

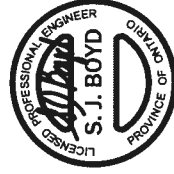
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building drawings with respect to any zoning or building code requirements for the property house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

JAN 31 2018

John G. Williams Limited, Architect



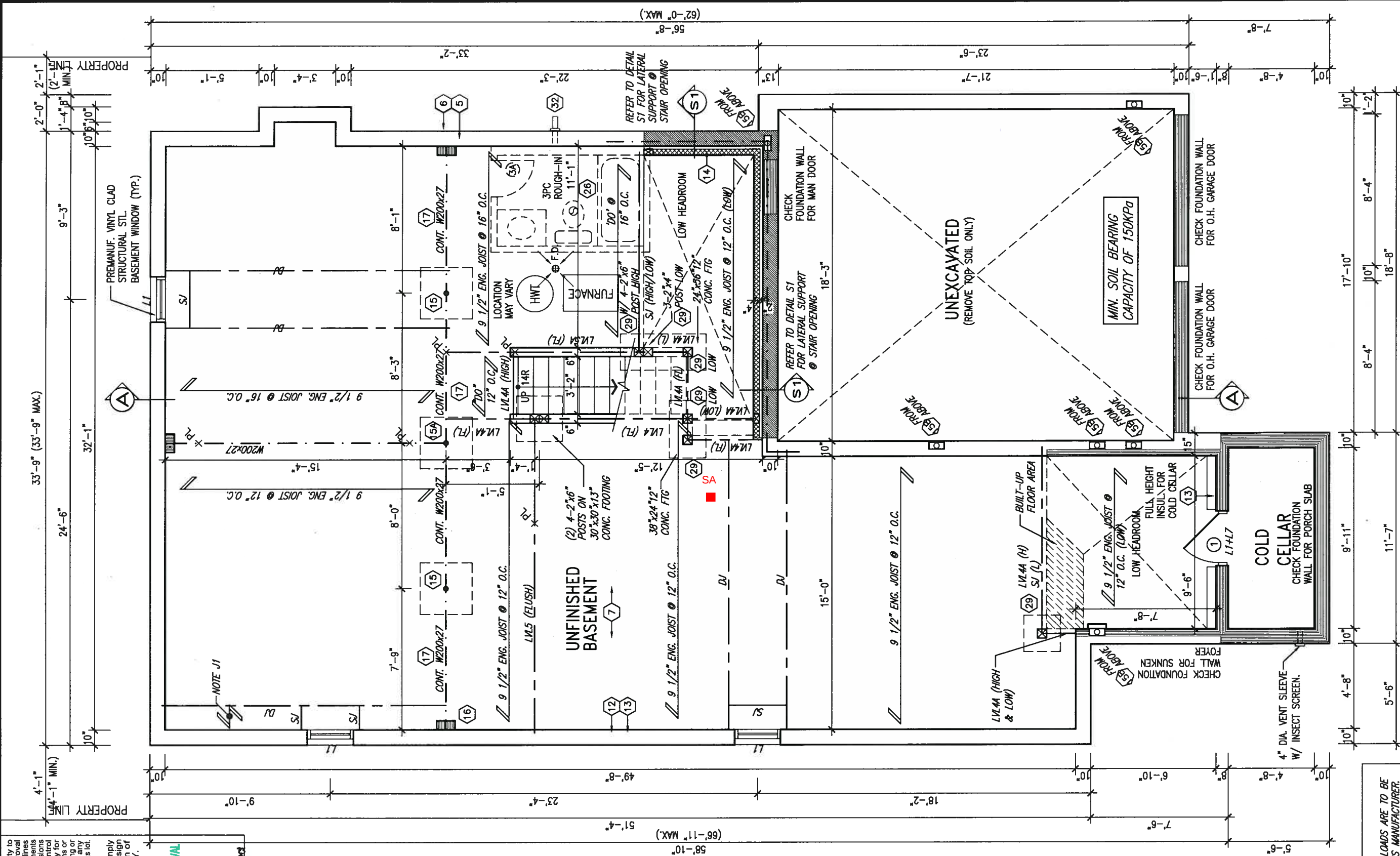
REFER TO
PAGE 11
FOR AREA
CHART

NOTE J1: PROVIDE
SOLID BLOCKING @ 24"
O.C. WHERE FLOOR
JOISTS ARE PARALLEL TO
FOUNDATION WALL (TYP.)

NOTE:
SPACE ALL FLOOR JOISTS
@ 12" O.C. UNDER ALL
CERAMIC TILE AREAS.

NOTE:
ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE
SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

NOTE:
FLOOR FRAMING INFO REFER TO ENG SHOP
DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND
DETAILS. UNLESS OTHERWISE NOTED.



BASEMENT PLAN 'A'

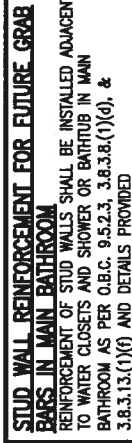
VAB DESIGN		BAYVIEW WELLINGTON		S42-15	
255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 vabdesign.com		GREEN VALLEY EAST		RIDEAU 15	
The undersigned has reviewed and takes responsibility for this design and the specifications and notes the requirements set out in the Ontario Building Code to be a Designer.		BRADFORD		16023	
Wellington Jno-Baptiste		Municipality		drawing no.	
name		date		1	
qualification information		drawn by		16023-S42-15	
25591		checked by		file name	
BCN		MARCH 2017		16023-S42-15	
42658		scale		drawing no.	
VAB Design Inc.		3/16" = 1'-0"		1	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		SB		16023-S42-15	
JAN 25-18 RC		date		1	
1 ISSUED FOR CLIENT REVIEW		description		1	
BY		date		1	

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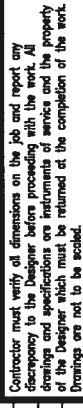
John G. Williams Limited, Architect



NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS
SHOP DRAWINGS FOR ALL ROOF FRAMING
INFORMATION UNLESS OTHERWISE NOTED.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jao-Baptiste
signature
name
registration information
VA3 Design Inc.
2559
BC2016
42655



BAYVIEW WELLINGTON

project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023
date MARCH 2017		drawing no. 3
checked by SB	scale 3/16" = 1'-0"	file name 16023-S42-15
SECOND FLOOR PLAN ELEVATION 'A'		

S42-15
RIDEAU 15

project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023
date MARCH 2017		drawing no. 3
checked by SB	scale 3/16" = 1'-0"	file name 16023-S42-15
SECOND FLOOR PLAN ELEVATION 'A'		

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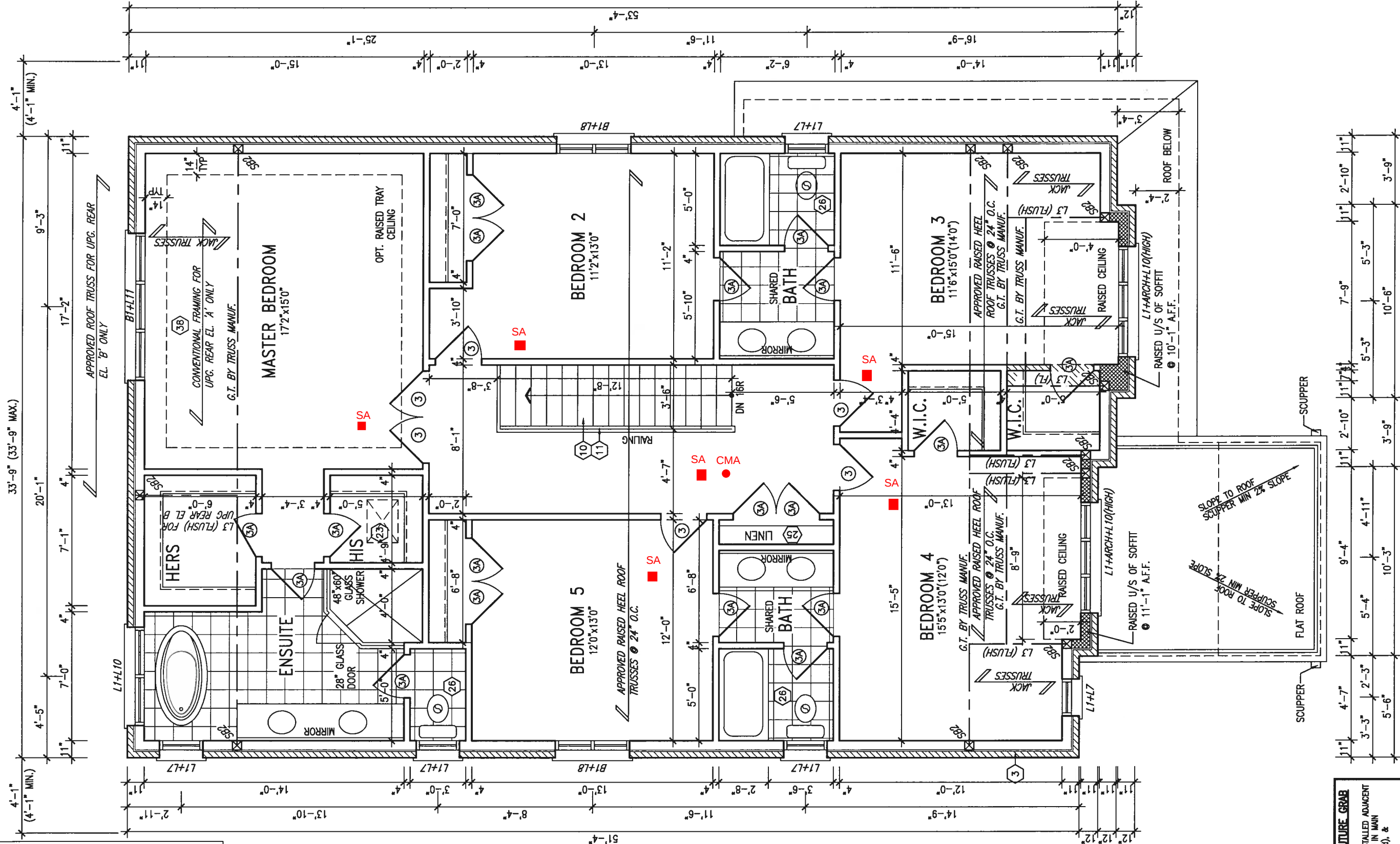
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ARCHITECTURAL REVIEW & APPROVAL

JAN 31 2018

John C. Williams Limited, Architect



STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM AS PER O.B.C. 9.5.2.3, 3.8.3.8.1)(g), & 3.8.3.13.1)(f) AND DETAILS PROVIDED.

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS
SHOP DRAWINGS FOR ALL ROOF FRAMING
INFORMATION UNLESS OTHERWISE NOTED.

[illegible]

VAD3
DESIGN
255 Consumers Rd Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.
va3design.com

BAYVIEW WELLINGTON

S42-15
RIDEAU 15

project name		BRADFORD		project no.		16023	
city		GREEN VALLEY EAST		municipality			
date		MARCH 2017		drawing no.		4	
drawn by		checked by		scale			
SB				3/16" = 1'-0"			
revision		description		file name			
1		OPT. SECOND FLOOR PLAN ELEVATION 'A'		16023-S42-15			
2		REVISIONS		16023-S42-15			
3		REVISIONS		16023-S42-15			
4		REVISIONS		16023-S42-15			
5		REVISIONS		16023-S42-15			
6		REVISIONS		16023-S42-15			
7		REVISIONS		16023-S42-15			
8		REVISIONS		16023-S42-15			
9		REVISIONS		16023-S42-15			
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13		REVISIONS		16023-S42-15			
14		REVISIONS		16023-S42-15			
15		REVISIONS		16023-S42-15			
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63		REVISIONS		16023-S42-15			
64		REVISIONS		16023-S42-15			
65		REVISIONS		16023-S42-15			

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OPT. SECOND FLOOR PLAN 'A' 5 BEDROOM

ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

py

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John G. Williams Limited, Architects

- A minimum 200 amp Panelboard.
- Conduit that is not less than 1 1/16" (27mm) trade size.
- A square 4 11/16" (119mm) trade size electrical outlet box.
- Fumeproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.

PARTIAL OPT. SECOND
FLOOR PLAN 'B'
5 BEDROOM

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER
TO ROOF TRUSS SHOP DRAWINGS
FOR ALL ROOF FRAMING
INFORMATION UNLESS OTHERWISE
NOTED.



NOTE: FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

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RICHARD - H:\

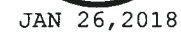
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project no.	16023
drawing no.	

5
drawing no.

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<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
S42-15 ELEVATION A	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	691 S.F.	136.797 S.F.	19.80 %
LEFT SIDE	1137 S.F.	95.556 S.F.	8.40 %
RIGHT SIDE	1137 S.F.	91.444 S.F.	8.04 %
REAR	675 S.F.	177.056 S.F.	26.23 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3640.00 S.F.	500.85 S.F.	13.76 %
TOTAL SQ. M.	338.16 S.M.	46.53 S.M.	13.76 %



ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018

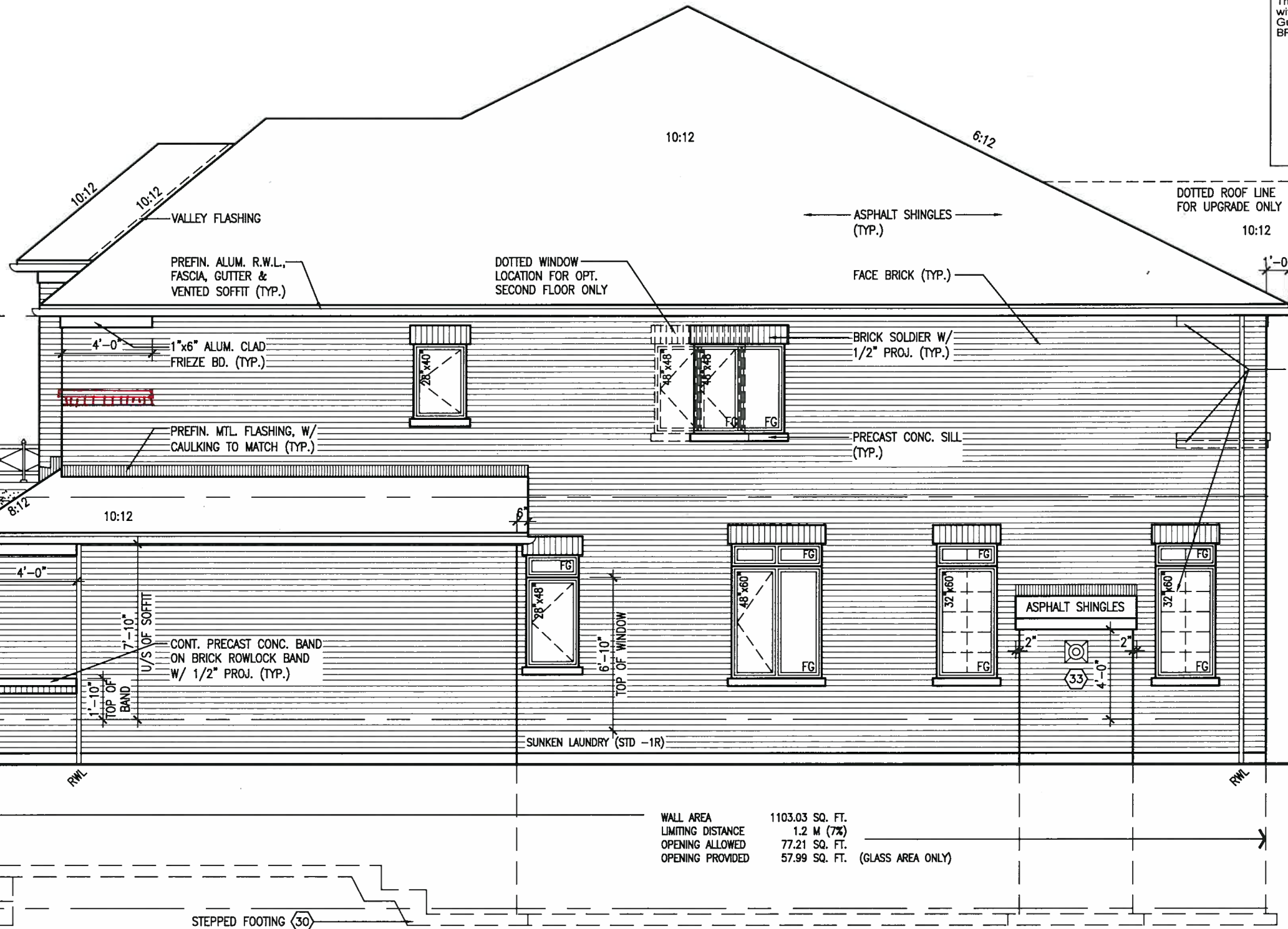
BAYVIEW WELLINGTON

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Toronto ON M2J 1R4
416.630.2255 f 416.630.4163
va3design.com

no.	description	date	by
1	ISSUED FOR CLIENT REVIEW	JAN 25-18	RC
2	REVISED AS PER ENG'S COMMENTS		
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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

[illegible]

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Architectural elevation drawing of a two-story house. The drawing shows the front facade with a gabled roof. The roof pitch is indicated as 6:12 for the main section and 8:12 and 10:12 for the side sections. The house has horizontal siding. The first floor features a central double door with a transom, flanked by windows. The second floor has two windows. Dimensions for windows and doors are provided, along with a note for the roof pitch. The drawing is labeled with 'XX SF' and '2043 SF' in the top left corner.

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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON		S42-15 RIDEAU 15	
project name	GREEN VALLEY EAST	municipality	BRADFORD
date	MARCH 2017	project no.	16023
drawn by	SRB	checked by	scale
SRB			$3/16" = 1'-0"$
RICHARD - H.A. ARCHIVES WORKINGS 2016.1.16023.0001.16023.S42-15.dwg - Fri - Jan 26, 2018 - 11:30 AM RICHARD - H.A. ARCHIVES WORKINGS 2016.1.16023.0001.16023.S42-15.dwg - Fri - Jan 26, 2018 - 11:30 AM		file name	16023-S42-15
REAR ELEVATION 'A', 'B' & 'C' drawing no.			11

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55 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
v3design.com

[illegible][illegible]

REAR ELEVATION 'A', 'B' & 'C'



Site Copy

1'-0"

1'-0" 1'-0"

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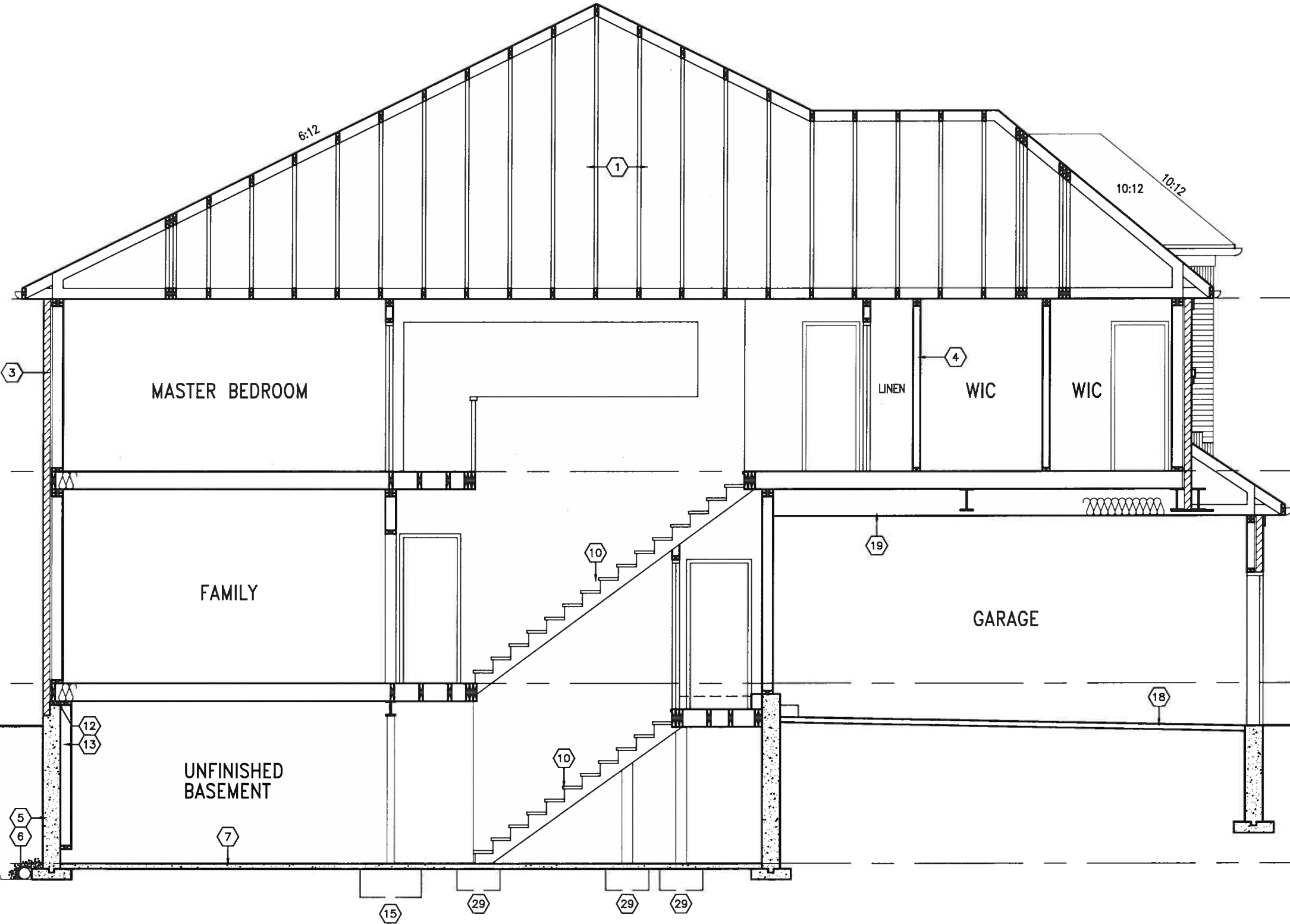
S42-15		RIDEAU 15	
BAYVIEW WELLINGTON		BRADFORD	
project name	GREEN VALLEY EAST	municipality	BRADFORD
project no.	16023	drawing no.	12
date	MARCH 2017	checked by	SB
drawn by	SB	scale	3/16" = 1'-0"
CROSS SECTION		16023-S42-15	
file name		16023-S42-15	
date		FRI - JUN 26 2018 - 11:30 AM	

VA3 DESIGN

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the information and the requirements set out in the Ontario Building Code to be a Designer.		25591		25591	
qualification information		Wellington Jno-Baptiste		BCN	
name		VA3 Design Inc.		42558	
registration information		VA3 Design Inc.		42558	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		JAN 25-18 RC		JAN 25-18 RC	
2 REVISED AS PER ENG'S COMMENTS		JAN 25-18 RC		JAN 25-18 RC	
1 ISSUED FOR CLIENT REVIEW		JAN 25-18 RC		JAN 25-18 RC	
no. description		date		by	

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SECTION A-A



JAN 26, 2018



<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
S42-15 ELEVATION B	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	691 S.F.	144.389 S.F.	20.90 %
LEFT SIDE	1137 S.F.	95.556 S.F.	8.40 %
RIGHT SIDE	1137 S.F.	91.444 S.F.	8.04 %
REAR	675 S.F.	177.056 S.F.	26.23 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3640.00 S.F.	508.45 S.F.	13.97 %
TOTAL SQ. M.	338.16 S.M.	47.24 S.M.	13.97 %

John G. Williams Limited, Architects

BAYVIEW WELLINGTON



253 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

[illegible]

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the undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste *W. Baptiste* 25599

name
registration information
A3 Design Inc.

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All

Drawings and specifications are instruments of service and the property of the Designer. Drawings which must be returned at the completion of the work. Drawings are not to be scaled.

All data

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2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC

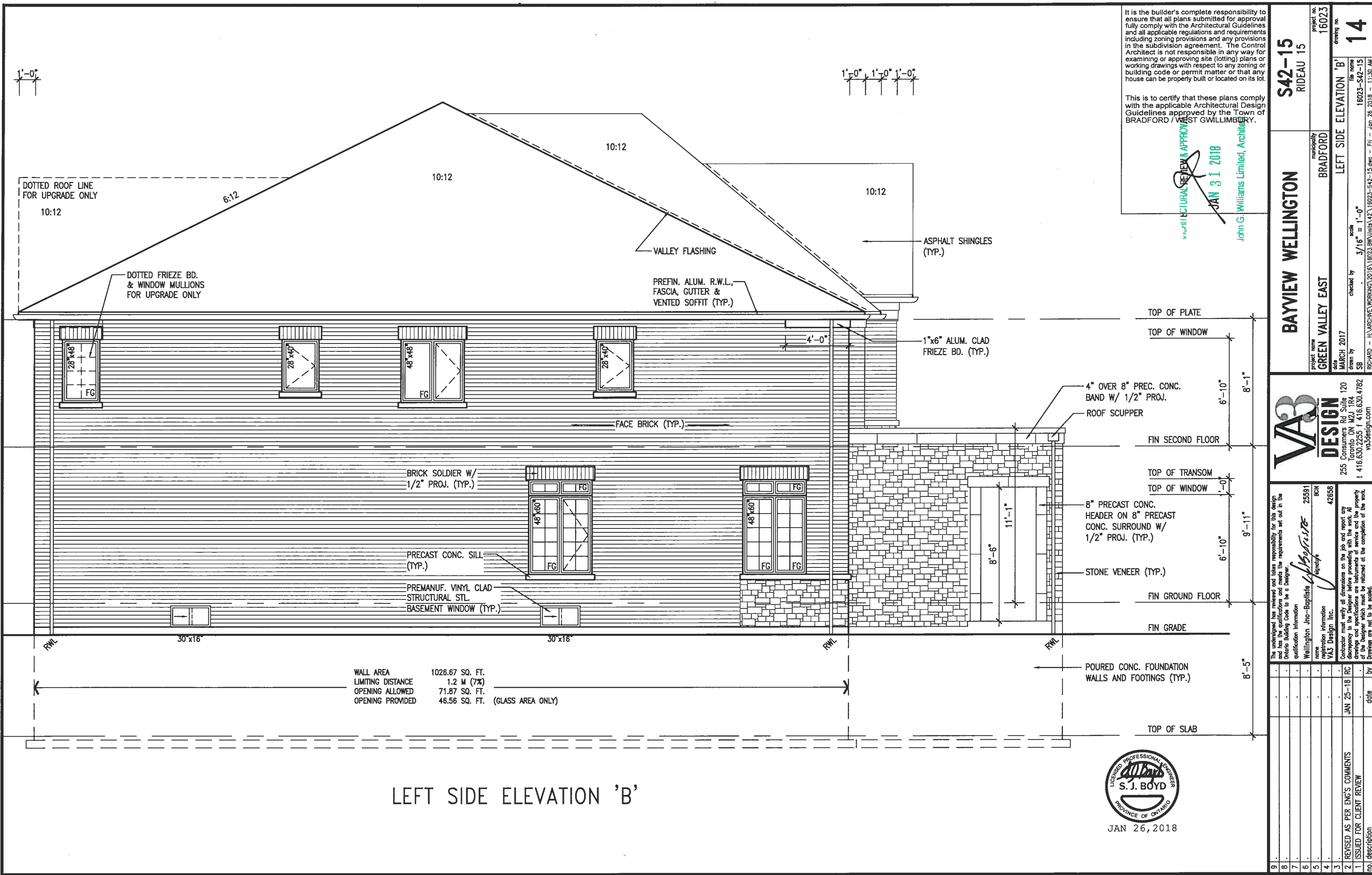
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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JAN 26, 2018

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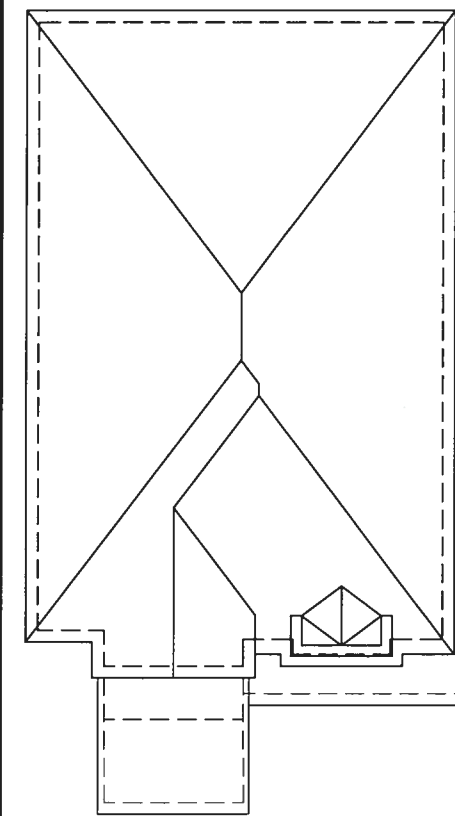
REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

Project name BAYVIEW WELLINGTON		Project no. S42-15	
Municipality GREEN VALLEY EAST		RIDEAU 15	
Date MARCH 2017		Drawing no. 14	
Checked by SB		File name 16023-S42-15	
Scale 3/16" = 1'-0"		Date 16023-S42-15	
Drawn by SB		Title LEFT SIDE ELEVATION 'B'	
Project location RICHMOND - 15 ARCHIVE WORKING\2016\16023-S42-15.dwg		Project location 16023-S42-15.dwg	

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		Wellington Jno-Baptiste		25591	BCIN
Qualification information		name		42658	
Registration information		VA3 Design Inc.			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are the property of the Designer and must be returned at the completion of the work. Drawings are not to be scaled.		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are the property of the Designer and must be returned at the completion of the work. Drawings are not to be scaled.			
2 REVISED AS PER ENG'S COMMENTS		JAN 25-18 RC			
1 ISSUED FOR CLIENT REVIEW					
no. description		date			

LICENSED PROFESSIONAL ENGINEER
S. J. BOYD
PROVINCE OF ONTARIO
JAN 26, 2018



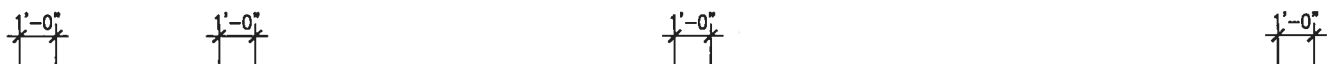
ROOF PLAN 'C'

- MID-POINT OF ROOF
- ASPHALT SHINGLES
- VALLEY FLASHING TYP.
- 12" RAISED CEILING
- 1"x6" ALUM. FRIEZE BD. (TYP.)
- PREFIN. ALUM CAPPED CORNER TRIM
- PRECAST CONC. SILL W/ 1/2" PROJ. (TYP.)
- PREFIN. MTL FLASHING W/ CAULKING TO MATCH MASONRY (TYP.)
- PREFIN. METAL ROOF W/ RAISED SEAMS (TYP.)
- 3-2"x6" P.T. POST CAPPED IN ALUM. INSIDE MASONRY PIER
- CONT. PREC. CONC. SILL (TYP.)

POURED CONC. PORCH SLAB AND DOOR SILL

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-15 ELEVATION C	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	694 S.F.	130.389 S.F.	18.79 %
LEFT SIDE	1145 S.F.	94.889 S.F.	8.29 %
RIGHT SIDE	1144 S.F.	91.444 S.F.	7.99 %
REAR	675 S.F.	177.056 S.F.	26.23 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3658.00 S.F.	493.78 S.F.	13.50 %
TOTAL SQ. M.	339.84 S.M.	45.87 S.M.	13.50 %

FRONT ELEVATION 'C'



2:12 ROOF SLOPE W/ 2 PLY ROOF MEMBRANE

- PREFIN. ALUM. CAP
- PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)
- 1"x6" STUCCO FRIEZE BOARD (TYP.)
- PROJECTED CANOPY PREFIN. ALUM CAPPED
- 4" STUCCO SILL (TYP.)
- STUCCO FINISH W/ 1"x1/2" REVEALS (TYP.)
- FACE BRICK (TYP.)
- PROVIDE MIN. 6" FLASHING BEHIND STUCCO (TYP.)
- STEEL BEAM LOCATION
- MUNICIPAL ADDRESS PLAQUE
- STONE BY BRAMPTON BRICK FINESSE LINE OR SIMILAR
- POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)
- STEPPED FOOTING AS REQUIRED (TYP.)



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
Joan G. Williams Limited, Architect

S42-15

RIDEAU 15

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD

BRADFORD

project no.

16023

drawing no.

16

project name

GREEN VALLEY EAST

municipality

BRADFORD

date

MARCH 2017

checked by

SB

drawn by

SB

scale

3/16" = 1'-0"

front elevation 'C'

FRONT ELEVATION 'C'

file name

16023-S42-15

date

JAN 26 2018 - 11:30 AM

VA3

DESIGN

255 Consumers Rd Suite 120

Toronto, ON M2J 1R4

t 416.630.2255 f 416.630.4782

v3design.com

25591

BCN

42658

Wellington Jno-Baptiste

Signature

25591

BCN

42658

VA3 Design Inc.

RC

JAN 25-18

REVIS

AS PER ENG'S COMMENTS

1

ISSUED FOR CLIENT REVIEW

description

no.

1

description

2

REVIS

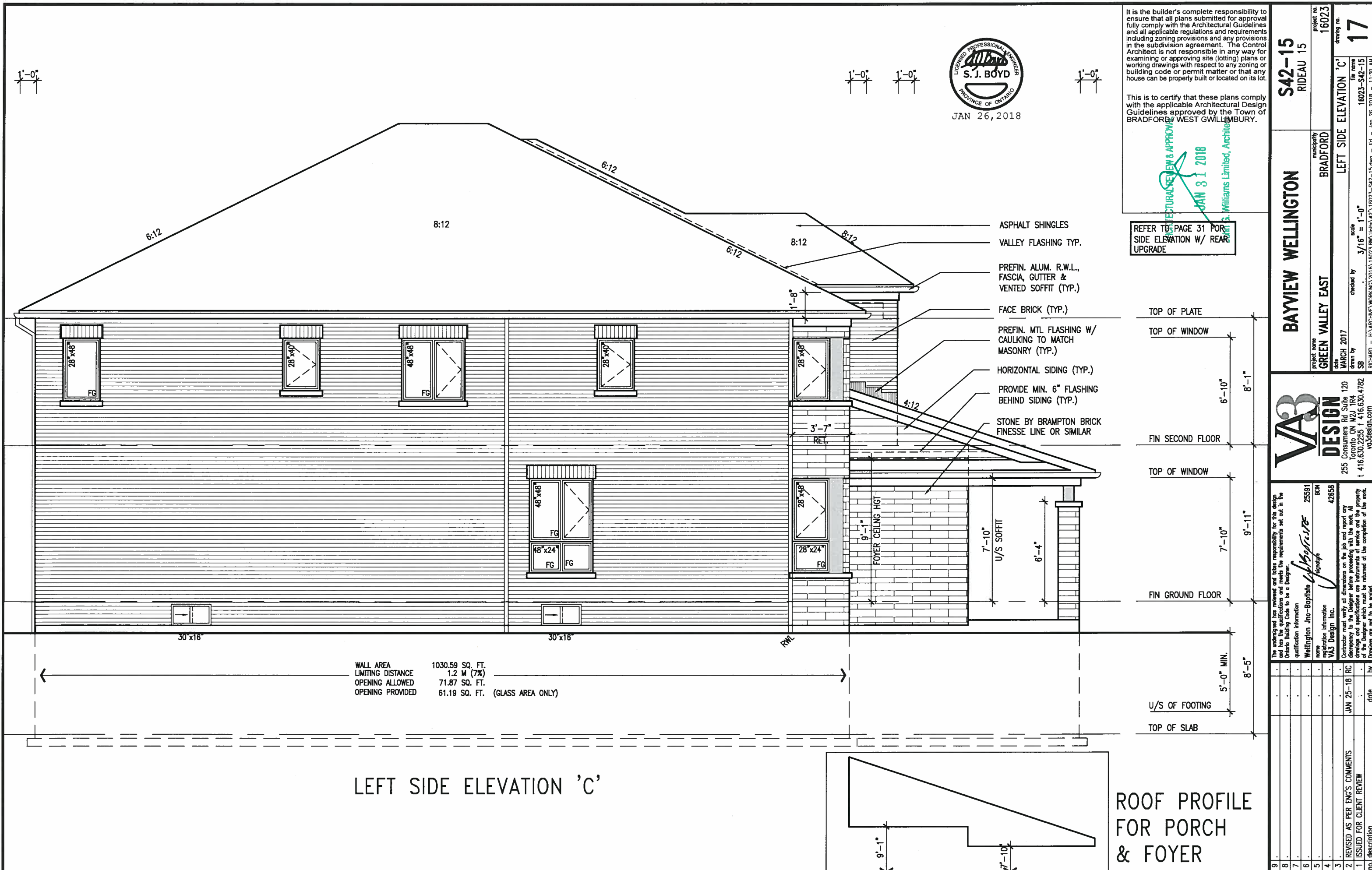
AS PER ENG'S COMMENTS

3

ISSUED FOR CLIENT REVIEW

description

Site Copy



LEFT SIDE ELEVATION 'C'

ROOF PROFILE FOR PORCH & FOYER



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
Williams Limited, Architect

REFER TO PAGE 31 FOR SIDE ELEVATION W/ REAR UPGRADE

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		25591		signature		BCM	
qualification information		Wellington Jno-Boplate		signature		42658	
name		none		signature		BCM	
registration information		VA3 Design Inc.		signature		42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.		JAN 25-18 RC		date		by	
2 REVISED AS PER ENG'S COMMENTS		JAN 25-18 RC		date		by	
1 ISSUED FOR CLIENT REVIEW		JAN 25-18 RC		date		by	
no. description		JAN 25-18 RC		date		by	

BAYVIEW WELLINGTON		S42-15		RIDEAU 15	
project name		project no.		drawing no.	
GREEN VALLEY EAST		16023		17	
municipality		BRADFORD		LEFT SIDE ELEVATION 'C'	
date		checked by		scale	
MARCH 2017		SB		3/16" = 1'-0"	
drawn by		checked by		file name	
RICHARD		RICHARD		16023-S42-15	
H:\ARCHIVE\WORKING\2016\16023-BN\Units\2\16023-S42-15.dwg		Fri - Jun 26 2018 - 11:30 AM		All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.	

VA3 DESIGN		255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4792 va3design.com	
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STRUCTURAL REVIEW & APPROVAL
JAN 31 2018
Williams Limited, Architects
REFER TO PAGE 31
SIDE ELEVATION W/
UPGRADE

Site Copy

PROPERTY LINE

John G. Williams Limited, Architect



NOTE:
FLOOR FRAMING INFO REFER TO ENG SHOP
DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND
DETAILS, UNLESS OTHERWISE NOTED.



V3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON	S42-15 RIDEAU 15
project name GREEN VALLEY EAST	municipality BRADFORD
date MARCH 2017	project no. 16023
drawn by SB	drawing no. 19
scale 3/16" = 1'-0"	file name 16023-S42-15
checked by .	PARTIAL PLANS 9R WOD
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BWA Units 42\16023-S42-15.dwg -- Fri - Jun 26 2018 - 11:30 AM	

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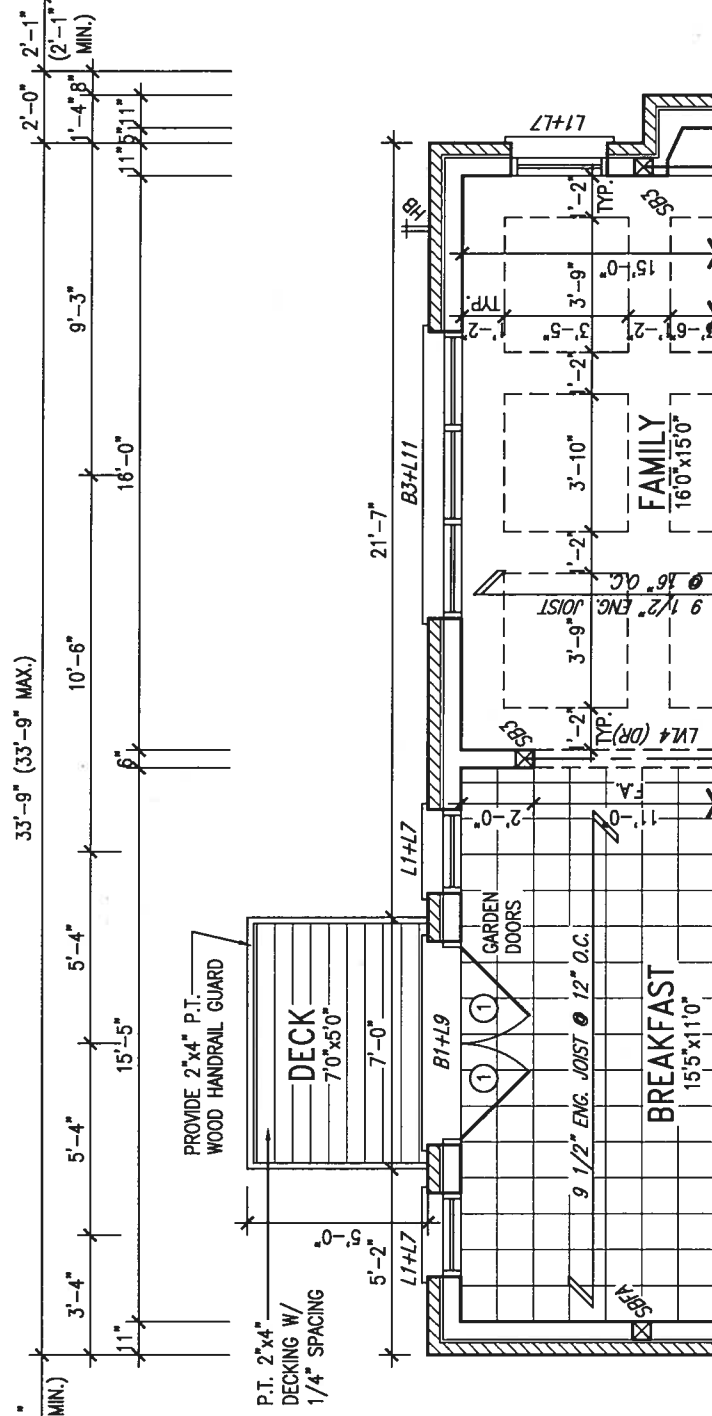
ARCHITECTURAL REVIEW & APPROVAL

JAN 31 2018

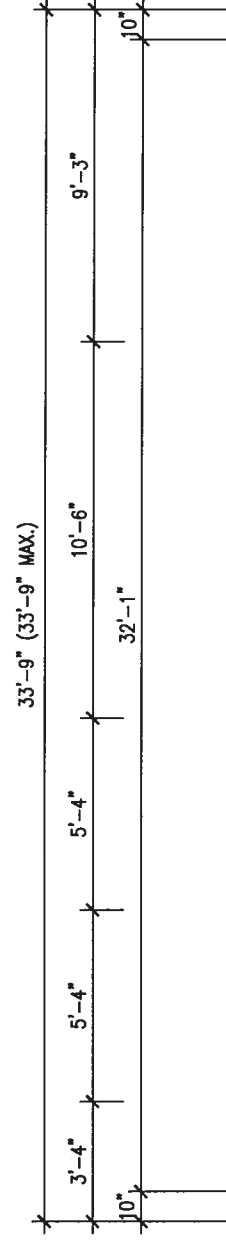
John G. Williams Limited, Architect

PROPERTY LINE

PROPERTY LINE



PARTIAL GROUND FLOOR PLAN
W/ W.O.B.



2-2"x8" P.T. DROPPED LEDGER FASTENED TO 2"x6" BLOCKING BETWEEN STUDS W/ 1/2" DIA. BOLTS @ 16" O.C. REFER TO DETAIL 1/52

10" FULL HEIGHT CONC. ON SIDE WALL W/ BRICK CHECK AS REQUIRED ON 22"x6" CONC. FTG

6"x6" P.T. WOOD POST C/W GALV. METAL CAP AND METAL SHOE SET INTO 12" DIA. SONO TUBES TO EXTEND 6" ABOVE GRADE AND 5'-0" BELOW GRADE.

1-2"x4" P.T. ON FLAT BRACE TO U/S OF JOISTS C/W (2) NO.8x3" DECK SCREWS

UNFINISHED BASEMENT

10" FULL HEIGHT CONC. ON SIDE WALL W/ BRICK CHECK AS REQUIRED ON 22"x6" CONC. FTG

NOTE: REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

no.	description	date	by
9.			
8.			
7.			
6.			
5.			
4.			
3.			
2.	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1.	ISSUED FOR CLIENT REVIEW		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591 BCN
name
V3S Design Inc. 42558

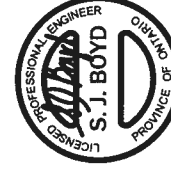
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

V3S DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3sdesign.com

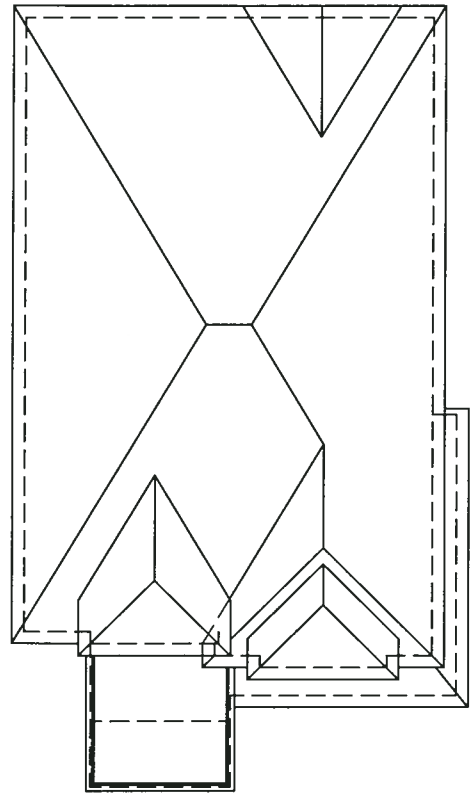
BAYVIEW WELLINGTON

S42-15
RIDEAU 15

project name	municipality	project no.
GREEN VALLEY EAST	BRADFORD	16023
date	drawn by	checked by
MARCH 2017	SB	3/16" = 1'-0"
drawn by	checked by	scale
SB	SB	3/16" = 1'-0"
drawn by	checked by	scale
SB	SB	3/16" = 1'-0"
drawn by	checked by	scale
SB	SB	3/16" = 1'-0"



Site Copy



ROOF PLAN 'A'
W/ UPGRADED REAR



UPGRADED REAR ELEVATION 'A'

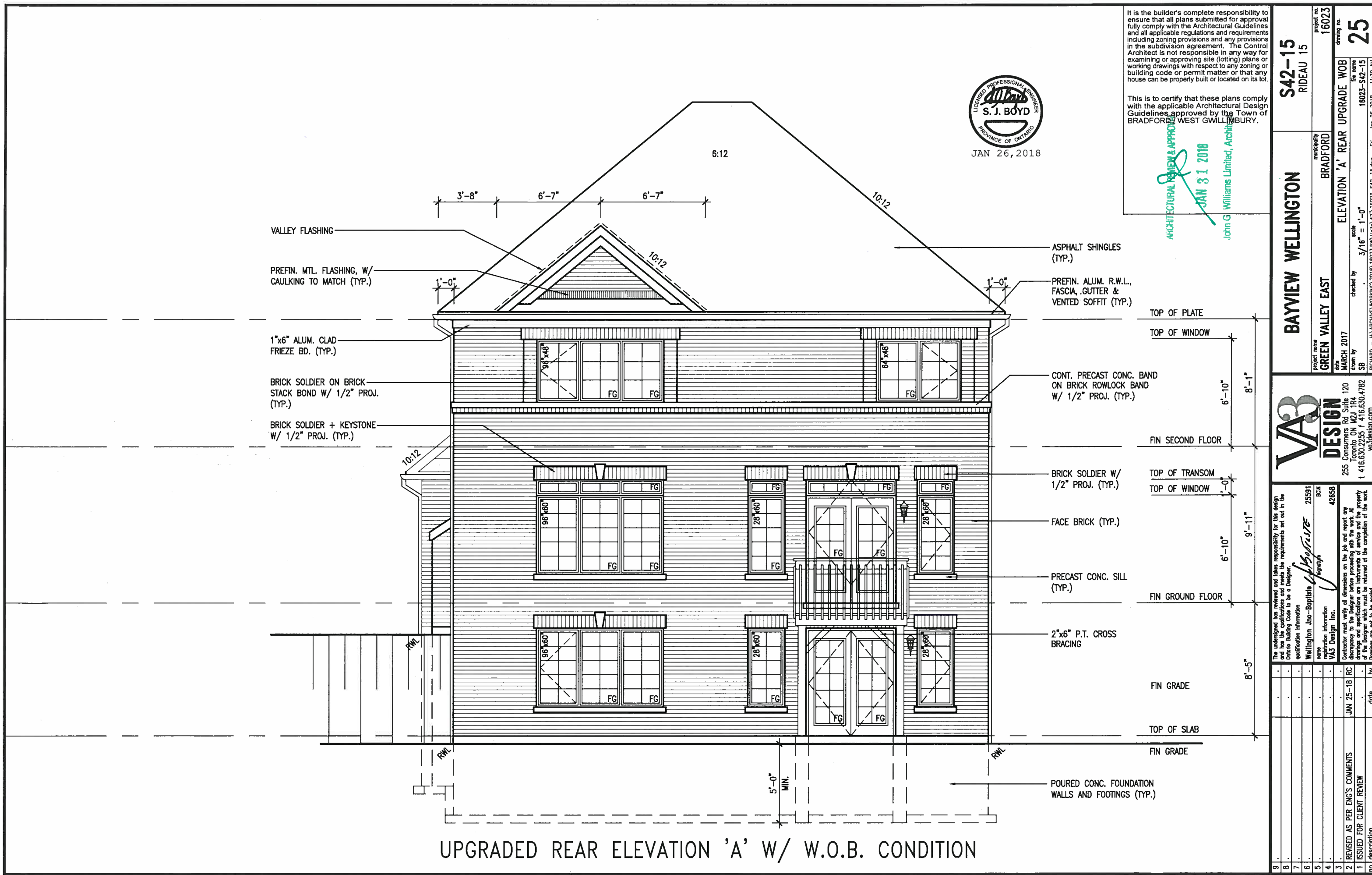
LICENSED PROFESSIONAL ENGINEER
S. J. BOYD
PROVINCE OF ONTARIO
JAN 26, 2018

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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON		S42-15 RIDEAU 15	
project name	GREEN VALLEY EAST	municipality	BRADFORD
project no.	16023	drawing no.	23
date	MARCH 2017	checked by	SB
drawn by	SB	scale	3/16" = 1'-0"
file name	16023-S42-15	date	JAN 26 2018 11:30 AM
RICHARD = H:\ARCHIVE\WORKING\2016\16023.BM\Units\42\16023-S42-15.dwg - Fri - Jan 26 2018 11:30 AM			
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The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
Wellington Jno-Baptiste 25591			
name registration information BCH			
VA3 Design Inc. 42558			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
no.	description	date	by
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW		

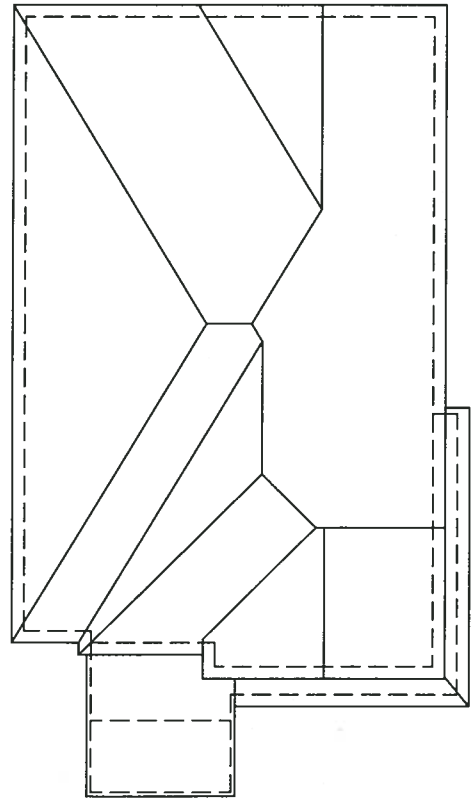


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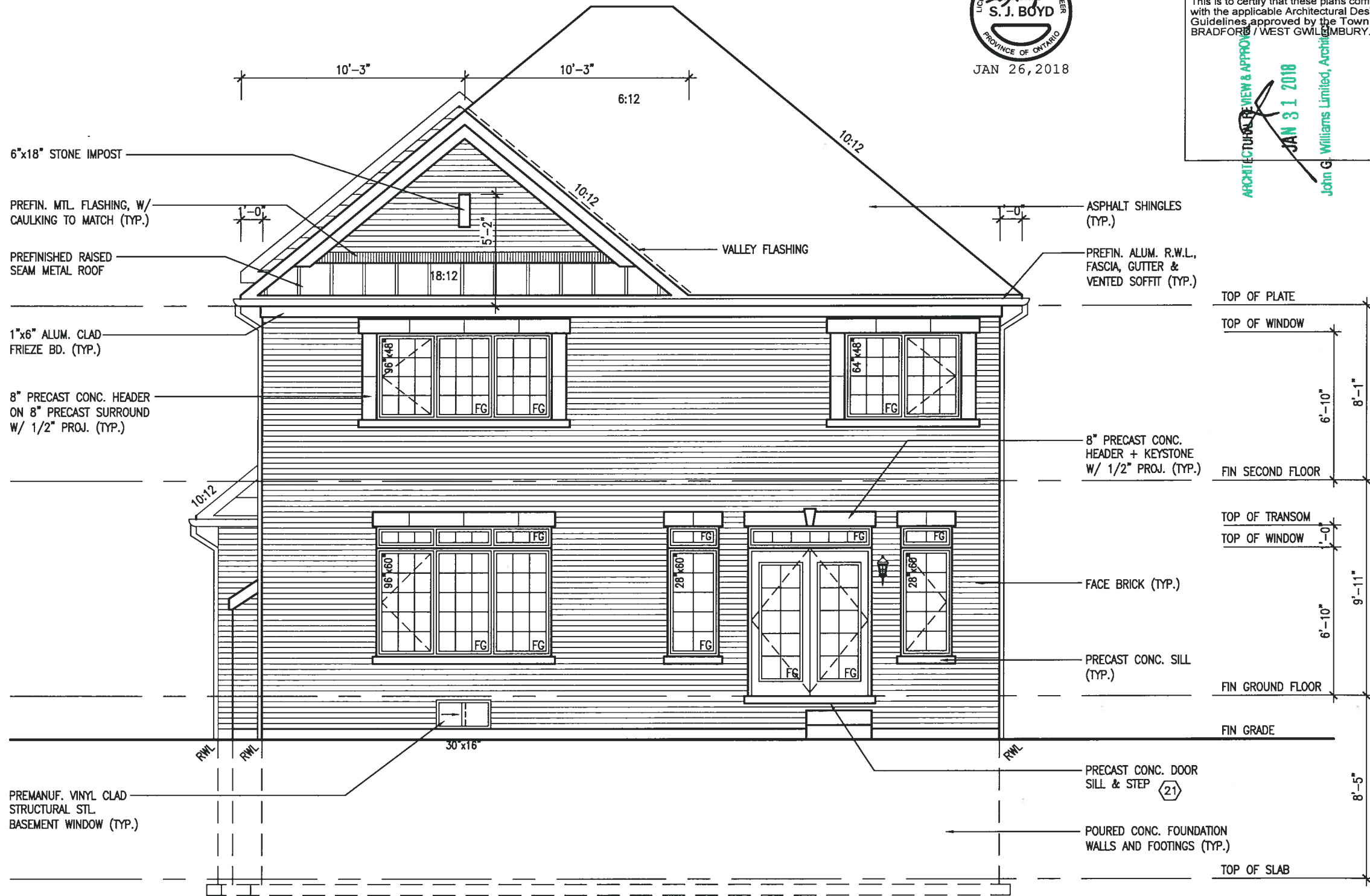
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON		S42-15	
GREEN VALLEY EAST		RIDEAU 15	
BRADFORD		16023	
Municipality		Project no.	
MARCH 2017		drawing no.	
SB		25	
ELEVATION 'A' REAR UPGRADE WOB		16023-S42-15	
checked by		scale	
3/16" = 1'-0"		file name	
RICHARD - H:\ARCHIVE\WORKING\2018\16023-BW\Units\42\16023-S42-15.dwg - Fri - Jan 26 2018 - 11:30 AM		date	
VA3 DESIGN		25591	
255 Consumers Rd Suite 120		BCN	
Toronto ON M2J 1R4		42558	
t 416.630.2255 f 416.630.4782		signature	
va3design.com		signature	
The undersigned has reviewed and takes responsibility for this design and has the certification and seal of the requirements set out in the Ontario Building Code to be a Designer.		signature	
Wellington Jno-Baptiste		signature	
VA3 Design Inc.		signature	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		signature	
JAN 25-18 RC		signature	
2 REVISED AS PER ENG'S COMMENTS		signature	
1 ISSUED FOR CLIENT REVIEW		signature	
no. description		signature	



ROOF PLAN 'B'
W/ UPGRADED REAR



UPGRADED REAR ELEVATION 'B'

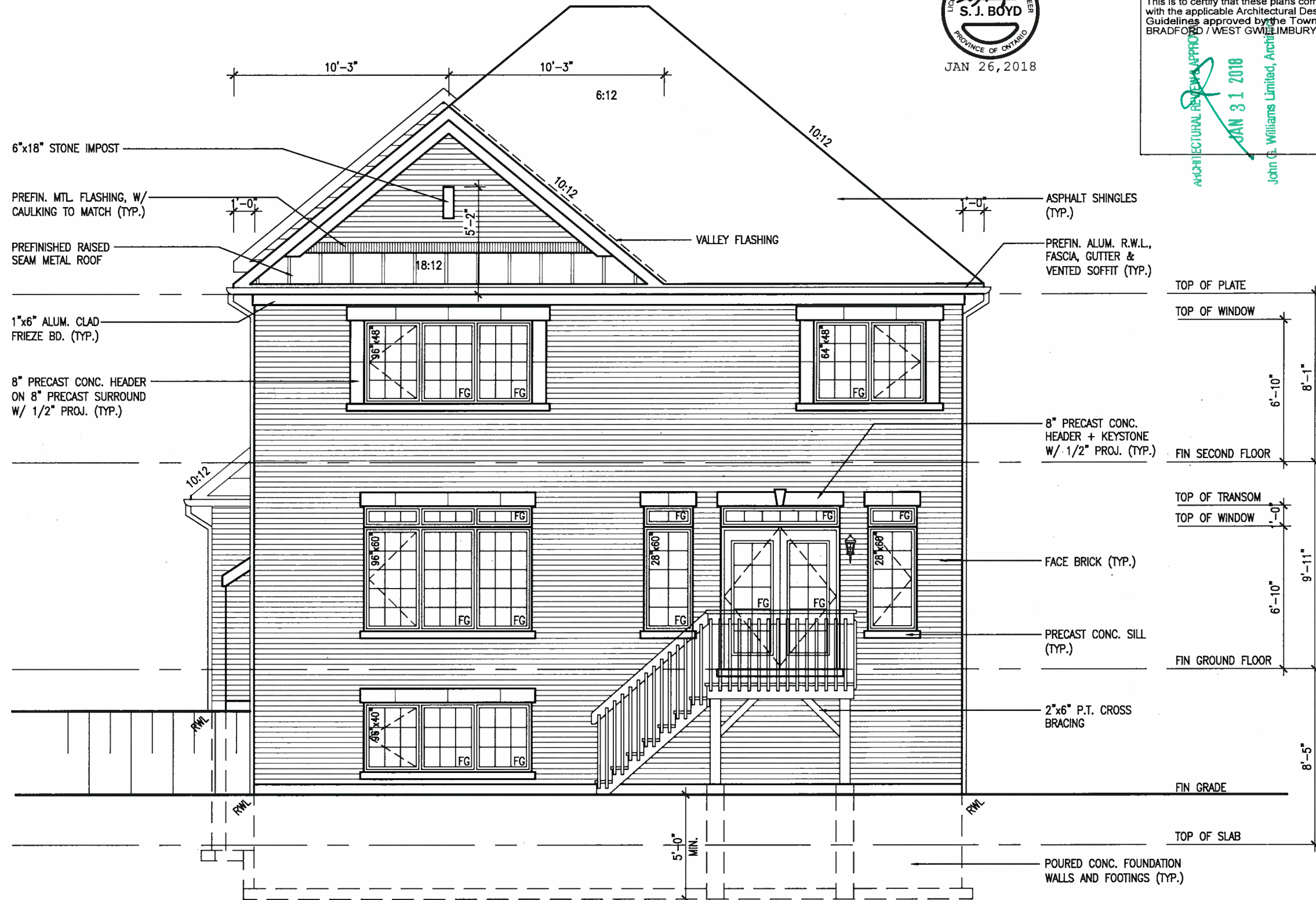


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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON		S42-15		RIDEAU 15	
GREEN VALLEY EAST		BRADFORD		ELEVATION 'B' REAR UPGRADE	
project name		project no.		drawing no.	
MARCH 2017		16023		26	
drawn by		checked by		scale	
SB		SB		3/16" = 1'-0"	
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-15.dwg - FH - Jun 26 2018 - 11:30 AM		file name		16023-S42-15	
VA3 DESIGN		25591		42558	
255 Consumers Rd Suite 120		Wellington Jno-Baptiste		RC	
Toronto ON M2J 1R4		VA3 Design Inc.		JAN 25-18	
t 416.630.2255 f 416.630.4782		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		ISSUED FOR CLIENT REVIEW	
no. description		date		by	
1		JAN 25-18		RC	
2		JAN 25-18		RC	
3		JAN 25-18		RC	
4		JAN 25-18		RC	
5		JAN 25-18		RC	
6		JAN 25-18		RC	
7		JAN 25-18		RC	
8		JAN 25-18		RC	
9		JAN 25-18		RC	



UPGRADED REAR ELEVATION 'B' W/ W.O.D. CONDITION
9R OR MORE

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

9	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	qualification information
7	.	.	Wellington Jno-Baptiste
6	.	.	25591
5	.	.	name
4	.	.	BCIN
3	.	.	signature
2	JAN 25-18	RC	VA3 Design Inc.
1	ISSUED FOR CLIENT REVIEW	BY	42658
no.	description	date	drawings are not to be scaled.

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

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Wellington Jno-Baptiste

25591

name

BCIN

signature

VA3 Design Inc.

42658

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BAYVIEW WELLINGTON

S42-15

RIDEAU 15

GREEN VALLEY EAST

BRADFORD

ELEVATION 'B' REAR UPGRADE 9R WOD

MARCH 2017

file name

16023-S42-15

3/16" = 1'-0"

scale

checked by

drawn by

SB

project no.

16023

drawing no.

27

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

~~JAN 31 2018~~

John G. Williams Limited Architect



								The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
9 .	.	.	.	.	.	.	.	wellington jno-Baptiste
8 .	.	.	.	.	.	.	.	JNOBAPTISTE
7 .	.	.	.	.	.	.	.	saguntye
6 .	.	.	.	.	.	.	.	BCIN
5 .	.	.	.	.	.	.	.	name registration information
4 .	.	.	.	.	.	.	.	VAS Design Inc.
3 .	.	.	.	.	.	.	.	42658
2 REVISED AS PER ENG'S COMMENTS	JAN 25-18 RC							Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1 ISSUED FOR CLIENT REVIEW	.							
mo.	description	date	by					

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON	S42-15
GREEN VALLEY EAST	RIDEAU 15
project name GREEN VALLEY EAST	municipality BRADFORD
date MARCH 2017	project no. 16023
drawn by SB	drawing no. 29
checked by scale 3/16" = 1'-0"	ELEVATION 'C' REAR UPGRADE PARTIAL PLANS
file name 16023-S42-15	
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW Units\42\16023-S42-15.dwg - Fri - Jan 26 2018 - 11:30 AM	

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JAN 31 2018

John G. Williams Limited, Architect



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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-15 ELEV C-REAR UPG 9R WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	694 S.F.	130.389 S.F.	18.79 %
LEFT SIDE	1145 S.F.	108.889 S.F.	9.51 %
RIGHT SIDE	1144 S.F.	91.444 S.F.	7.99 %
REAR	810 S.F.	202.389 S.F.	24.99 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3793.00 S.F.	533.11 S.F.	14.06 %
TOTAL SQ. M.	352.38 S.M.	49.53 S.M.	14.06 %

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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
S. Williams Limited, Architect

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION



- PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)
- 1"x6" STUCCO FRIEZE BD. (TYP.)
- PREFIN. ALUM CAPPED CORNER TRIM
- 4" STUCCO SILL (TYP.)
- PRECAST CONC. SILL W/ 1/2" PROJ. (TYP.)
- STUCCO FINISH W/ 1"x1/2" REVEALS (TYP.)
- 12" PROJECTED CANOPY PREFIN. ALUM CAPPED
- FACE BRICK (TYP.)
- CONT. PREC. CONC. SILL (TYP.)
- STONE BY BRAMPTON BRICK FINESSE LINE OR SIMILAR
- 2"x6" P.T. CROSS BRACING
- POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

- TOP OF PLATE
- TOP OF WINDOW
- 6'-10"
- 8'-1"
- FIN SECOND FLOOR
- TOP OF WINDOW
- 7'-10"
- 9'-11"
- FIN GROUND FLOOR
- TOP OF WINDOW
- 6'-10"
- 8'-5"
- FIN GRADE
- TOP OF SLAB

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD

project no. 16023

drawing no. 33

ELEVATION 'C' REAR UPGRADE 9R WOD

scale 3/16" = 1'-0"

checked by SB

drawn by SB

date MARCH 2017

file name 16023-S42-15

16023-S42-15.dwg - Fri - Jan 26 2018 - 11:30 AM

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no. description

1 ISSUED FOR CLIENT REVIEW

2 REVISED AS PER ENG'S COMMENTS

3

4

5

6

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9



JAN 26, 2018

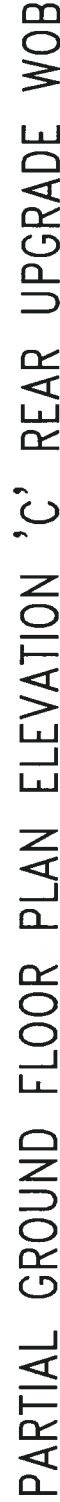
BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

Site Copy

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

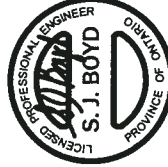
JAN 31 2018

John G. Williams Limited, Architect



NOTE:
SPACE ALL FLOOR JOISTS @ 12"
O.C. UNDER ALL CERAMIC TILE
AREAS.

NOTE: FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.



9.	.	.	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.	.	.	.	.	.	
7.	.	.	.	.	.	qualification information
6.	.	.	.	.	.	Wellington Jno-Baptiste
5.	.	.	.	.	.	name
4.	.	.	.	.	.	registration information
3.	.	.	.	.	.	VAS Design Inc.
2.	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC			Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.
1.	ISSUED FOR CLIENT REVIEW	.	.	.	.	Drawings are not to be scaled.
no.	description	date	by			



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 255 Consumers Rd Suite 120
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vazdesign.com

BAYVIEW WELLINGTON

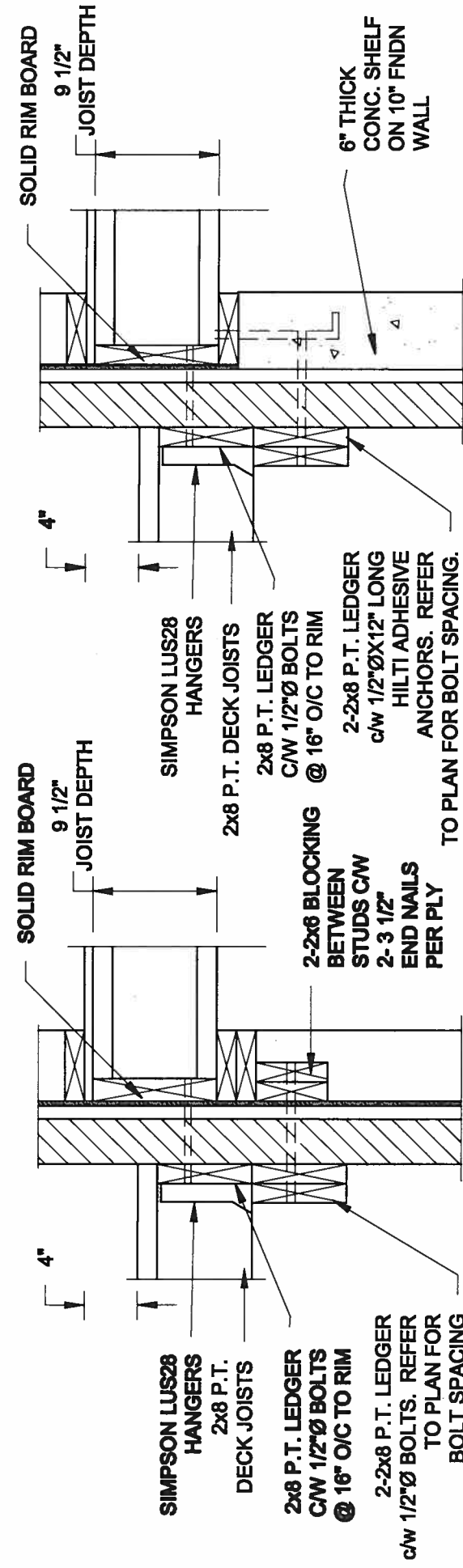
S42-15
RIDEAU 15

project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023
date MARCH 2017	drawing no. 34	
drawn by SB	checked by scale 3/16" = 1'-0"	file name 16023-S42-15
ELEVATION 'C' REAR UPG PARTIAL PLANS WOB		

RICHARD - H. VARCHET WORKING 2016 / 16023.BW Units V42 / 16023-S42-15.dwg - Fri - Jan 26 2018 11:31 AM

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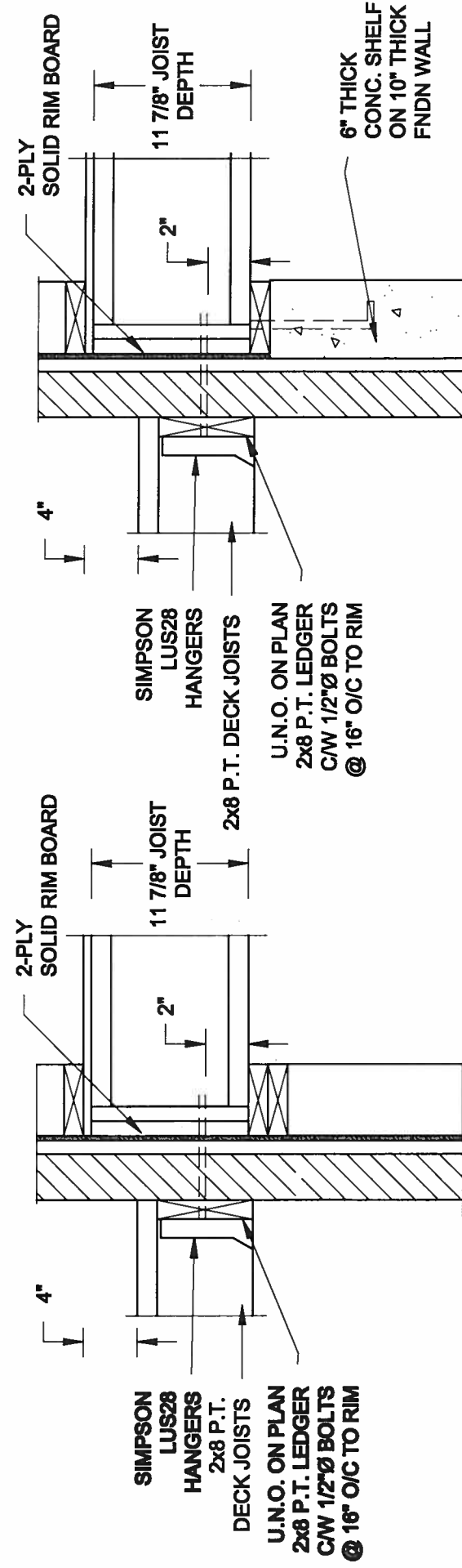
FOR 9 1/2" JOIST DEPTH



1A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

1B **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

FOR 11 7/8" JOIST DEPTH

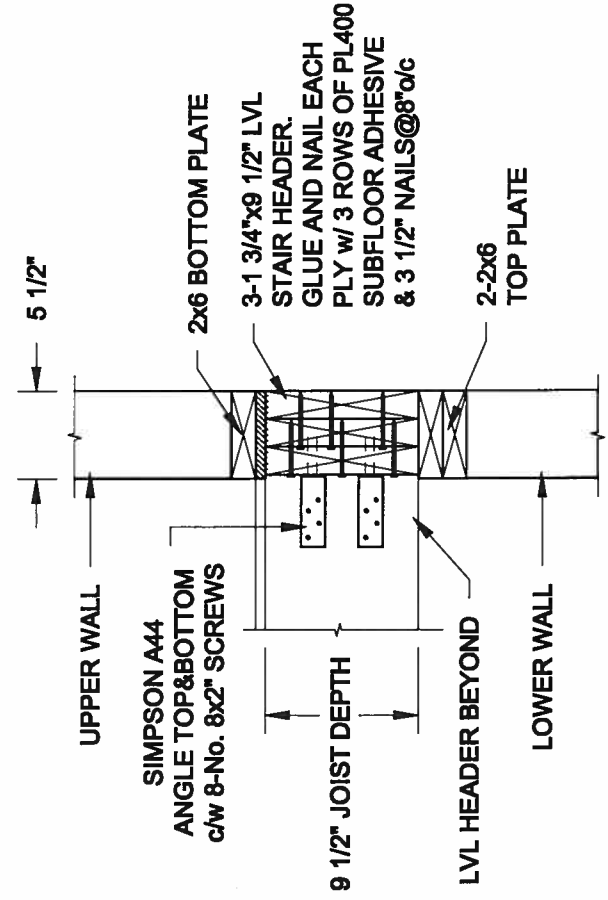


1C DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

1D **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL.**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL.
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

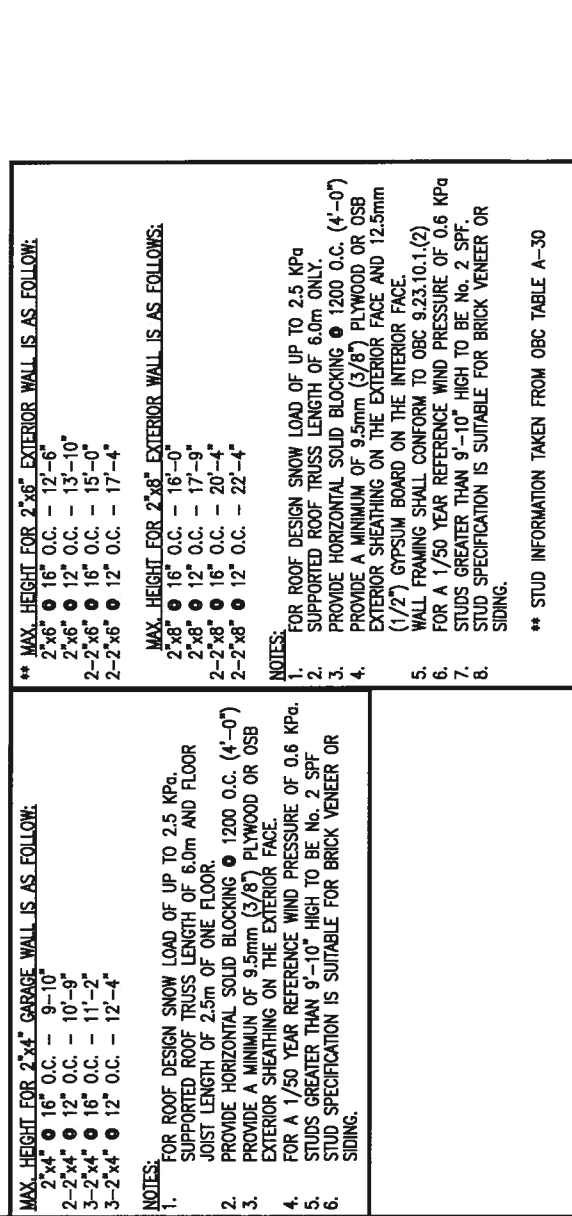
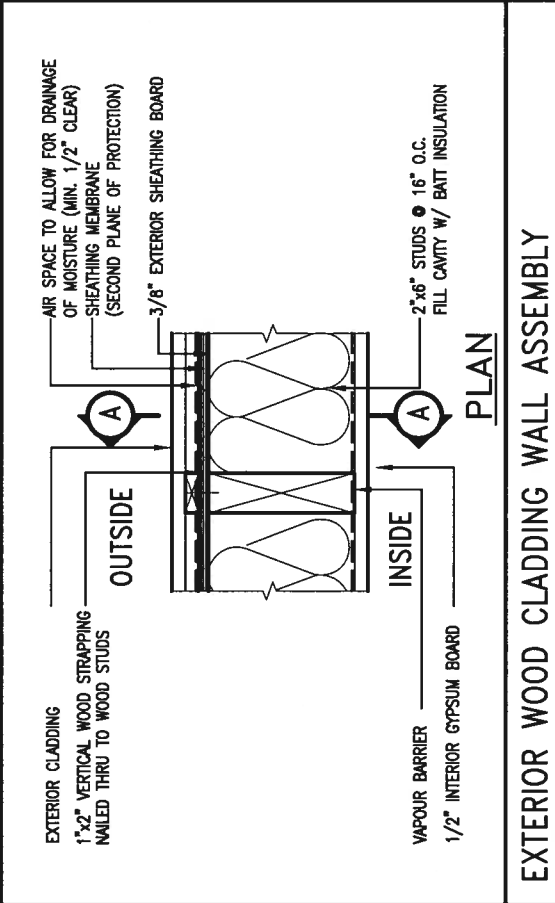
FOR 9 1/2" JOIST DEPTH



2A STAIR HEADER
S2 SCALE: 1" = 1'-0"

2B STAIR HEADER
S2 SCALE: 1" = 1'-0"

Scale: AS NOTED	Date: OCT-28-2017	Drawn: SC		Checked: SJB
 QUAILE ENGINEERING LTD. 38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com				
Engineer's Seal:  Project: Project No.: 17-215 Drawing No.: S2				
Project: RAYVIEW WELLINGTON HOMES - GREEN VALLEY BRAINS - SINGLES BRADFORD, ONTARIO TYPICAL STRUCTURAL DETAILS				



9	.	.	.
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3	.	.	.
2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste

name

registration information

VAS3 Design Inc.

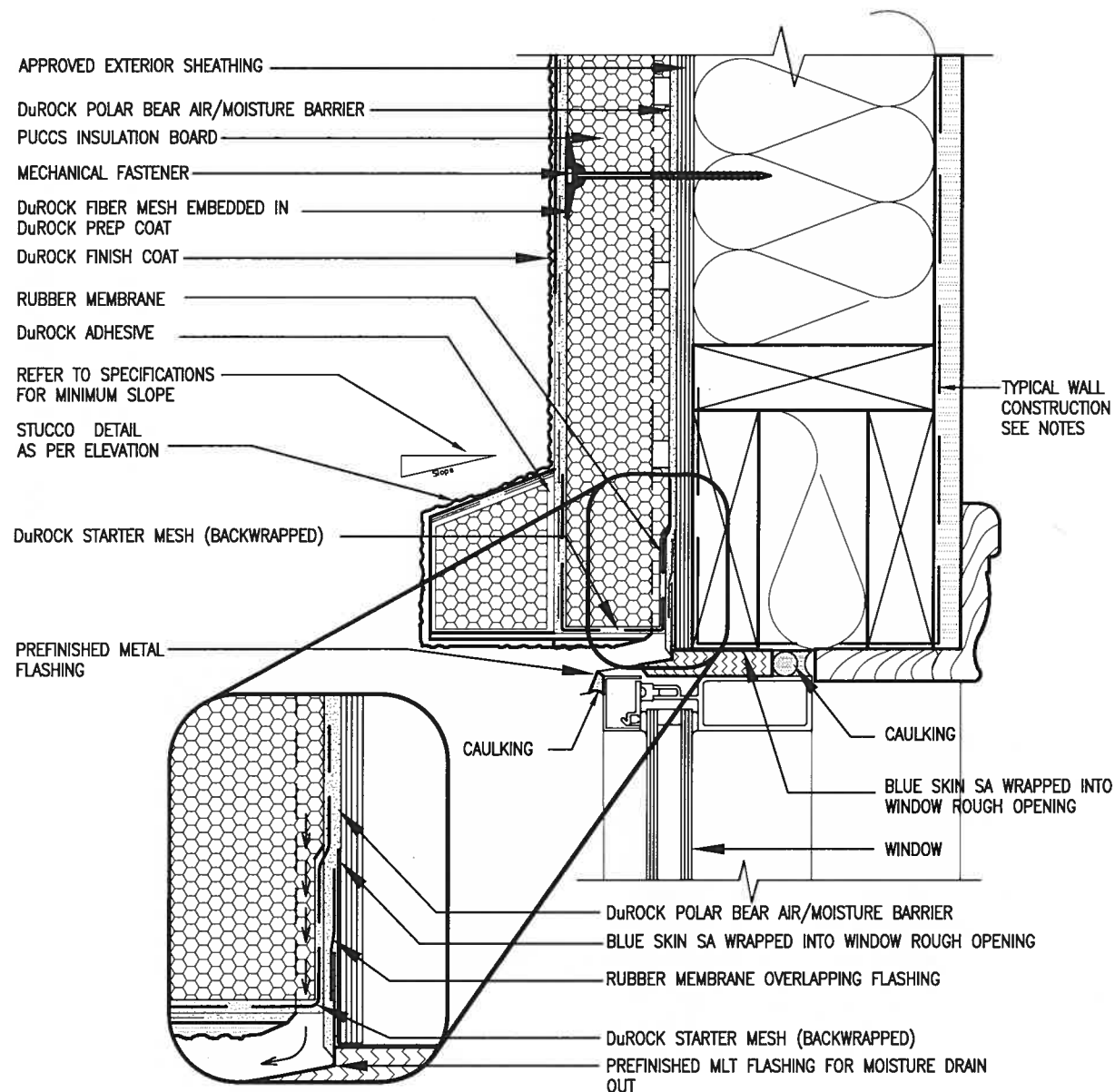
BCOH

42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

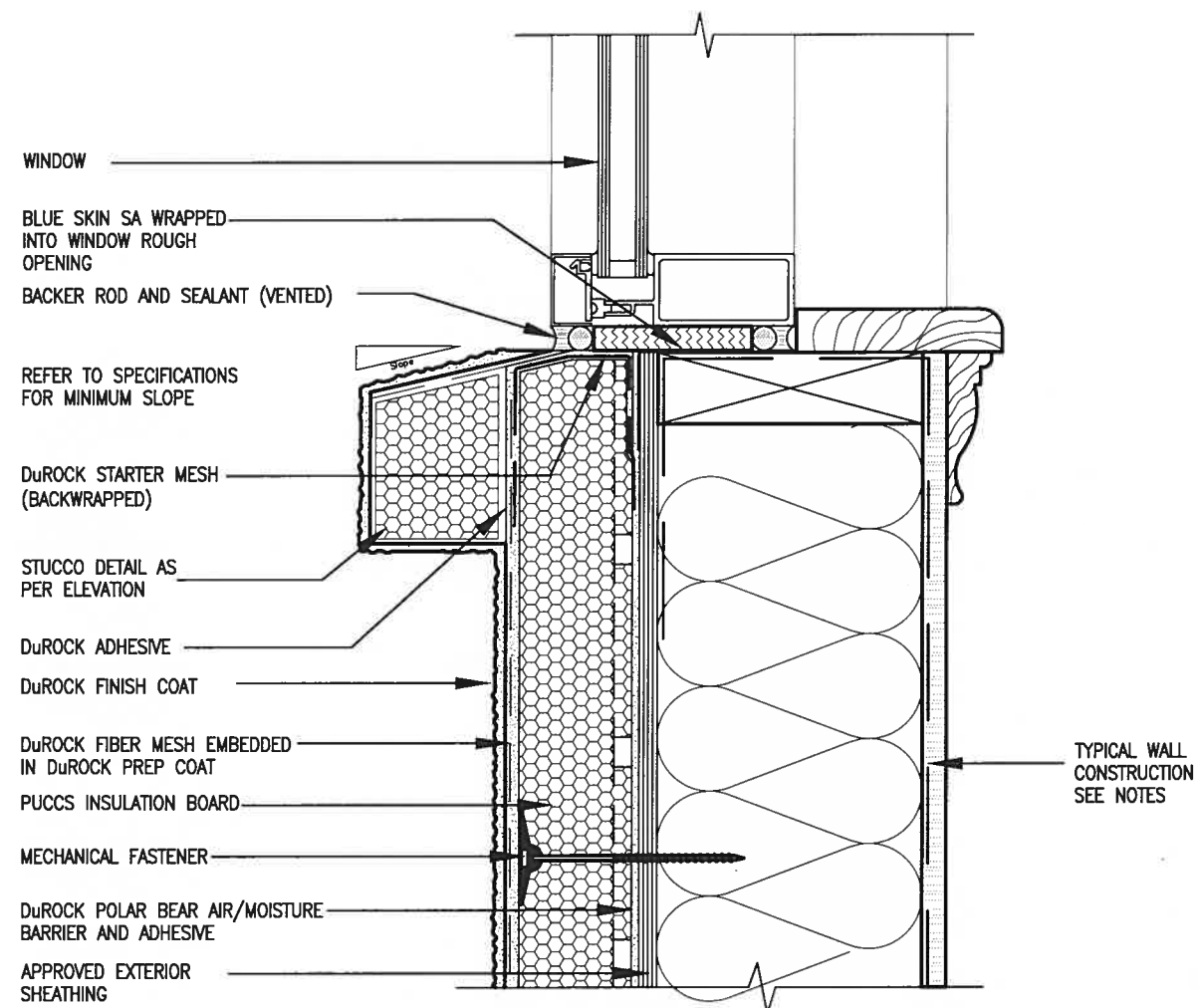
 VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON		CONST NOTE	
	project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023	drawing no. CN2
date MAY 2016		CONSTRUCTION NOTES		
drawn by RC	checked by -	scale 3/16" = 1'-0"	file name 16023-CN-A1	
RICHARD - H:\MCHANE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-A1.dwg - Thu - Jun 11 2018 10:08 AM				

[illegible]



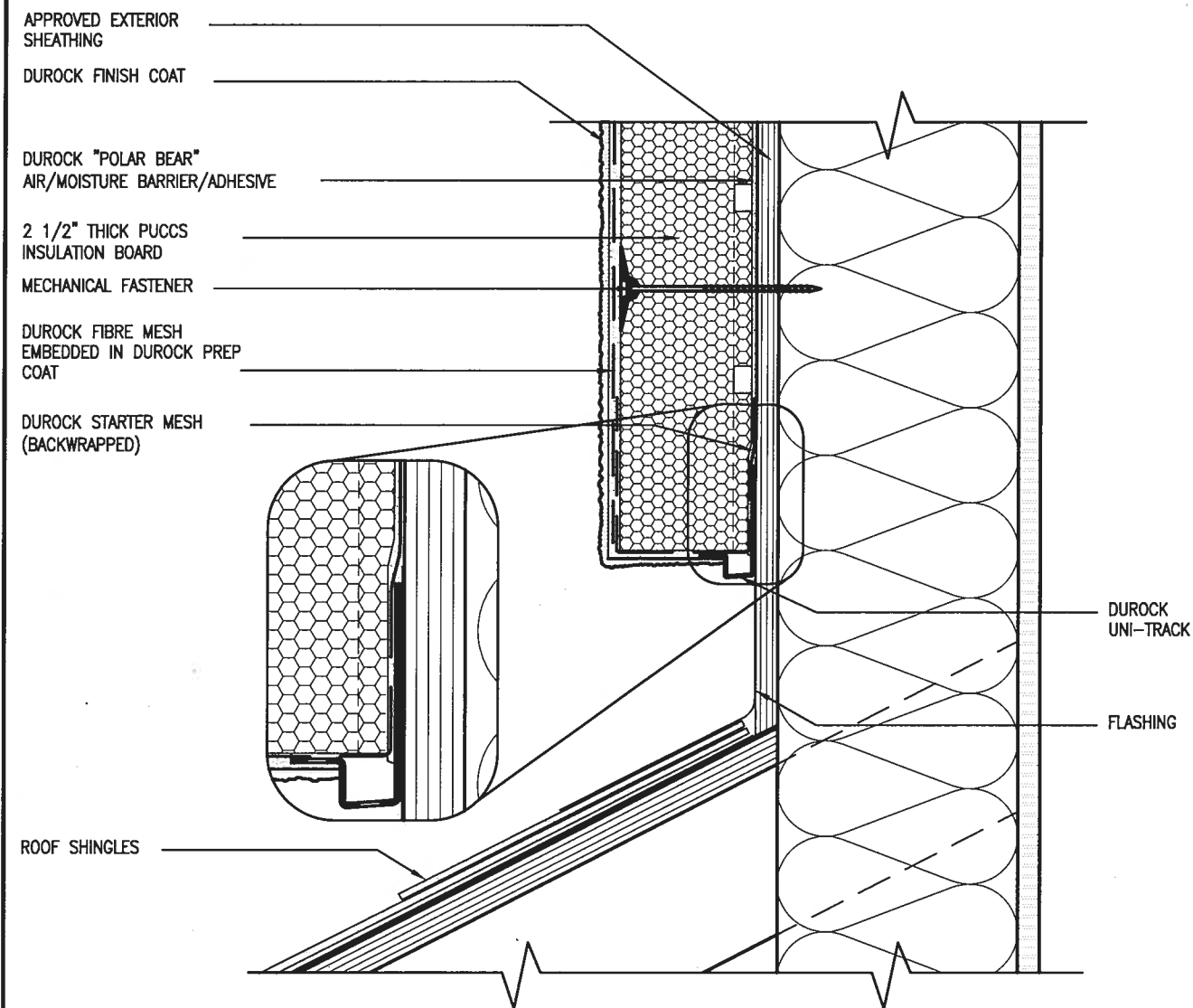
1 WINDOW HEADER
CN3 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



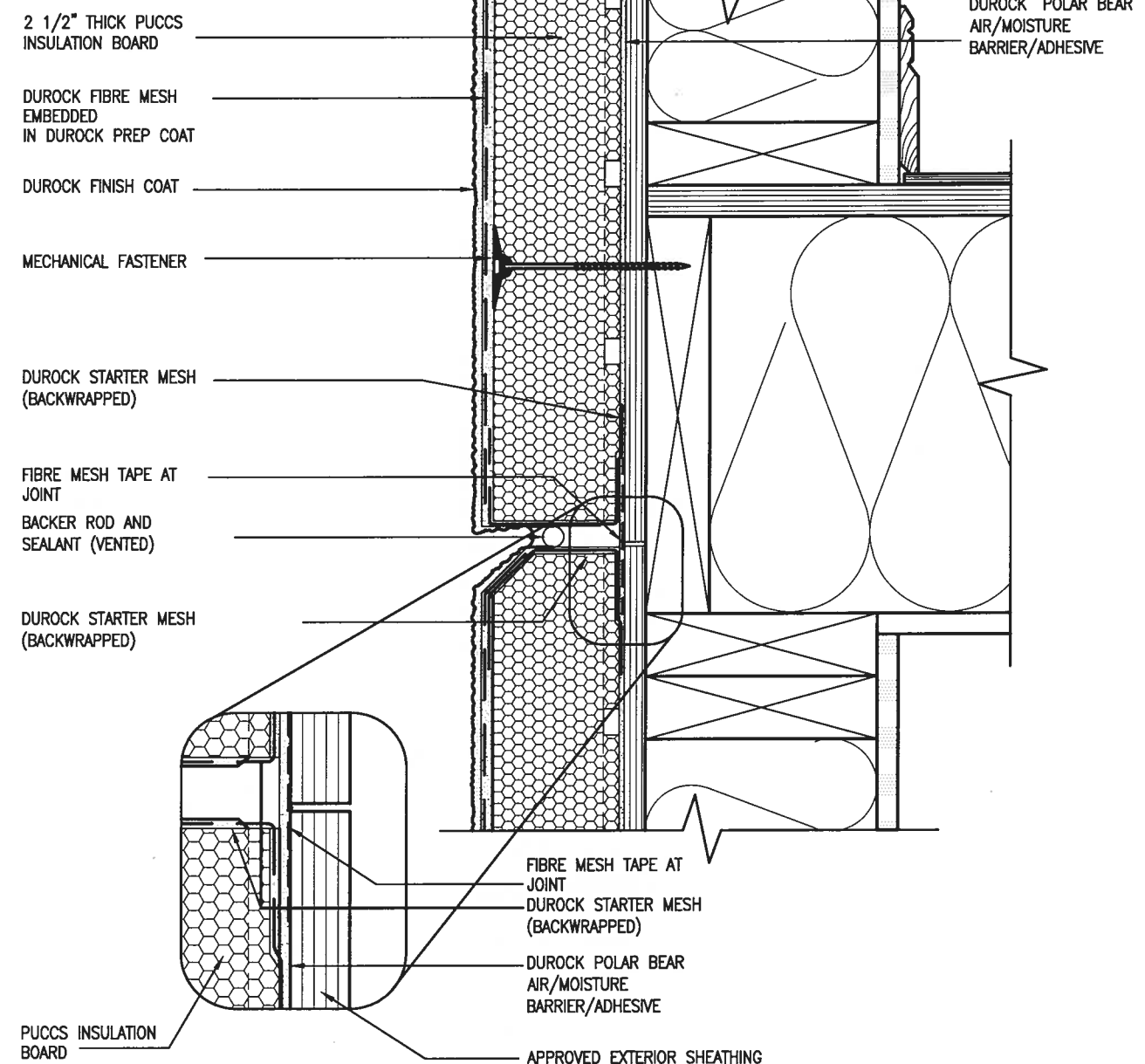
2 WINDOW SILL
CN3 SCALE: 3"=1'-0"

CONST NOTE		BAYVIEW WELLINGTON		GREEN VALLEY EAST		BRADFORD		CONSTRUCTION NOTES		CN3	
project no.	16023	project name	GREEN VALLEY EAST	date	MAY 2016	drawn by	RC	checked by	—	scale	3/16" = 1'-0"
drawing no.	16023-CN-A1	file name	16023-CN-A1	date	MAY 2016	drawn by	RC	checked by	—	scale	3/16" = 1'-0"
1. UPDATING TO 2018 2. ISSUE FOR CLIENT REVIEW 1. ISSUE FOR CLIENT REVIEW											
no.	9	description									
8											
7											
6											
5											
4											
3											
2											
1											



3 STUCCO TERMINATION @ ROOF
CN4 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



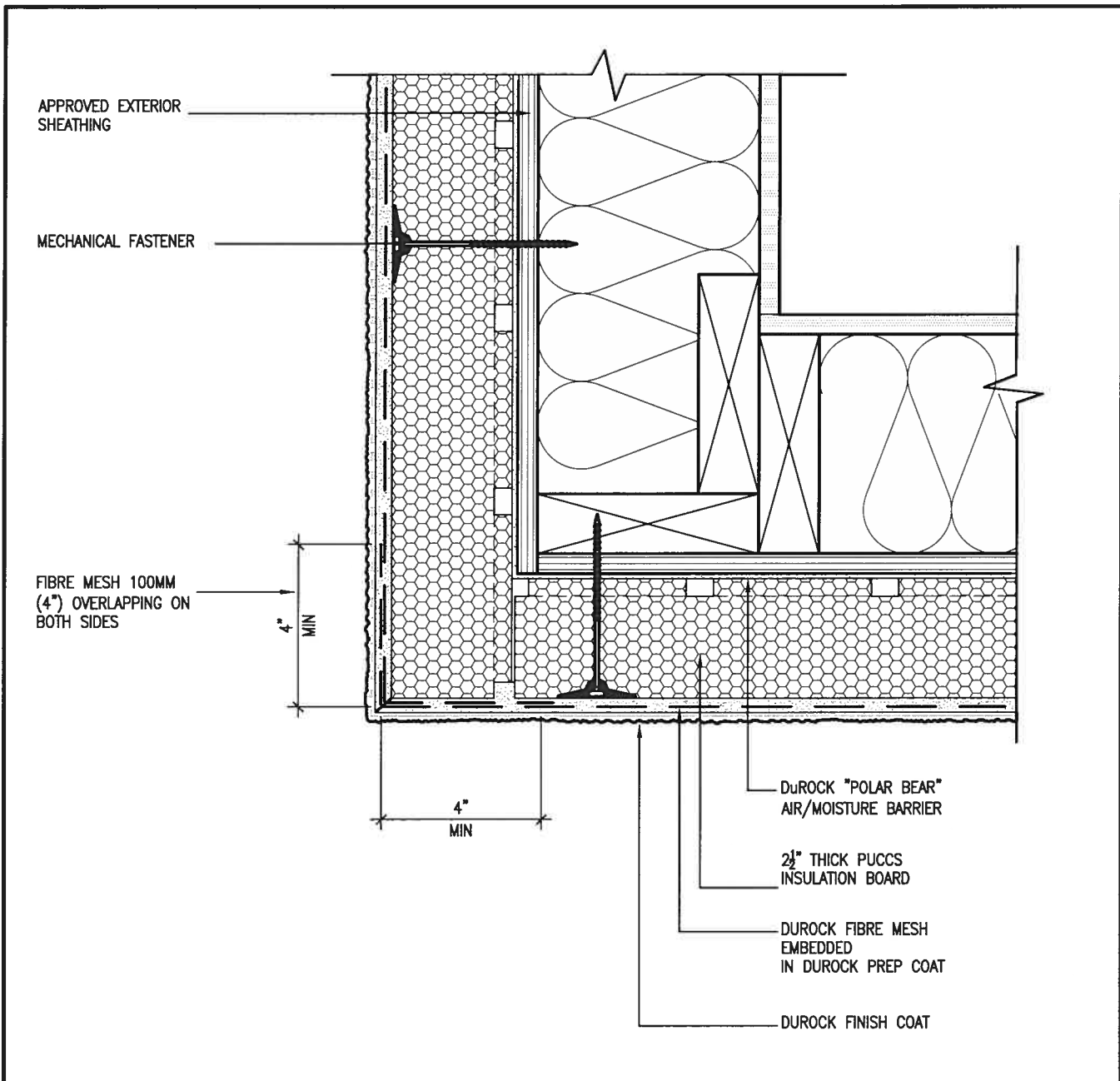
4 HORIZONTAL EXPANSION JOINT
CN4 SCALE: 3"=1'-0"

9.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
8.	.	.	
7.	.	.	qualification information
6.	.	.	Wellington Jno-Baptiste <i>J. Baptiste</i> 2559
5.	.	.	name
4.	.	.	registration information
3.	.	.	VAS Design Inc. <i>J. Baptiste</i> 42655
2.	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

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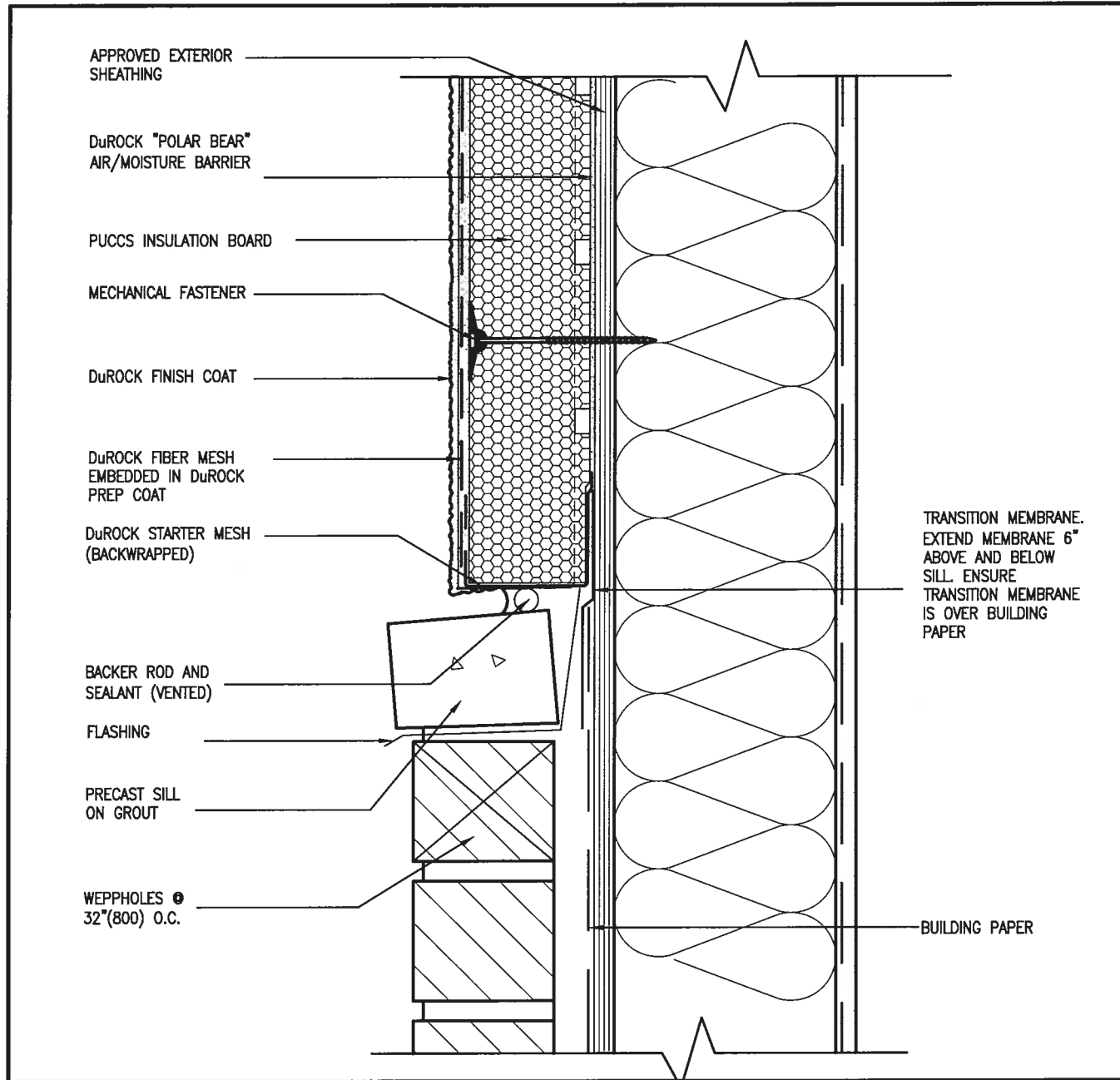
BAYVIEW WELLINGTON	CONST NOTE		
	project name GREEN VALLEY EAST	municipality BRADFORD	
	project no. 16023		
	drawing no. CN4		
date MAY 2016		CONSTRUCTION NOTES	
drawn by RC	checked by —	scale 3/16" = 1'-0"	file name 16023-CN-A1
RICHARD — RAY-ARCHITECTS WORKING 2016.16023.BAYVIEW/ON NOTES/16023-CN-A1.dwg — Thu — June 13 2016			

[illegible]



5 CORNER DETAIL
CN5 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



6 STUCCO / MASONRY PLINTH CONNECTION
CN5 SCALE: 3"=1'-0"

CONST NOTE		BAYVIEW WELLINGTON		GREEN VALLEY EAST		BRADFORD		CONSTRUCTION NOTES		CN5	
project no.	16023	project name	GREEN VALLEY EAST	municipality	BRADFORD	date	MAY 2016	checked by	RC	scale	3/16" = 1'-0"
drawing no.	CN5	drawn by	RC	checked by	RC	date	MAY 2016	checked by	RC	scale	3/16" = 1'-0"
1. UPDATE TO 2018 2. ISSUE FOR CLIENT REVIEW											
no.	description	date	by								
9.											
8.											
7.											
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3.											
2.											
1.											

SB12—COMPLIANCE PACKAGE 'A1'

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

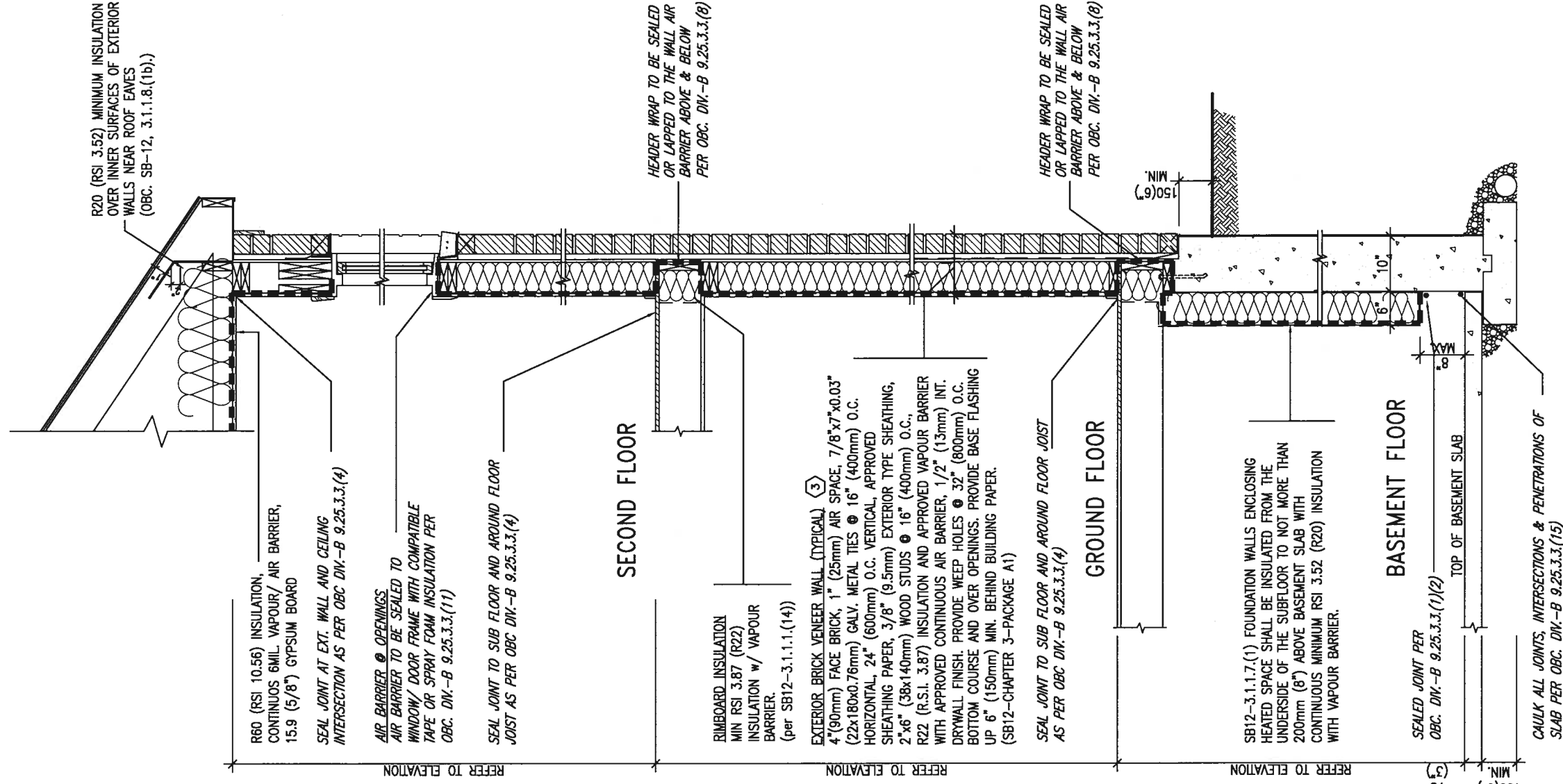
USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space Minimum RSI (R) value	10.56 (R60)	R20 at inner face of exterior walls
Ceiling without Attic Space Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Exposed Floor Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Walls Above Grade Minimum RSI (R) value	3.87 (R22)	6" R22 BATT
Basement Walls Minimum RSI (R) value	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Edge of Below Grade Slab ≤600mm below grade Minimum RSI (R) value	1.76 (R10)	RIGID INSUL
Windows & Sliding glass Doors Maximum U—value	1.6	
Skylights Maximum U—value	2.8U	
Space Heating Equipment Minimum AFUE	96% Min.	NATURAL GAS
Hot Water Heater Minimum EF	0.8	NATURAL GAS
HVAC Minimum Efficiency	75%	—
Drain Water Heat Recovery Unit (DWHR)		Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information

....., Refer to SB12-3.1.1.2 for information	
ci-	Denotes Continuous Insulation without framing interruption.



JAN 11, 2018



REFER TO ADDITIONAL
DETAILS FOR STRUCTURAL
COMPONENTS

AIR BARRIER SYSTEMS
AIR BARRIER TO BE INSTALLED IN
CONFORMANCE WITH OBC, DIV. B-9.25.3

EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY
SECTION w/ BRICK VENEER (PACKAGE A1)
10" FOUNDATION WALL SCALE: N.T.S.

REVISED—FEB 2017

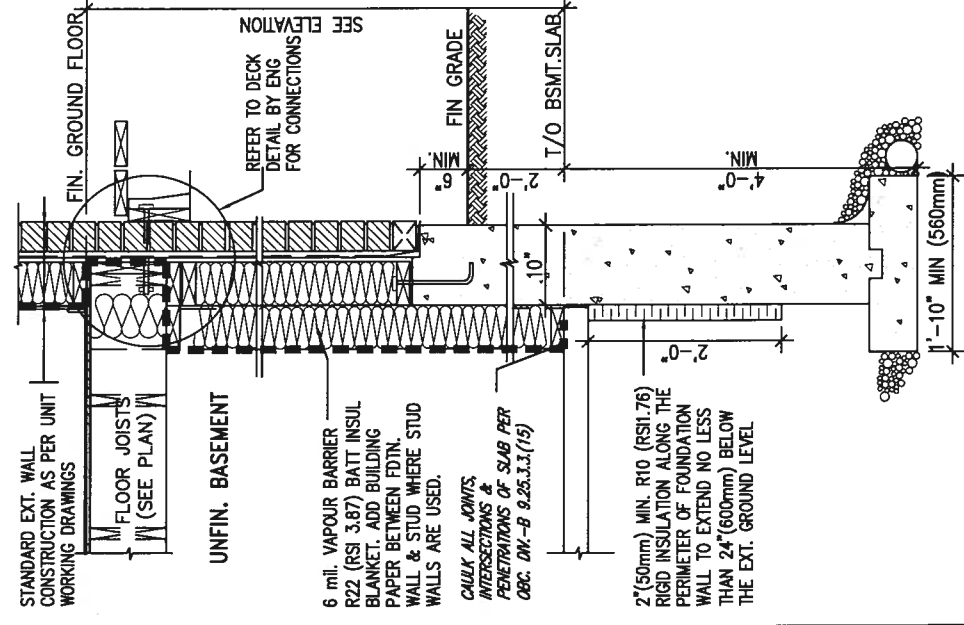
SECTION AT W.O.D/W.O.B.

					The undersigned has reviewed and takes responsibility for this design.
9	*	*			Gird for erection must meet the requirements set out in the
8	*	*			Cable Building Specification to be a Designer's
7	*	*			qualification information
6	*	*			
5	*	*			
4	*	*			
3	*	*			
2	UPDATE TO 2018	JAN 11-18	RC		Contractor must verify all dimensions on the job and report any
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC		differences between drawings and specifications are instruments of service and the propriety of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

All data

BAYVIEW WELLINGTON GREEN VALLEY EAST		BRADFORD 16023-CN-A1	
project name drawn by date	manipulation checked by drawn by	project no. scale drawn by	CONST. NOTE CONSTRUCTION NOTES drawing no.
16023 MAY 2016 RC	— — RC	16023 3/16" = 1'-0" RC	CN6 16023-CN-A1 16023

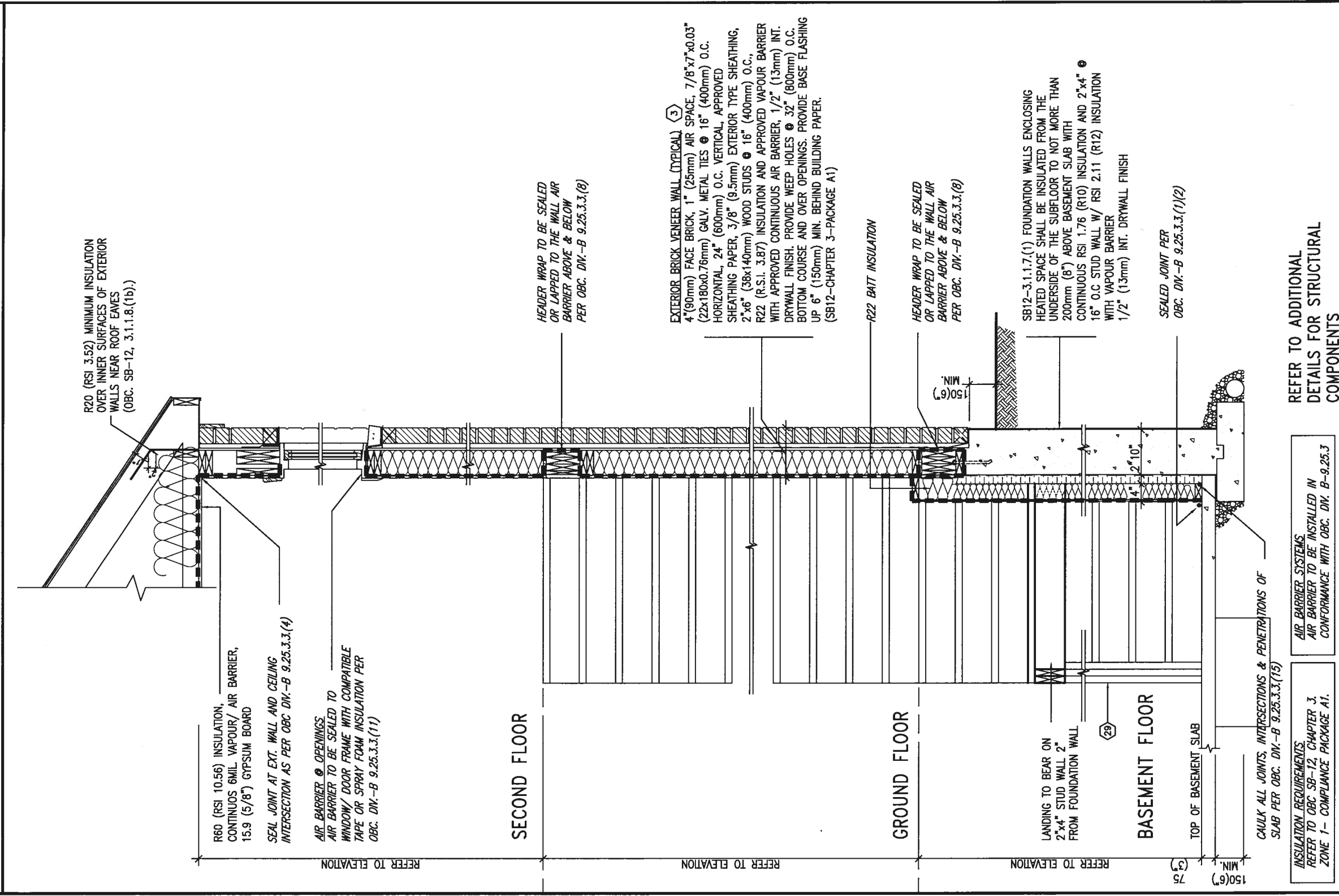
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* REVISED--FEB 2017

SECTION AT W.O.D/W.O.B.

SB12-COMPLIANCE PACKAGE 'A1'



EW
STR

TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)
10" FOUNDATION WALL SCALE: N.T.S.

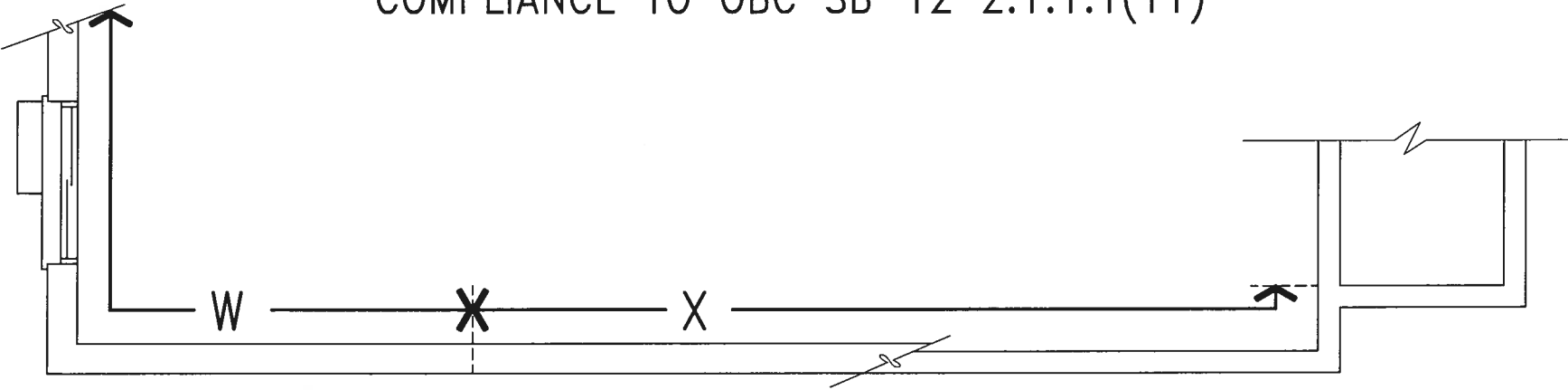
9	.	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	.	qualification information
7	.	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	.	name
5	.	.	.	.	qualification information
4	.	.	.	.	VAS Design Inc.
3	.	.	.	.	signature
2	UPDATE TO 2018	JAN 11-18	RC	42658	BCN
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC		

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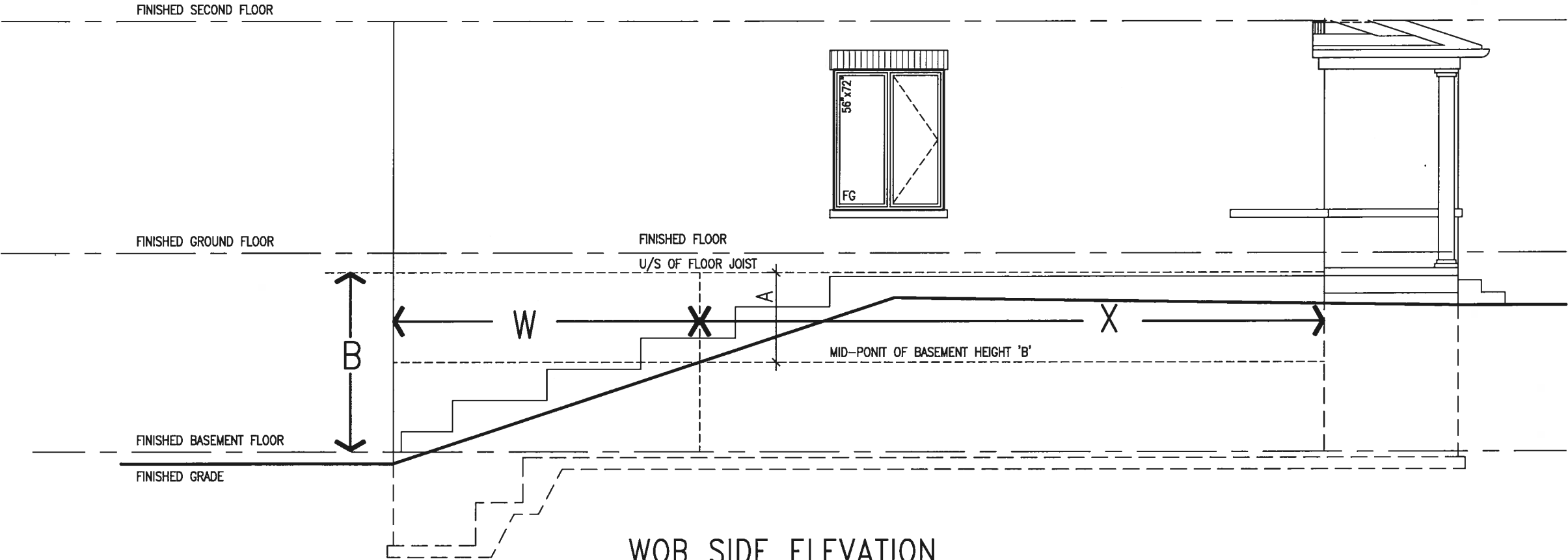
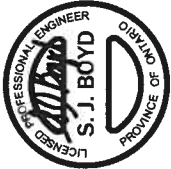
BAYVIEW WELLINGTON	CONST NOTE	project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023
		CONSTRUCTION NOTES		
scale 3/16" = 1'-0"	checked by —	date MAY 2016	file name 16023-CN-A1	CN7

[illegible]

COMPLIANCE TO OBC SB-12 2.1.1.1(11)



WOB PLAN



WOB SIDE ELEVATION

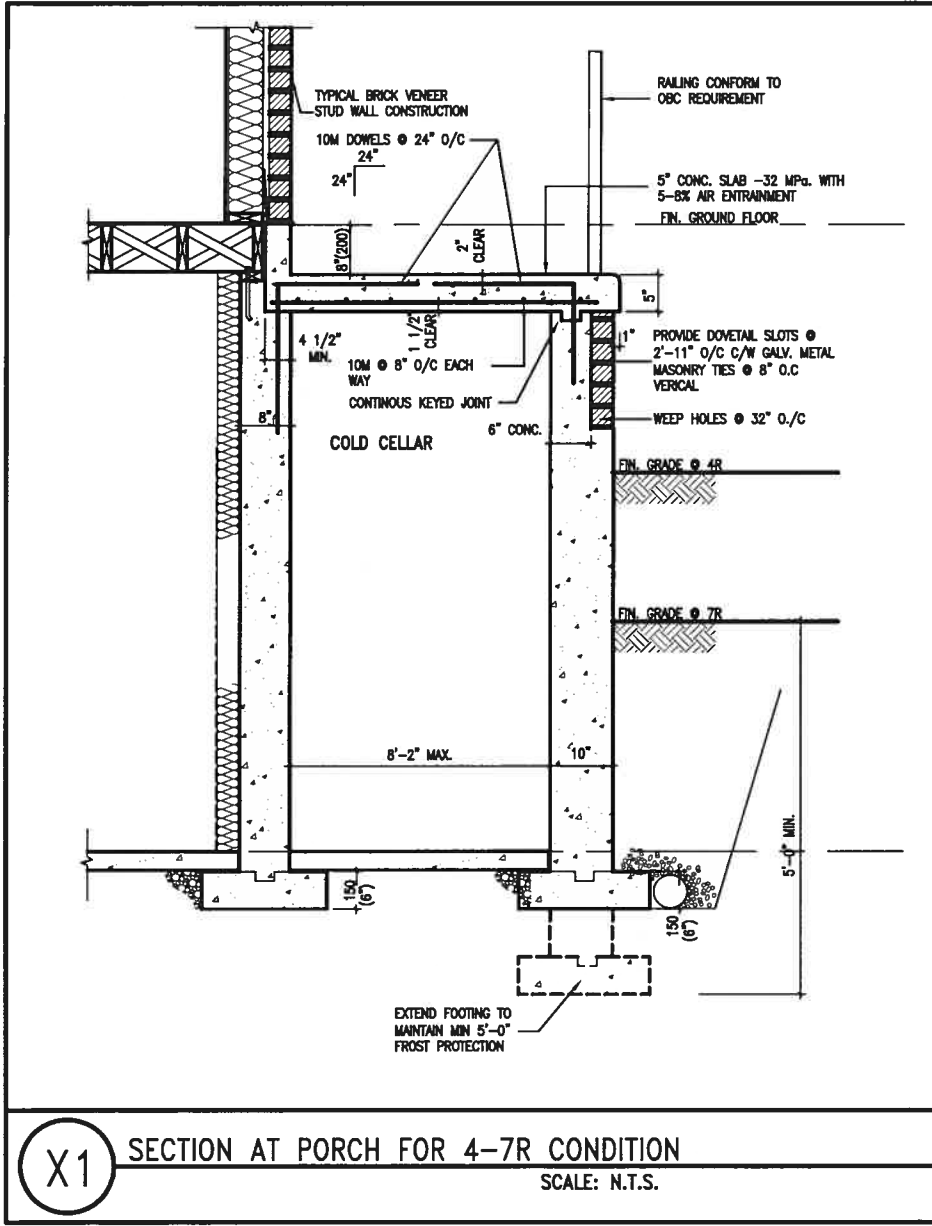
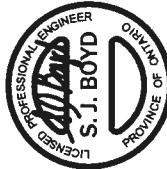
WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A

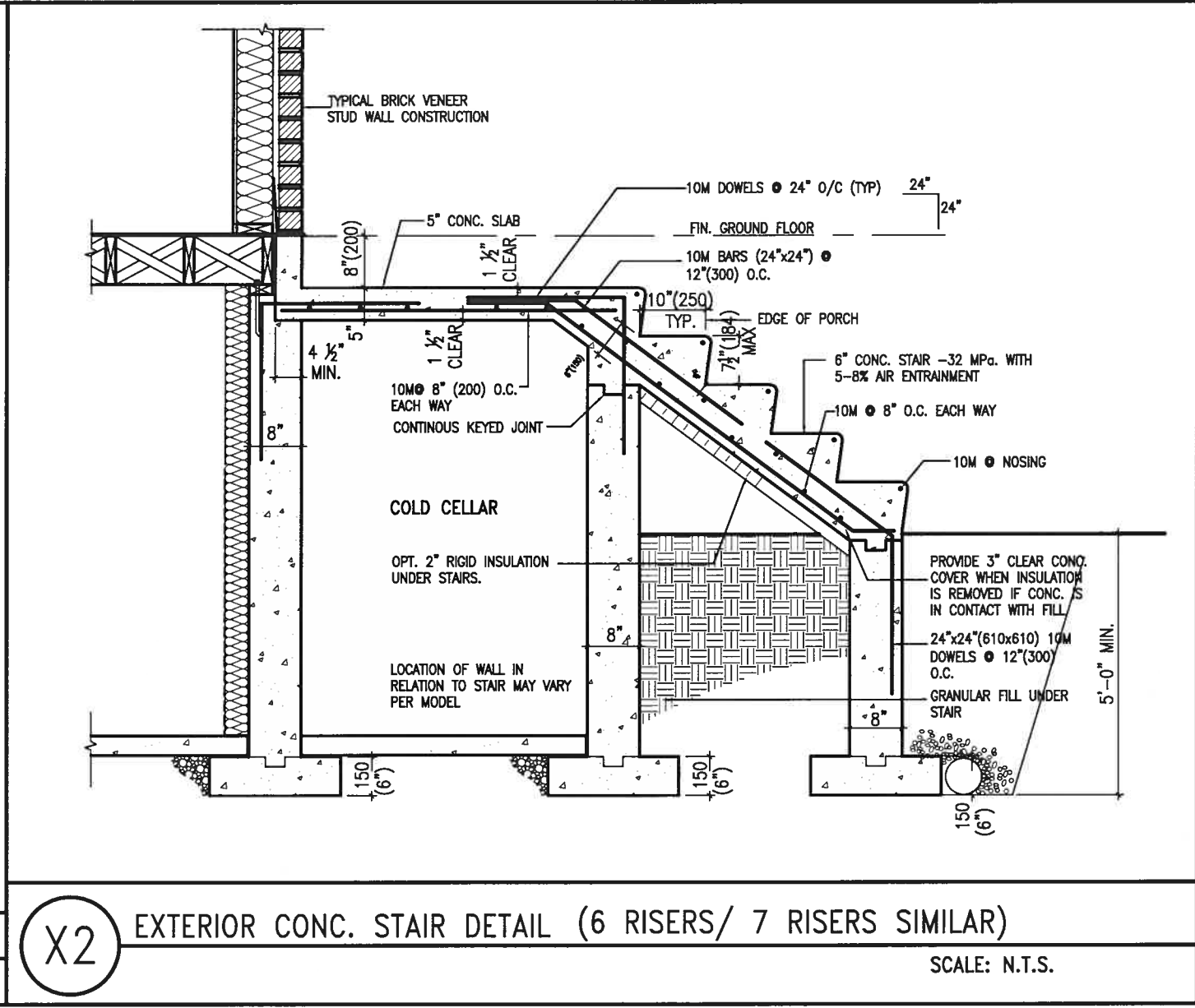
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drawing no.	CN8	municipality	BRADFORD
CONSTRUCTION NOTES		date	MAY 2016
file name	16023-CN-A1	drawn by	RC
scale	3/16" = 1'-0"	checked by	-
RC-HARD - H:\ARCHIVE\WORKING\2016\16023-BW\Units\CN NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:09 AM			
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8			
9			

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		25591	25591
Wellington Jno-Baptiste		signature	signature
VAS Design Inc.		42658	42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. They must be returned at the completion of the work. Drawings are not to be scaled.			



X1 SECTION AT PORCH FOR 4-7R CONDITION
SCALE: N.T.S.



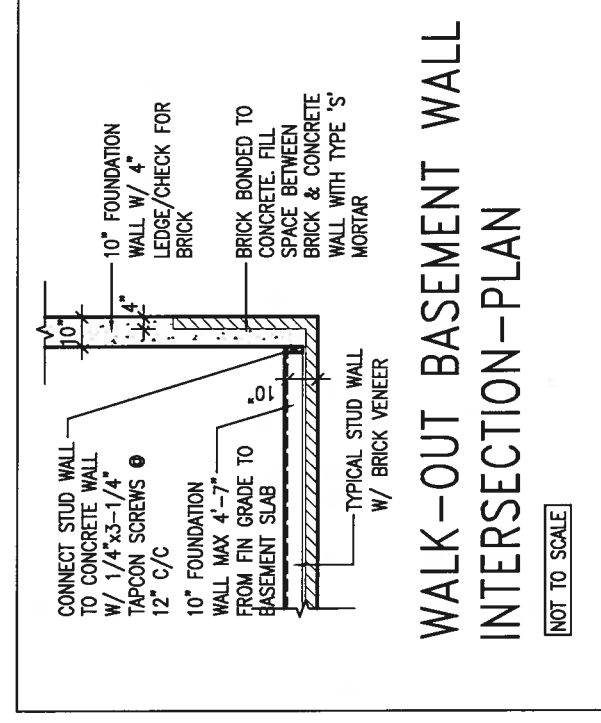
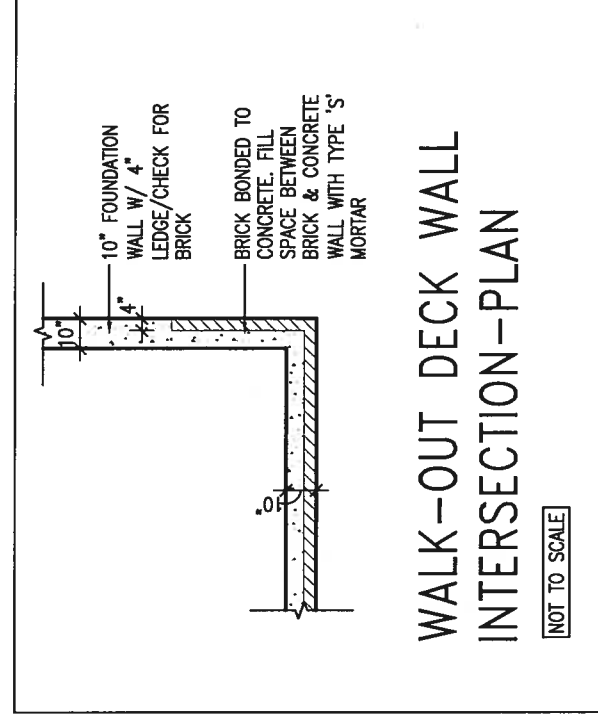
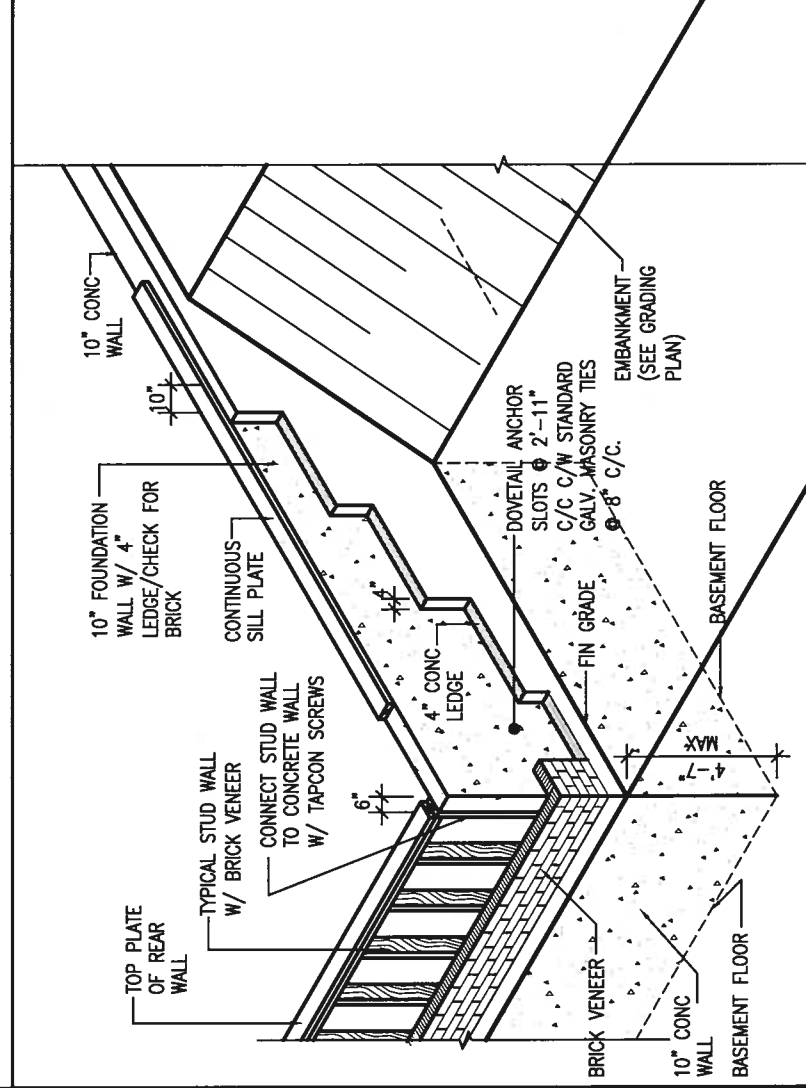
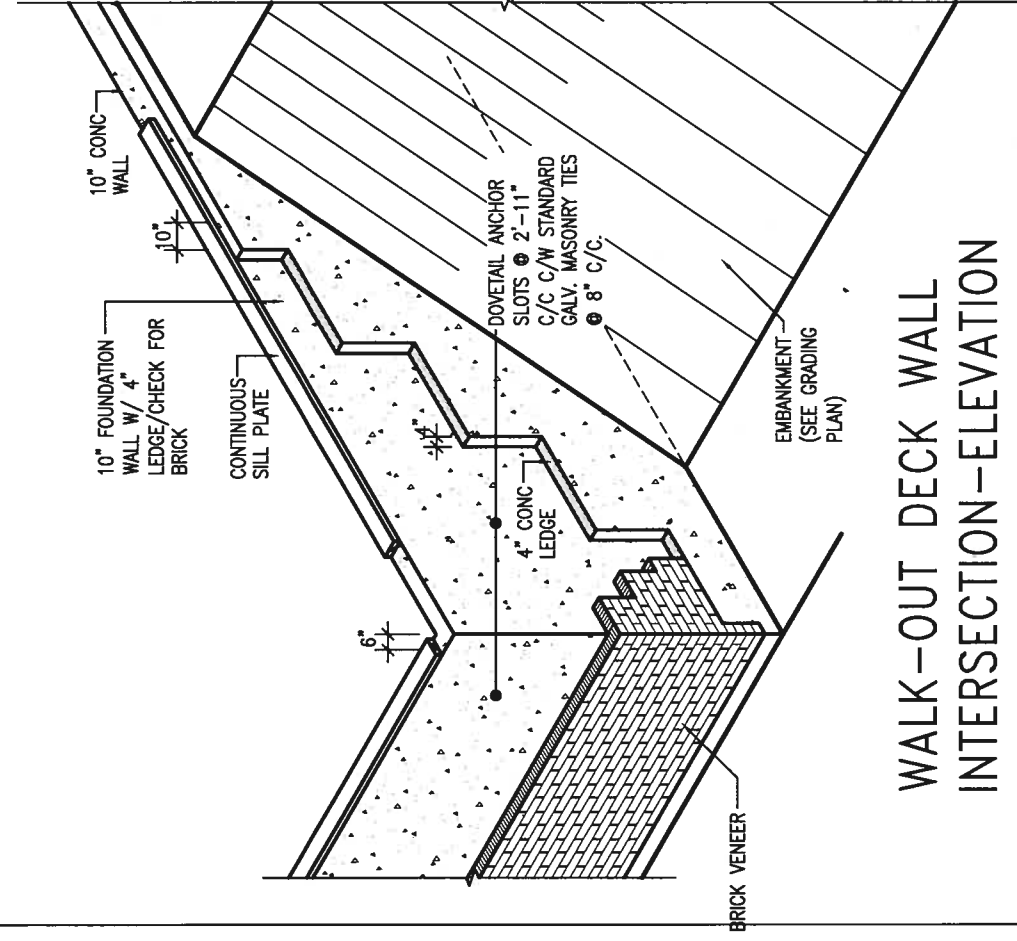
X2 EXTERIOR CONC. STAIR DETAIL (6 RISERS/ 7 RISERS SIMILAR)
SCALE: N.T.S.

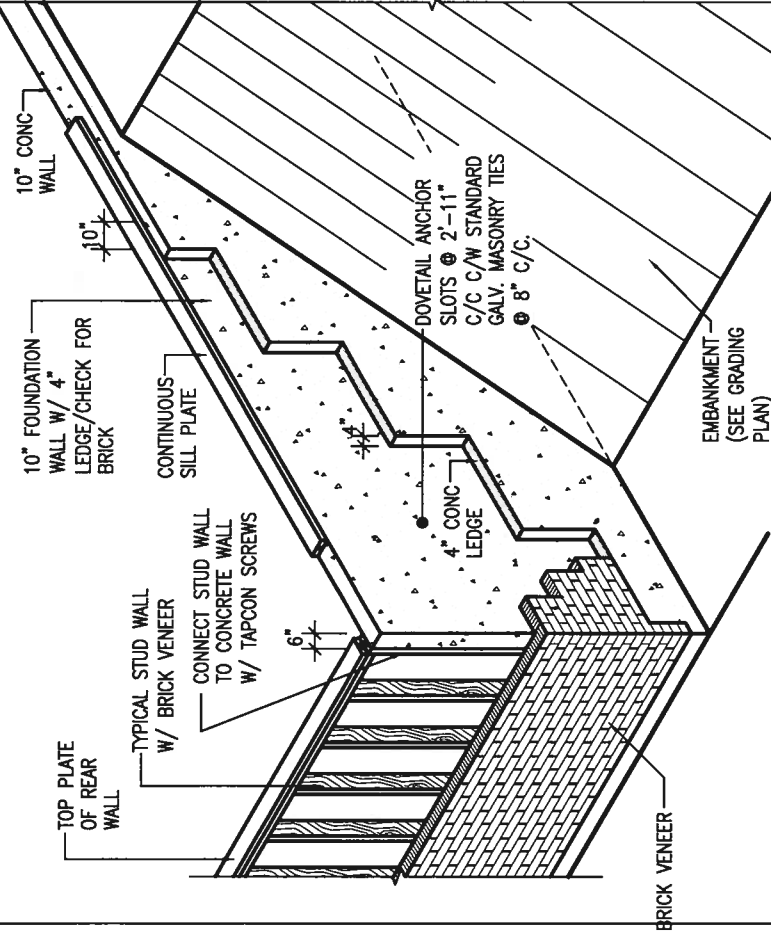
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project no.	16023	municipality	BRADFORD	date	MAY 2016	checked by	RC
drawing no.	CN9	file name	16023-CN-A1	scale	3/16" = 1'-0"	drawn by	RC
CONSTRUCTION NOTES							
1. UPDATE TO 2018							
2. ISSUE FOR CLIENT REVIEW							
1. JAN 11-18 RC							
AUG 04-17 RC							
no. description							
9.							
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6.							
5.							
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3.							
2.							
1.							

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255 Consumers Rd Suite 120
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t 416.630.2255 f 416.630.4782
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WELLINGTON JNO-BAPTISTE
25591
BCN
42658
VA3 Design Inc.
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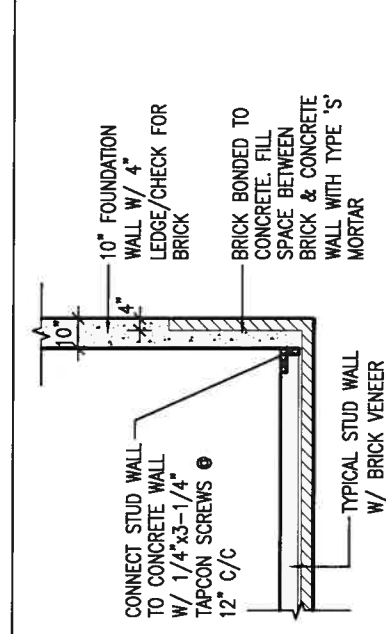
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WALK-OUT BASEMENT WALL INTERSECTION-ELEVATION

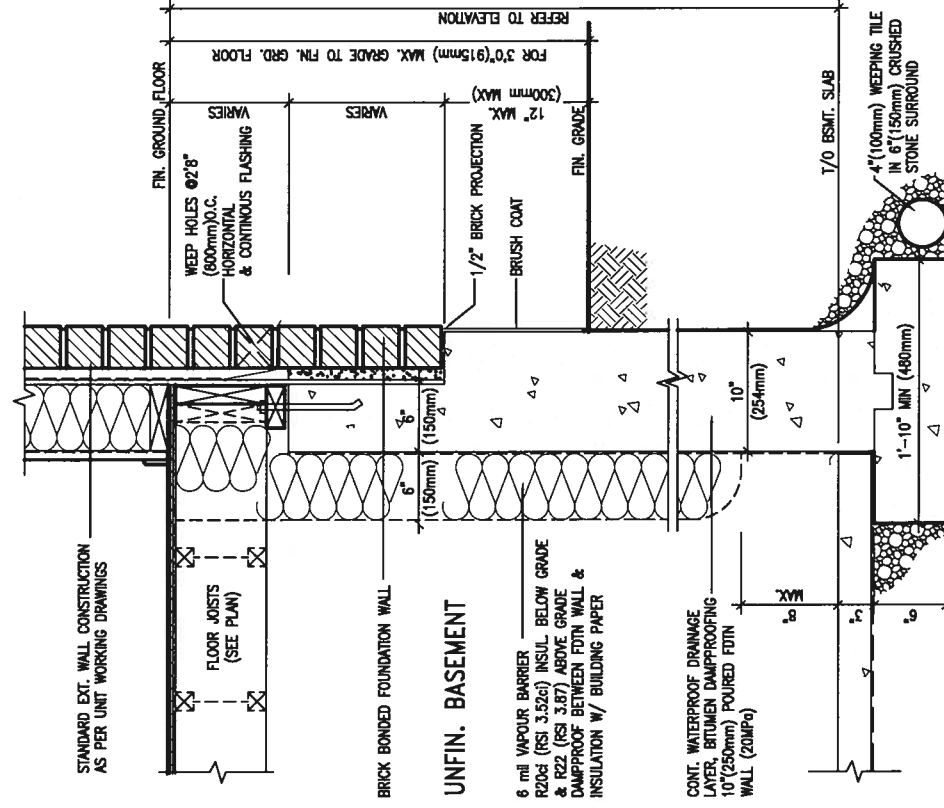
NOT TO SCALE



WALK-OUT BASEMENT WALL INTERSECTION-PLAN

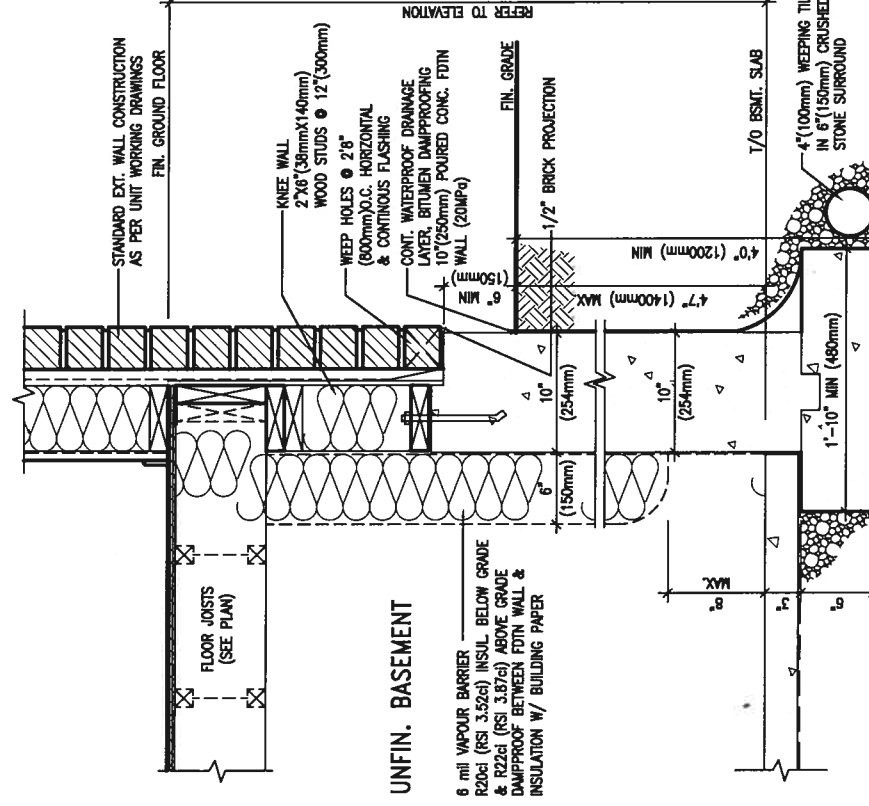
NOT TO SCALE

(10" FOUNDATION WALL)



EW3.06x
PKG A1

SCALE: N.T.S.



EW3.07x
PKG A1

SCALE: N.T.S.



JAN 11, 2018

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8	.	.	.	qualification information	
7	.	.	.		
6	.	.	.	Wellington Jno-Baptiste	25591
5	.	.	.	name	
4	.	.	.	registration information	BCRN
3	.	.	.	VIA Design Inc.	42658
2	UPDATE TO 2018	JAN 11-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC		
no.	description	date	by		



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BAYVIEW WELLINGTON	CONST NOTE
project name GREEN VALLEY EAST	project no. 16023
municipality BRADFORD	drawing no. CN11
date MAY 2016	CONSTRUCTION NOTES
drawn by RC	file name 16023-CN-A1
checked by -	scale 3/16" = 1'-0"
	RICHARD - H:\ARCHIVE WORKING\2016\16023.BMW Units CN NOTES\16023-CN-A1.dwg -- Thu - Jan 11 2018 -- 10:09 AM

PREFIN. METAL ROOF
CAP OVER WATERPROOF
MEMBRANE

5/8" T&G PLYWOOD
SHEATHING ON 2"x4"
SLOPED TO FRONT

2"x12" LEDGER

2"x12" @ HEADER

3"x3"x1 1/16" GALVANIZED
STANLEY CORNER BRACE
C/W (4) No. 10x1 1/2"
SCREWS AT 4'-0" O.C.

PREFIN. ALUM. FASCIA
AND SOFFIT AT U/S

DRIP EDGE
STL. LINTEL

TYPICAL BRICK VENEER
WALL CONSTRUCTION 3

HEATED SPACE

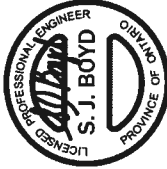
ENG. FLOOR JOIST

SECOND FLOOR

MIN. 6" PREFIN. METAL FLASHING W/
CAULKING TO MATCH BRICK/STONE
BUILT-UP CANOPY BOLTED THRU
LVL/WOOD BEAM (SEE UNIT PLANS) W/
1/2" Ø BOLTS STAGGERED @ 24" O.C.
W/ SOLID WD. BLK. BETWEEN STUDS

1 SECTION THROUGH CANOPY

CN12 SCALE 1/2" = 1'-0"



JAN 11, 2018

9.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.	.	.	qualification information
7.	.	.	Wellington Jno-Baptiste 25591
6.	.	.	name
5.	.	.	registration information
4.	.	.	VAS Design Inc.
3.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are returned at the completion of the work. Drawings are not to be used.
2.	UPMTE TO 2018	JAN 11-18	RC
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

VA3

DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

CONST NOTE

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	MAY 2016	checked by	-	drawing no.	CN12
drawn by	RC	scale	3/16" = 1'-0"	CONSTRUCTION NOTES	16023-CN-A1
RICHARD = H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:11 AM					

