



REFER TO INDIVIDUAL
WORKING DRAWINGS FOR
FOOTING SIZES

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT

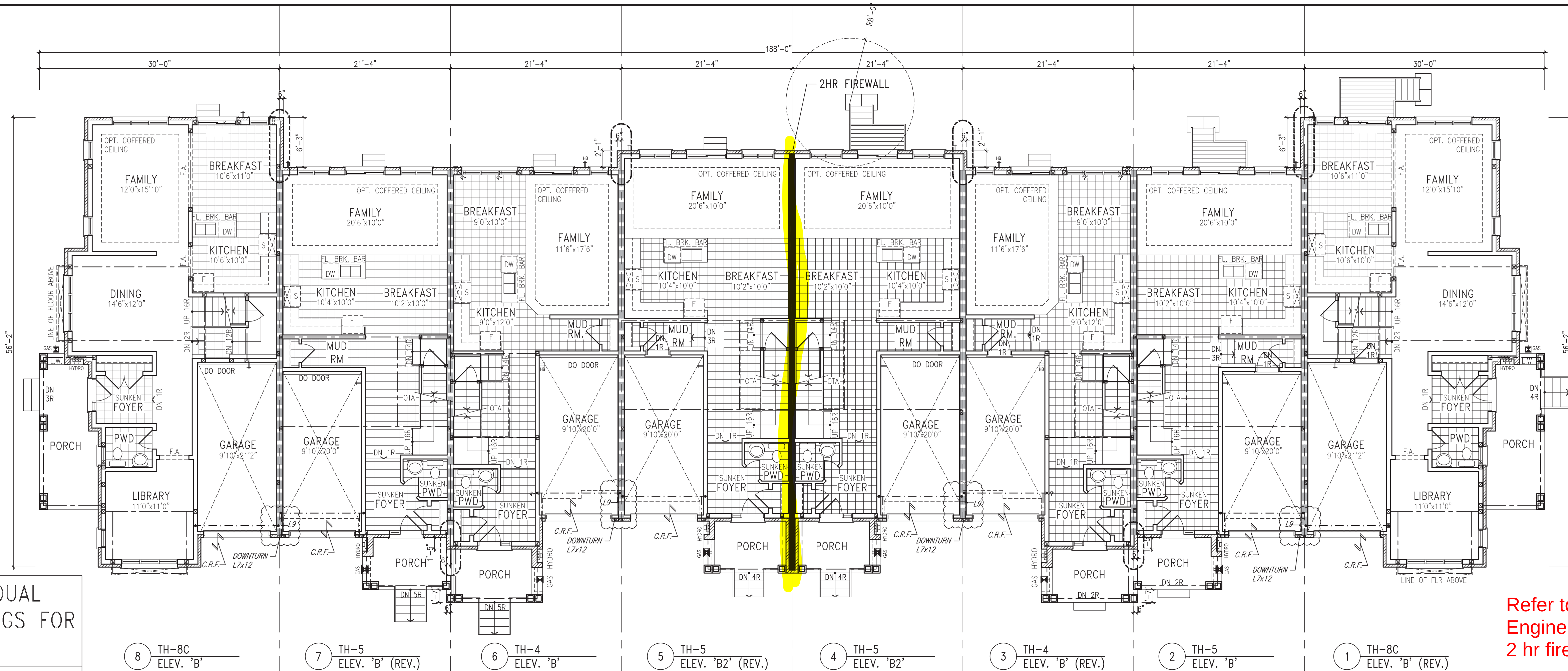
Town of Innisfil Building Dept Notes:

All smoke alarms and CO detectors shall
comply with O.B.C. 9.10.19 and 9.33.4

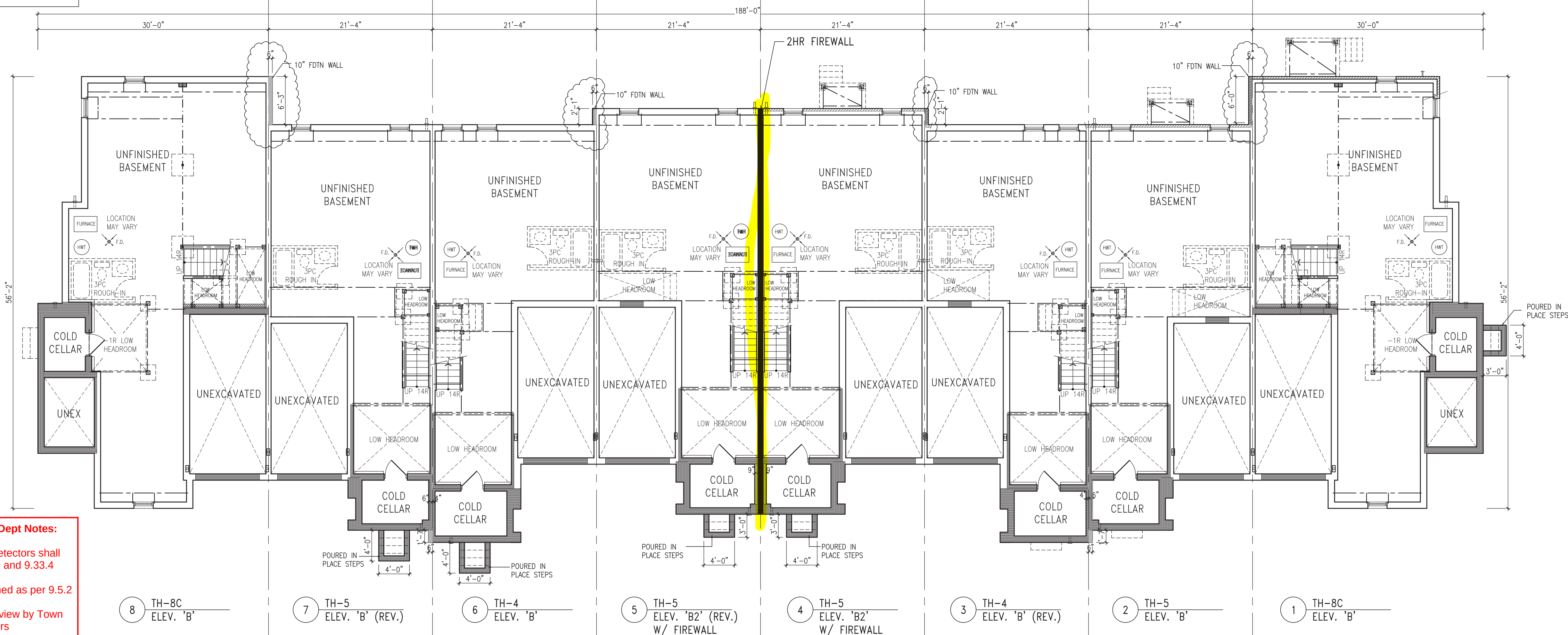
Main bathroom shall be designed as per 9.5.2

All construction subject to review by Town
Building Inspectors

See comments on permit



GROUND FLOOR PLAN



BASEMENT FLOOR PLAN

Refer to approved
Engineered drawings for
2 hr firewall details.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (footing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
NO. APPROVAL
APPROVED BY: [Signature]
DATE: OCT 2, 2018
The above certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.

BUILDING AREA
9179 S.F. (852.75 m²)

WOOD LINTELS AND BUILT-UP WOOD BEAMS

B1	2/38 x 184 (2/2" x 8") SPR.#2
B2	2/38 x 184 (3/2" x 8") SPR.#2
B3	2/38 x 184 (4/2" x 8") SPR.#2
B4	2/38 x 184 (5/2" x 8") SPR.#2
B5	2/38 x 235 (2/2" x 10") SPR.#2
B6	3/38 x 235 (3/2" x 10") SPR.#2
B7	4/38 x 235 (4/2" x 10") SPR.#2
B8	4/38 x 286 (2/2" x 12") SPR.#2
B9	3/38 x 286 (3/2" x 12") SPR.#2
B10	4/38 x 286 (4/2" x 12") SPR.#2

LOOSE STEEL LINTELS

L7	90 x 90 x 6.0L (3-1/2" x 3-1/2" x 1/4")
L8	90 x 90 x 8.0L (3-1/2" x 3-1/2" x 5/16")
L9	100 x 90 x 8.0L (4" x 3-1/2" x 5/16")
L10	125 x 90 x 8.0L (5" x 3-1/2" x 5/16")
L11	125 x 90 x 10.0L (5" x 3-1/2" x 3/8")
L12	150 x 100 x 10.0L (6" x 4" x 3/8")
L13	180 x 100 x 10.0L (7" x 4" x 3/8")

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A	1-1 3/4"x7 1/4" (1-45x184)
LVL1	2-1 3/4"x7 1/4" (2-45x184)
LVL2	3-1 3/4"x7 1/4" (3-45x184)
LVL3	4-1 3/4"x7 1/4" (4-45x184)
LVL4A	1-1 3/4"x9 1/2" (1-45x240)
LVL4	2-1 3/4"x9 1/2" (2-45x240)
LVL5	3-1 3/4"x9 1/2" (3-45x240)
LVL5A	4-1 3/4"x9 1/2" (4-45x240)
LVL6A	1-1 3/4"x11 7/8" (1-45x300)
LVL6	2-1 3/4"x11 7/8" (2-45x300)
LVL7	3-1 3/4"x11 7/8" (3-45x300)
LVL8	4-1 3/4"x11 7/8" (4-45x300)

WINDOWS:

1) MINIMUM BEDROOM WINDOW - O.B.C. 9.7.1.3.-
AT LEAST ONE WINDOW ON A FLOOR WITH A BEDROOM IS TO HAVE MIN. 0.35m² UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380mm (1'-3").

2) WINDOW GUARDS - O.B.C. 9.7.1.6. & 9.8.8.
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11").

3) EXTERIOR WINDOWS
SHALL COMPLY WITH OBC DIV-B 9.7.1.7. & SB12-2.1.1.8

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

REFER TO INDIVIDUAL
UNITS FOR THE
FOLLOWING

- GROUND FLOOR ROOF STRUCTURE
- BASEMENT AND GROUND FLOOR LINTELS
- GROUND FLOOR AND SECOND FLOOR STRUCTURE
- DOUBLE VOLUME WALL LOCATION AND DETAILS
- CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK

1	ISSUED FOR TRUSS LAYOUT	DATE	BY
2	REVISED FOR ROOF TRUSS COMMENTS	DATE	BY
3	REVISED LOT NUMBERS TO MATCH MUNICIPAL ADDRESS	DATE	BY

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

V3 DESIGN
255 Consumers Rd
Suite 120
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T: 416.630.2255
F: 416.630.4782
v3design.com

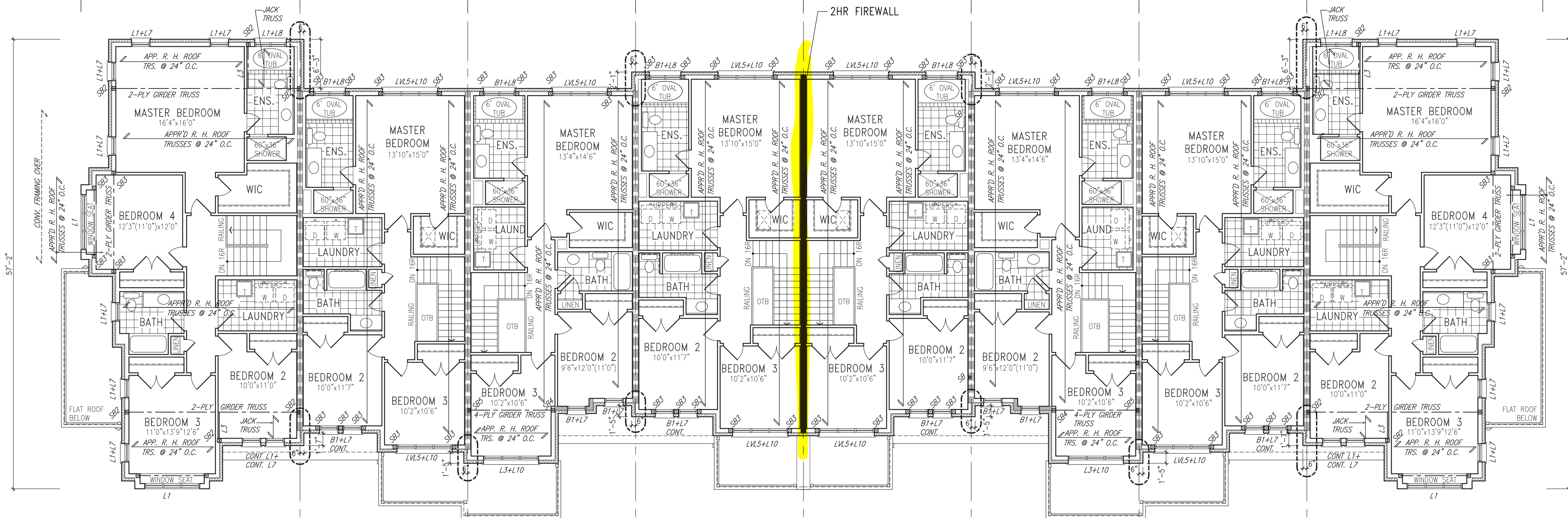
Bayview Wellington
Project Name: ALCONA SHORES
Project No: 13049
Block: 144
Block Plans
FEBRUARY 2018
checked by: [Signature]
drawn by: [Signature]

BLOCK 144

REFER TO INDIVIDUAL
WORKING DRAWINGS FOR
FOOTING SIZES

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT

ROOF PLAN



SECOND FLOOR PLAN

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
NO. APPROVAL

APPROVED BY: [Signature]
DATE: OCT 22, 2018
The above certifies compliance with the applicable Design Guidelines only and does not further professional responsibility.

WOOD LINTELS AND BUILT-UP WOOD BEAMS	
L1	2/38 x 184 (2/2" x 8") SPR.#2
B1	3/38 x 184 (3/2" x 8") SPR.#2
B2	4/38 x 184 (4/2" x 8") SPR.#2
B7	5/38 x 184 (5/2" x 8") SPR.#2
L3	2/38 x 235 (2/2" x 10") SPR.#2
B3	3/38 x 235 (3/2" x 10") SPR.#2
B4	4/38 x 235 (4/2" x 10") SPR.#2
L5	2/38 x 286 (2/2" x 12") SPR.#2
B5	3/38 x 286 (3/2" x 12") SPR.#2
B6	4/38 x 286 (4/2" x 12") SPR.#2

LOOSE STEEL LINTELS	
L7	90 x 90 x 6.0L (3-1/2" x 3-1/2" x 1/4")
L8	90 x 90 x 8.0L (3-1/2" x 3-1/2" x 5/16")
L9	100 x 90 x 8.0L (4" x 3-1/2" x 5/16")
L10	125 x 90 x 8.0L (5" x 3-1/2" x 5/16")
L11	125 x 90 x 10.0L (5" x 3-1/2" x 3/8")
L12	150 x 100 x 10.0L (6" x 4" x 3/8")
L13	180 x 100 x 10.0L (7" x 4" x 3/8")

LAMINATED VENEER LUMBER (LVL) BEAMS	
LVL1A	1-1 3/4"x7 1/4" (1-45x184)
LVL1	2-1 3/4"x7 1/4" (2-45x184)
LVL2	3-1 3/4"x7 1/4" (3-45x184)
LVL3	4-1 3/4"x7 1/4" (4-45x184)
LVL4A	1-1 3/4"x9 1/2" (1-45x240)
LVL4	2-1 3/4"x9 1/2" (2-45x240)
LVL5	3-1 3/4"x9 1/2" (3-45x240)
LVL5A	4-1 3/4"x9 1/2" (4-45x240)
LVL6A	1-1 3/4"x11 7/8" (1-45x300)
LVL6	2-1 3/4"x11 7/8" (2-45x300)
LVL7	3-1 3/4"x11 7/8" (3-45x300)
LVL8	4-1 3/4"x11 7/8" (4-45x300)

- WINDOWS:**
- 1) MINIMUM BEDROOM WINDOW - OBC 9.7.1.3.-**
AT LEAST ONE WINDOW ON A FLOOR WITH A BEDROOM IS TO HAVE MIN. 0.35m² UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380mm (1'-3").
 - 2) WINDOW GUARDS - OBC 9.7.1.6. & 9.8.8.**
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11").
 - 3) EXTERIOR WINDOWS**
SHALL COMPLY WITH OBC DIV.-B 9.7.1.7. & SB12-2.1.1.8

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

- REFER TO INDIVIDUAL
UNITS FOR THE
FOLLOWING**
- GROUND FLOOR ROOF
STRUCTURE
 - BASEMENT AND GROUND
FLOOR LINTELS
 - GROUND FLOOR AND
SECOND FLOOR
STRUCTURE
 - DOUBLE VOLUME WALL
LOCATION AND DETAILS
 - CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK

10					
9					
8					
7					
6					
5					
4					
3	REVISED LOT NUMBERS TO MATCH MUNICIPAL ADDRESS	OCT 17-18 RC			
2	REVISED RS FOR ROOF TRUSS COMMENTS	MAR 15/18 WF			
1	ISSUED FOR TRUSS LAYOUT	MAR 26-18 RC			
0	description	date	by		

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

VAS DESIGN
255 Consumers Rd
Suite 120
Toronto, ON M2J 1R4
t 416.630.2255
f 416.630.4782
vasdesign.com

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The architect has reviewed and taken responsibility for the design and for the specifications and notes. No measurements are set in the concrete. Building Code is to be followed.

Wellington Jan-Bojarski
VAS Design Inc.
25591
42588

BAYVIEW WELLINGTON

PROJECT NAME	ALCONA SHORES	PROJECT NO.	13049
LOCATION	INNISFIL	DATE	1/24/20
DATE	FEBRUARY 2018	1/8" = 1'-0"	SCALE
DOWN BY		13049-BLOCK	8144.2

BLOCK 144



REFER TO INDIVIDUAL WORKING DRAWINGS FOR FOOTING SIZES

NOTE: REVISION CLOUD INDICATES CONDITION THAT DIFFERS FROM STANDARD UNIT

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APPROVED BY: [Signature]
DATE: OCT 22, 2024
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

WOOD LINTELS AND BUILT-UP WOOD BEAMS	
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LVL4	2-1 3/4"x9 1/2" (2-45x240)
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- WINDOWS:**
- 1) **MINIMUM BEDROOM WINDOW - OBC 9.7.1.3.-**
AT LEAST ONE WINDOW ON A FLOOR WITH A BEDROOM IS TO HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380mm (1'-3").
- 2) **WINDOW GUARDS - OBC 9.7.1.6. & 9.8.6.**
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11").
- 3) **EXTERIOR WINDOWS**
SHALL COMPLY WITH OBC DIV.-B 9.7.1.7. & SB12-2.1.1.8

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

- REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING
- GROUND FLOOR ROOF STRUCTURE
 - BASEMENT AND GROUND FLOOR LINTELS
 - GROUND FLOOR AND SECOND FLOOR STRUCTURE
 - DOUBLE VOLUME WALL LOCATION AND DETAILS
 - CONCRETE SLABS

NOTE:
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK

10			
9			
8			
7			
6			
5			
4			
3	REVISED LOT NUMBERS TO MATCH MUNICIPAL ADDRESS	OCT 17-18 RC	
2	REVISED 6' R/O ROOF TRUSS COMMENTS	MAR 15/18 WF	
1	ISSUED FOR TRUSS LAYOUT	MAR 26-18 RC	
0	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be copied.

VAS DESIGN

255 Consumers Rd
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vas3design.com

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The architect has reviewed and taken responsibility for the design and for the specifications and notes the requirements set out in the Ontario Building Code to be a legal requirement for the project. VAS Design Inc. is a legal entity under the laws of the Province of Ontario.

Wellingdon Zao-Baptiste
VAS Design Inc.

25591
42658

BAYVIEW WELLINGTON

PROJECT NAME
ALCONA SHORES

PROJECT NO.
13049

PROJECT LOCATION
INNISFIL

DATE
FEBRUARY 2018

PROJECT NO.
13049

DATE
FEBRUARY 2018

PROJECT NO.
13049

DATE
FEBRUARY 2018

PROJECT NO.
13049

DATE
FEBRUARY 2018

PROJECT NO.
13049

DATE
FEBRUARY 2018

BLOCK 144

BLOCK ELEVATIONS
1/8" = 1'-0"
FEBRUARY 2018
checked by
13049-BLOCK