GROUND.

STEEL:
1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300W, HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CSA-G40.21 GRADE 350W "STRUCTURAL QUALITY STEEL". OBC. 9.8.23.4.3.
2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 40R.

STUCCO:
1) ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.

LEGEND
CLASS 'B' VENT
DUPLX OUTLET (12" ABOVE SURFACE)
WEATHERPROOF DUPLX OUTLET
POT LIGHT
LIGHT FIXTURE (PULL CHAIN)
SWITCH
EXHAUST FAN TO EXTERIOR
DUPLX OUTLET (HEIGHT A.F.F.)
GFI DUPLX OUTLET (HEIGHT A.F.F.)
HEAVY DUTY OUTLET (220 volt)
LIGHT FIXTURE (CEILING MOUNTED)
LIGHT FIXTURE (WALL MOUNTED)
HOSE BIB (NON-FREEZE)

SJ SINGLE JOIST
TJ TRIPLE JOIST
P.T. PRESSURE TREATED LUMBER
G.T. GIRDER TRUSS BY ROOF TRUSS MANUF.
F.A. FLAT ARCH
C.A. CURVED ARCH
M.C. MEDICINE CABINET (RECESSED)
CONC. BLOCK WALL
DOUBLE VOLUME WALL
SEE NOTE (39)
SOLID WOOD BEARING (SPRUCE No. 2) SOLID BEARING TO BE AS WIDE AS SUPPORTED MEMBER OR AS DIRECTED BY STRUCTURAL ENGINEER. SOLID BEARING TO BE MINIMUM 2 PIECES.
SOLID WOOD BEARING TO MATCH FROM ABOVE

SOIL GAS/ RADON CONTROL (OBC 9.1.1.7, & 9.13.4)
PROVIDE CONSTRUCTION TO PREVENT LEAKAGE OF SOIL GAS INTO THE BUILDING IF REQUIRED.

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO VAS DESIGN BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF VAS DESIGN WHICH IF REQUESTED, MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY AFTER BUILDING PERMIT HAS BEEN ISSUED.

REFER TO UNIT DRAWINGS OR PAGE CN-2 FOR SB-12 COMPLIANCE PACKAGE A1 TO BE USED FOR THIS MODEL.
The minimum thermal performance of building envelope and equipment shall conform to the selected package unless otherwise noted.

2017 A1
VAS REFERENCE NUMBER

39. TWO STOREY VOLUME SPACES
-FOR A MAXIMUM 5490 mm (18'-0") HEIGHT AND MAXIMUM SUPPORTED ROOF TRUSS LENGTH OF 6.0m, PROVIDE 2-38x140 (2-2"x6") SPR.#2 CONTIN. STUDS @ 300mm (12") O.C. (TRIPLE UP AT EVERY THIRD DOUBLE STUD FOR BRICK WALLS) C/W 9.6 (3/8") THICK EXT. PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 1220 mm (4'-0") O.C. VERTICALLY. -FOR WALLS WITH HORIZ. DISTANCES NOT EXCEEDING 2900 mm (9'-6"), PROVIDE 38x140 (2"x6") STUDS @ 400 (16") O.C. WITH CONTINUOUS 2-38x140 (2-2"x6") TOP PLATES + 1-38x140 (1-2"x6") BOTTOM PLATE & MINIMUM OF 3-38x184 (3-2"x8") CONT. HEADER AT GRND. CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES AND HEADERS.

40. TYPICAL 1 HOUR RATED PARTY WALL
REFER TO DETAILS FOR TYPE AND SPECIFICATIONS.

41. FOUNDATION WALL (W.O.D./W.O.B.)
- WHERE GRADE TO 1/0 BASEMENT SLAB EXCEEDS 1200mm (3'-11") A 250mm (10") WIDE FOUNDATION WALL IS REQUIRED.

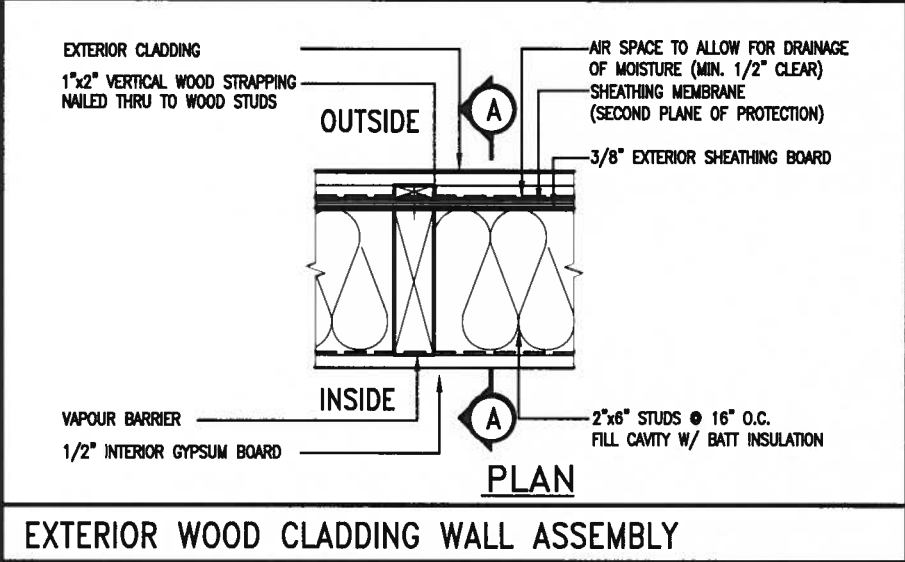
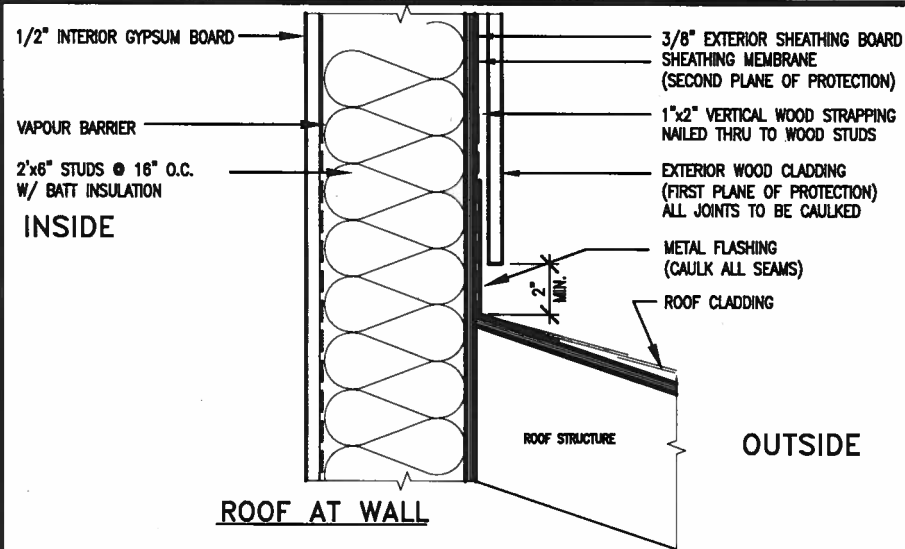
42. EXTERIOR WALLS FOR WALK-OUT CONDITIONS
THE EXTERIOR BASEMENT STUD WALL TO BE 38x140 (2"x6") STUDS @ 400mm (16") o.c. OR 38x89 (2"x4") STUDS @ 300mm (12") o.c.

DRAIN WATER HEAT RECOVERY UNIT (DWHR)
PER SB12-3.1.1.12, A DRAIN WATER HEAT RECOVERY (DWHR) UNIT SHALL BE INSTALLED IN EACH DWELLING UNIT TO RECOVER DRAIN WATER FROM ALL SHOWERS OR FROM AT LEAST TWO SHOWERS WHERE THERE ARE TWO OR MORE SHOWERS IN THE DWELLING UNIT. DOES NOT APPLY IF THERE ARE NO SHOWERS OR NO STOREY BENEATH ANY OF THE SHOWERS.

ONT. REG. 332/12-2012 OBC
Amendment 0, Reg. 368/13
MR-18-S-28 JAN. 25, 2017

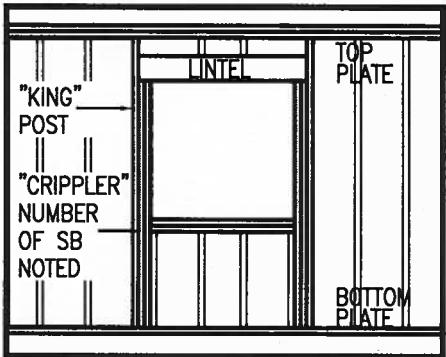
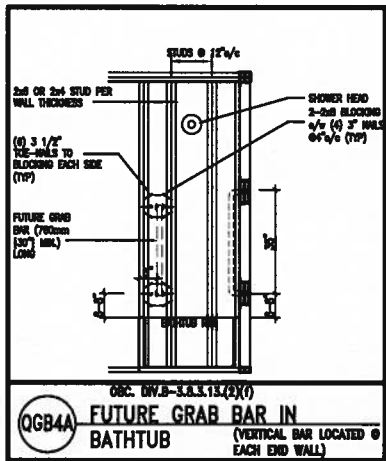
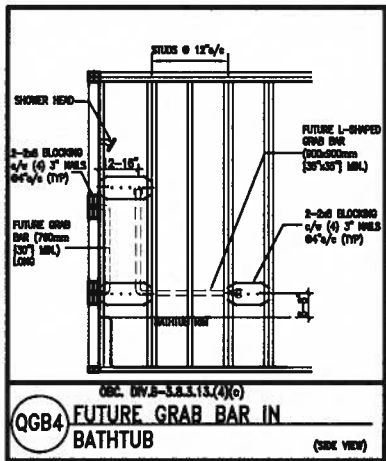
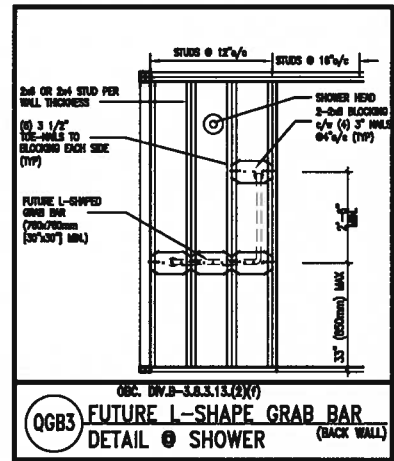
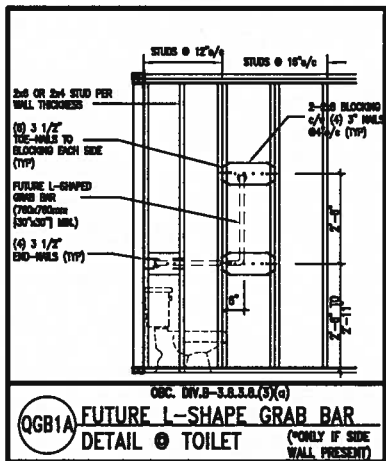
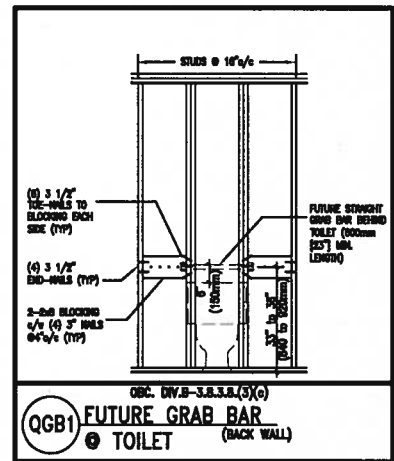
WOOD LITELS AND BUILT-UP WOOD BEAMS

||
||
||



EXTERIOR WOOD CLADDING WALL ASSEMBLY

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM.
FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KN (300 lb)
REFER TO OBC, DIV. B- 9.5.2.3. WATER CLOSET 3.8.3.8.(3)(c) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(f). BATHTUB & 3.8.3.13.(4)(c). AND DETAILS PROVIDED.



"CRIPPLE" DETAIL

MAX. HEIGHT FOR 2"x4" GARAGE WALL IS AS FOLLOW:
2"x4" @ 16" O.C. - 9'-10"
2-2"x4" @ 12" O.C. - 10'-9"
3-2"x4" @ 16" O.C. - 11'-2"
3-2"x4" @ 12" O.C. - 12'-4"

- NOTES:**
- FOR ROOF DESIGN SNOW LOAD OF 2.5 KPa, SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR JOIST LENGTH OF 2.5m OF ONE FLOOR.
 - PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
 - PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE.
 - FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
 - STUDS GREATER THAN 9'-10" HIGH TO BE NO. 2 SPF.
 - STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOW:
2"x6" @ 16" O.C. - 12'-6"
2"x6" @ 12" O.C. - 13'-10"
2-2"x6" @ 16" O.C. - 15'-0"
2-2"x6" @ 12" O.C. - 17'-4"

- MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:**
2"x8" @ 16" O.C. - 16'-0"
2"x8" @ 12" O.C. - 17'-9"
2-2"x8" @ 16" O.C. - 20'-4"
2-2"x8" @ 12" O.C. - 22'-4"
- NOTES:**
- FOR ROOF DESIGN SNOW LOAD OF 2.5 KPa
 - SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
 - PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
 - PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
 - WALL FRAMING SHALL CONFORM TO OBC 9.23.10.1.(2)
 - FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa
 - STUDS GREATER THAN 9'-10" HIGH TO BE NO. 2 SPF.
 - STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** STUD INFORMATION TAKEN FROM OBC TABLE A-30



9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name
5	.	.	.	registration information
4	.	.	.	VAS Design Inc. 42658
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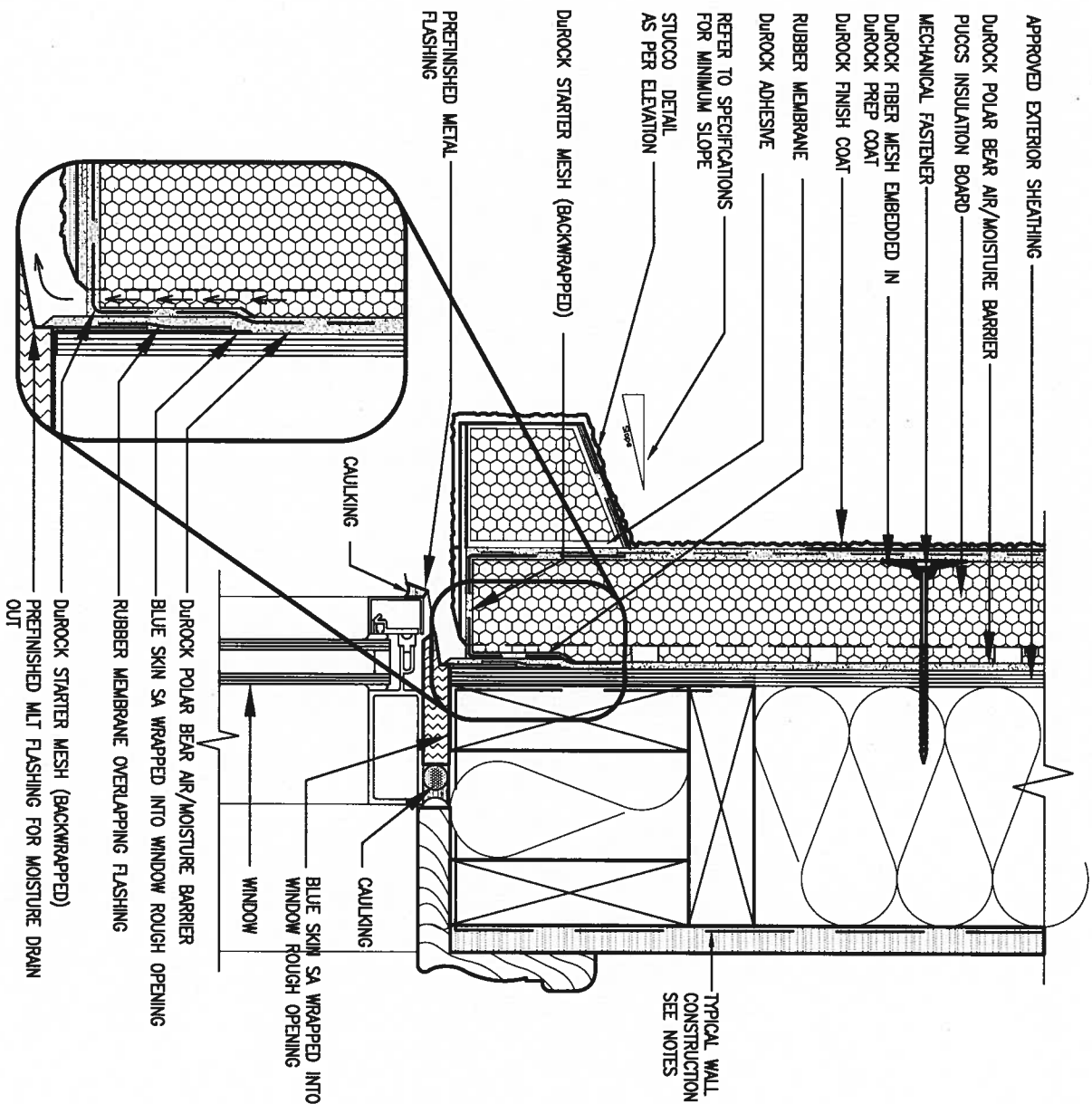


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BAYVIEW WELLINGTON

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project name	ALCONA	municipality	INNISFIL, ON.	project no.	13049
date	MAY 2016	checked by	scale	CONSTRUCTION NOTES	drawing no.
drawn by	RC	-	3/16" = 1'-0"	13049-CN-A1	CN2
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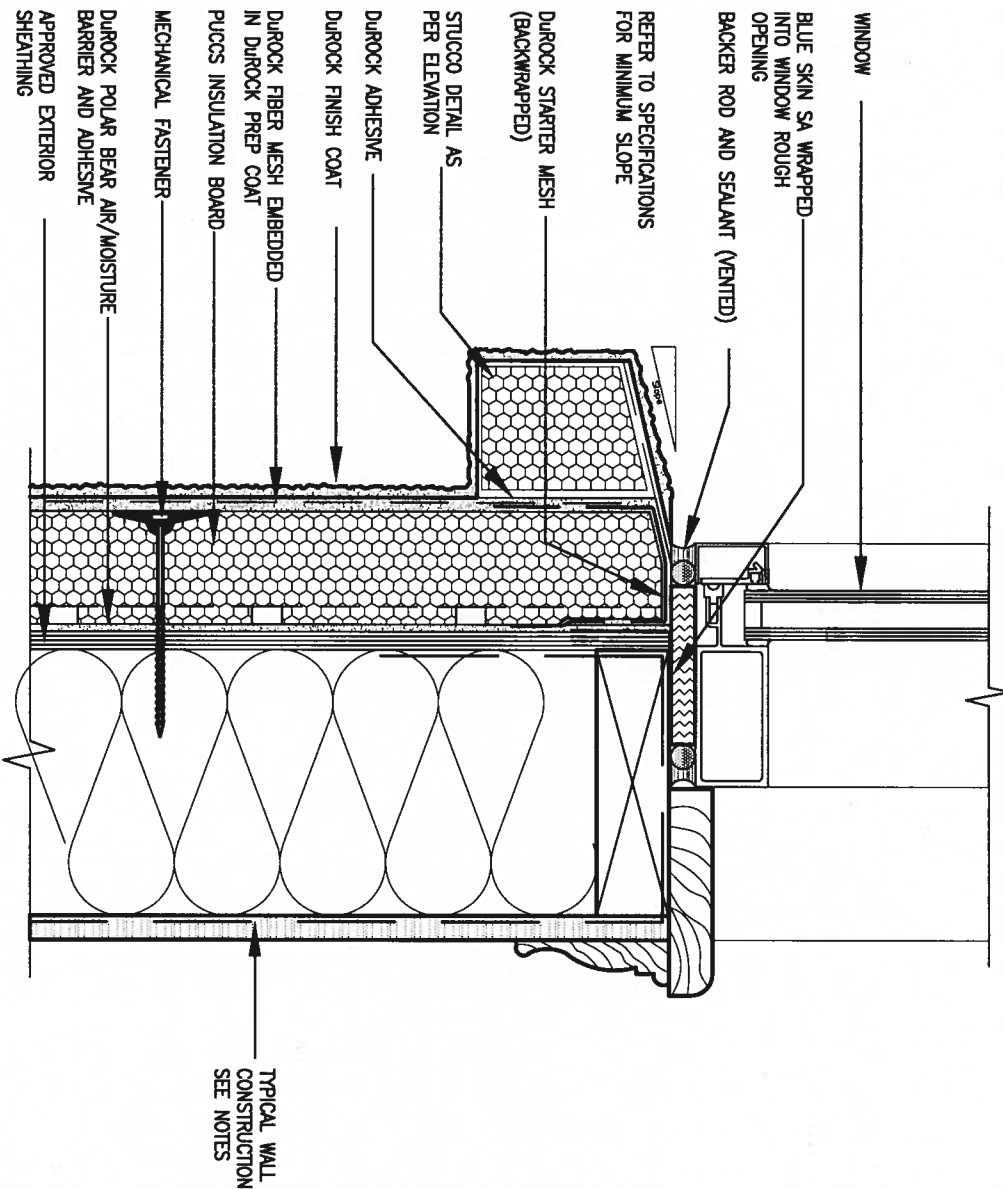


1 WINDOW HEADER

CN3

SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



2 WINDOW SILL

CN3

SCALE: 3"=1'-0"



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6	.	.	.	name registration information BCM
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municipality
INNISFIL, ON.

CONST NOTE

project no.
13049

date
MAY 2016

drawn by
RC

checked by
-

scale
3/16" = 1'-0"

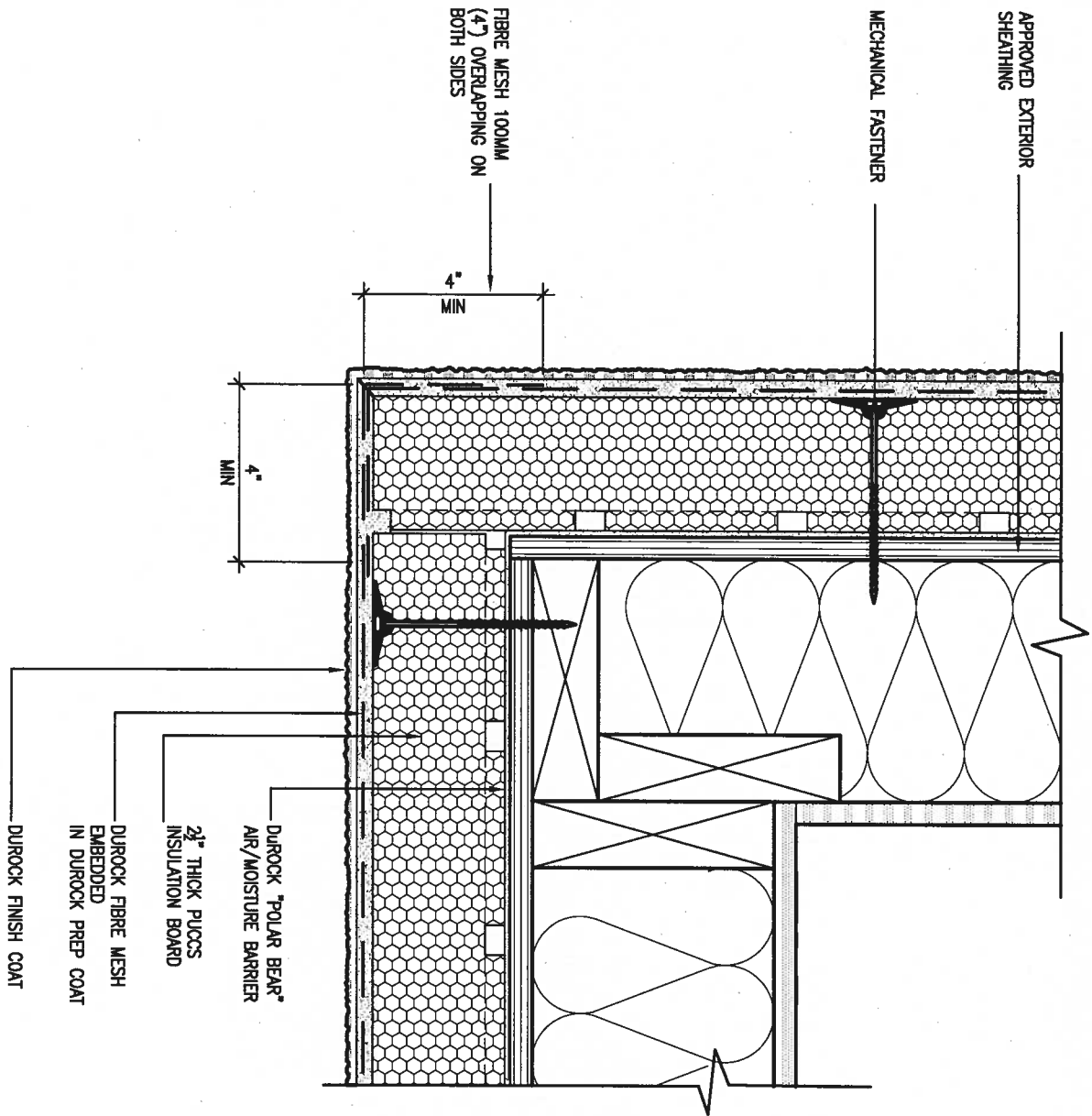
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file name
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drawing no.

CN3

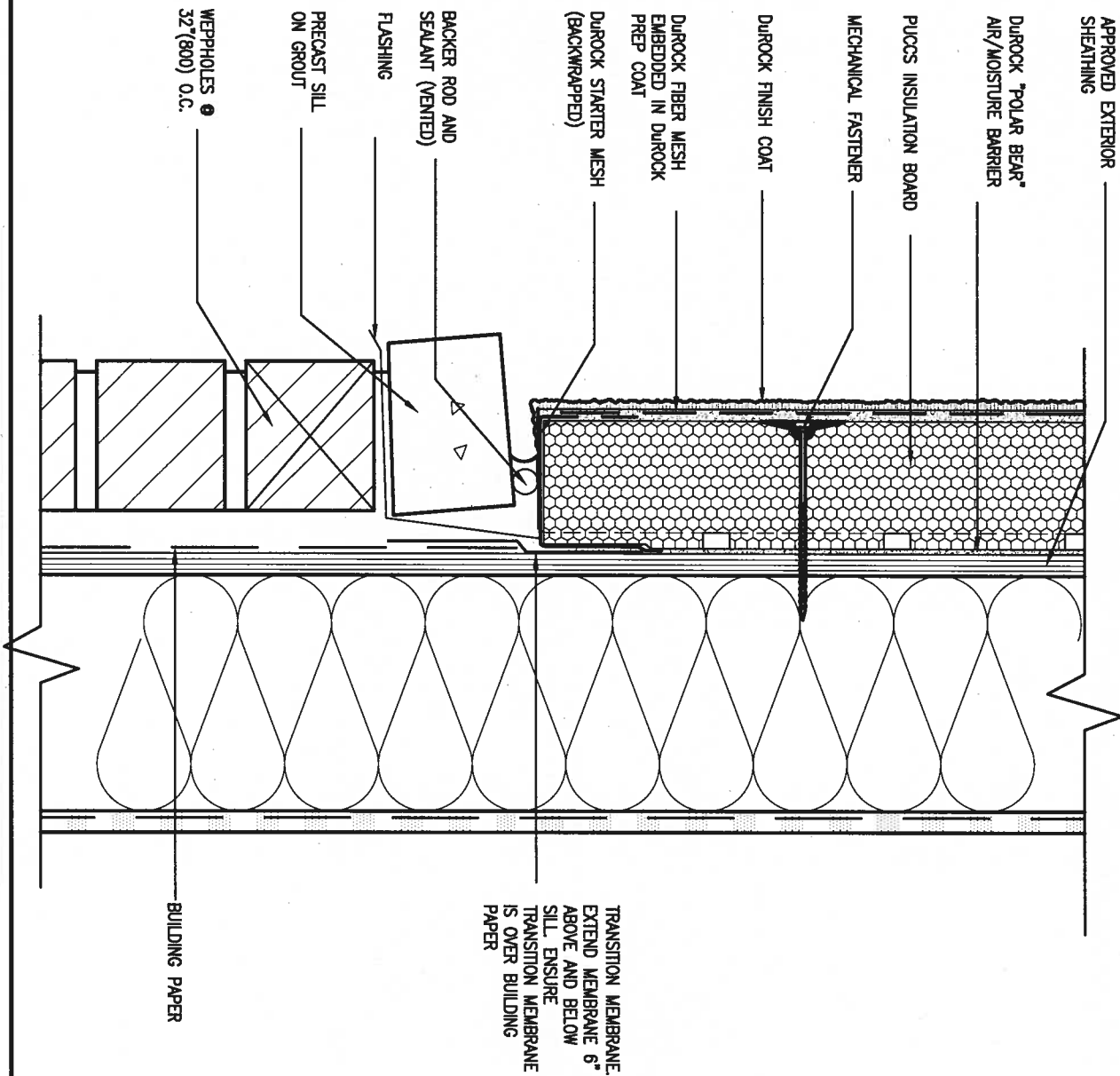
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5 CORNER DETAIL

CN5 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



6 STUCCO / MASONRY PLINTH CONNECTION

CN5 SCALE: 3"=1'-0"



STRUCTURAL

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2					
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qualification information					
Wellington Jno-Baptiste 25591					
name					
Wellington Jno-Baptiste					
registration information					
VA3 Design Inc. 42658					
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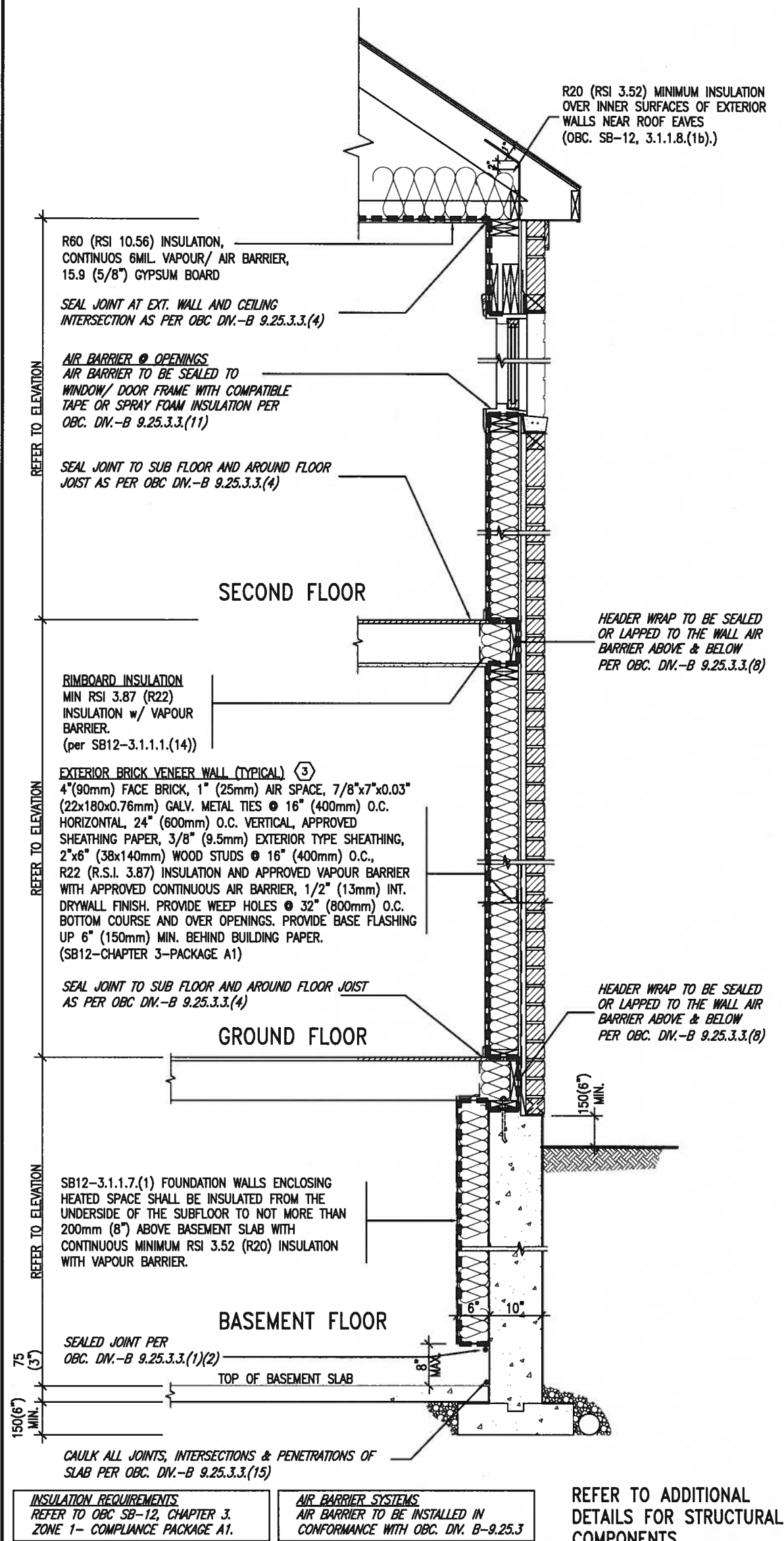
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project name		municipality	
ALCONA		INNISFIL, ON.	
date		CONST	
MAY 2016			
drawn by	checked by	scale	
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CONST NOTE	
project no.	
13049	
drawing no.	
CN5	
CONSTRUCTION NOTES	
file name	
13049-CN-A1	

SB12-COMPLIANCE PACKAGE 'A1'

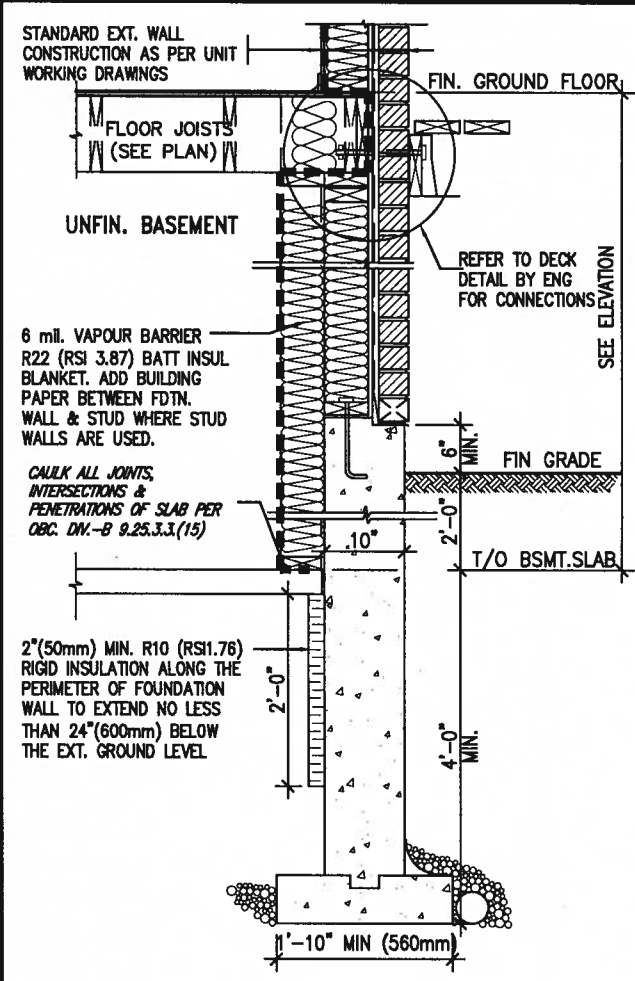


EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/ BRICK VENEER (PACKAGE A1) 10" FOUNDATION WALL SCALE: N.T.S.

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):		
COMPONENT	A1	Notes:
Ceiling with Attic Space Minimum RSI (R) value	10.56 (R60)	R20 at inner face of exterior walls
Ceiling without Attic Space Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Exposed Floor Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Walls Above Grade Minimum RSI (R) value	3.87 (R22)	6" R22 BATT
Basement Walls Minimum RSI (R) value	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Edge of Below Grade Slab ≤600mm below grade Minimum RSI (R) value	1.76 (R10)	RIGID INSUL
Windows & Sliding glass Doors Maximum U-value	1.6	
Skylights Maximum U-value	2.8U	
Space Heating Equipment Minimum AFUE	96% Min.	NATURAL GAS
Hot Water Heater Minimum EF	0.8	NATURAL GAS
HRV Minimum Efficiency	75%	-
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information	

ci- Denotes Continuous Insulation without framing interruption.

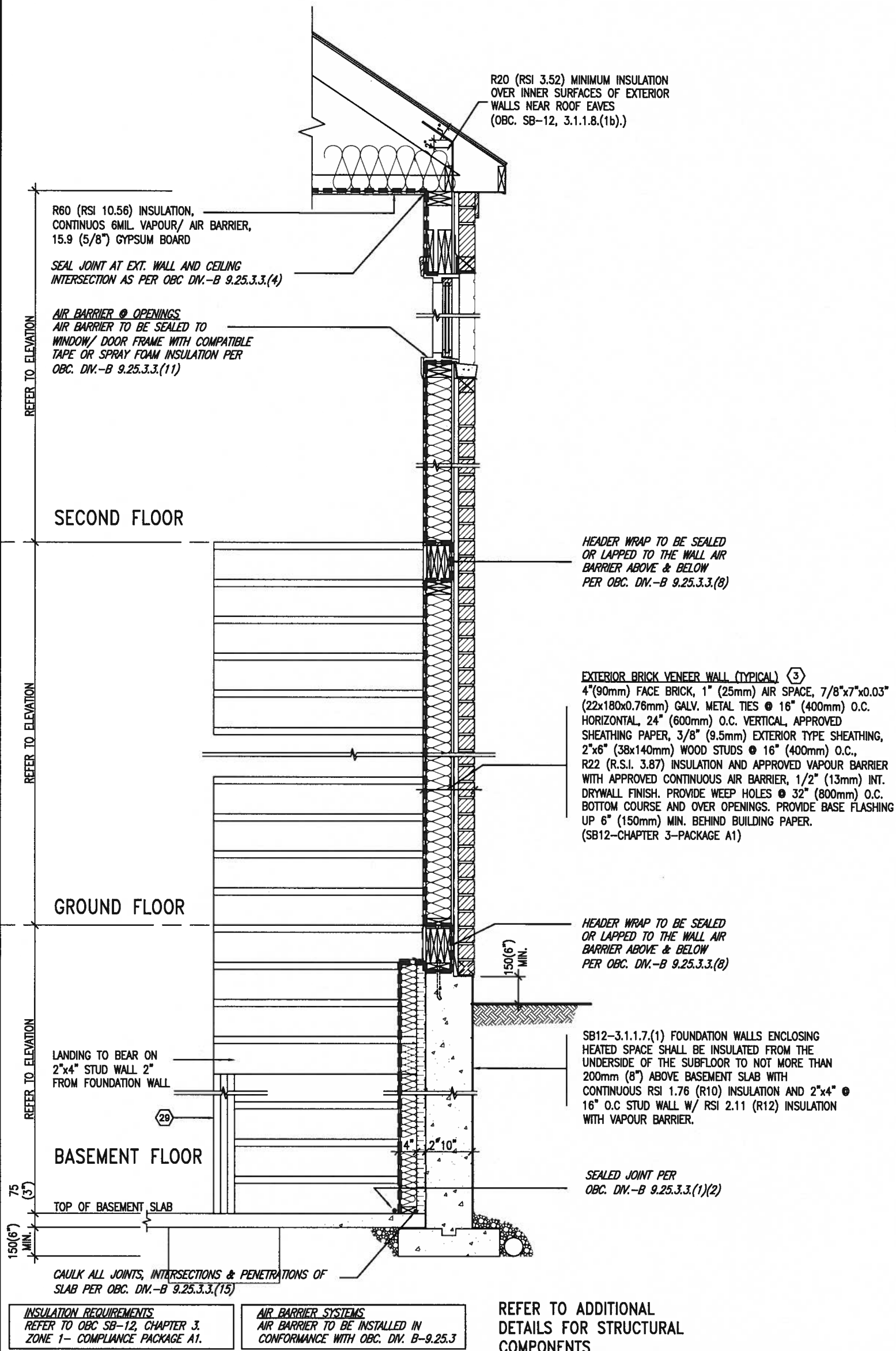


SECTION AT W.O.D/W.O.B.

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8 .		Wellington Jno-Baptiste 25591							
7 .		name registration information		42658		project name		project no.	
6 .		VA3 Design Inc.				ALCONA		13049	
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4 .						INNISFIL, ON.		13049-CN-A1	
3 .						date		file name	
2 .						MAY 2016		13049-CN-A1	
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SB12-COMPLIANCE PACKAGE 'A1'



TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/ BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)
10" FOUNDATION WALL
SCALE: N.T.S.



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8.	.	.	qualification information
7.	.	.	Wellington Jno-Baptiste 25591
6.	.	.	name
5.	.	.	registration information
4.	.	.	VAS Design Inc. 42658
3.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
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date	MAY 2016	checked by	scale
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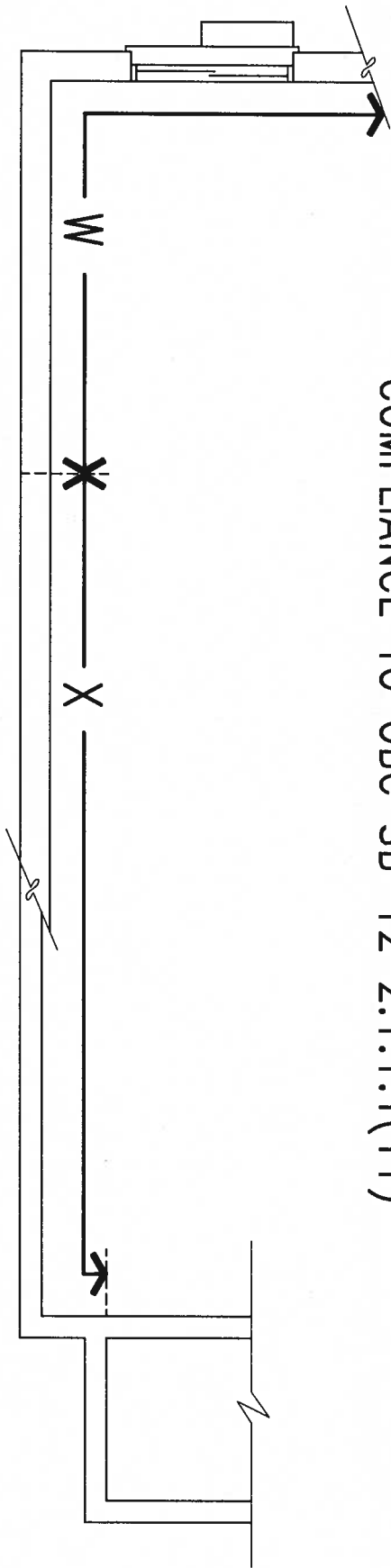
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drawing no.	CN7

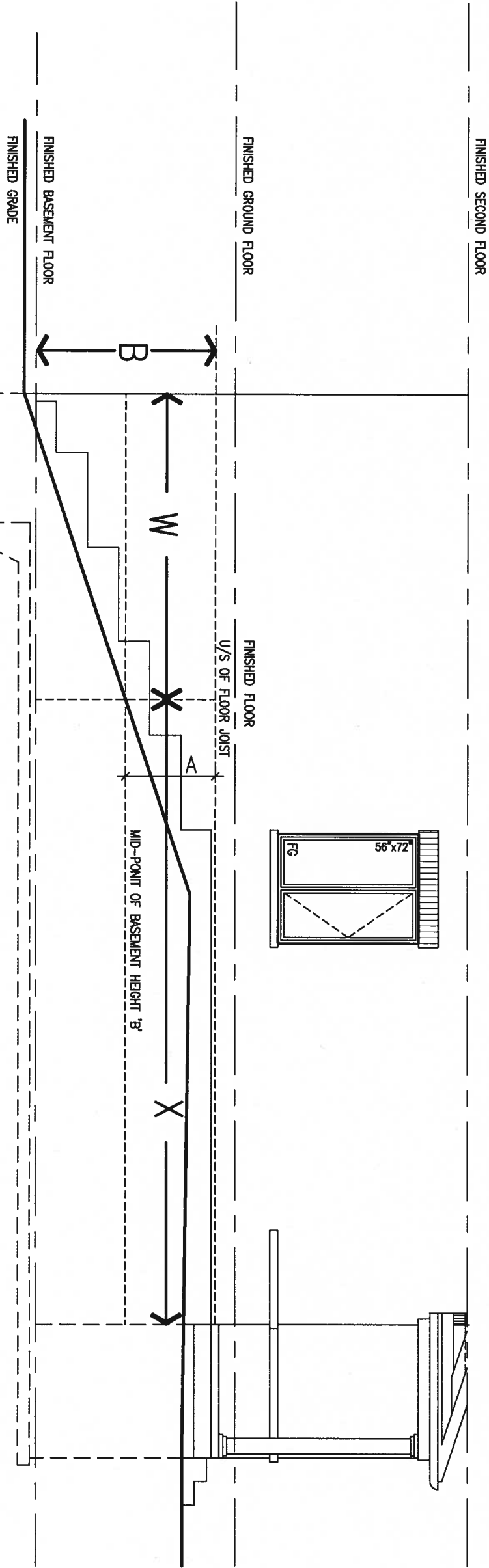
CONSTRUCTION NOTES

file name	13049-CN-A1
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COMPLIANCE TO OBC SB-12 2.1.1.1(11)



WOB PLAN



WOB SIDE ELEVATION

WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A

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qualification information
Wellington Jno-Baptiste 25591
signature
name registration information BCM
VA3 Design Inc. 42658

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date
MAY 2016
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checked by
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scale
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municipality
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project no.
13049

drawing no.
CN8

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8					qualification information
7					Wellington Jno-Baptiste
6					name
5					registration information
4					VA3 Design Inc.
3					signature
2					BCR
1					42658
1 ISSUE FOR CLIENT REVIEW				AUG 04-17	RC
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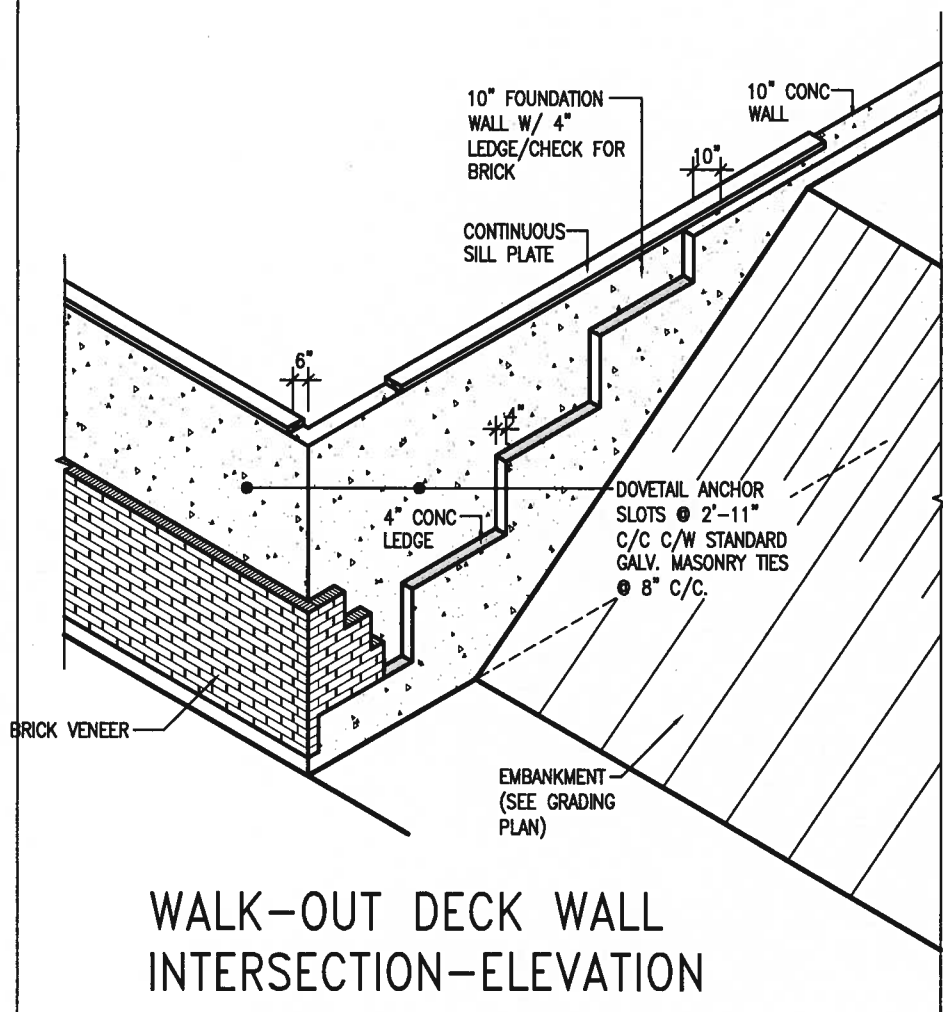


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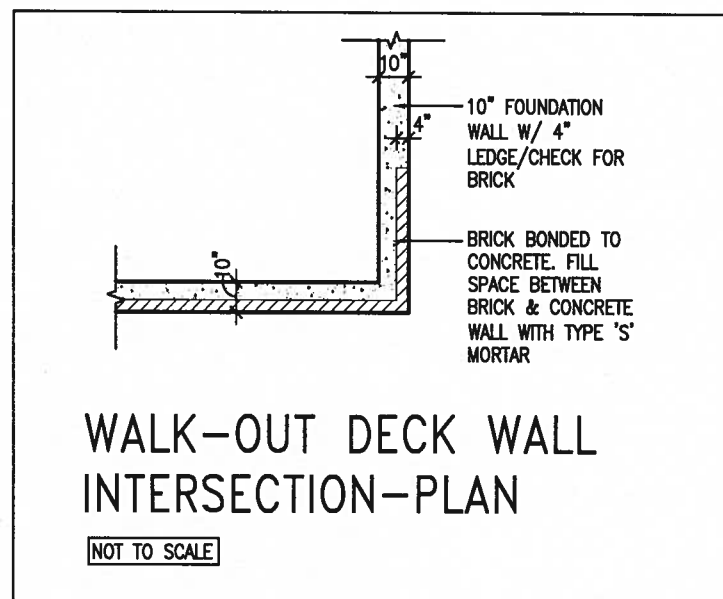
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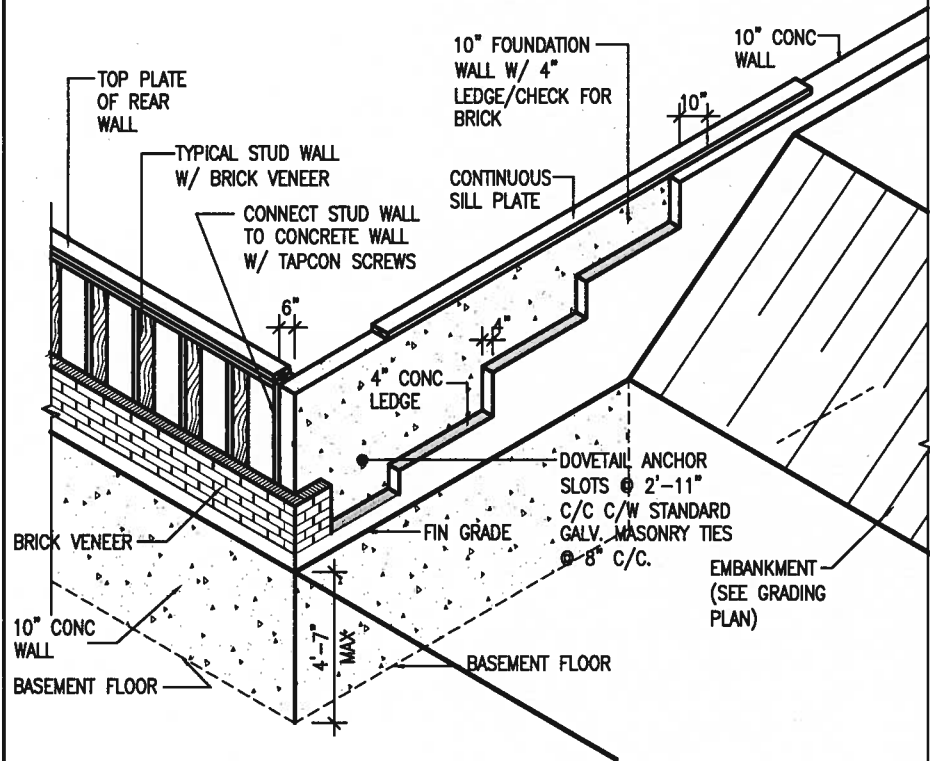
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date MAY 2016		drawing no. CN9
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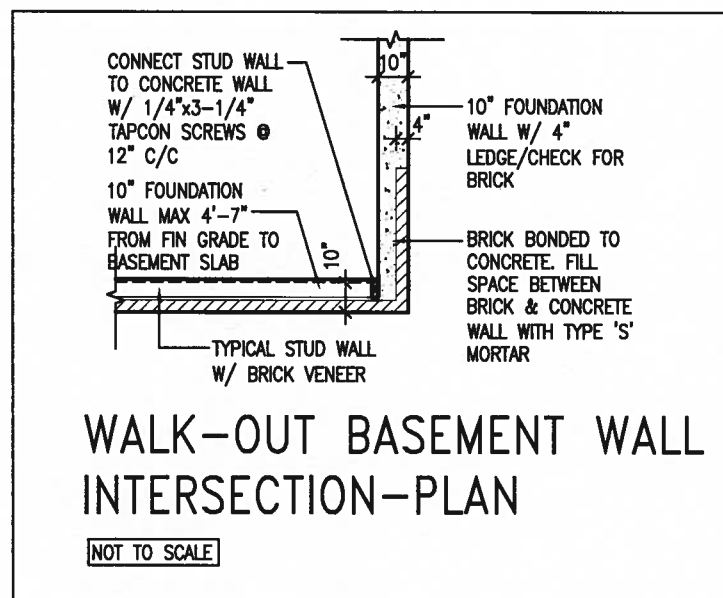
WALK-OUT DECK WALL
INTERSECTION-ELEVATION
NOT TO SCALE



WALK-OUT DECK WALL
INTERSECTION-PLAN
NOT TO SCALE
(10" FOUNDATION WALL)



WALK-OUT DECK WALL
INTERSECTION-ELEVATION MAX
4'-7" BACKFILL
NOT TO SCALE



WALK-OUT BASEMENT WALL
INTERSECTION-PLAN
NOT TO SCALE
(10" FOUNDATION WALL)



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8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name registration information BCM
5	.	.	.	VAS Design Inc. 42858
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CONSTRUCTION NOTES			drawing no. CN10
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WALK-OUT BASEMENT WALL INTERSECTION-PLAN

(10" FOUNDATION WALL)



WALL SECTION FOR GRADE TO BASEMENT
SLAB 4'7"(1400mm)
MAX. HEIGHT DIFFERENCE

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