

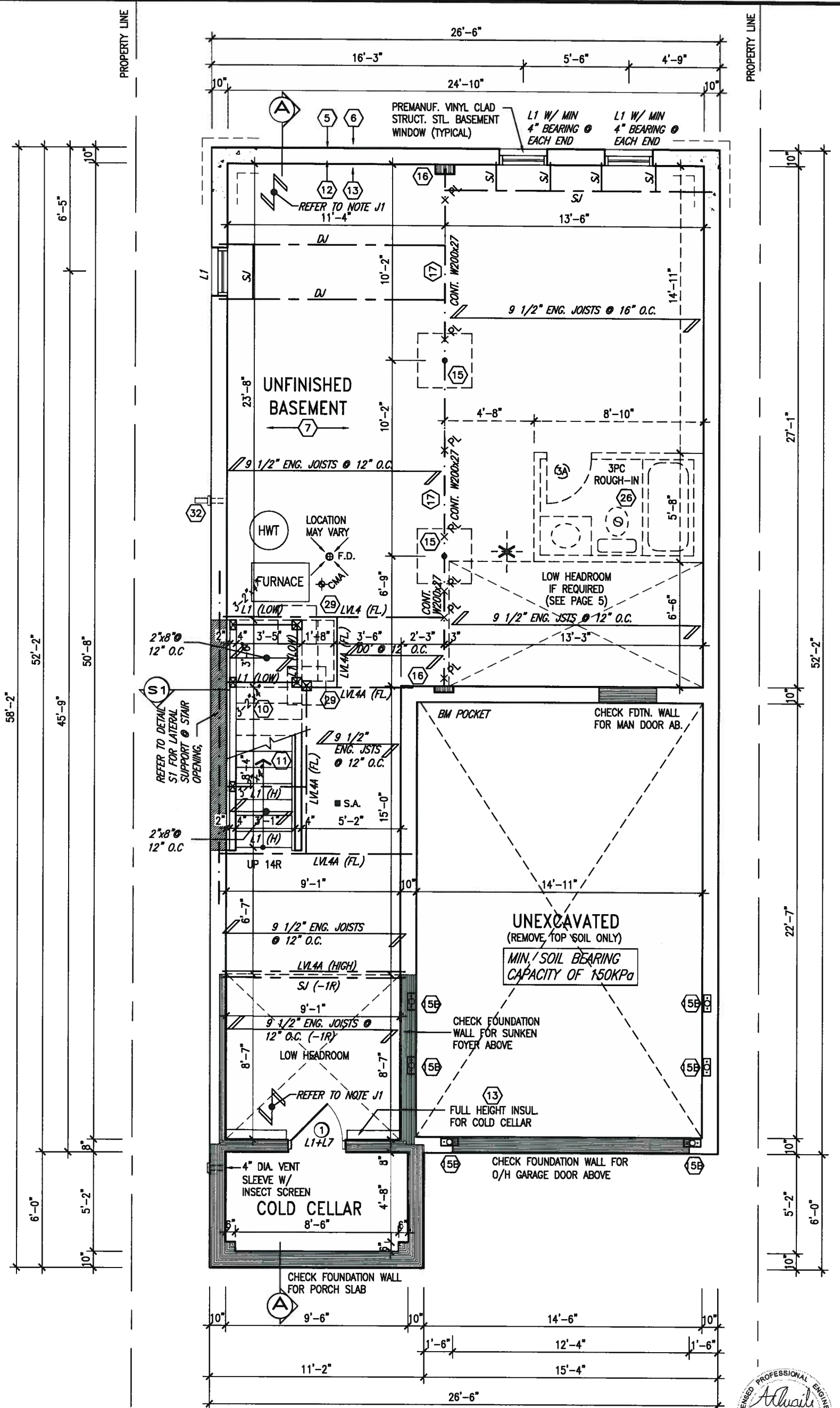
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ARCHITECTURAL REVIEW & APPROVAL

AUG 09 2017

John G. Williams Limited, Architect



BASEMENT PLAN 'A'

SEE PAGE 13. FOR AREA CHART



STRUCTURAL

S32-9-15G

NOTE W1:
PROVIDE 2-15M FULL
HEIGHT VERTICAL REBARS
EACH SIDE OF OPENING
+ 2-15M HORIZ. REBARS
BELOW AND EXTEND 24"
BEYOND OPENING
PROVIDE 3" CLEAR COVER
FROM SOIL SIDE

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

no.	description	date	by
9			
8			
7			
6	REVISED AS PER ENG COMMENTS	JUL 28-17	RC
5	REVISED TO 10" FOUNDATION WALLS	DEC 19-16	AJE
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC
3	REVISED INSULATION AT STAIRS	SEPT 19/16	SB
2	ADD WOOD AND REAR UPGRADE	JUL 22-16	RC
1	ISSUED FOR CLIENT REVIEW	JUL 04-16	NC

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	
Wellington Jno-Baptiste	25591
name	BCN
registration information	
VA3 Design Inc.	42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	

VA3
DESIGN

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va3design.com

BAYVIEW WELLINGTON

S32-9-15G
PELICAN 9-15

project name **ALCONA** municipality **INNISFIL, ON.**

project no. **13049**

BASEMENT PLAN 'A'

drawing no.

1

date **NOV.2015** drawn by **NC** checked by **RC** scale **3/16" = 1'-0"** file name **13049-S32-9-15**

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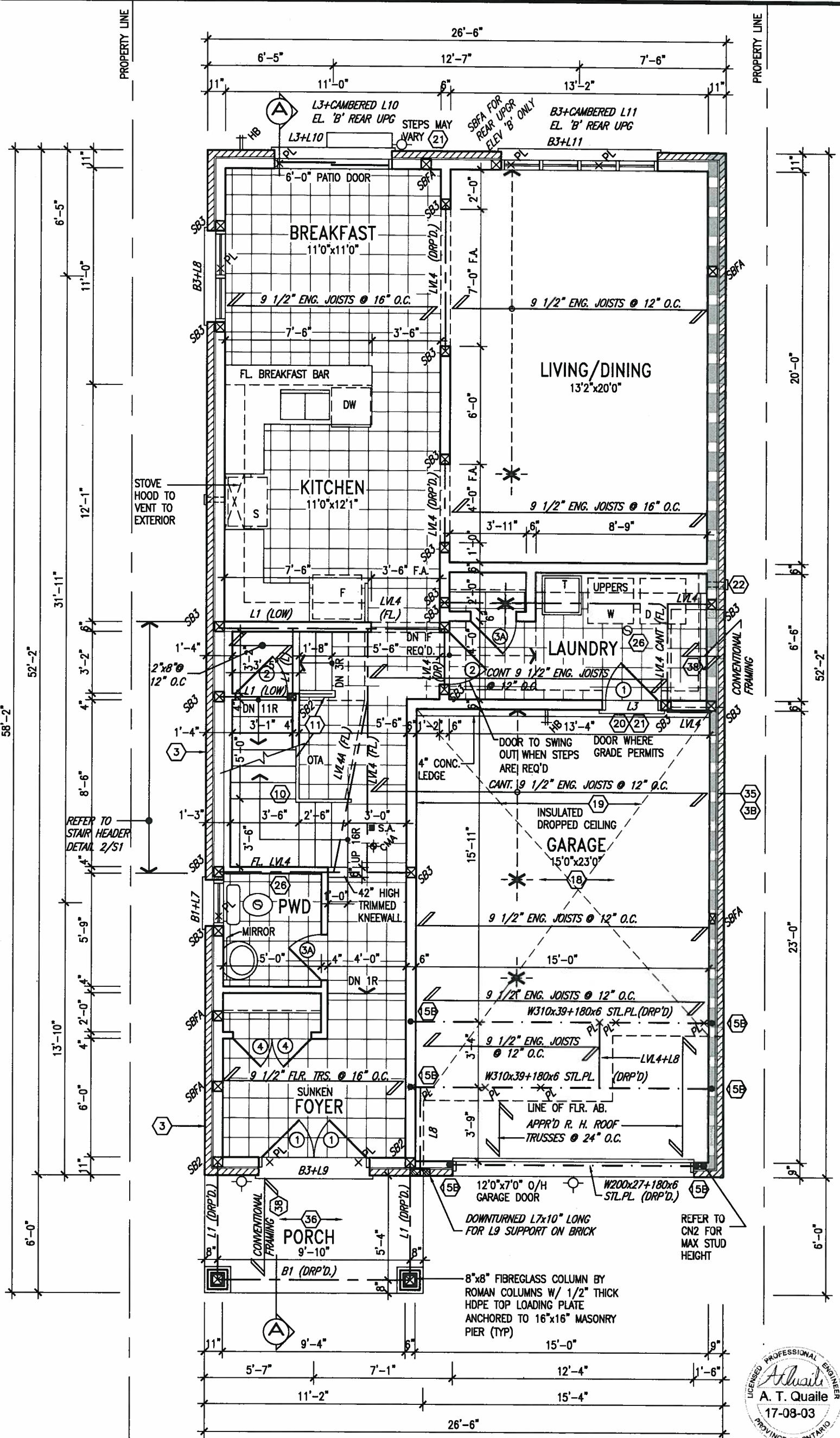
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ARCHITECTURAL REVIEW & APPROVAL

AUG 09 2017

John G. Williams Limited, Architect



GROUND FLOOR PLAN 'A'

INDICATES REDUCED SIDE YARD

S32-9-15G

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

9.					
8.					
7.					
6.	REVISED AS PER ENG COMMENTS	JUL 28-17	RC	Wellington Jno-Baptiste	25591
5.	REVISED TO 10" FOUNDATION WALLS	DEC 19-16	AJE	name	BCIN
4.	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC	registration information	42658
3.	REVISED INSULATION AT STAIRS	SEPT 19/16	SB	VA3 Design Inc.	
2.	ADD WOD AND REAR UPGRADE	JUL 22-16	RC		
1.	ISSUED FOR CLIENT REVIEW	JUL 04-16	NC		
no.	description	date	by		

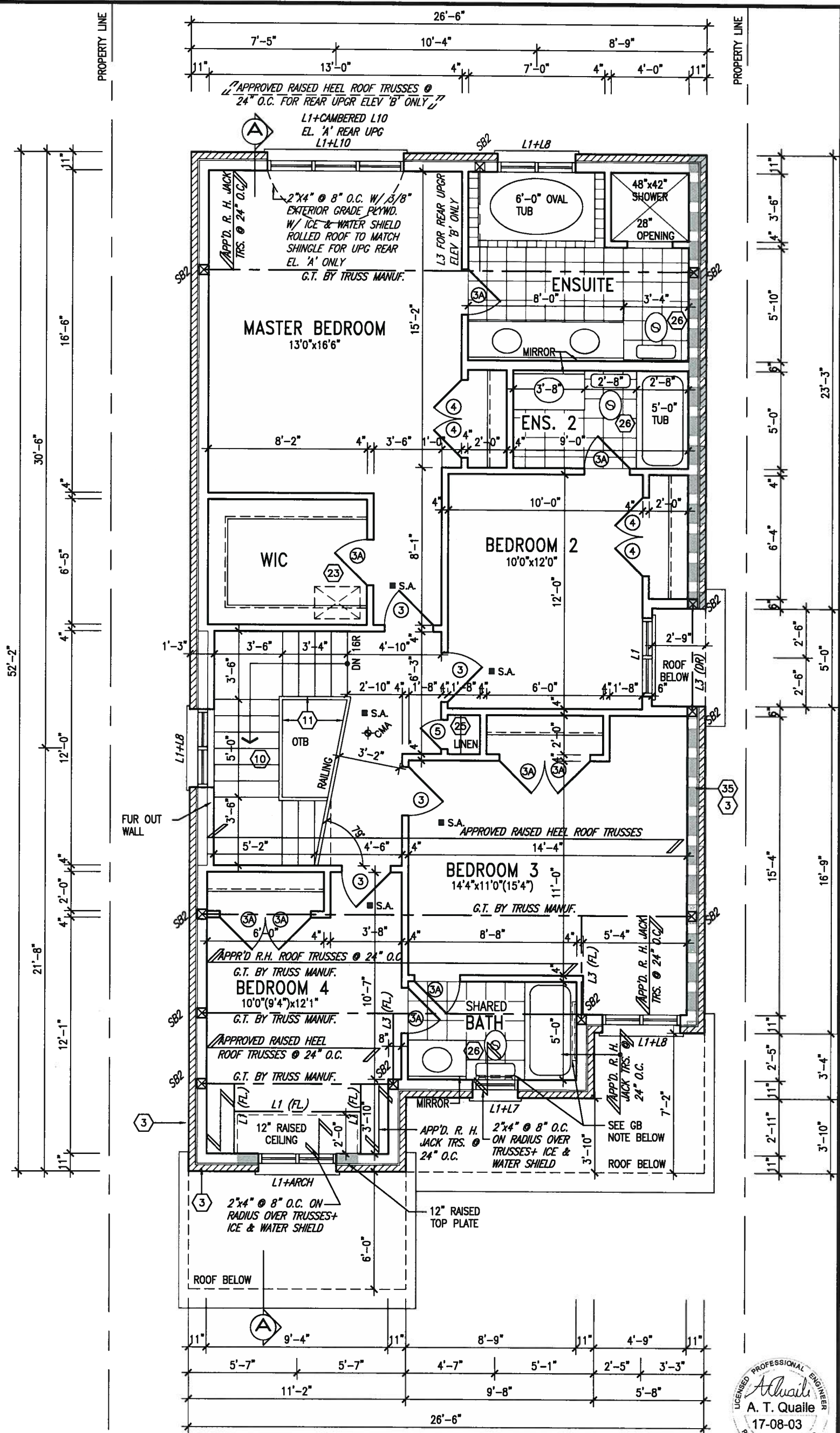
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BAYVIEW WELLINGTON		S32-9-15G	
project name ALCONA		project no. 13049	
municipality INNISFIL, ON.		drawing no. 2	
GROUND FLOOR PLAN 'A'			
date NOV. 2015	drawn by NC	checked by RC	scale 3/16" = 1'-0"
file name 13049-S32-9-15			
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AUG 09 2017

John G. Williams Limited, Architect



STUD WALL
REINFORCEMENT FOR
FUTURE GRAB BARS IN
MAIN BATHROOM.
REINFORCEMENT OF STUD WALLS
SHALL BE INSTALLED ADJACENT
TO WATER CLOSETS AND SHOWER
OR BATHTUB IN MAIN BATHROOM.
REFER TO OBC. 9.5.2.3,
3.8.3.8.(3)(a), 3.8.3.8.(3)(c),
3.8.3.13.(2)(f) & 3.8.3.13.(4)(c).
AND DETAILS PROVIDED.

NOTE:
ROOF TRUSS INFORMATION REFER TO ROOF
TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING
INFORMATION UNLESS OTHERWISE NOTED.

SECOND FLOOR PLAN 'A'

INDICATES REDUCED SIDE YARD

S32-9-15G

9	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information	 VA3 DESIGN	BAYVIEW WELLINGTON	S32-9-15G PELICAN 9-15					
8	.	.									
7	.	.									
6	REVISED AS PER ENG COMMENTS	JUL 28-17	RC	Wellington Jno-Baptiste  25591	project name	ALCONA	municipality	INNISFIL, ON.	project no.	13049	
5	REVISED TO 10" FOUNDATION WALLS	DEC 19-16	AJE	name registration information VA3 Design Inc. 42658							
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 v3design.com	SECOND FLOOR PLAN 'A'					drawing no.
3	REVISED INSULATION AT STAIRS	SEPT 19/16	SB			date	drawn by	checked by	scale	file name	3
2	ADD WOD AND REAR UPGRADE	JUL 22-16	RC			NOV. 2015	NC	RC	3/16" = 1'-0"	13049-S32-9-15	
1	ISSUED FOR CLIENT REVIEW	JUL 04-16	NC			RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\32\13049-S32-9-15.dwg - Tue - Aug 1 2017 - 5:02 PM					
no.	description	date	by								

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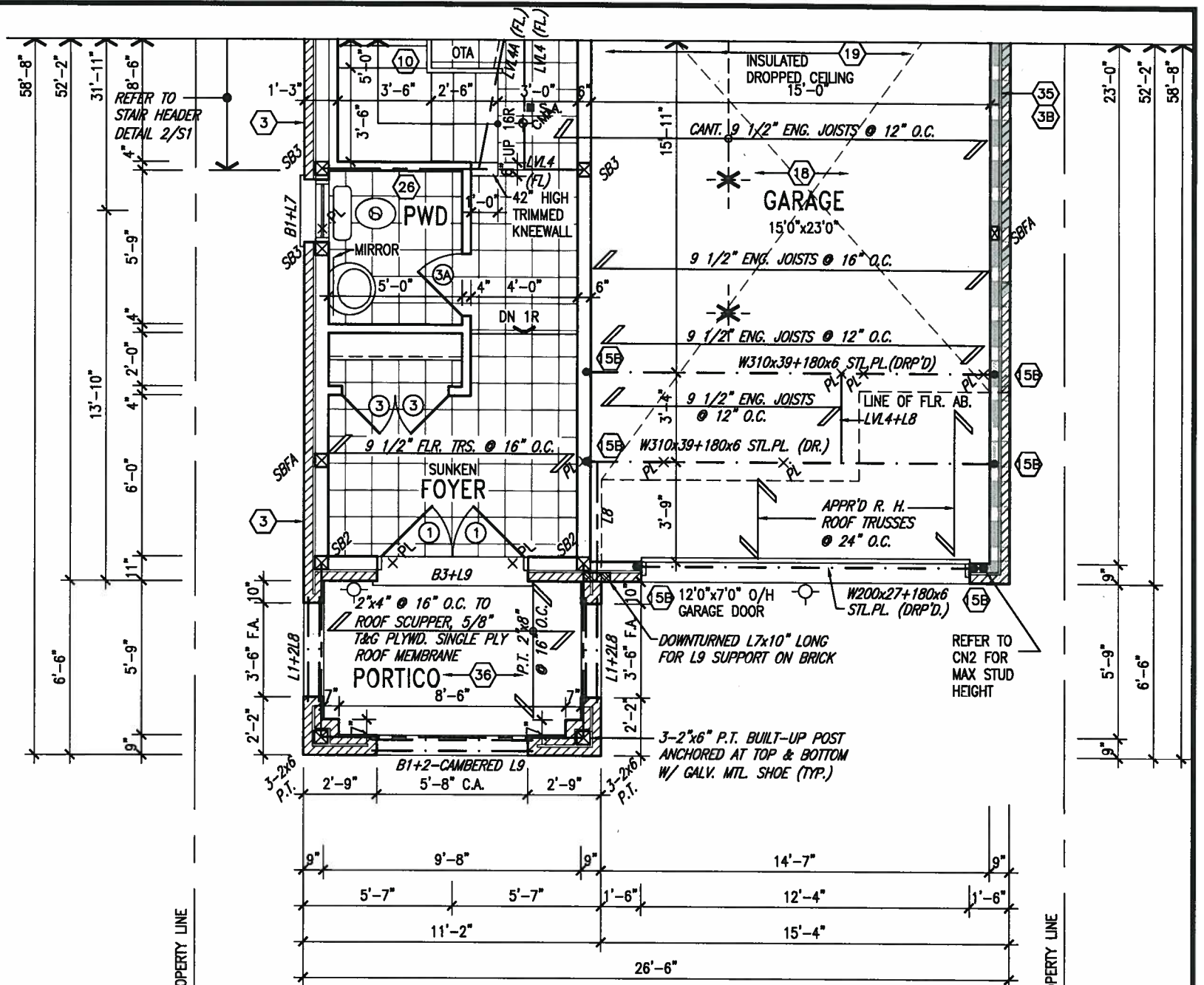
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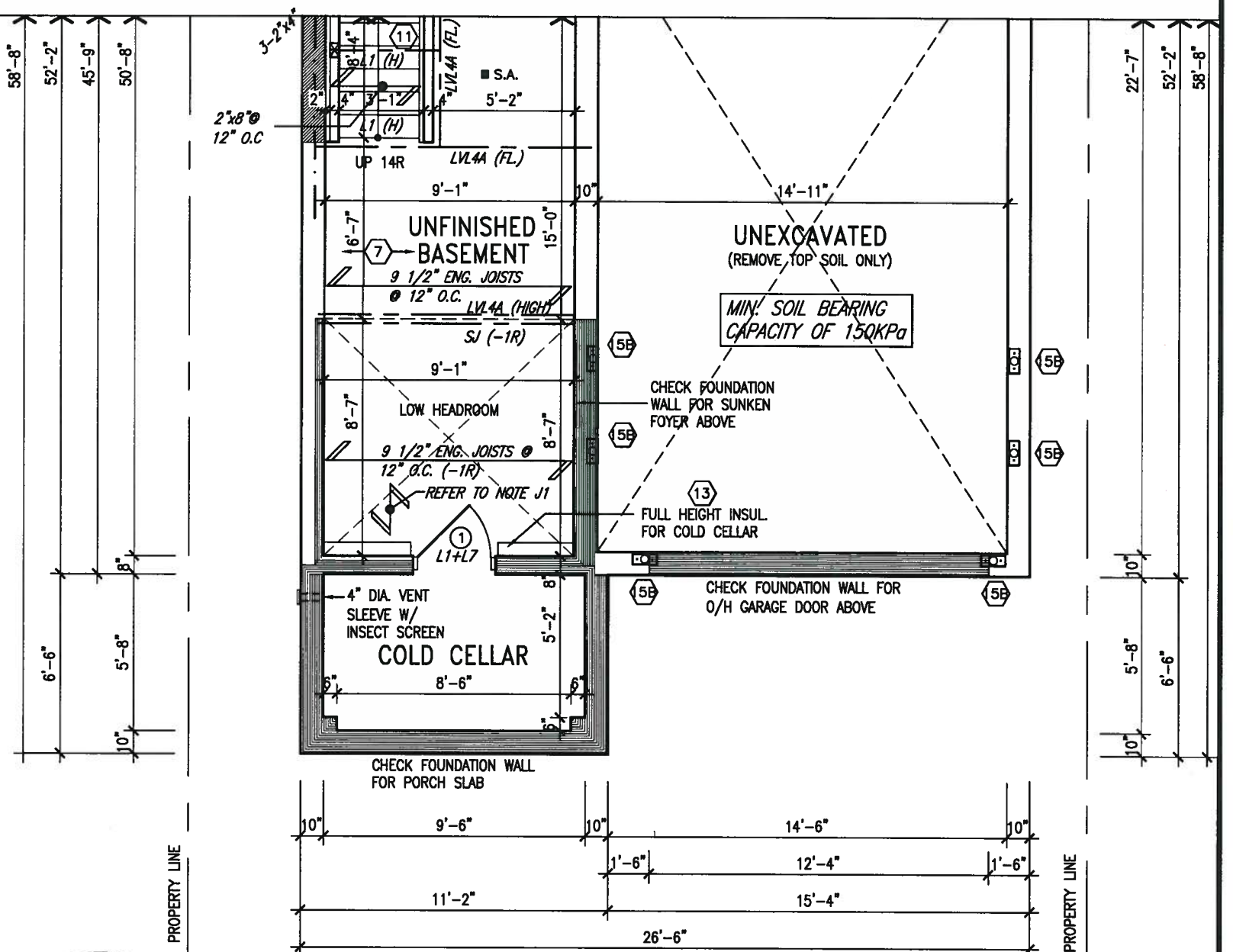
ARCHITECTURAL REVIEW & APPROVAL

AUG 09 2017

John G. Williams Limited, Architect



PARTIAL GROUND FLOOR PLAN 'B'



PARTIAL BASEMENT FLOOR PLAN 'B'

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)



INDICATES REDUCED SIDE YARD

S32-9-15G

no.	description	date	by
9			
8			
7			
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qualification information
Wellington Jno-Baptiste 25591
name registration information BCN
VA3 Design Inc. 42658

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BAYVIEW WELLINGTON

S32-9-15G
PELICAN 9-15

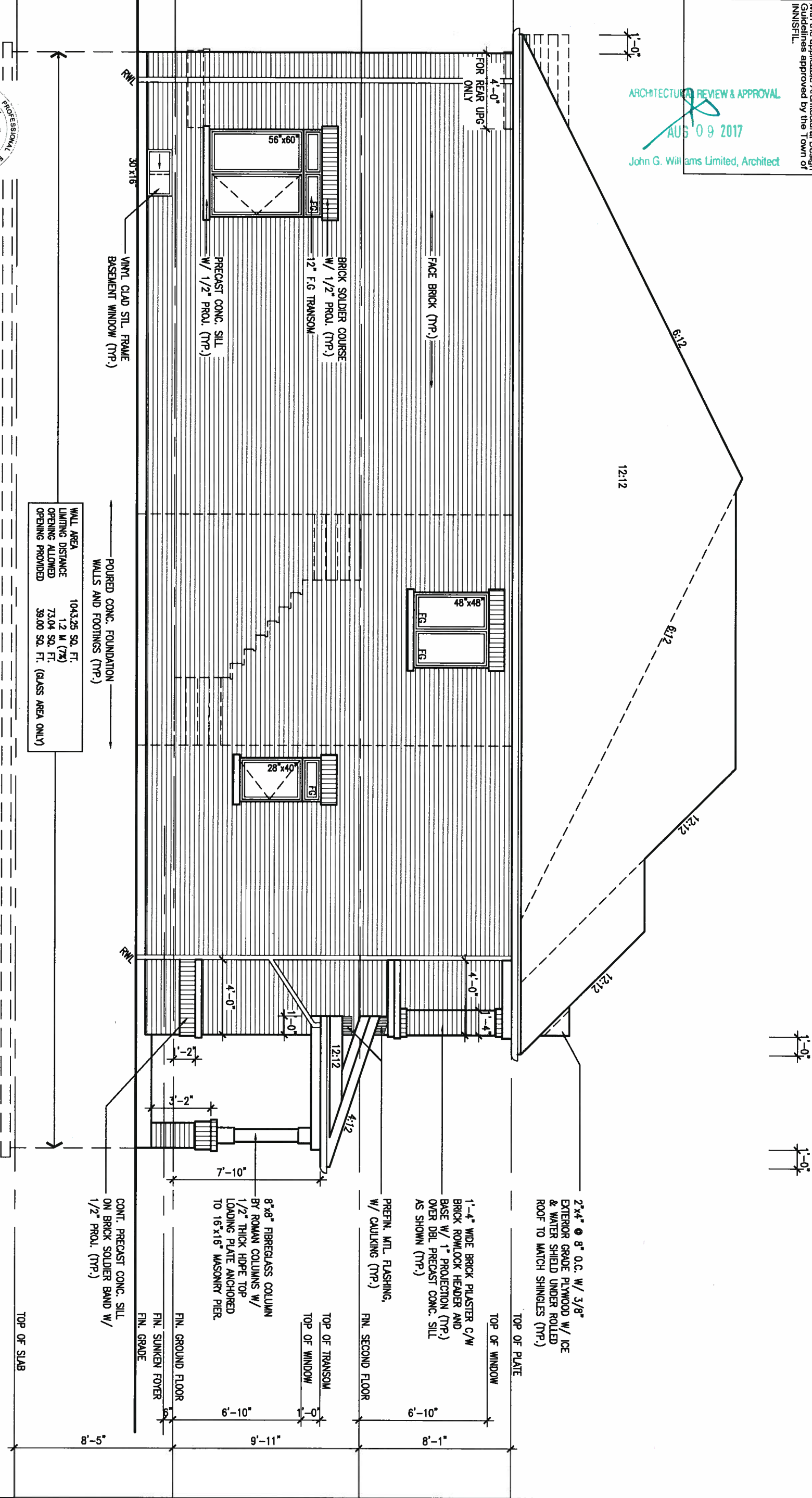
project name	municipality	project no.
ALCONA	INNISFIL, ON.	13045
date	drawn by	checked by
NOV. 2015	NC	RC
scale	file name	drawing no.
3/16" = 1'-0"	13049-S32-9-15	4

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ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect



LEFT SIDE ELEVATION 'A'

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

WALL AREA 1043.25 SQ. FT.
LIMITING DISTANCE 12 M (79')
OPENING ALLOWED 73.04 SQ. FT.
OPENING PROVIDED 39.00 SQ. FT. (GLASS AREA ONLY)

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

CONT. PRECAST CONC. SILL
ON BRICK SOLDIER BAND W/
1/2" PROL. (TYP.)

8"x8" FIBREGLASS COLUMN
BY ROMAN COLUMNS W/
1/2" THICK HDPE TOP
LOADING PLATE ANCHORED
TO 16"x16" MASONRY PIER.

1'-4" WIDE BRICK PILASTER C/W
BRICK ROWLOCK HEADER AND
BASE W/ 1" PROJECTION (TYP.)
OVER DEL. PRECAST CONC. SILL
AS SHOWN (TYP.)

2"x4" @ 8" O.C. W/ 3/8"
EXTERIOR GRADE PLYWOOD W/ ICE
& WATER SHIELD UNDER ROLLED
ROOF TO MATCH SHINGLES (TYP.)



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BAYVIEW WELLINGTON

project name
ALCONA

municipality
INNISFIL, ON.

S32-9-15G
PELICAN 9-15

project no.
13049

LEFT SIDE ELEVATION 'A'

drawing no.
7

date drawn by checked by scale
NOV. 2015 NC RC 3/16" = 1'-0"

file name
13049-S32-9-15

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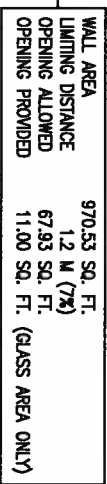
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qualification information
Wellington Jno-Baptiste 25591
name BCIN
registration information
VA3 Design Inc. 42658

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ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect



RIGHT SIDE ELEVATION 'A'

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

S32-9-15G

9	-	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	-	-	-	
7	-	-	-	qualification information
6	REVISED AS PER ENG COMMENTS	JUL 28-17	RC	Wellington Jno-Baptista <i>Jno-Baptista</i> 25591
5	REVISED TO 10" FOUNDATION WALLS	DEC 19-16	AJE	name <i>signature</i> BCIN
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC	registration information VAS Design Inc. 42658
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BAYVIEW WELLINGTON

project name
ALCONA

INNISFIL, ON.

S32-9-15G
PELICAN 9-15

project no.
13049

RIGHT SIDE ELEVATION 'A'

drawing no.

date	drawn by	checked by	scale
NOV. 2015	NC	RC	3/16" = 1'-0"

13049-S32-9-15

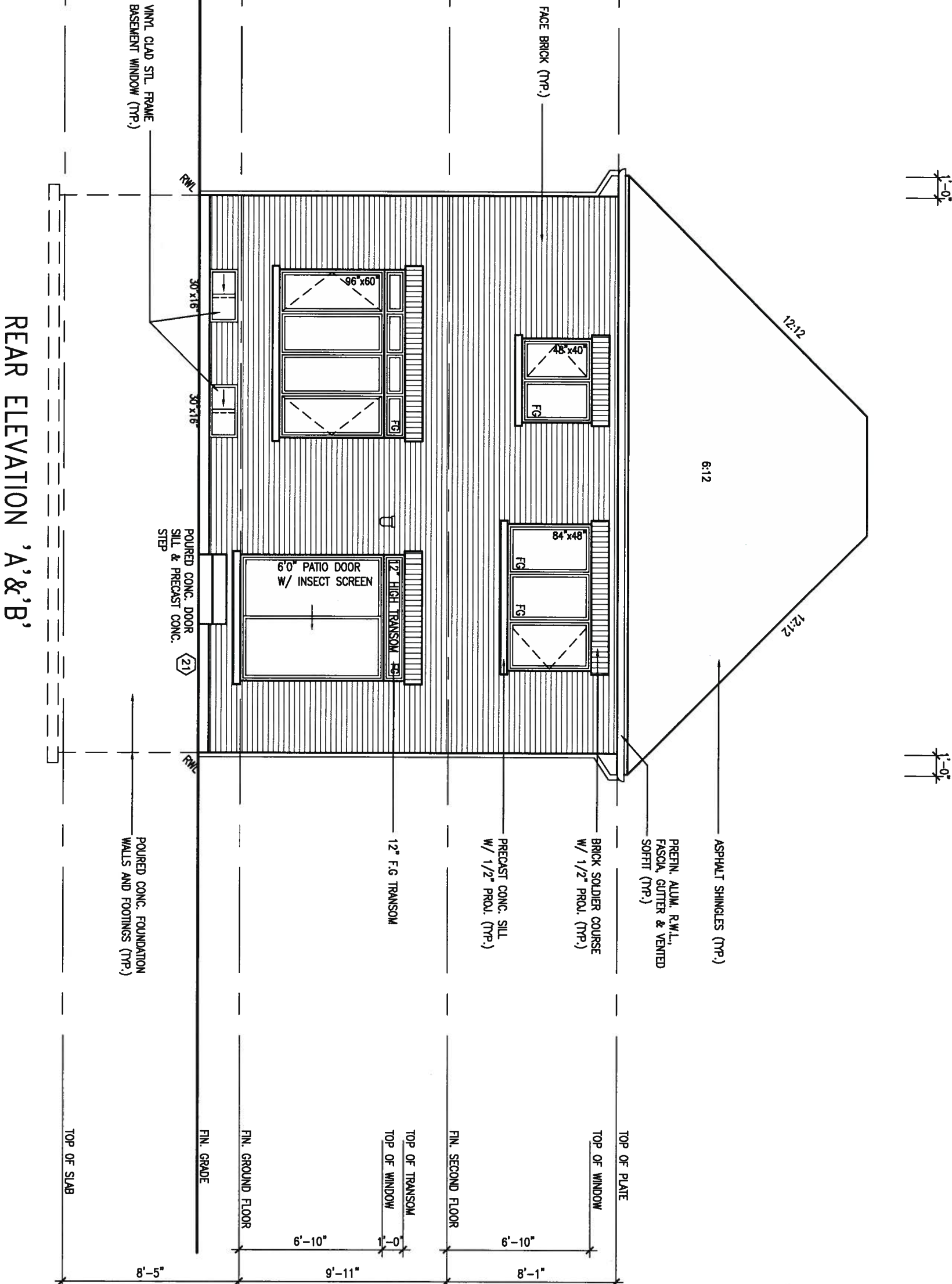
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AUG 09 2017
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name
registration information
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BAYVIEW WELLINGTON

project name
ALCONA

municipality
INNISFIL, ON.

S32-9-15G
PELICAN 9-15

project no.
13049

REAR ELEVATION 'A' & 'B'

date
NOV. 2015

drawn by
NC

checked by
RC

scale
3/16" = 1'-0"

file name
13049-S32-9-15

drawing no.
9

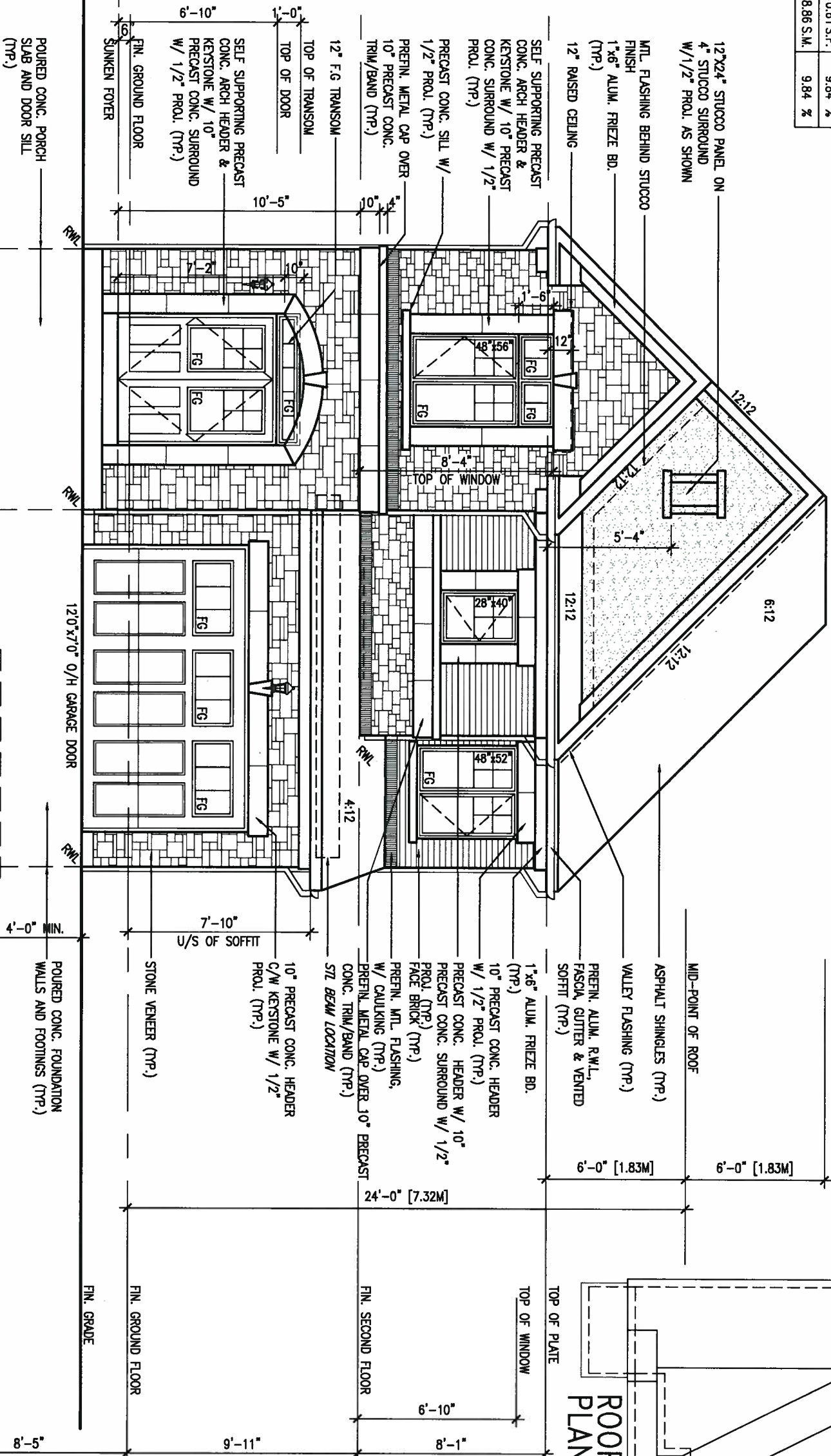
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UNINSULATED OPENINGS (PER OBC, SB-12.3.1(7))			
32-9-15 ELEVATION B	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	541 S.F.	94.167 S.F.	17.41 %
LEFT SIDE	1043 S.F.	57.444 S.F.	5.51 %
RIGHT SIDE	1043 S.F.	16 S.F.	1.53 %
REAR	530 S.F.	143.00 S.F.	26.98 %
* OPENINGS OMITTED AS PER SB-12.3.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
		0 S.F.	
TOTAL SQ. FT.	3157.00 S.F.	310.61 S.F.	9.84 %
TOTAL SQ. M.	293.29 S.M.	28.86 S.M.	9.84 %

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ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect



FRONT ELEVATION 'B'

ROOF PLAN B



S32-9-15G

9					
8					
7					
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qualification information			
Wellington Jno-Baptiste	25591	BCN	
name registration information			
VAS Design Inc.	42658		
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BAYVIEW WELLINGTON

project name ALCONA municipality INNISFIL, ON.

S32-9-15G
PELICAN 9-15

project no. 13049

FRONT ELEVATION 'B'

date NOV. 2015 drawn by NC checked by RC scale 3/16" = 1'-0"

file name 13049-S32-9-15

drawing no. 10

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ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect

12:12
ROOF FOR REAR
UPGRADE ELEV 'B'

4'-0"
FOR REAR UPGR
ONLY

VINYL CLAD STL FRAME
BASEMENT WINDOW (TYP.)

56"x60"
FG
BRICK SOLDIER COURSE
W/ 1/2" PROL. (TYP.)
1/2" F.G. TRANSOM
PRECAST CONC. SILL
W/ 1/2" PROL. (TYP.)

48"x48"
FG
FG

28"x40"
FG

WALL AREA
LIMITING DISTANCE
OPENING ALLOWED
1043.26 SQ. FT.
1.2 M (7%)
73.04 SQ. FT.
39.00 SQ. FT. (GLASS AREA ONLY)

LEFT SIDE ELEVATION 'B'

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

S32-9-15G

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

TOP OF SLAB

FIN. SUKKEN FOYER

FIN. GROUND FLOOR

PRECAST HEADER &
KEystone W/ 10"
PRECAST CONC. SURROUND
W/ 1/2" PROL. (TYP.)

STONE VENEER (TYP.)

SCUPPER DRAIN (TYP.)

PREFIN. METAL CAP OVER
10" PRECAST CONC.
TRIM/BAND (TYP.)

1"x6" ALUM. FRIEZE BD.
(TYP.)

ASPHALT SHINGLES (TYP.)

9	.	.	.
8	.	.	.
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name registration information BCN
VA3 Design Inc. 42658

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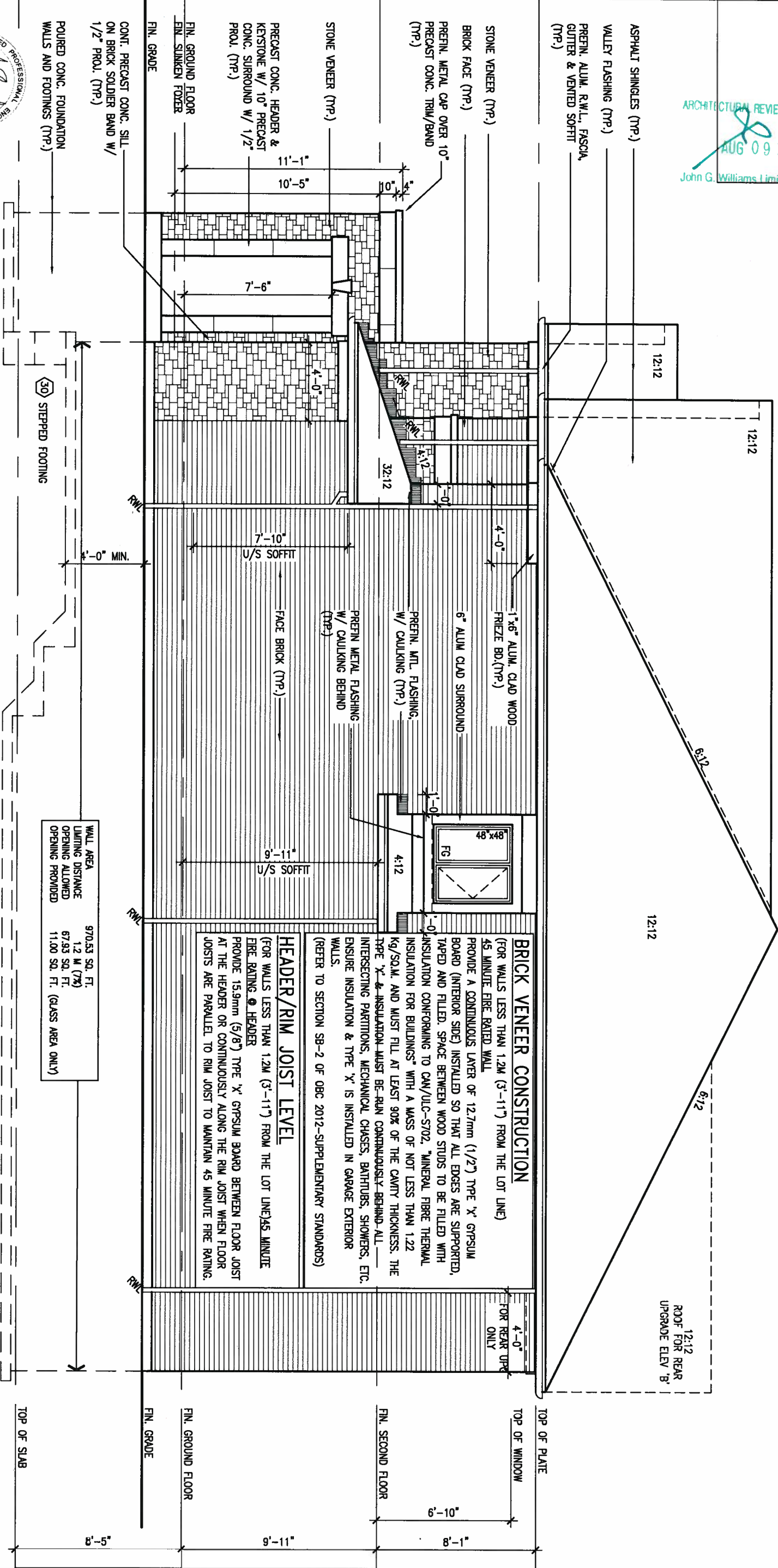
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BAYVIEW WELLINGTON		S32-9-15G PELICAN 9-15	
project name ALCONA	municipality INNISFIL, ON.	project no. 13049	drawing no. 11
LEFT SIDE ELEV. 'B'			
date NOV. 2015	drawn by NC	checked by RC	scale 3/16" = 1'-0"
file name 13049-S32-9-15			
RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\32\13049-S32-9-15.dwg - Tue - Aug 1 2017 - 5:02 PM			

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ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect



WALL AREA	970.53 SQ. FT.
UNITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	67.93 SQ. FT.
OPENING PROVIDED	11.00 SQ. FT. (GLASS AREA ONLY)

RIGHT SIDE ELEVATION 'B'

S32-9-15G

9.					
8.					
7.					
6.	REVISED AS PER ENG COMMENTS	JUL 28-17	RC		
5.	REVISED TO 10" FOUNDATION WALLS	DEC 19-16	A/E		
4.	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC		
3.	REVISED INSULATION AT STAIRS	SEPT 19/16	SB		
2.	ADD WOD AND REAR UPGRADE	JUL 22-16	RC		
1.	ISSUED FOR CLIENT REVIEW	JUL 04-16	NC		
no.	description	date	by		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	
Wellington Jno-Baptiste	25591
name registration information	BCN
VA3 Design Inc.	42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name
ALCONA

municipality
INNISFIL, ON.

S32-9-15G
PELICAN 9-15

project no.
13049

RIGHT SIDE ELEV. 'B'

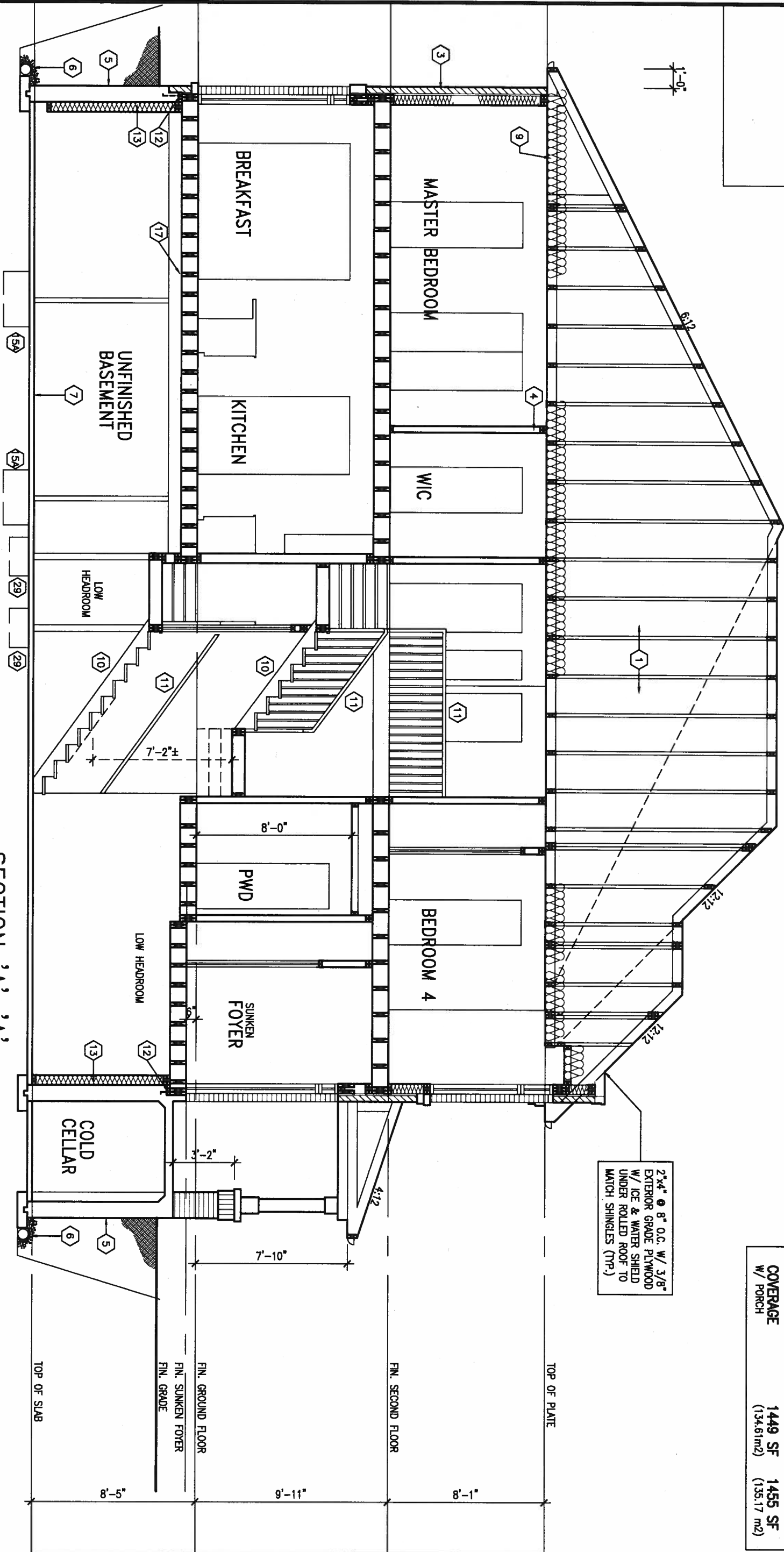
date drawn by checked by scale
NOV. 2015 NC RC 3/16" = 1'-0"

file name
13049-S32-9-15

drawing no.
12

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AREA CALCULATIONS		ELEV. A	ELEV. B
GROUND FLOOR AREA		1008 SF	1008 SF
SECOND FLOOR AREA		1291 SF	1291 SF
SUBTOTAL		2299 SF	2299 SF
DEDUCT ALL OPEN AREAS		12 SF	12 SF
TOTAL NET AREA	2285 SF (212.28 m2)		2285 SF (212.28 m2)
FINISHED BSMT AREA	XX SF		XX SF
COVERAGE W/OUT PORCH	1382 SF (128.39 m2)		1382 SF (128.38 m2)
COVERAGE W/ PORCH	1449 SF (134.61m2)		1455 SF (135.17 m2)

S32-9-15G

no.	description	date	by
9.			
8.			
7.			
6.	REVISED AS PER ENG COMMENTS	JUL 28-17	RC
5.	REVISED TO 10" FOUNDATION WALLS	DEC 19-16	AJE
4.	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC
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1.	ISSUED FOR CLIENT REVIEW	JUL 04-16	NC

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qualification information
Wellington Jno-Baptiste 25591
name registration information BCN
VA3 Design Inc. 42658

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VA3
DESIGN

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va3design.com

BAYVIEW WELLINGTON

project name
ALCONA

municipality
INNISFIL, ON.

S32-9-15G
PELICAN 9-15

project no.
13049

SECTION A-A

13049-S32-9-15

drawing no.
13

date drawn by checked by scale
NOV. 2015 NC RV 3/16" = 1'-0"

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ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect



S32-9-15G

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste  25591 name registration information VA3 Design Inc.  42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
8	.	.	.	
7	.	.	.	
6	REVISED AS PER ENG COMMENTS	JUL 28-17	RC	
5	REVISED TO 10" FOUNDATION WALLS	DEC 19-16	AJE	
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC	
3	REVISED INSULATION AT STAIRS	SEPT 19/16	SB	
2	ADD WOD AND REAR UPGRADE	JUL 22-16	RC	
1	ISSUED FOR CLIENT REVIEW	JUL 04-16	NC	
no.	description	date	by	

VA3
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BAYVIEW WELLINGTON

project name
ALCONA

municipality
L.O.N.

S32-9-15G
PELICAN 9-15

project no.
13049

drawing no

REAR UPGRADE ELEVATION 'A' & 'B'

13049-S32-9-15

14

date	drawn by	checked by	scale	file name
NOV. 2015	NC	RC	3/16" = 1'-0"	13049-S32-9-15
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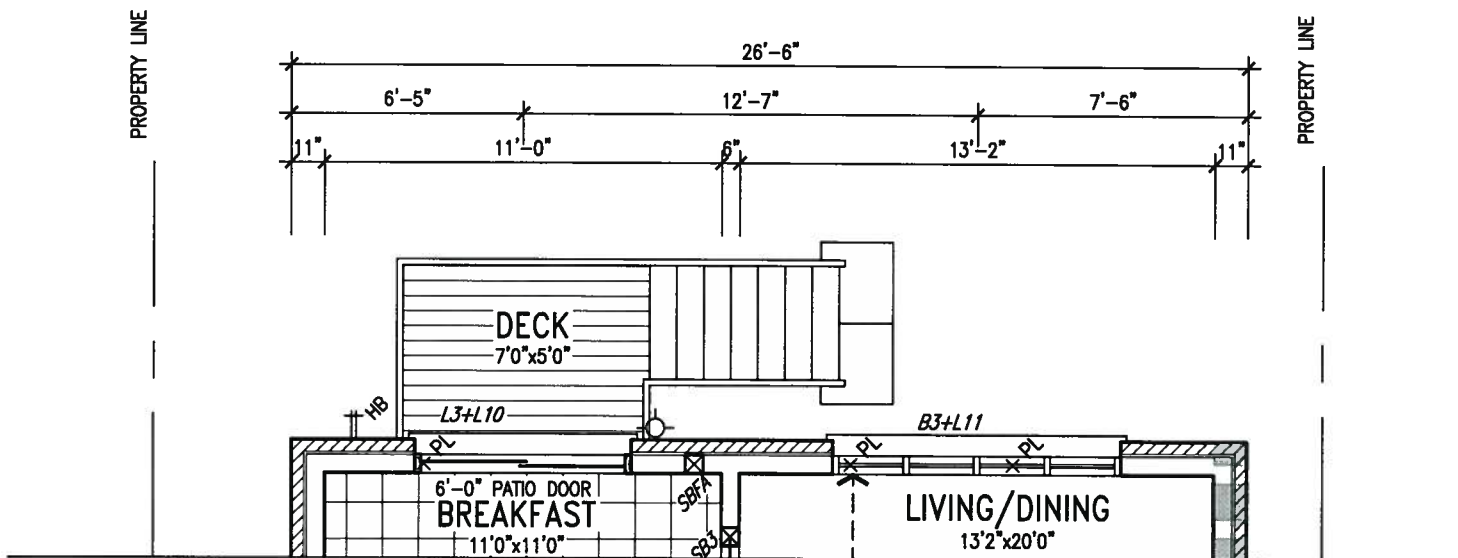
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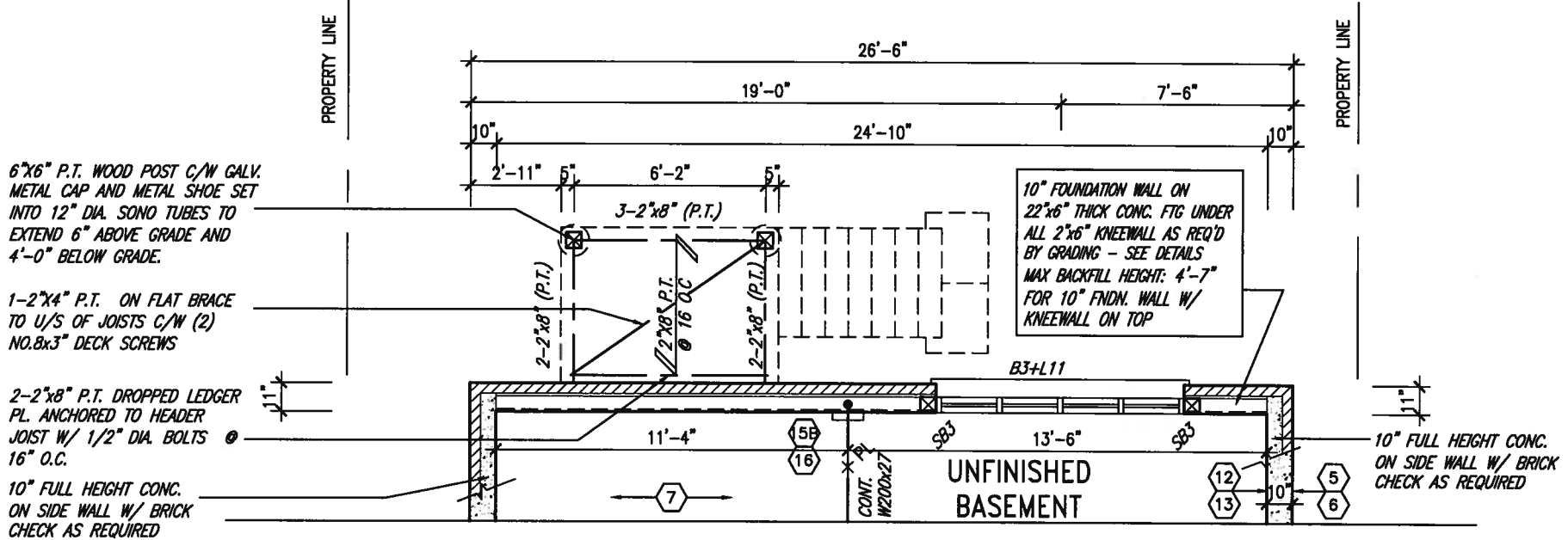
ARCHITECTURAL REVIEW & APPROVAL

NOV 09 2017

John G. Williams Limited, Architect



PARTIAL GROUND FLOOR PLAN 'A' & 'B'
W.O.D. 9R AND MORE COND.



PARTIAL BASEMENT FLOOR PLAN 'A' & 'B'
W.O.D. 9R AND MORE COND.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

MIN. SOIL BEARING CAPACITY OF 150KPa

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.



9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	REVISED AS PER ENG COMMENTS	JUL 28-17	RC	name
5	REVISED TO 10" FOUNDATION WALLS	DEC 19-16	A/E	registration information
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC	VA3 Design Inc. 42658
3	REVISED INSULATION AT STAIRS	SEPT 19/16	SB	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2	ADD WOD AND REAR UPGRADE	JUL 22-16	RC	
1	ISSUED FOR CLIENT REVIEW	JUL 04-16	NC	
no.	description	date	by	



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BAYVIEW WELLINGTON

S32-9-15G
PELICAN 9-15

project name
ALCONA

municipality
INNISFIL, ON.

project no.
13049

PARTIAL W.O.D. BASEMENT / GROUND FLOOR PLANS

drawing no.

date
NOV.2015

drawn by
NC

checked by
RC

scale
3/16" = 1'-0"

file name
13049-S32-9-15

15

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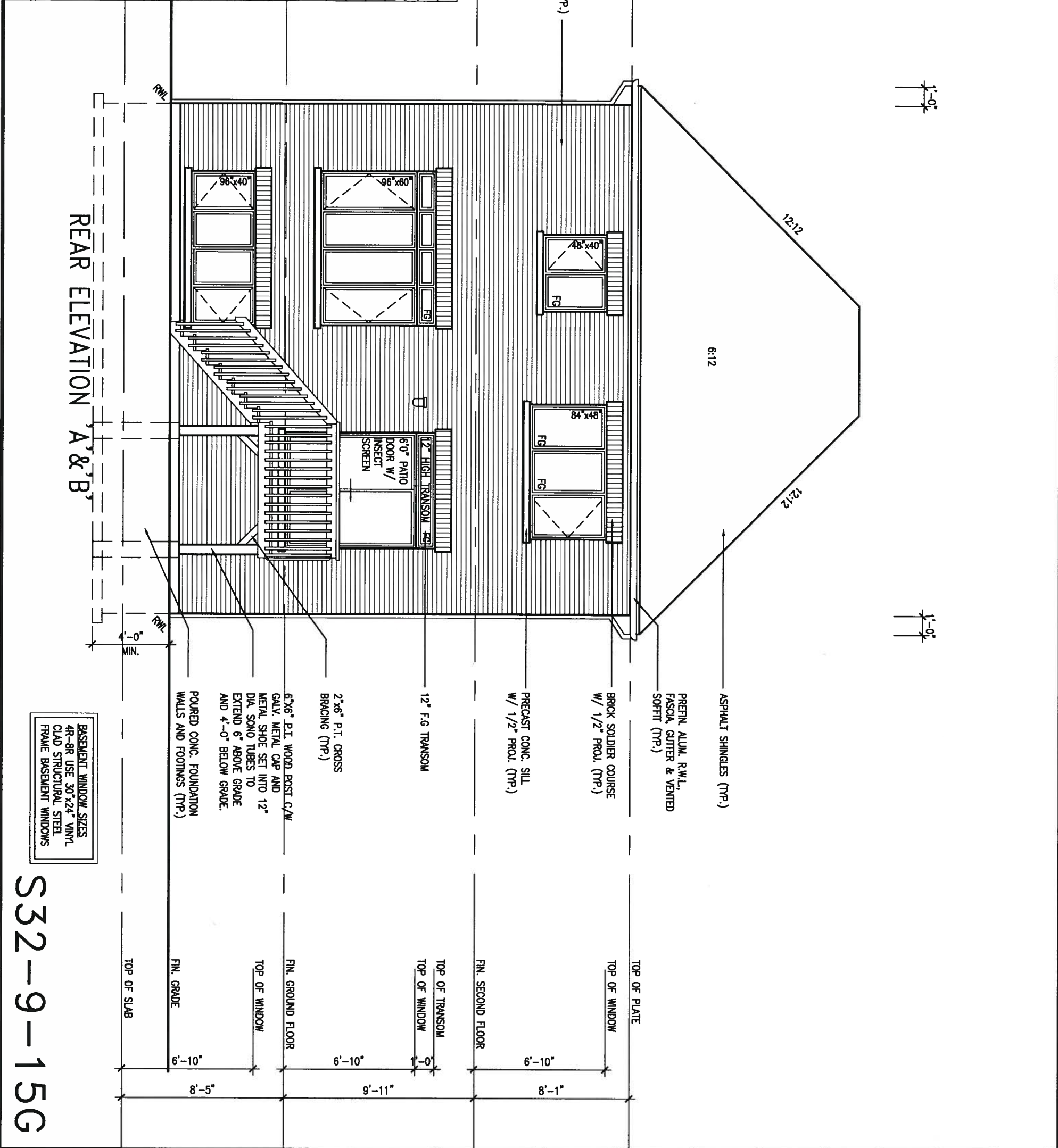
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ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect



UNINSULATED OPENINGS (PER OBC, SB-12.3.1(7))			
32-9-15 ELEVATION A 9R WOD	ENERGY EFFICIENCY - OBC S812		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	536 S.F.	93,798 S.F.	17.50 %
LEFT SIDE	1043 S.F.	57,444 S.F.	5.51 %
RIGHT SIDE	1043 S.F.	0 S.F.	0.00 %
REAR	636 S.F.	163 S.F.	25.63 %
* OPENINGS OMITTED AS PER SB-12.3.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3258.00 S.F.	314.24 S.F.	9.65 %
TOTAL SQ. M.	302.88 S.M.	29.19 S.M.	9.65 %
UNINSULATED OPENINGS (PER OBC, SB-12.3.1(7))			
32-9-15 ELEVATION B 9R WOD	ENERGY EFFICIENCY - OBC S812		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	541 S.F.	94,167 S.F.	17.41 %
LEFT SIDE	1043 S.F.	57,444 S.F.	5.51 %
RIGHT SIDE	1043 S.F.	0 S.F.	0.00 %
REAR	636 S.F.	163 S.F.	25.63 %
* OPENINGS OMITTED AS PER SB-12.3.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3263.00 S.F.	314.61 S.F.	9.64 %
TOTAL SQ. M.	303.14 S.M.	29.23 S.M.	9.64 %



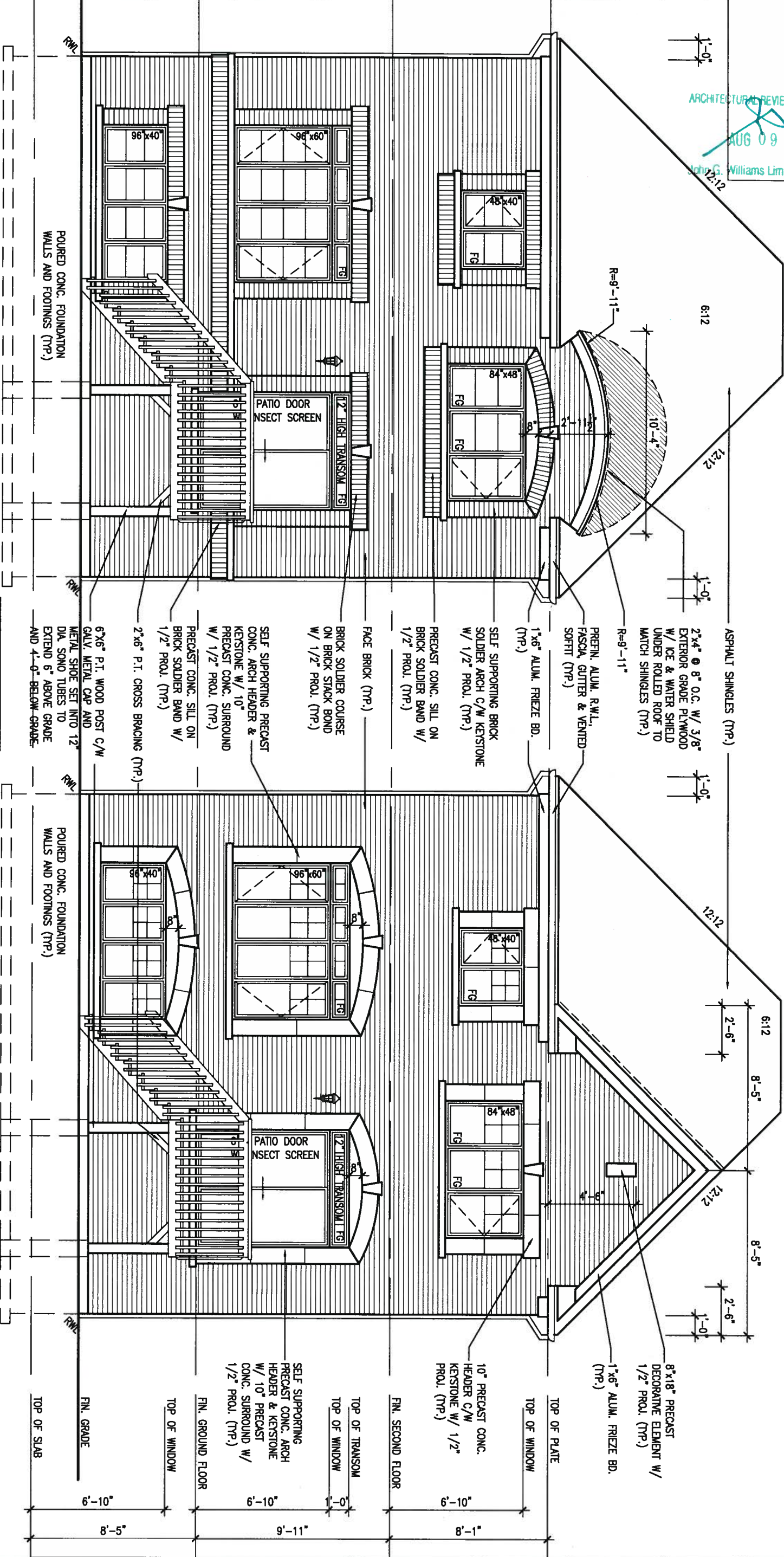
BAYVIEW WELLINGTON			S32-9-15G	
ALCONA			PELICAN 9-15	
project name			project no.	
ALCONA			13049	
municipality			municipality	
INNISFIL, ON.			INNISFIL, ON.	
W.O.D. REAR ELEVATION 'A' & 'B'			drawing no.	
date			16	
drawn by			file name	
NOV. 2015			13049-S32-9-15	
checked by			date	
RC			JUL 04-16	
scale			description	
3/16" = 1'-0"			no. description	
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It is the builder's complete responsibility to ensure that all trades and materials used in the construction of this building fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect



REAR UPGRADE ELEVATION 'A'
9R OR MORE WOD

REAR UPGRADE ELEVATION 'B'
9R OR MORE WOD

BASEMENT WINDOW SIZES:
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

S32-9-15G

9					
8					
7					
6	REVISED AS PER ENG COMMENTS	JUL 28-17	RC		
5	REVISED TO 10" FOUNDATION WALLS	DEC 19-16	AJE		
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no.	description	date	by		

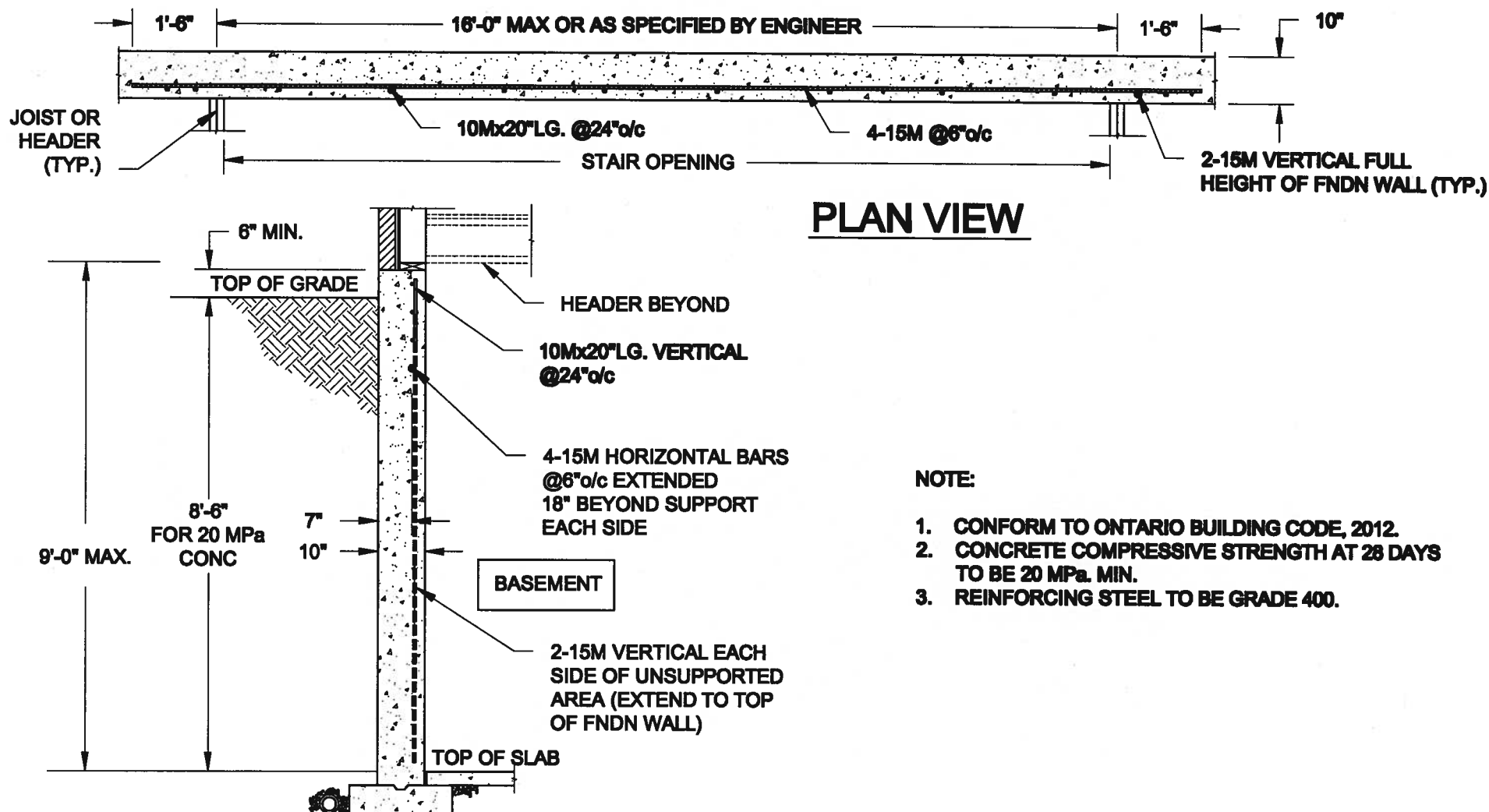
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qualification information
Wellington Jno-Baptiste 25591
name BCIN
registration information 42658
VA3 Design Inc.

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VA3 DESIGN
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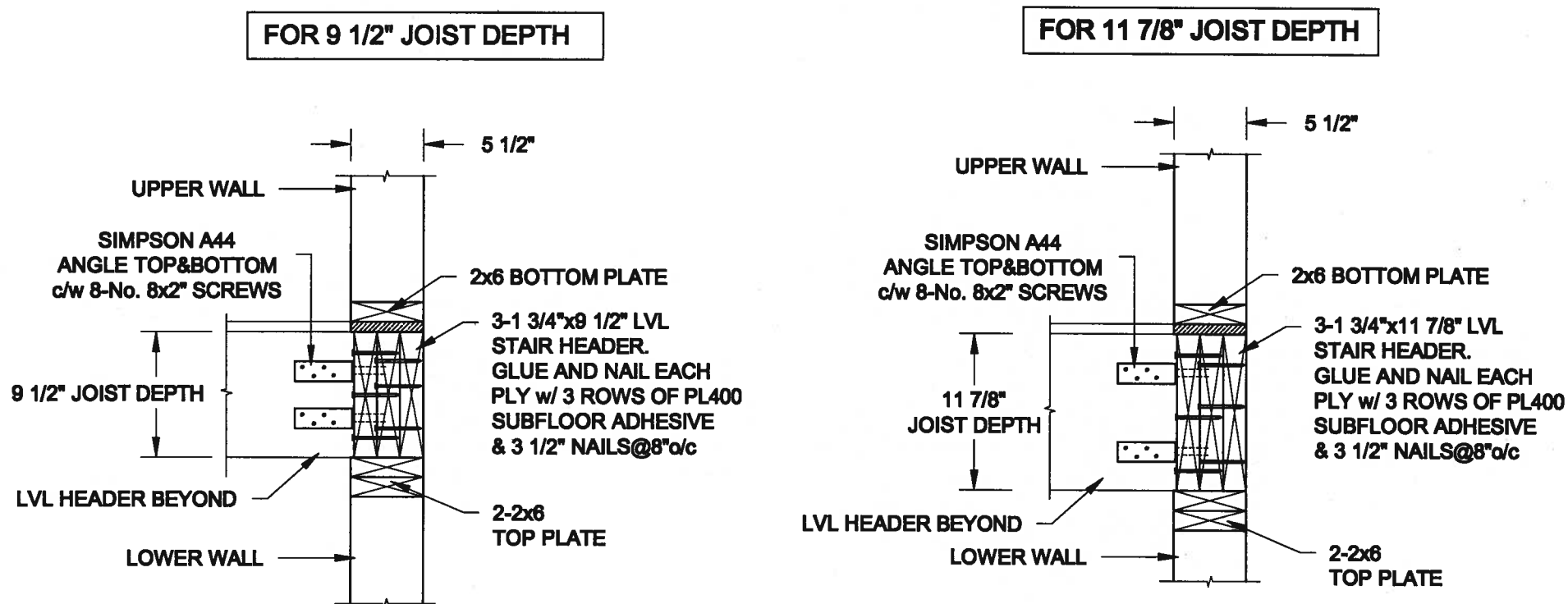
BAYVIEW WELLINGTON		S32-9-15G PELICAN 9-15	
project name ALCONA	municipality INNISFIL, ON.	project no. 13049	drawing no. 17
REAR UPGRADE ELEVATION 'A' & 'B' 9R OR MORE WOD			
date NOV. 2015	drawn by NC	checked by RC	scale 3/16" = 1'-0"
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NOTE:

1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 20 MPa. MIN.
3. REINFORCING STEEL TO BE GRADE 400.

1
S1 **LATERALLY UNSUPPORTED WALL**
SCALE: 3/8" = 1'-0"

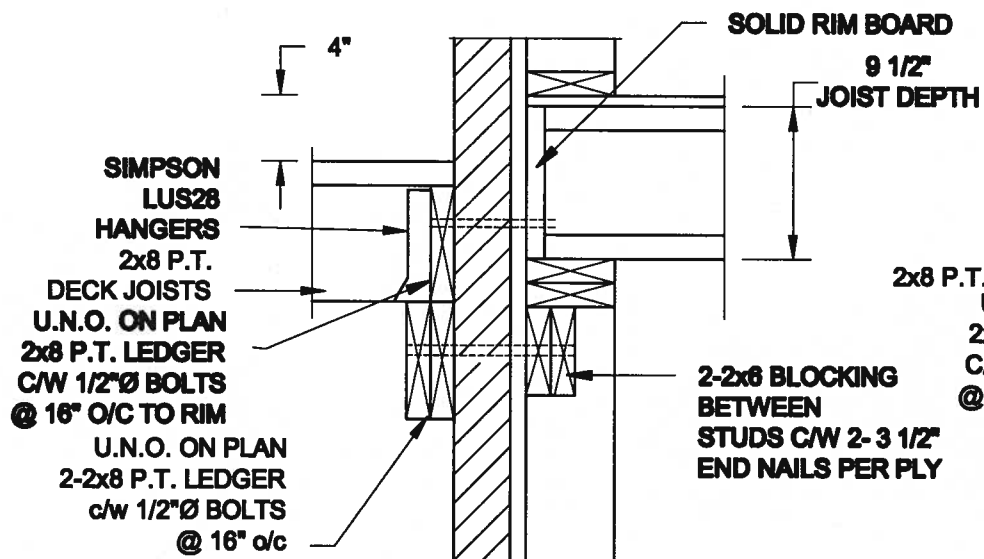


2
S1 **STAIR HEADER @ EXTERIOR WALL**
SCALE: 1" = 1'-0"

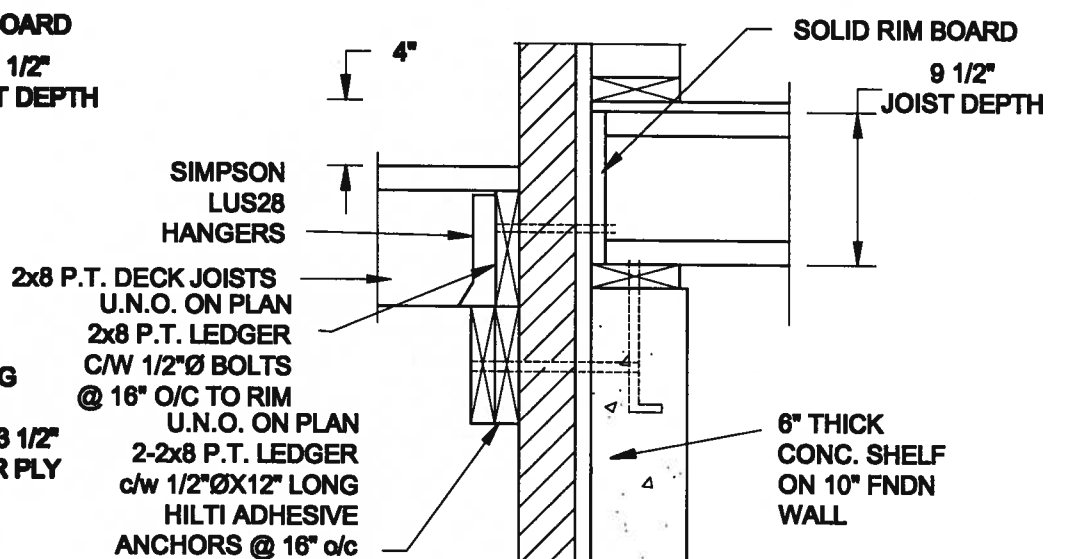


Scale: AS NOTED	QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal:	Project: BAYVIEW WELLINGTON HOMES - ALCONA PROJECT INNISFIL, ONTARIO	
Date: JUL-31-2017			TYPICAL STRUCTURAL DETAILS FOR SINGLES	
Drawn: SC		Checked: SJB	Project No.: 16-083	Drawing No.: S1

FOR 9 1/2" JOIST DEPTH



1A **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

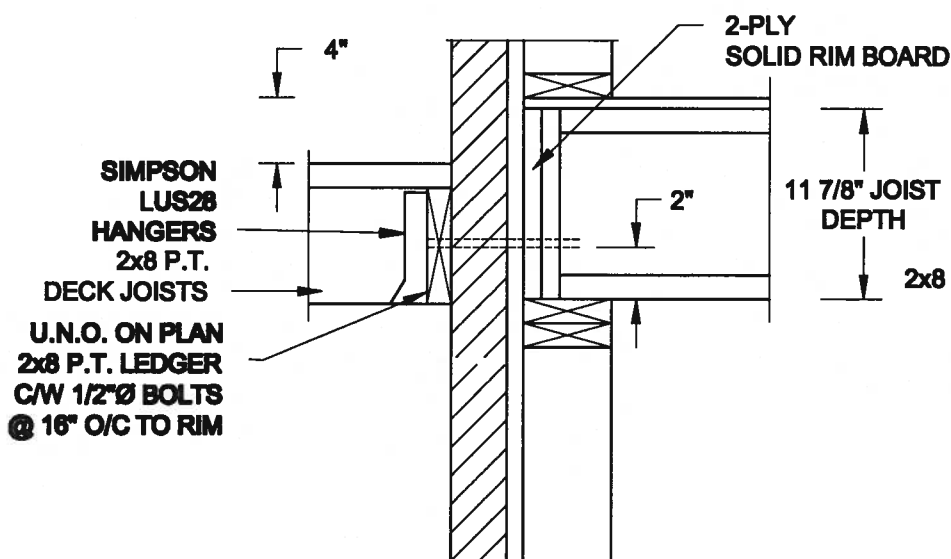


1B DECK FASTENING DETAIL

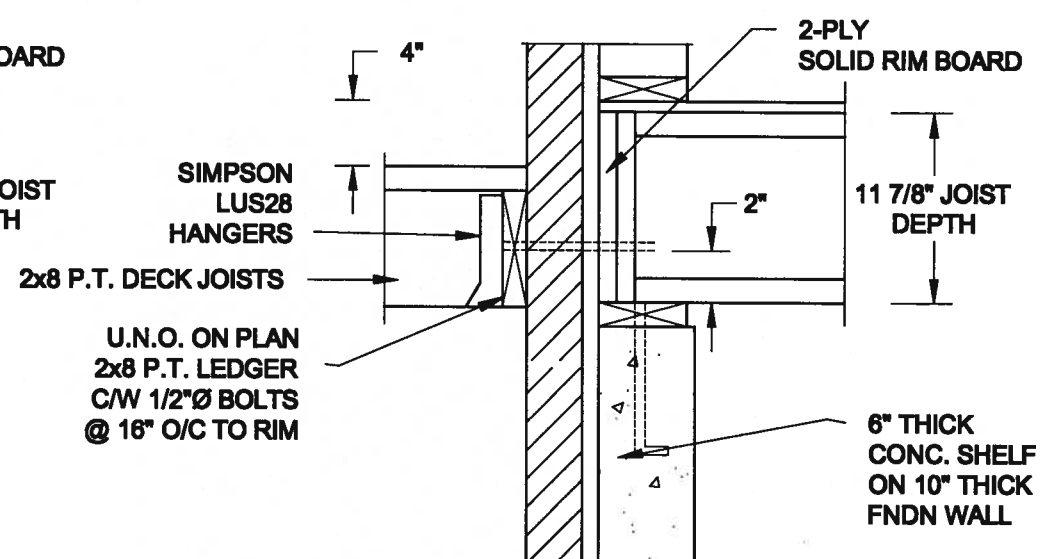
S2 SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 11 7/8" JOIST DEPTH



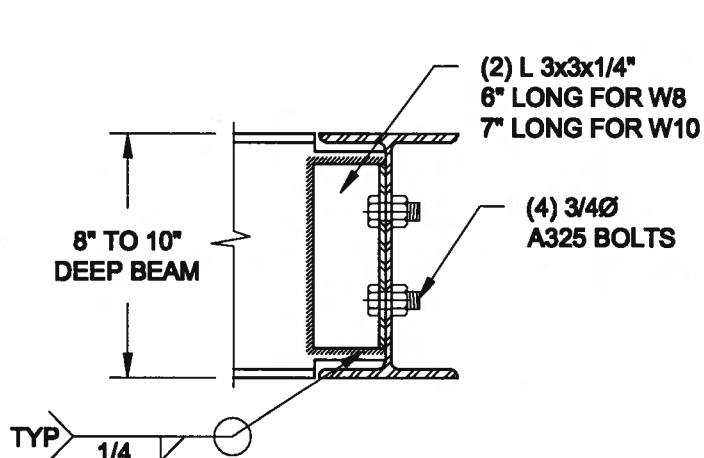
2A **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**



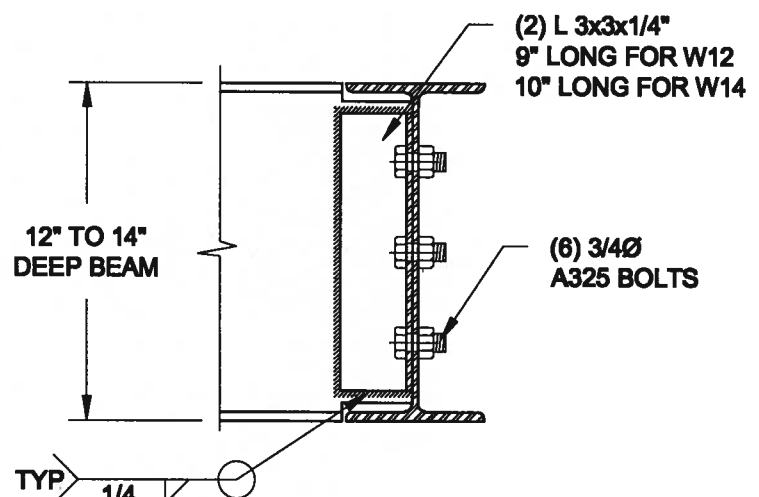
2B DECK FASTENING DETAIL

S2 SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.



**NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX
AND W10x39 (W250x58) BEAM MAX.**



**NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX
AND W14x48 (W360x72) BEAM MAX.**

3 S2 STEEL BEAM CONNECTION DETAIL SCALE: 1-1/2" = 1'-0"



Scale:
AS NOTED

Date:
JUL-01-2017

Drawn: SC	Checked: SLB
----------------------------	-------------------------------

QUAILE ENGINEERING LTD.



**38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quality.eng@rogers.com**

Engineer's Seat:

Project:
BAYVIEW WELLINGTON HOMES - ALCONA PROJECT
BRISB. ONTARIO

TYPICAL STRUCTURAL DETAILS FOR SINGLES

Project No.: 16-083

Drawing No.: **S2**

INTERNATIONAL

CONSTRUCTION NOTES (Unless otherwise noted)

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. O.N.T. REG. 332/12-2012 OBC

1. ROOF CONSTRUCTION

NO.210 (10.25kg/m2) ASPHALT SHINGLES, 10mm (3/8") PLYWOOD SHEATHING WITH "H" CLIPS. APPROVED WOOD TRUSSES @ 600mm (24") O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 900mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (12") BEYOND INNER FACE OF EXTERIOR WALL. (EAVES PROTECTION NOT REQ'D FOR ROOF SLOPES 8:12 OR GREATER) 38x89 (2"x4") TRUSS BRACING @ 1830mm (6'-0") O.C. AT BOTTOM CHORD. PREFIN. ALUM. EAVESTROUGH, FASCIA, RWL & VENTED SOFFIT. PROVIDE ICE & WATER SHIELD TO ALL ROOF/WALL SURFACES SUSCEPTIBLE TO ICE DAMMING. ROOF SHEATHING TO BE FASTENED 150 (6") C/C ALONG EDGES & INTERMEDIATE SUPPORTS WHEN TRUSSES SPACED GREATER THAN 406 (16"). ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% AT EAVES & MIN. 25% AT RIDGE (OBC 9.19.1.2).

2. FRAME WALL CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2A) SIDING AS PER ELEV. 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C. RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

2A. RESERVED

2B. FRAME WALL CONSTRUCTION (2"x4")- GARAGE WALLS SIDING AS PER ELEV. 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm (9'-10")). WITH APPR. DIAGONAL WALL BRACING. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE.

2C. RESERVED

2D. STUCCO WALL CONSTRUCTION (2"x4")-GARAGE WALLS STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXPANDED OR EXTRUDED RIGID POLYSTYRENE ON APPROVED AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x89 (2"x4") STUDS @ 400 (16") O.C.. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

2E. WALLS ADJACENT TO ATTIC SPACE - NO CLADDING 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C. RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. MID-HEIGHT BLOCKING REQ'D. IF NO SHEATHING APPLIED. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

3. BRICK VENEER CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2A) 90mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPROVED SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C. RSI 3.87 (R22) INSULATION & APPR. VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. BRICK TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3A. RESERVED

3B. BRICK VENEER CONSTRUCTION (2"x4")- GARAGE WALLS 90mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPR. SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm 9'-10") WITH APPR. DIAGONAL WALL BRACING. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. BRICK TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3C. STUCCO WALL CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2A) STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXTRUDED OR EXPANDED RIGID POLYSTYRENE ON APPR. CONTIN. AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x140 (2"x6") STUDS @ 400mm (16") O.C. RSI 3.87 (R22) INSULATION, APPROVED VAPOUR BARRIER, 13mm (1/2") GYPSUM WALLBOARD INTERIOR FINISH. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

4. INTERIOR STUD PARTITIONS FOR BEARING PARTITIONS 38x89 (2"x4") @ 400mm (16") O.C. FOR 2 STOREYS AND 300mm (12") O.C. FOR 3 STOREYS. NON-BEARING PARTITIONS 38x89 (2"x4") @ 600mm (24") O.C. PROVIDE 38x89 (2"x4") BOTTOM PLATE AND 2/38x89 (2/2"x4") TOP PLATE. 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS. PROVIDE 38x140 (2"x6") STUDS/PLATES WHERE NOTED.

5. FOUNDATION WALL/FOOTINGS: (9.15.3, 9.15.4, 9.13.2, 9.14.2.1.(2)) 200mm (8") POURED CONC. FDTN. WALL 15MPa (2200psi) WITH BITUMINOUS DAMPPROOFING AND DRAINAGE LAYER. DRAINAGE LAYER REQ'D. WHEN BASEMENT INSUL. EXTENDS 900 (2'-11") BELOW FIN. GRADE. DRAINAGE LAYER IS NOT REQ'D. WHEN FDTN. WALL IS WATERPROOFED. MAXIMUM POUR HEIGHT 2390 (7'-10") ON 500x155 (20"x6") CONTINUOUS KEYED CONC. FTG. BRACE FDTN. WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 150Kpa OR GREATER. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED. STOREYS SUPPORTED W/ MASONRY VENEER W/ SIDING ONLY

1	16" WIDE x 6" DEEP	16" WIDE x 6" DEEP
2	20" WIDE x 6" DEEP	20" WIDE x 6" DEEP
3	26" WIDE x 9" DEEP	20" WIDE x 6" DEEP

-SEE OBC 9.15.3.
-MAXIMUM FLOOR LIVE LOAD OF 2.4kPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1").
-REFER TO SOILS REPORT FOR SOIL CONDITIONS AND BEARING CAPACITY.

STRIP FOOTING SUPPORTING EXTERIOR WALLS (FOR W.O.B.) -ASSUMING MASONRY VENEER CONSTRUCTION, MAX. FLOOR LIVE LOAD OF 2.4kPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1"). THE STRIP FOOTING SIZE IS AS FOLLOWS:

2 STOREY WITH WALK-OUT BASEMENT 545x175 (22"x7")

6. FOUNDATION DRAINAGE OBC 9.14.2 & 9.14.3 100mm (4") DIA. FOUNDATION DRAINAGE TILE 150mm (6") CRUSHED STONE OVER AND AROUND DRAINAGE TILES.

7. BASEMENT SLAB OBC 9.3.1.6 (1)(b), 9.16.4.5 (1), 9.25.3.3 (15) 80mm (3") MIN. 25MPa (3600psi) CONC. SLAB ON 100mm (4") COARSE GRANULAR FILL, OR 20MPa. (3000psi) CONC. WITH DAMPPROOFING BELOW SLAB. UNDER SLAB INSULATION PER SB-12. ALL SLAB JOINTS & PENETRATIONS TO BE CAULKED.

8. EXPOSED FLOOR TO EXTERIOR (SB-12-TABLE 3.1.1.2A) PROVIDE RSI 5.46 (R31) INSULATION, APPROVED VAPOUR BARRIER AND CONTINUOUS AIR BARRIER, FINISHED SOFFIT.

9. ATTIC INSULATION (SB-12-TABLE 3.1.1.2A) (SB-12-3.1.1.8) RSI 10.56 (R60) BLOWN IN ROOF INSULATION AND APPROVED VAPOUR BARRIER, 16mm (5/8") INT. DRYWALL FINISH OR APPROVED EQUAL, RSI 3.52 (R20) MIN. ABOVE INNER SURFACE OF EXTERIOR WALL

10. ALL STAIRS/EXTERIOR STAIRS -OBC 9.8.- UNIFORM RISE -5mm (1/4") MAX BETWEEN ADJACENT TREADS OR LANDINGS -10mm (1/2") MAX BETWEEN TALLEST & SHORTEST RISE IN FLIGHT = 200 (7'-7/8") MAX. RISE = 210 (8'-1/4") MIN. RUN = 235 (9'-1/4") MAX. TREAD = 25 (1") MAX. NOSING = 1950 (6'-5") RAIL @ LANDING = 900 (2'-11") RAIL @ STAIR = 865 (2'-10") TO 965 (3'-2") MIN. STAIR WIDTH FOR CURVED STAIRS MIN. RUN = 150 (6") MIN. AVG. RUN = 200 (8")

11. HANDRAILS -OBC 9.8.7.- FINISHED RAILING ON PICKETS SPACED MAXIMUM 100mm (4") BETWEEN PICKETS. CLEARANCE BETWEEN HANDRAIL AND SURFACE BEHIND IT TO BE 50 (2") MIN. HANDRAILS TO BE CONTINUOUS EXCEPT FOR NEWEL POST AT CHANGES OF DIRECTION.

INTERIOR GUARDS -OBC 9.8.8.- INTERIOR GUARDS: 900mm (2'-11") MIN. HIGH EXTERIOR GUARDS - OBC 9.8.8. 900mm (36") HIGH GUARD WHERE DISTANCE FROM PORCH TO FIN. GRADE IS LESS THAN 1800mm (7'1"). 1070mm (42") HIGH GUARD IS REQUIRED WHERE DISTANCE EXCEEDS 1800mm (7'1").

12. SILL PLATE - OBC 9.23.7. 38x89 (2"x4") SILL PLATE WITH 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C., CAULKING OR 25 (1") MIN. MINERAL WOOL BETWEEN PLATE AND TOP OF FDTN. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

13. BASEMENT INSULATION (SB-12-3.1.1.7), 9.25.2.3, 9.13.2.6) FOUNDATION WALLS ENCLOSING HEATED SPACE SHALL BE INSULATED FROM THE UNDERSIDE OF THE SUBFLOOR TO NOT MORE THAN 200mm (8") ABOVE THE FINISHED FLOOR & NO CLOSER THAN 50mm (2") OF THE BASEMENT SLAB. RSI3.52ci (R20ci) BLANKET INSULATION TO HAVE APPROVED VAPOUR BARRIER. RECOMMEND DAMPPROOF WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. NOTE: FULL HEIGHT INSULATION AT COLD CELLAR WALLS. AIR BARRIER TO BE SEALED TO FOUNDATION WALL WITH CAULKING. CONTINUOUS INSULATION (ci) IS NOT TO BE INTERRUPTED BY FRAMING.

14. BEARING STUD PARTITION 38x89 (2"x4") STUDS @ 400mm (16") O.C. 38x89 (2"x4") SILL PLATE ON DAMPPROOFING MATERIAL, 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C. 100mm (4") HIGH CONC. CURB ON 350x155 (14"x6") CONC. FOOTING. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

15. STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3) 89mm (3-1/2") DIA x 3.0mm (0.118) SINGLE WALL TUBE TYPE 2 ADJUSTABLE STL. COL. W/ MIN. CAPACITY OF 71.2kn (16,000lbs.) AT A MAX. EXTENSION OF 2318mm (7'-7 1/2") CONFORMING TO CAN/CSSG-7-2.94. AND WITH 150x150x9.5 (6"x6"x3/8") STL. PLATE TOP & BOTTOM. 870x870x410 (34"x34"x16") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MINIMUM AND AS PER SOILS REPORT.

15A. STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3) 89mm (3-1/2") DIA x 4.78mm (1/8) FIXED STL. COL. WITH 150x150x9.5 (6"x6"x3/8") STL. TOP & BOTTOM PLATE ON 1070x1070x460 (42"x42"x18") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MIN. AND AS PER SOILS REPORT.

15B. STEEL COLUMN 90mm (3-1/2") DIA x 4.78mm (1/8) NON-ADJUSTABLE STL. COL. TO BE ON 150x150x9.5 (6"x6"x3/8") STEEL TOP PLATE, & BOTTOM PLATE. BASE PLATE 120x250x12.5 (4 1/2"x10"x1/2") WITH 2-12mm DIA. x 300mm LONG x50mm HOOK ANCHORS (2-1/2"x12"x2") FIELD WELD COL. TO BASE PLATE.

16. BEAM POCKET OR 300x150 (12"x6") POURED CONC. NIB WALLS. MIN. BEARING 90mm (3-1/2")

17. 19x64 (1"x3") CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

18. GARAGE SLAB 100mm (4") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 100 (4") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT.

18. GARAGE CEILINGS/INTERIOR WALLS 13mm (1/2") GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE. TAPE AND SEAL ALL JOINTS AIRTIGHT PER O.B.C. 9.10.9.16. WALLS (R22), CEILINGS (R31). REFER TO SB-12, TABLE 3.1.1.2.A. FOR REQUIRED THERMAL INSULATION.

20. DOOR AND FRAME GASPROOFED. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHERSTRIPPING PER OBC 9.10.13.15.

21. EXTERIOR STEP PRECAST CONCRETE STEP OR WOOD STEP WHEN NOT EXPOSED TO WEATHER. MAX. RISE 200mm (7-7/8") MIN. TREAD 250mm (9-1/2"). SEE OBC. 9.8.9.2, 8.8.9.3, & 9.8.10.

22. DRYER EXHAUST (OBC-8.2.3.8(7) & 8.2.4.11) CAPPED DRYER EXHAUST VENTED TO EXTERIOR. (USE 100mm (4") DIA. SMOOTH WALL VENT PIPE)

23. INSULATED ATTIC ACCESS (OBC-9.19.2.1 & SB12-3.1.1.8) ATTIC ACCESS HATCH WITH MIN. DIMENSION OF 545x610mm (21 1/2"x24") & A MIN. AREA OF 0.32 SQ.M. (3.44 SQ.FT.) WITH WEATHERSTRIPPING. RSI 3.52 (R20) RIGID INSUL. BACKING.

24. FIREPLACE CHIMNEYS - OBC 9.21. TOP OF FIREPLACE CHIMNEY SHALL BE 915mm (3'-0") ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 610mm (2'-0") ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 3050mm (10'-0") FROM THE CHIMNEY.

25. LINEN CLOSET, 4 SHELVES MIN. 350mm (14") DEEP.

26. MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR AS REQUIRED BY OBC. 9.32.3.5, & 9.32.3.10.

27. STEEL BEARING PLATE FOR MASONRY WALLS 280x280x16 (11"x11"x5/8") STL. PLATE FOR STL BEAMS AND 280x280x12 (11"x11"x1/2") STL. PLATE FOR WOOD BEAMS BEARING ON CONC. BLOCK PARTYWALL. ANCHORED WITH 2-19mm (3/4") x 200mm (8") LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL WITH NON-SHRINK GROUT.

OR SOLID WOOD BEARING FOR WOOD STUD WALLS

28. SOLID BEARING TO BE AT LEAST AS WIDE AS THE SUPPORTED MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT-UP WOOD STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH OBC 9.17.4.2(2).

28. BEARING WOOD POST (BASEMENT) (OBC 9.17.4.) 3-38x140 (3-2"x6") BUILT-UP-POST ON METAL BASE SHOE ANCHORED TO CONC. WITH 12.7 DIA. BOLT, 610x610x300 (24"x24"x12") CONC. FOOTING.

30. STEPPED FOOTINGS OBC 9.15.3.8. MIN. HORIZ. STEP = 600mm (24"). MAX. VERT. STEP = 600mm (24")

31. SLAB ON GRADE MIN. 100mm (4") CONCRETE SLAB ON GRADE ON 100mm (4") COARSE GRANULAR FILL. REINFORCED WITH 6x6-W2.9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32 MPa (4640 psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE. WHERE REQUIRED, REFER TO OBC SB-12, TABLE 3.1.1.2.A. FOR REQUIRED MINIMUM INSULATION UNDER SLAB.

32. DIRECT VENTING GAS FURNACE/ H.W.T VENT DIRECT VENT FURNACE TERMINAL MIN. 900mm (36") FROM A GAS REGULATOR. MIN. 300mm (12") ABOVE FIN. GRADE. FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 1830mm (6'-0") FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.

33. DIRECT VENTING GAS FIREPLACE VENT DIRECT VENT GAS FIREPLACE. VENT TO BE A MINIMUM 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.

34. SUBFLOOR JOIST STRAPPING AND BRIDGING 16mm (5/8") T & G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION (* SEE OBC 9.30.6. *) 6mm (1/4") PANEL TYPE UNDERLAY UNDER RESILIENT & PARQUET FLOORING. (* SEE OBC 9.30.2. *)

FLOOR JOISTS WITH SPANS OVER 2100mm (6'-11") TO BE BRIDGED WITH 38x38 (2"x2") CROSS BRACING OR SOLID BLOCKING @ 2100mm (6'-11") O.C. MAX. AND WHERE SPECIFIED BY JOIST TABLES A-1 OR A-2 STRAPPING SHALL BE 19x64 (1"x3") @ 2100mm (6'-11") O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED. (* SEE OBC 9.23.9.4. *)

35. EXPOSED BUILDING FACE OBC 9.10.15 & SB-2-2.3.5(2) EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 min. WHERE LIMITING DISTANCE (LD) IS LESS THAN 1.2M (3'-11"). WHERE THE LD IS LESS THAN 600mm (1'-11") THE EXPOSING FACE SHALL BE CLAD IN NON-COMBUSTIBLE MATERIAL. SEE ELEVATIONS FOR ADDITIONAL NOTES. OFFENDING GARAGE WALLS INCLUDED.

36. COLD CELLAR PORCH SLAB (OBC 9.39.1) FOR MAX. 2500mm (8'-2") PORCH DEPTH (SHORTEST DIM.), 125mm (5") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT. REIN. WITH 10M BARS @ 200mm (7 7/8") O.C. EACH WAY IN BOTTOM THIRD OF SLAB. MIN. 30mm (1 1/4") COVER. 600x600 (23 5/8"x23 5/8") 10M DOWELS @ 600mm (23 5/8") O.C. ANCHORED IN PERIMETER FDTN. WALLS. SLOPE SLAB MIN. 1.0% FROM HOUSE WALL. SLAB TO HAVE MIN. 75mm (3") BEARING ON FDTN. WALLS. PROVIDE (L7) LINTEL OVER CELLAR DOOR WITH 100mm (4") END BEARING.

37. THE FDTN. WALL SHALL NOT BE REDUCED TO LESS THAN 90mm (3-1/2") THICK TO A MAX. DEPTH OF 600mm (24") AND SHALL BE TIED TO THE FACING MATERIAL WITH METAL TIES SPACED 200mm (8") O.C. VERTICALLY AND 900mm (36") O.C. HORIZONTALLY. FILL SPACE BETWEEN WALL AND FACING SOLID WITH MORTAR.

38. CONVENTIONAL ROOF FRAMING (2.0Kpa. SNOW LOAD) 38x140 (2"x6") RAFTERS @ 400mm (16") O.C. FOR MAX 11'-7" SPAN. 38x184 (2"x8") RIDGE BOARD. 38x89 (2"x4") COLLAR TIES AT MIDSPANS. CEILING JOISTS TO BE 38x89 (2"x4") @ 400mm (16") O.C. FOR MAX. 2830mm (9'-3") SPAN & 38x140 (2"x6") @ 400 (16") O.C. FOR MAX. 4450mm (14'-7") SPAN. RAFTERS FOR BUILT-UP ROOF TO BE 38x89 (2"x4") @ 600mm (24") O.C. WITH A 38x89 (2"x4") CENTRE POST TO THE TRUSS BELOW. LATERALLY BRACED @ 1800mm (6'-0") O.C. VERTICALLY.

GENERAL NOTES

WINDOWS: 1) MINIMUM BEDROOM WINDOW -OBC 9.8.10.1.- AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS TO HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380 mm (1'-3").

2) WINDOW GUARDS -OBC 9.8.8.1.(6). A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11")

3) EXTERIOR WINDOWS SHALL COMPLY WITH OBC DIV.-8 9.7.3. & SB12-3.1.1.9

GENERAL: 1) MECHANICAL VENTILATION IS REQUIRED TO COMPLY WITH OBC-DIV. 8. 4.2.2. SEE MECHANICAL DRAWINGS. 2) ALL DOWNSPOUTS TO DRAIN AWAY FROM THE BUILDING AS PER OBC 9.26.18.2 & 5.6.2.2.(3) & MUNICIPAL STANDARDS. 3) ALL WINDOW WELLS TO DRAIN TO FOOTING LEVEL PER OBC 9.14.6.3. CHECK WITH THE LOCAL AUTHORITY. 4) STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM. REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(i). SEE DETAIL. 5) ALL EXTERIOR DOORS TO COMPLY WITH THERMAL RESISTANCE AS STATED IN O.B.C. SB-12-3.1.1.9. 6) ALL AIR BARRIER SYSTEMS ARE REQUIRED TO COMPLY WITH O.B.C. DIV.-8 9.2.5.3.

LUMBER: 1) ALL LUMBER SHALL BE SPRUCE NO.2 GRADE, UNLESS NOTED OTHERWISE. 2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE. 3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE NO.2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE. 4) ALL LAMINATED VENEER LUMBER (L.V.L.) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.

5) LVL BEAMS SHALL BE 2.0E-2950Fb MIN. NAIL EACH PLY OF LVL WITH 89mm (3 1/2") LONG COMMON WIRE NAILS @ 300mm (12") O.C. STAGGERED IN 2 ROWS FOR 184, 240 & 300mm (7 1/4", 9 1/2", 11 7/8") DEPTHS AND STAGGERED IN 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm (1/2") DIA. GALVANIZED BOLTS BOLTED AT MID-DEPTH OF BEAM @ 915mm (3'-0") O.C.

6) PROVIDE FACE MOUNT BEAM HANGERS TYPE "SCL" MANUFACTURED BY SIMPSON STRONG-TIE OR EQUAL FOR ALL LVL BEAM TO BEAM CONNECTIONS UNLESS OTHERWISE NOTED. REFER TO ENG. FLOOR LAYOUTS.

7) JOIST HANGERS: PROVIDE METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS.

8) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE. IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 2 mL POLYETHYLENE FILM, No. 50 (45lbs.) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 150mm (6") ABOVE THE GROUND.

STEEL: 1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300W. HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CSA-G40-21 GRADE 350W "STRUCTURAL QUALITY STEEL". OBC. 8-9.23.4.3. 2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

STUCCO: 1) ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

LEGEND

CLASS 'B' VENT EXHAUST FAN TO EXTERIOR
DUPLUX OUTLET (12" ABOVE SURFACE) DUPLUX OUTLET (HEIGHT A.F.F)
WEATHERPROOF DUPLUX OUTLET GFI DUPLUX OUTLET (HEIGHT A.F.F)
POT LIGHT HEAVY DUTY OUTLET (220 volt)
LIGHT FIXTURE (PULL CHAIN) LIGHT FIXTURE (CEILING MOUNTED)
SWITCH LIGHT FIXTURE (WALL MOUNTED)
FLOOR DRAIN HOSE BIB (NON-FREEZE)

SJ SINGLE JOIST DJ DOUBLE JOIST
TJ TRIPLE JOIST LVL LAMINATED VENEER LUMBER
POINT LOAD FROM ABOVE

P.T. PRESSURE TREATED LUMBER
G.T. GIRDER TRUSS BY ROOF TRUSS MANUF.

FLAT ARCH
CURVED ARCH
MEDICINE CABINET (RECESSED)

CONC. BLOCK WALL
DOUBLE VOLUME WALL
SEE NOTE (39)

SOLID WOOD BEARING (SPRUCE No. 2). SOLID BEARING TO BE AS WIDE AS SUPPORTED MEMBER OR AS DIRECTED BY STRUCTURAL ENGINEER. SOLID BEARING TO BE MINIMUM 2 PIECES.

SOLID WOOD BEARING TO MATCH FROM ABOVE

SOIL GAS/ RADON CONTROL (OBC 9.1.1.7 & 9.13.4) PROVIDE CONSTRUCTION TO PREVENT LEAKAGE OF SOIL GAS INTO THE BUILDING IF REQUIRED.

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO VAS DESIGN BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF VAS DESIGN WHICH IF REQUESTED, MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY AFTER BUILDING PERMIT HAS BEEN ISSUED.

39. TWO STOREY VOLUME SPACES -FOR A MAXIMUM 5490 mm (18'-0") HEIGHT AND MAXIMUM SUPPORTED ROOF TRUSS LENGTH OF 6.0m, PROVIDE 2-38x140 (2-2"x6") SPR.#2 CONTIN. STUDS @ 300mm (12") O.C. (TRIPLE UP AT EVERY THIRD DOUBLE STUD FOR BRICK WALLS) C/W 9.6 (3/8") THICK EXT. PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 1220 mm (4'-0") O.C. VERTICALLY. -FOR WALLS WITH HORIZ. DISTANCES NOT EXCEEDING 2900 mm (9'-6"), PROVIDE 38x140 (2"x6") STUDS @ 400 (16") O.C. WITH CONTINUOUS 2-38x140 (2-2"x6") TOP PLATES + 1-38x140 (1-2"x6") BOTTOM PLATE & MINIMUM OF 3-38x184 (3-2"x8") CONT. HEADER AT GRND. CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES AND HEADERS.

40. TYPICAL 1 HOUR RATED PARTY WALL. REFER TO DETAILS FOR TYPE AND SPECIFICATIONS.

41. FOUNDATION WALL (W.O.D./W.O.B.) -WHERE GRADE TO T/O BASEMENT SLAB EXCEEDS 1200mm (3'-11") A 250mm (10") WIDE FOUNDATION WALL IS REQUIRED.

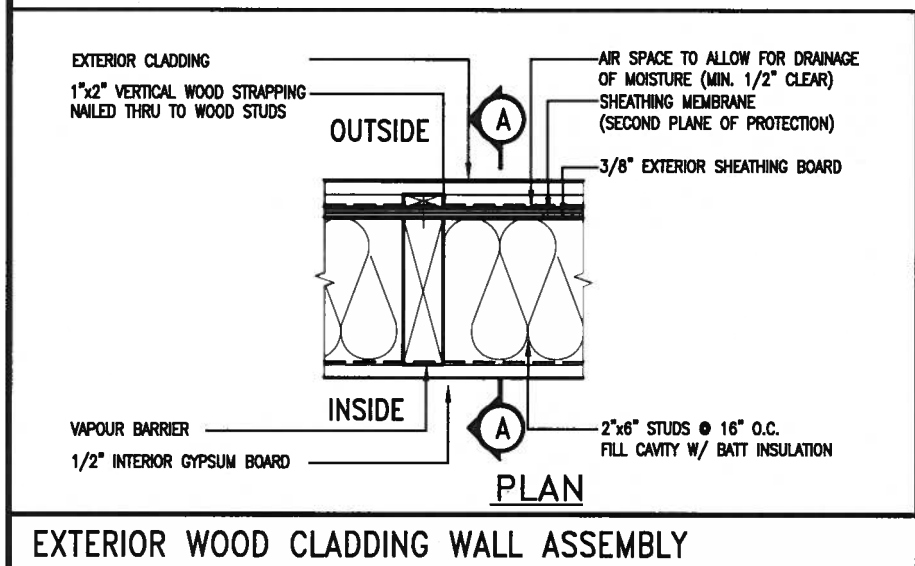
42. EXTERIOR WALLS FOR WALK-OUT CONDITIONS THE EXTERIOR BASEMENT STUD WALL TO BE 38x140 (2"x6") STUDS @ 400mm (16") o.c. OR 38x89 (2"x4") STUDS @ 300mm (12") o.c.

DRAIN WATER HEAT RECOVERY UNIT (DWHR) PER SB12-3.1.1.12, A DRAIN WATER HEAT RECOVERY (DWHR) UNIT SHALL BE INSTALLED IN EACH DWELLING UNIT TO RECEIVE DRAIN WATER FROM ALL SHOWERS OR FROM AT LEAST TWO SHOWERS WHERE THERE ARE TWO OR MORE SHOWERS IN THE DWELLING UNIT. DOES NOT APPLY IF THERE ARE NO SHOWERS OR NO STOREY BENEATH ANY OF THE SHOWERS.

ONT. REG. 332/12-2012 OBC
Amendment O. Reg. 388/13
MR-18-S-28 JAN. 25, 2017

WOOD LINTELS AND BUILT-UP WOOD BEAMS

L1	2/38 x 184 (2/2" x 8")	SPR.#2
B1	3/38 x 184 (3/2" x 8")	SPR.#2
B2	4/38 x 184 (4/2" x 8")	SPR.#2
B7	5/38 x 184 (5/2" x 8")	SPR.#2
L3	2/38 x 235 (2/2" x 10")	SPR.#2
B3	3/38 x 235 (3/2" x 10")	SPR.#2
B4	4/38 x 235 (4/2" x 10")	SPR.#2

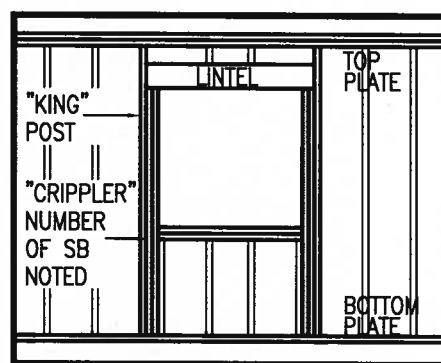
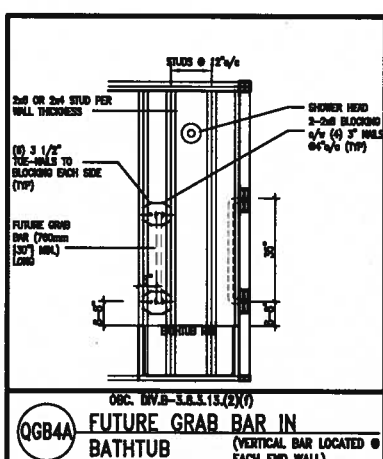
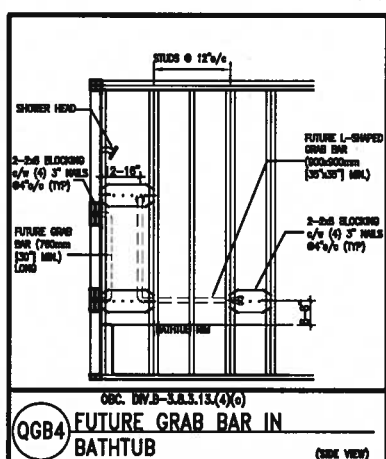
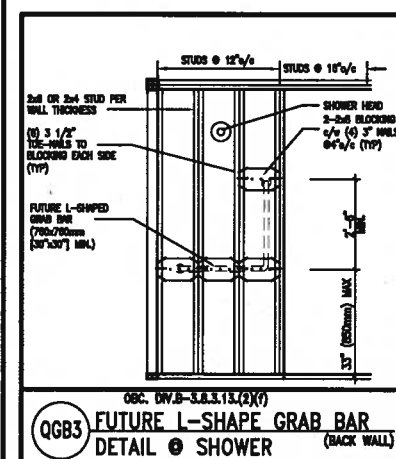
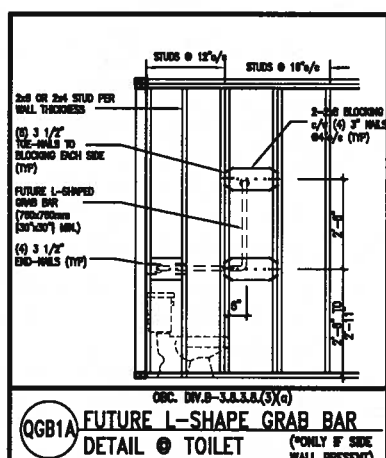
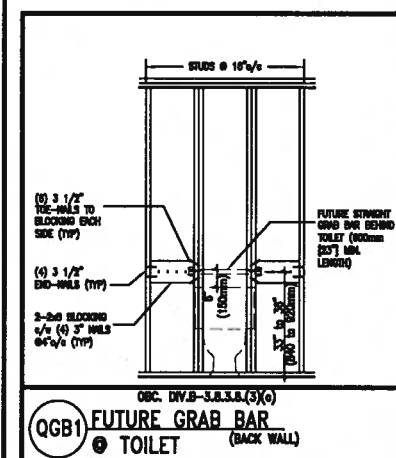


EXTERIOR WOOD CLADDING WALL ASSEMBLY

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM.
FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KN (300 lb)

REFER TO OBC. DIV. B- 9.5.2.3.. WATER CLOSET 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).. SHOWER 3.8.3.13.(2)(f).. BATHTUB & 3.8.3.13.(4)(c), AND DETAILS PROVIDED.



"CRIPPLE" DETAIL

MAX. HEIGHT FOR 2"x4" GARAGE WALL IS AS FOLLOW:

2"x4" @ 16" O.C. -	9'-10"
2-2"x4" @ 12" O.C. -	10'-9"
3-2"x4" @ 16" O.C. -	11'-2"
3-2"x4" @ 12" O.C. -	12'-4"

NOTES:

1. FOR ROOF DESIGN SNOW LOAD OF 2.5 KPa.
SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR
JOIST LENGTH OF 2.5m OF ONE FLOOR.
2. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
3. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB
EXTERIOR SHEATHING ON THE EXTERIOR FACE.
4. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
5. STUDS GREATER THAN 9"-10" HIGH TO BE No. 2 SPF
6. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR
SIDING.

**** MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOW:**

MAX. HEIGHT FOR 2.80 FAIR
2"x6" @ 16" O.C. - 12'-6"
2"x6" @ 12" O.C. - 13'-10"
2-2"x6" @ 16" O.C. - 15'-0"
2-2"x6" @ 12" O.C. - 17'-4"

MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:

2"x8" @ 16" O.C. - 16'-0"
2"x8" @ 12" O.C. - 17'-9"
2-2"x8" @ 16" O.C. - 20'-4"
2-2"x8" @ 12" O.C. - 22'-4"

NOTES:

1. FOR ROOF DESIGN SNOW LOAD OF 2.5 KPa
2. SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
3. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
4. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
5. WALL FRAMING SHALL CONFORM TO OBC 9.23.10.1.(2)
6. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa
7. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
8. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** STUD INFORMATION TAKEN FROM OBC TABLE A-30

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	
7	.	.	.	qualification information
6	.	.	.	Wellington Jno-Baptiste 25591
5	.	.	.	name
4	.	.	.	registration information
3	.	.	.	VAS Design Inc. 42658
2	.	.	.	
1 ISSUE FOR CLIENT REVIEW			AUG 04-17 RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.
no.	description	date	by	

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DESIGN

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

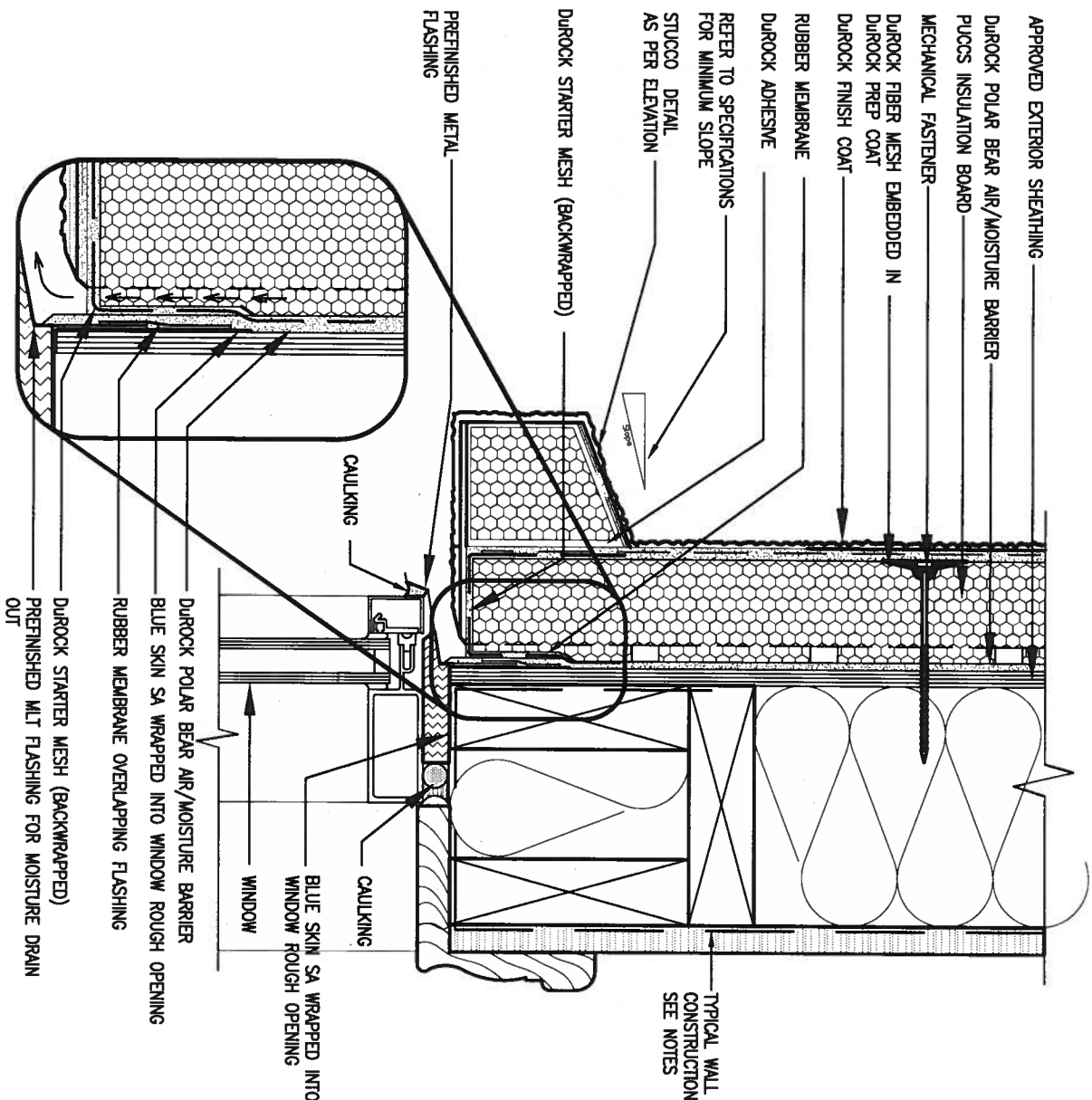
BAYVIEW WELLINGTON

CONST NOTE

project name ALCONA	municipality INNISFIL ON.	project no. 13049
date MAY 2018		drawing no. CN2
drawn by RC		checked by -
scale 3/16" = 1'-0"		file name 13049-CN-A1
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STRUCTURAL

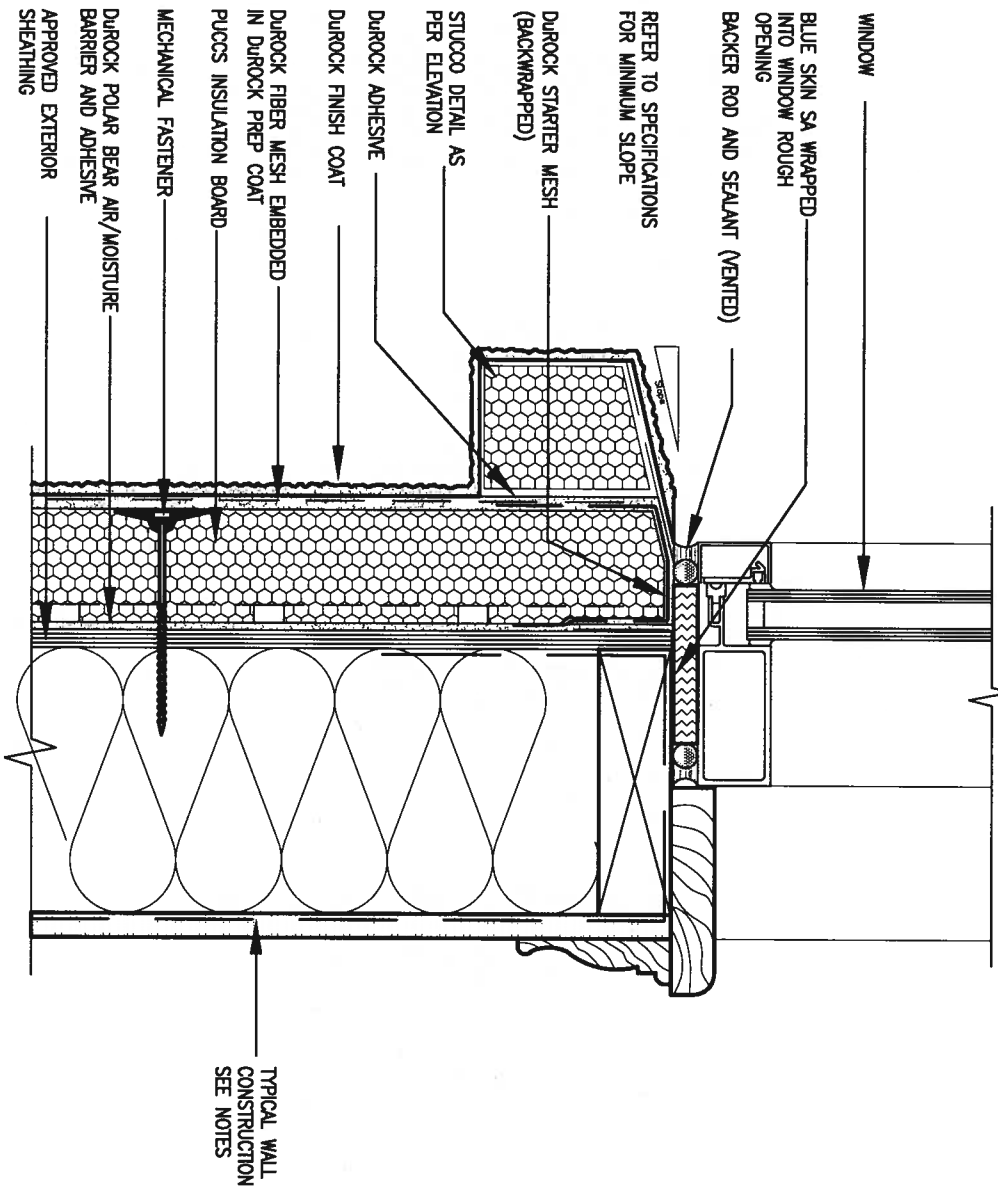
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1 WINDOW HEADER

CN3 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



2 WINDOW SILL

CN3 SCALE: 3"=1'-0"

PROFESSIONAL ENGINEER
A. T. Quaille
17-08-04
PROVINCE OF ONTARIO
STRUCTURAL

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no.	description	date	by

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qualification information
Wellington Jno-Baptiste 25591 BCIN

name
registration information
VA3 Design Inc. 42658

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BAYVIEW WELLINGTON

project name
ALCONA municipality
INNISFIL, ON.

date
MAY 2016

drawn by
RC

checked by
-

scale
3/16" = 1'-0"

CONSTRUCTION NOTES

file name
13049-CN-A1

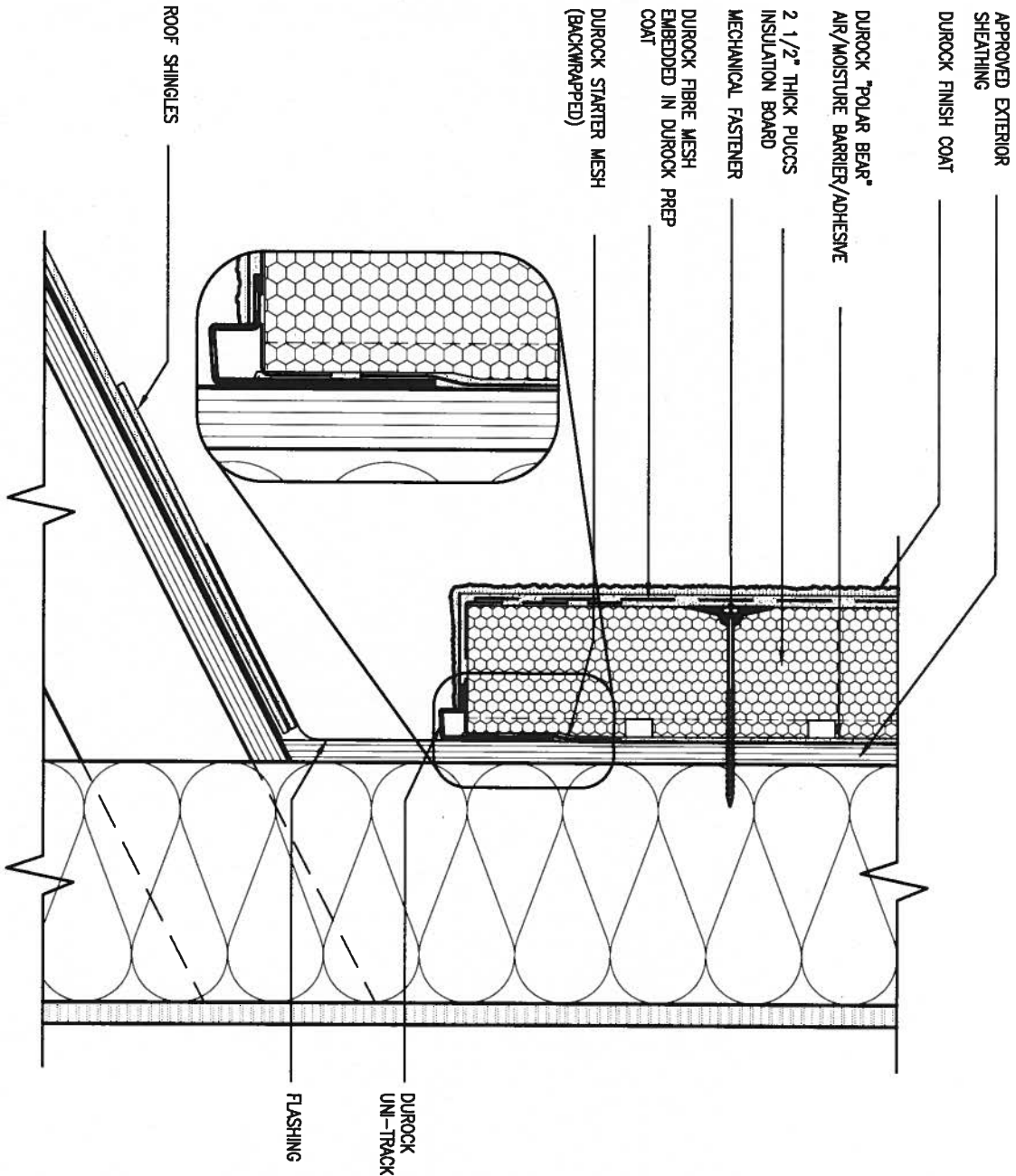
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CONST NOTE

project no.
13049

drawing no.

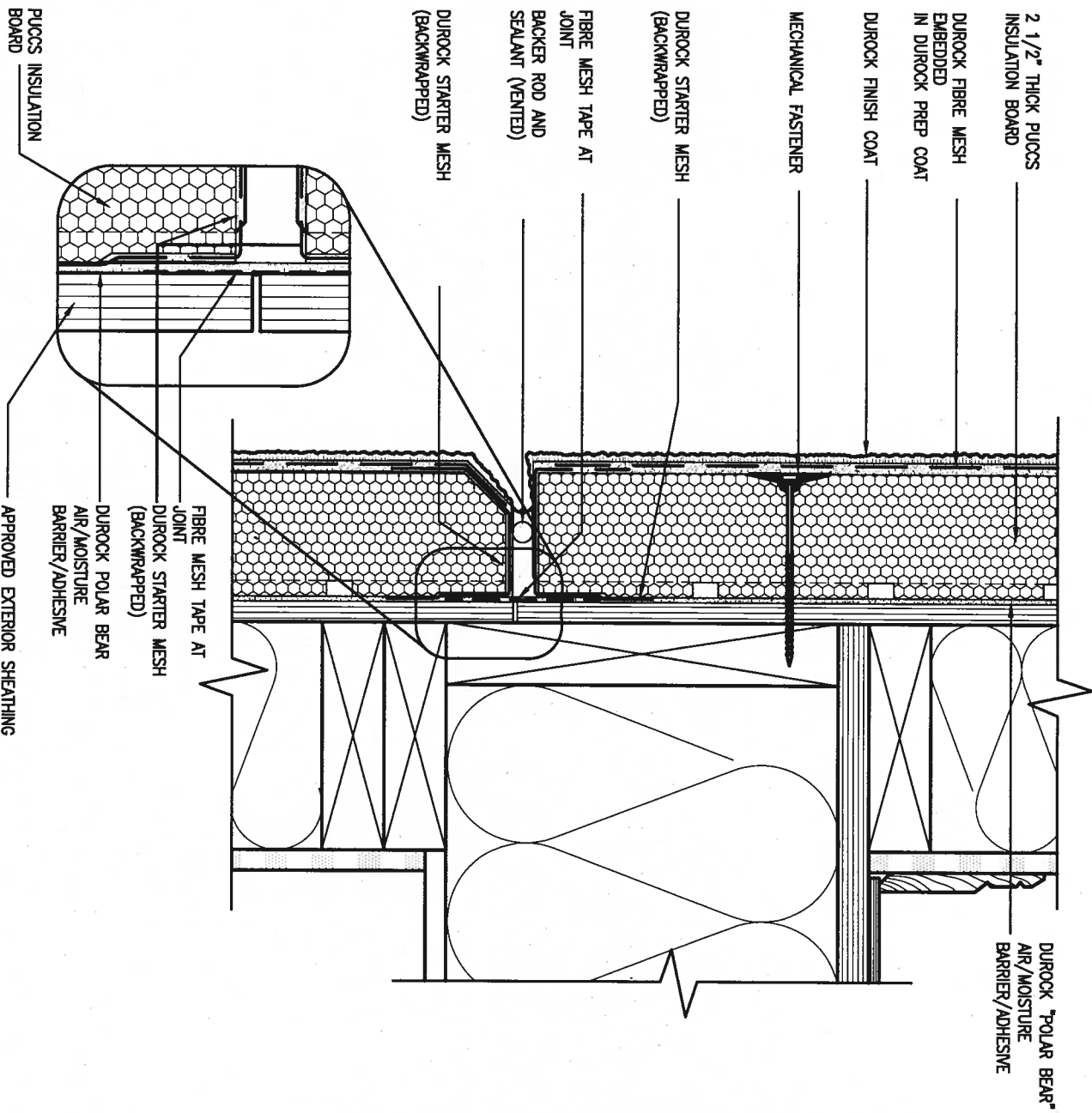
CN3



3 STUCCO TERMINATION @ ROOF
 SCALE: 3"=1'-0"

CN4

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



4 HORIZONTAL EXPANSION JOINT
 SCALE: 3"=1'-0"

CN4



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1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

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Wellington Jno-Baptiste 25591
 name registration information BCN
 VAS Design Inc. 42658

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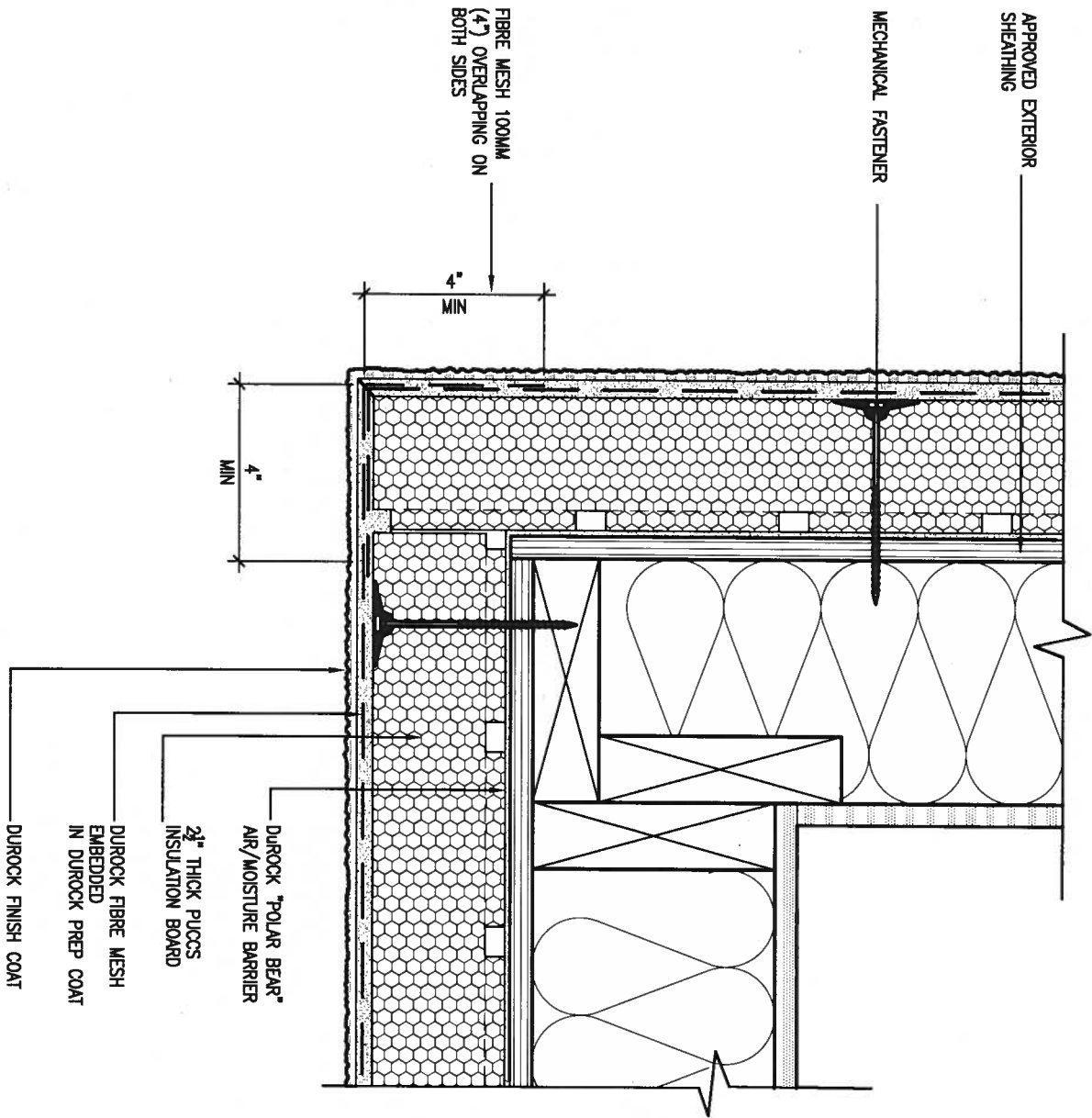
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CONST NOTE

project name ALCONA	municipality INNISFIL, ON.	project no. 13049
date MAY 2016	checked by RC	scale 3/16" = 1'-0"
drawn by RC	file name 13049-CN-A1	drawing no. CN4

CONSTRUCTION NOTES

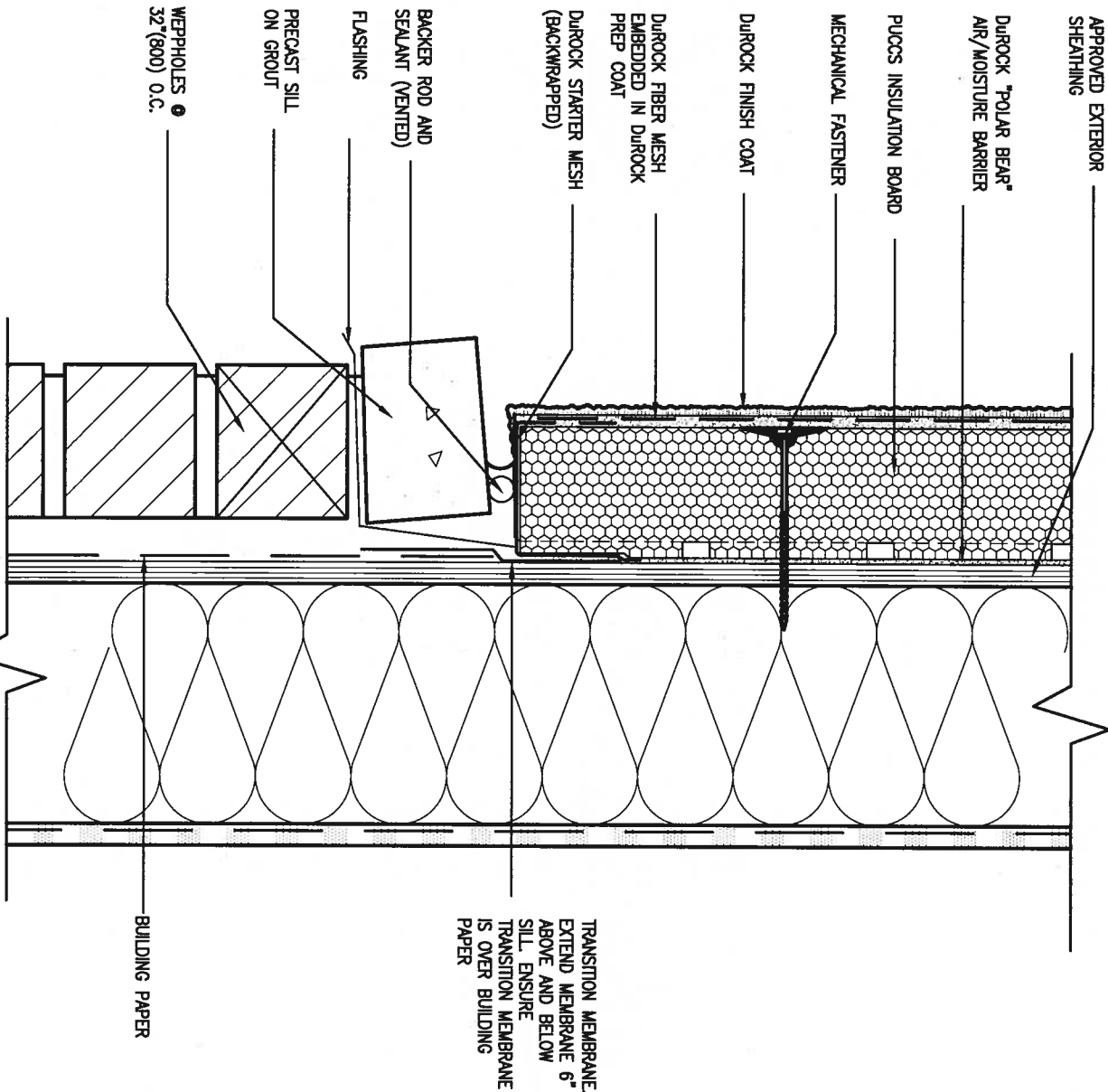


5 CORNER DETAIL

CN5

SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



6 STUCCO / MASONRY PLINTH CONNECTION

CN5

SCALE: 3"=1'-0"



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1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	

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qualification information			
Wellington Jno-Baptiste	<i>[Signature]</i>	25591	BCN
name			
registration information			
VA3 Design Inc.		42658	
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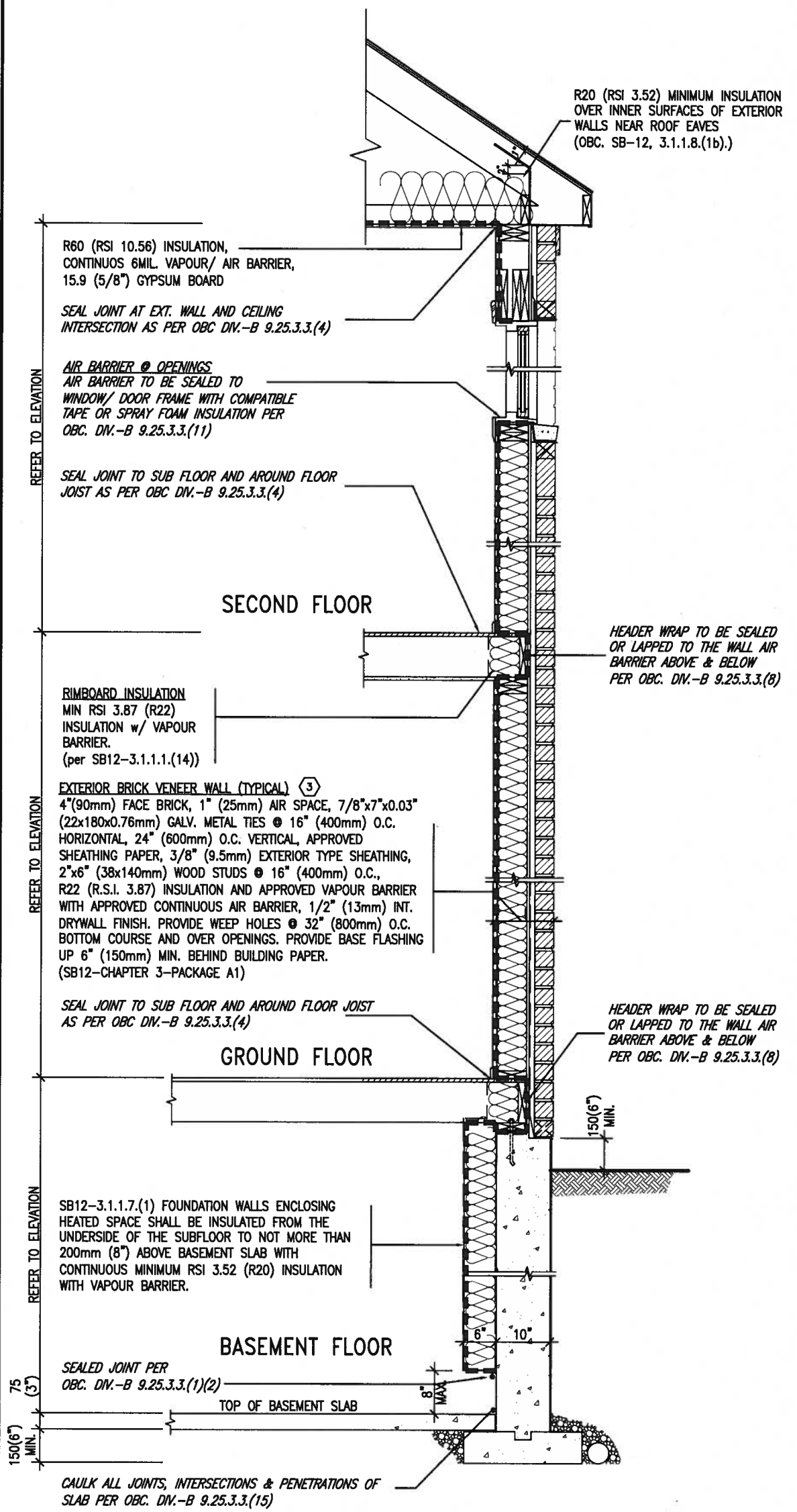
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va3design.com

BAYVIEW WELLINGTON

CONST NOTE

project name	ALCONA	municipality	INNISFIL, ON.	project no.	13049
date	MAY 2016	checked by	scale	CONSTRUCTION NOTES	
drawn by	RC		3/16" = 1'-0"	file name	CN5
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SB12-COMPLIANCE PACKAGE 'A1'



INSULATION REQUIREMENTS
REFER TO OBC SB-12, CHAPTER 3.
ZONE 1- COMPLIANCE PACKAGE A1.

AIR BARRIER SYSTEMS
AIR BARRIER TO BE INSTALLED IN
CONFORMANCE WITH OBC. DIV. B-9.25.3

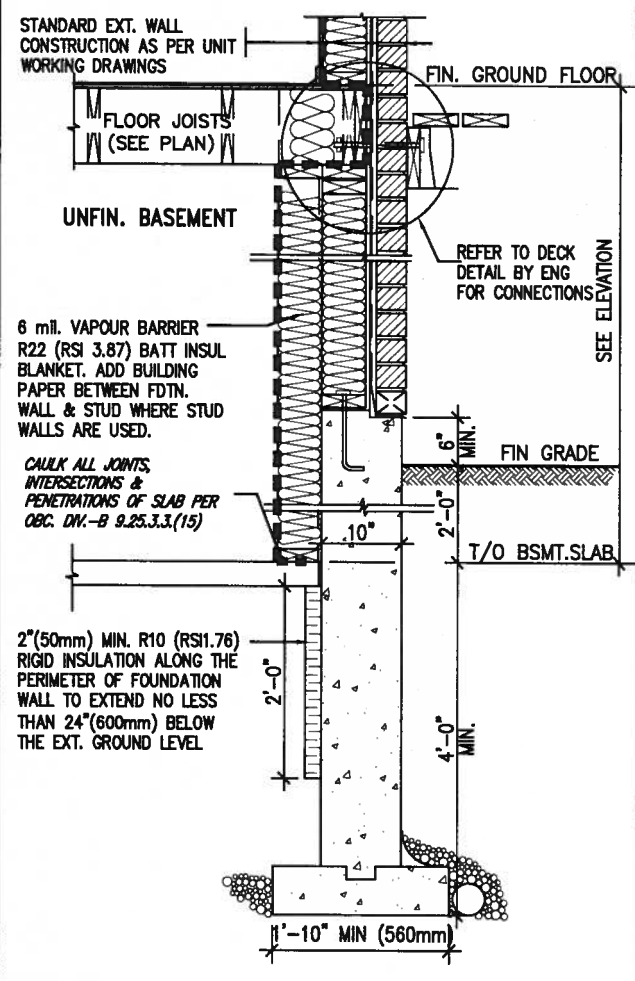
REFER TO ADDITIONAL
DETAILS FOR STRUCTURAL
COMPONENTS

EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY
SECTION w/ BRICK VENEER (PACKAGE A1)
10" FOUNDATION WALL
SCALE: N.T.S.

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):		
COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56	R20 at inner face of exterior walls
Minimum RSI (R) value	(R60)	
Ceiling without Attic Space	5.46	BATT or SPRAY
Minimum RSI (R) value	(R31)	
Exposed Floor	5.46	BATT or SPRAY
Minimum RSI (R) value	(R31)	
Walls Above Grade	3.87	6" R22 BATT
Minimum RSI (R) value	(R22)	
Basement Walls	3.52ci	OPTION TO USE R12+R10ci.
Minimum RSI (R) value	(R20ci)	
Edge of Below Grade Slab ≤600mm below grade	1.76	RIGID INSUL
Minimum RSI (R) value	(R10)	
Windows & Sliding glass Doors	1.6	
Maximum U-value		
Skylights	2.8U	
Maximum U-value		
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information	

ci- Denotes Continuous Insulation without framing interruption.

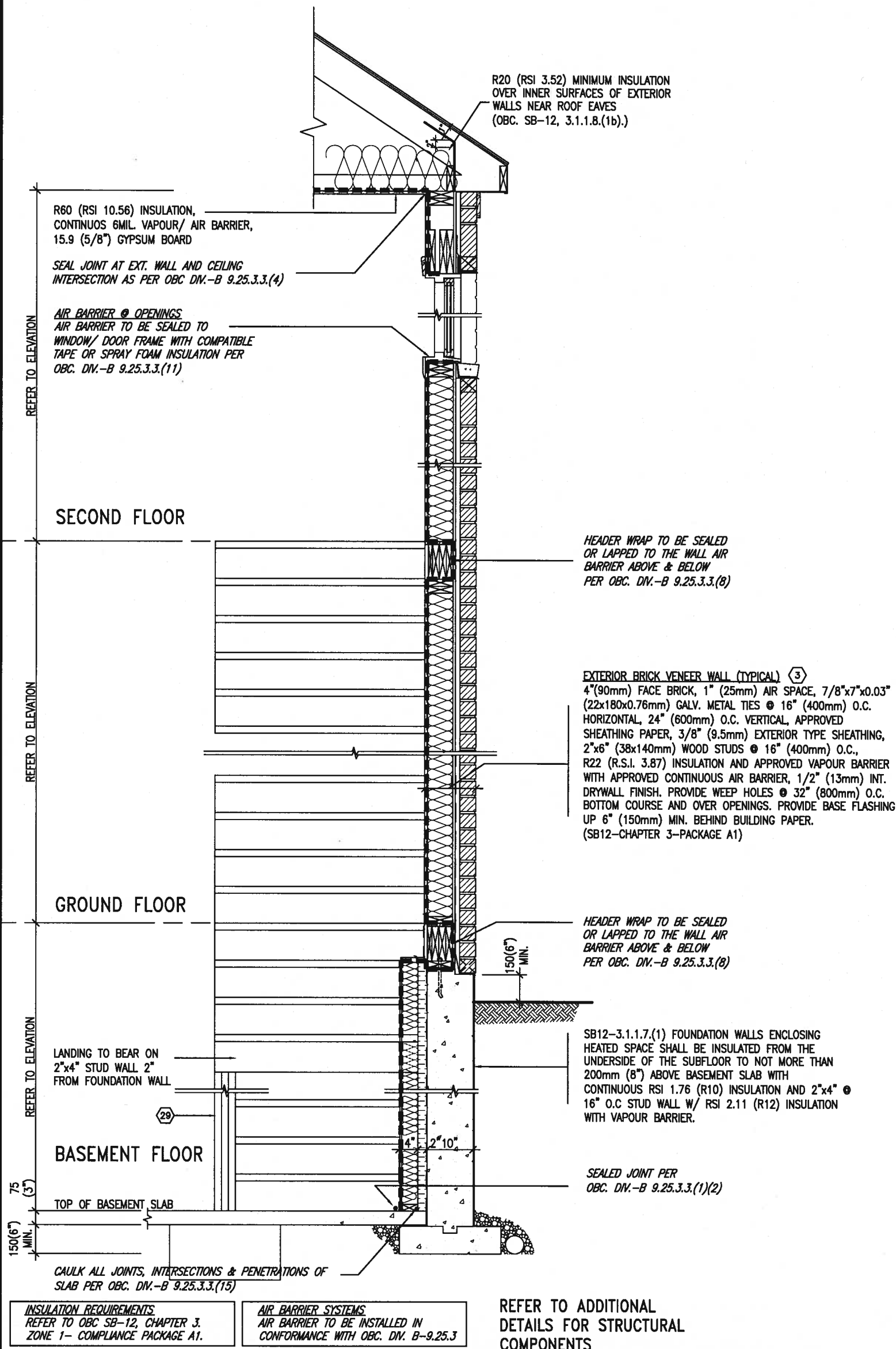


* REVISED-FEB 2017
SECTION AT W.O.D/W.O.B.

9. The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON		CONST NOTE	
qualification information Wellington Jno-Baptiste 25591			project name ALCONA		project no. 13049	
name Wellington Jno-Baptiste			municipality INNISFIL, ON.		drawing no. CN6	
registration information VA3 Design Inc. 42658			date MAY 2016		checked by RC	
1 ISSUE FOR CLIENT REVIEW		AUG 04-17	RC	CONSTRUCTION NOTES		file name 13049-CN-A1
no. description		date	by	RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\CN Notes\13049-CN-A1.dwg - Fri - Aug 4 2017 - 8:49 AM		

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SB12-COMPLIANCE PACKAGE 'A1'

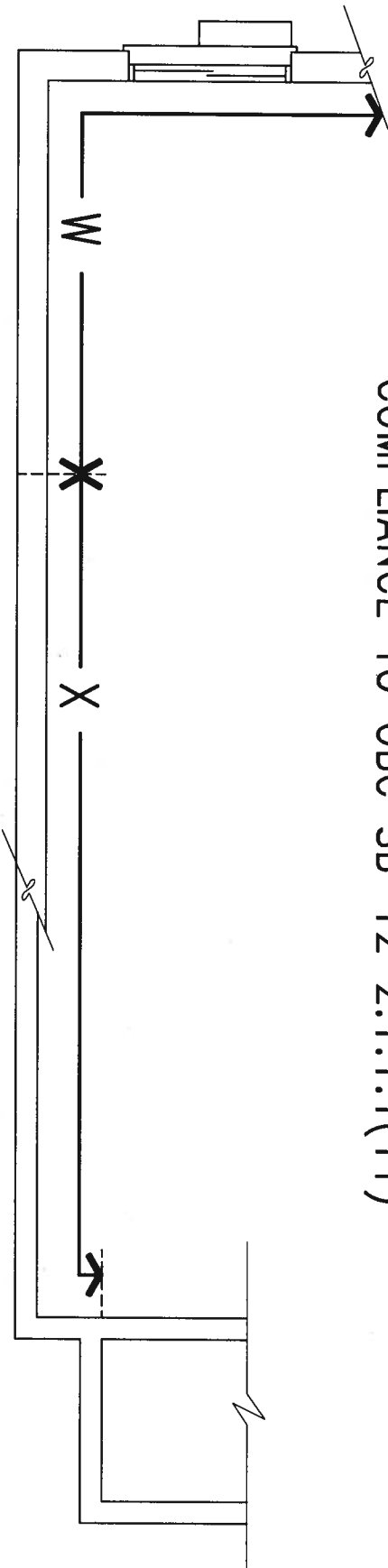


EW STR TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/ BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)
10\" FOUNDATION WALL
SCALE: N.T.S.

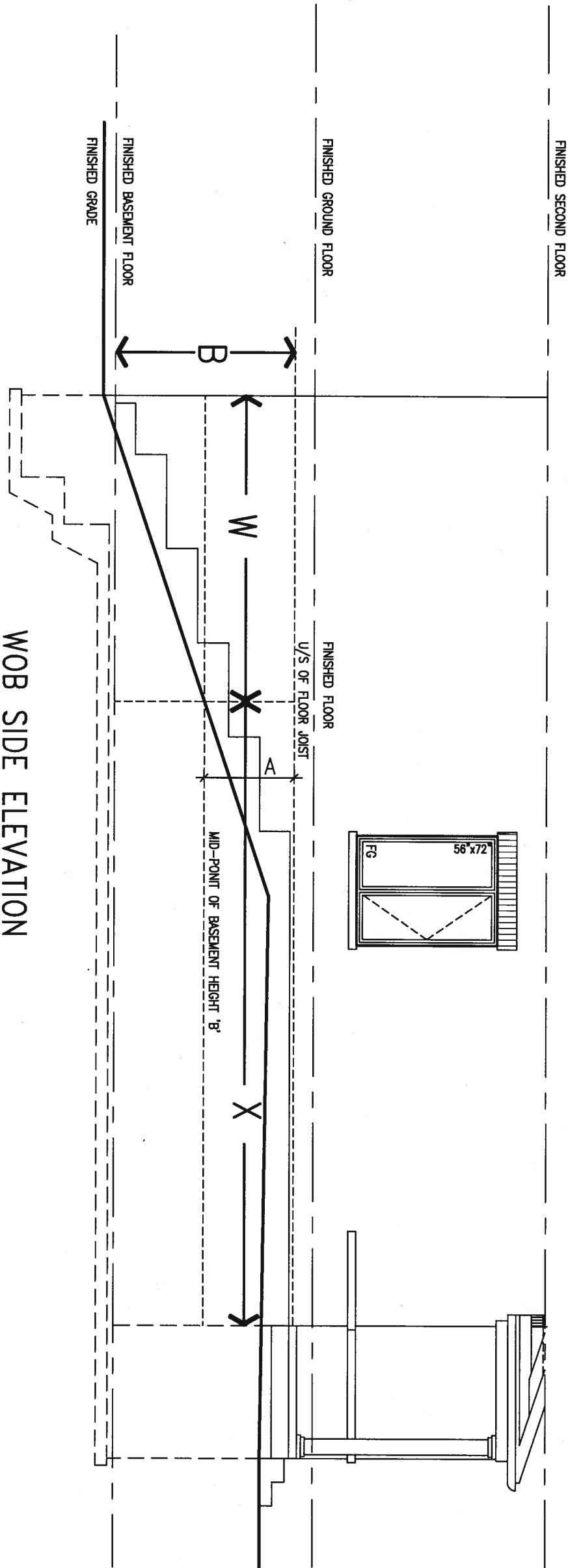


9.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON	project name ALCONA	municipality INNISFIL, ON.	project no. 13049	drawing no. CN7	CONST NOTE
6.	.	.	qualification information Wellington Jno-Baptiste 25591							
7.	.	.	name Wellington Jno-Baptiste							
6.	.	.	registration information VA3 Design Inc. 42658							
5.	.	.								
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1.	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.						
no.	description	date	by							

COMPLIANCE TO OBC SB-12 2.1.1.1(11)



WOB PLAN



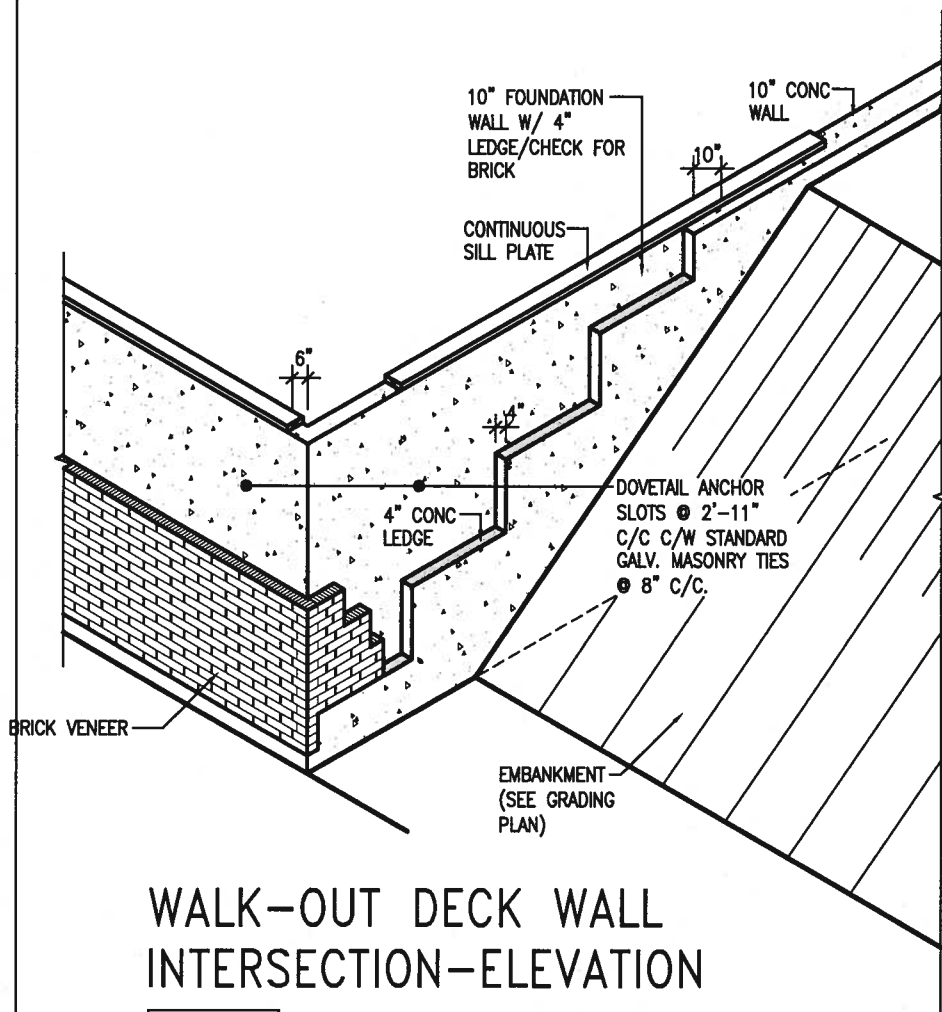
WOB SIDE ELEVATION

WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

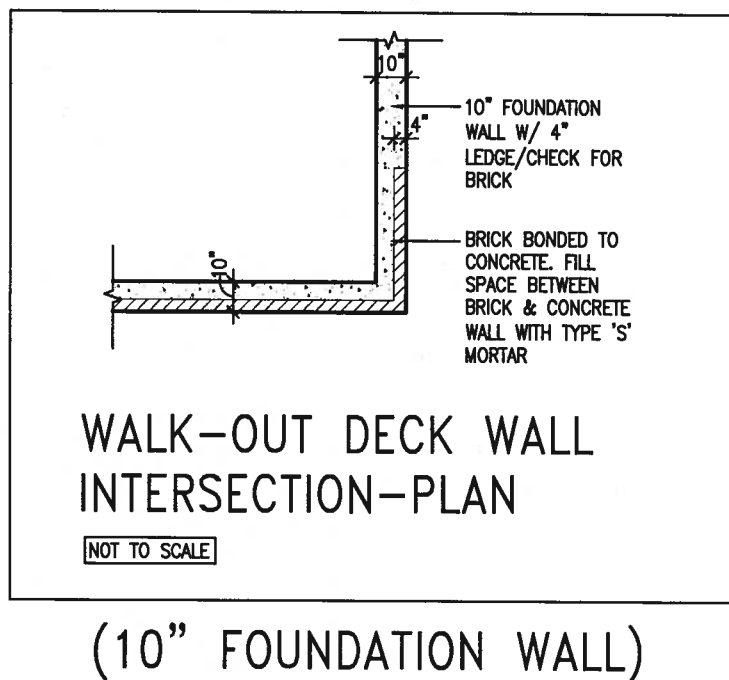
WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A



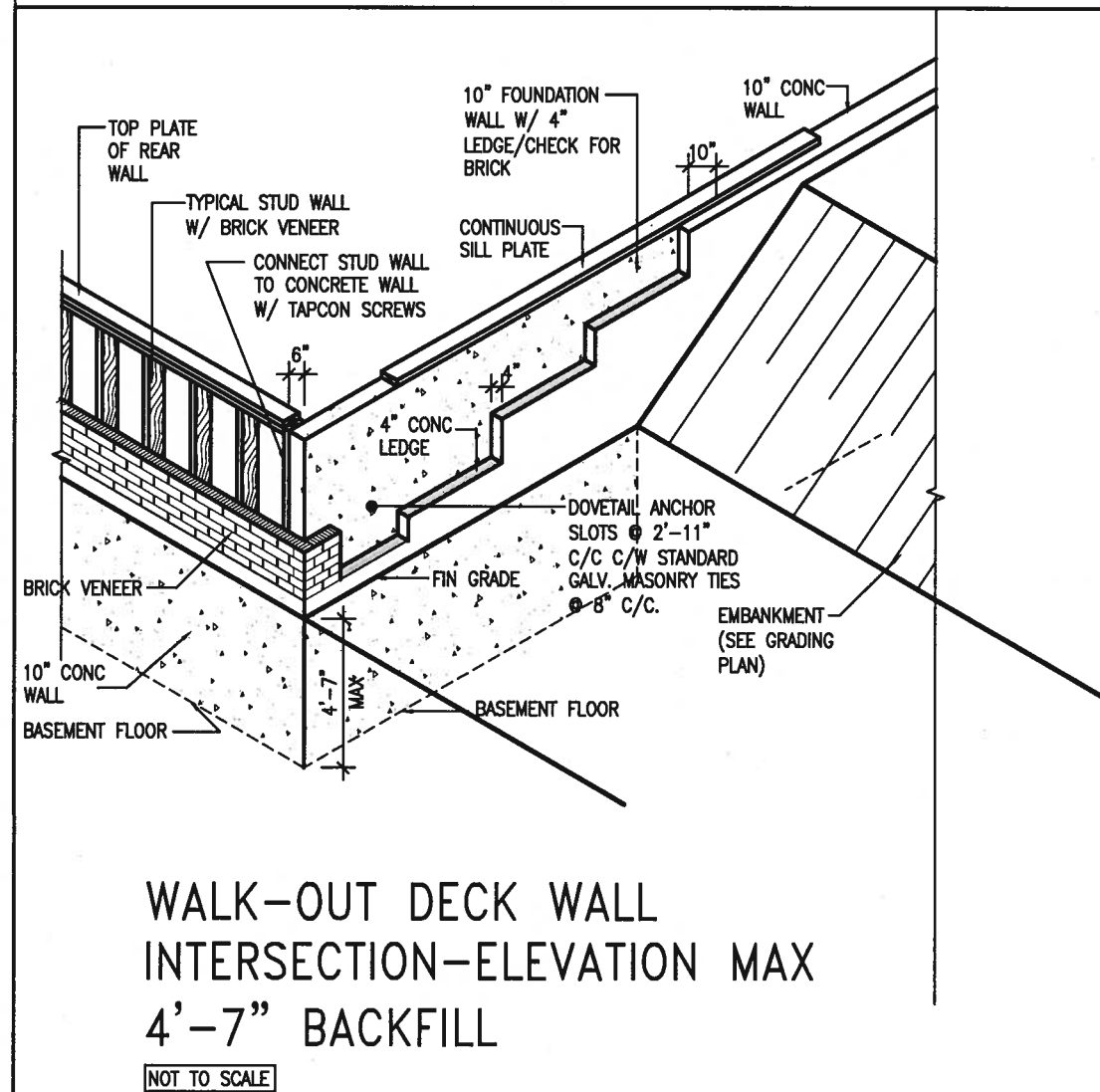
9	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 255 Consumers Rd Suite 120 Toronto ON M2W 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON		CONST NOTE			
8	.	.	qualification information		project name	ALCONA	municipality	INNISFIL, ON.	project no.	13049
7	.	.	Wellington Jno-Baptiste		date	MAY 2016	CONSTRUCTION NOTES			drawing no.
6	.	.	signature		drawn by	RC	checked by	-	scale	3/16" = 1'-0"
5	.	.	name registration information		file name					
4	.	.	VAS Design Inc.		13049-CN-A1					
3	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\CN Notes\13049-CN-A1.dwg - Fri - Aug 4 2017 - 8:47 AM					
2	.	.			CN8					
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC							
no.	description	date	by							



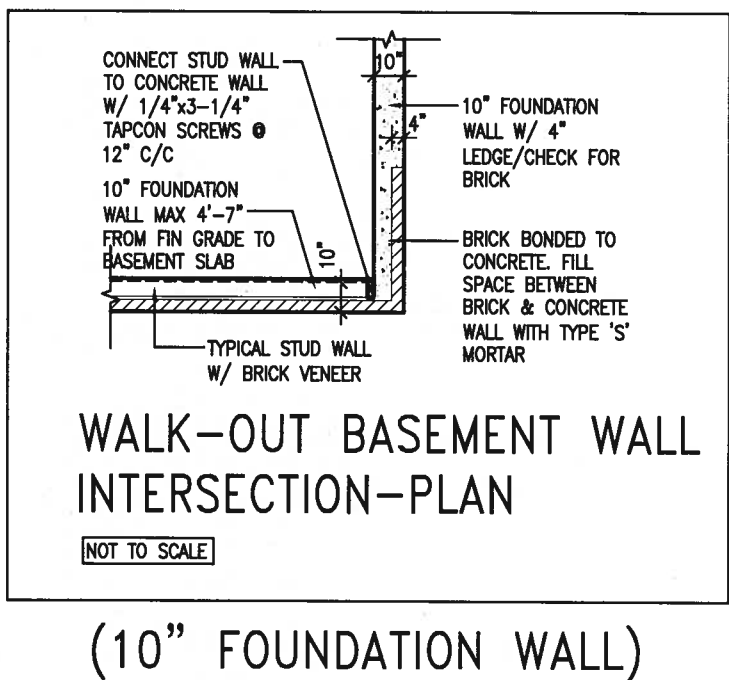
WALK-OUT DECK WALL
INTERSECTION-ELEVATION
NOT TO SCALE



WALK-OUT DECK WALL
INTERSECTION-PLAN
NOT TO SCALE
(10" FOUNDATION WALL)



WALK-OUT DECK WALL
INTERSECTION-ELEVATION MAX
4'-7" BACKFILL
NOT TO SCALE



WALK-OUT BASEMENT WALL
INTERSECTION-PLAN
NOT TO SCALE
(10" FOUNDATION WALL)



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8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name
5	.	.	.	registration information
4	.	.	.	VAS Design Inc. 42658
3	.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2	.	.	.	
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no.	description	date	by	



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BAYVIEW WELLINGTON

CONST NOTE

project name	ALCONA	municipality	INNISFIL, ON.	project no.	13049
date	MAY 2016	checked by	scale	CONSTRUCTION NOTES	drawing no.
drawn by	RC		3/16" = 1'-0"	file name	CN10
RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\CN Notes\13049-CN-A1.dwg - Fri - Aug 4 2017 - 8:47 AM					

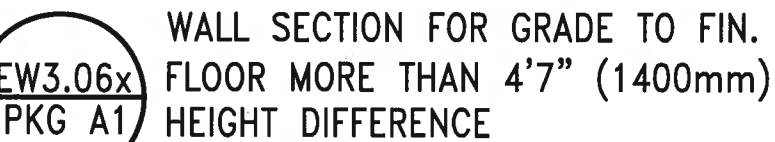


NOT TO SCALE



NOT TO SCALE

(10" FOUNDATION WALL)



SCALE: N.T.S.



SCALE: N.T.S.

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BAYVIEW WELLINGTON		CONST NOTE	
project name ALCONA		municipality INNISFIL, ON.	project no. 13049
date MAY 2016		CONSTRUCTION NOTES	
drawn by RC	checked by -	scale 3/16" = 1'-0"	file name 13049-CN-A1
RICHARD - H:\ARCHIVE\WORKING\2013\13049 RWA\UNITS\CN Notes\13049-CN-A1.dwg - Fri - Aug 4 2017 - 8:48 AM			CN11

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