

10/23/2018 3:06:19 PM kbayley

All smoke alarms and CO detectors shall comply with O.B.C 9.10.19 and 9.33.4

All construction subject to review by Town Building Inspectors

22" x 6" THICK
CONC. FOOTING
UNDER EXTERIOR
WALL (TYP)

24"x8" THICK
CONC. FOOTING
UNDER PARTWALL
32"x12" THICK
CONC. FOOTING
UNDER FIREWALL
SOIL TO HAVE MIN
ALLOWABLE
BEARING CAPACITY
OF 150 KPa

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

APPROVED BY:

Design Guidelines only and bears no further professional responsibility.



PARTIAL PLAN
SUNKEN 1R COND

NOTE: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)	NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.	ENGINEERED FLOOR SUBFLOORS ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR FOR ENGINEERED JOIST ONLY.	NOTE: FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.
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NOTE:
ALL LVL'S SUPPORTING FLOOR LOADS ARE TO
BE SPECIFIED BY THE FLOOR TRUSS
MANUFACTURER.

ENGINEERED FLOOR SUBFLOORS
ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO
BE GLUED AND NAILED ON THIS FLOOR FOR
ENGINEERED JOIST ONLY.

NOTE: FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED

[illegible]

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

APPROVED BY: DATE: Jun. 28, 2018

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

ENGINEERED FLOOR SUBFLOORS
ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO
BE GLUED AND NAILED ON THIS FLOOR FOR
ENGINEERED JOIST ONLY.

ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)
ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY
EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED.
ROUGH-IN SHALL INCLUDE:

- A minimum 200 amp Panelboard,
- Conduit that is not less than 1 1/16" (27mm) trade size,
- A square 4 11/16" (119mm) trade size electrical outlet box.
- Fumeproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.

REFER TO 2012 OBC 9.34.4.

[illegible]

BAYVIEW WELLINGTON		TH-3 CRANE 3	
project name ALCONA	municipality INNISFIL, ON.	project no. 13049	
code DECEMBER, 2017			
drawn by CL	checked by -	scale 3/16" = 1'-0"	drawing no. 2
		GROUND FLOOR PLAN 'A'	
		file name 13049-TU-3	

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INDICATES FIRE RATED WALL ASSEMBLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____

DATE: JUN. 28, 2018

This stamp certifies compliance with the applicable Design Guidelines and the Architect's professional responsibility.

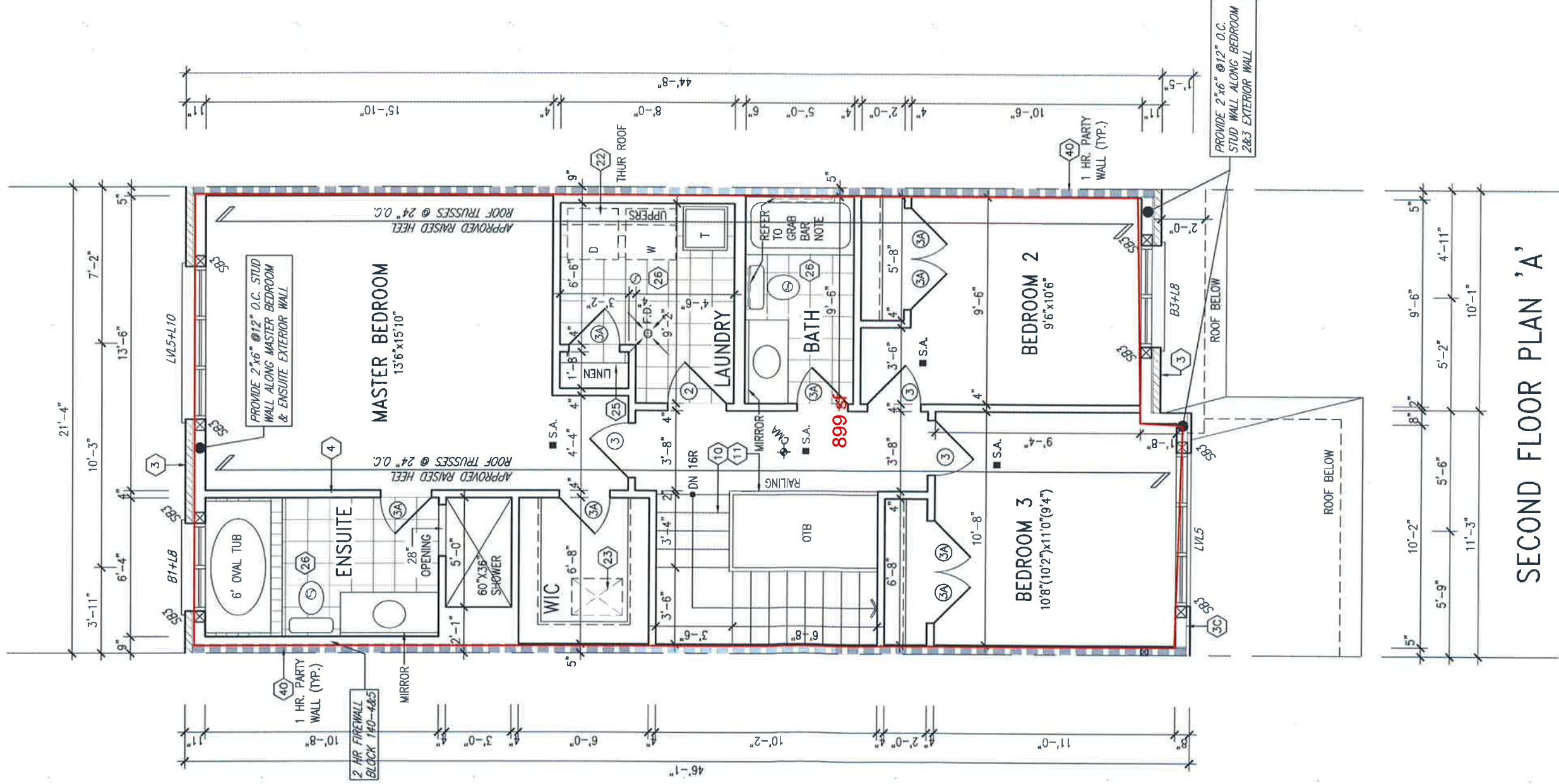


JUNE 26, 2018

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM AS PER O.B.C. 9.5.2.3, 3.8.3.8.(1)(d), & 3.8.3.13.(1)(c) AND DETAILS PROVIDED

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

NOTE: ROOF STRUCTURE MAY VARY
REFER TO ROOF TRUSS MANUFACTURERS' BUILDING BLOCK TRUSS LAYOUT FOR ACTUAL ROOF STRUCTURE



SECOND FLOOR PLAN 'A'

no.	description	date	by
5	REVISED AS PER ENG'S COMMENTS	JUN 21-18 SB	
4	REVISED AS PER FLOOR TRUSS COMMENTS.	MAY 22/18 WT	
3	REVISED AS PER ROOF TRUSS COMMENTS.	MAY 18/18 WT	
2	REVISED AS PER CONSTRUCTION COMMENTS	MAR 27-18 PE	
1	ISSUE FOR CLIENT REVIEW	JAN 08-18 CL	

The undersigned has reviewed and takes responsibility for this design and has approved and meets the requirements set out in the Ontario Building Code as a Design Professional.
qualification information
name Wellington Jno-Baptiste
registration information 25591
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. They are to be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

project name **ALCONA**
location **INNISFIL, ON.**
date **DECEMBER, 2017**
drawn by **CL**
checked by **CL**
scale **3/16" = 1'-0"**
sheet no. **13049-TH-3**
drawing no. **3**

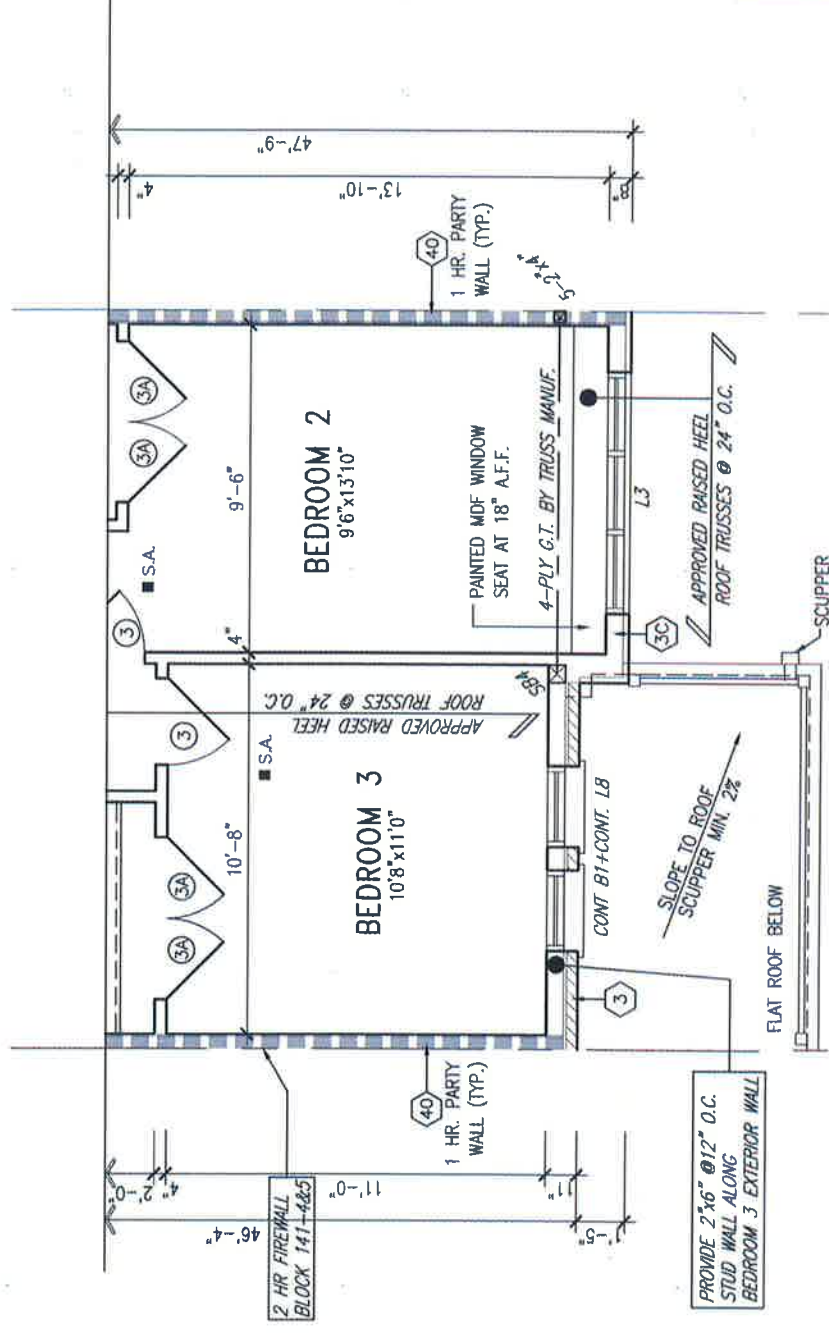
project no. **13049**
drawing no. **3**
sheet no. **13049-TH-3**
date **JUN 26, 2018**
time **6:59 AM**

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

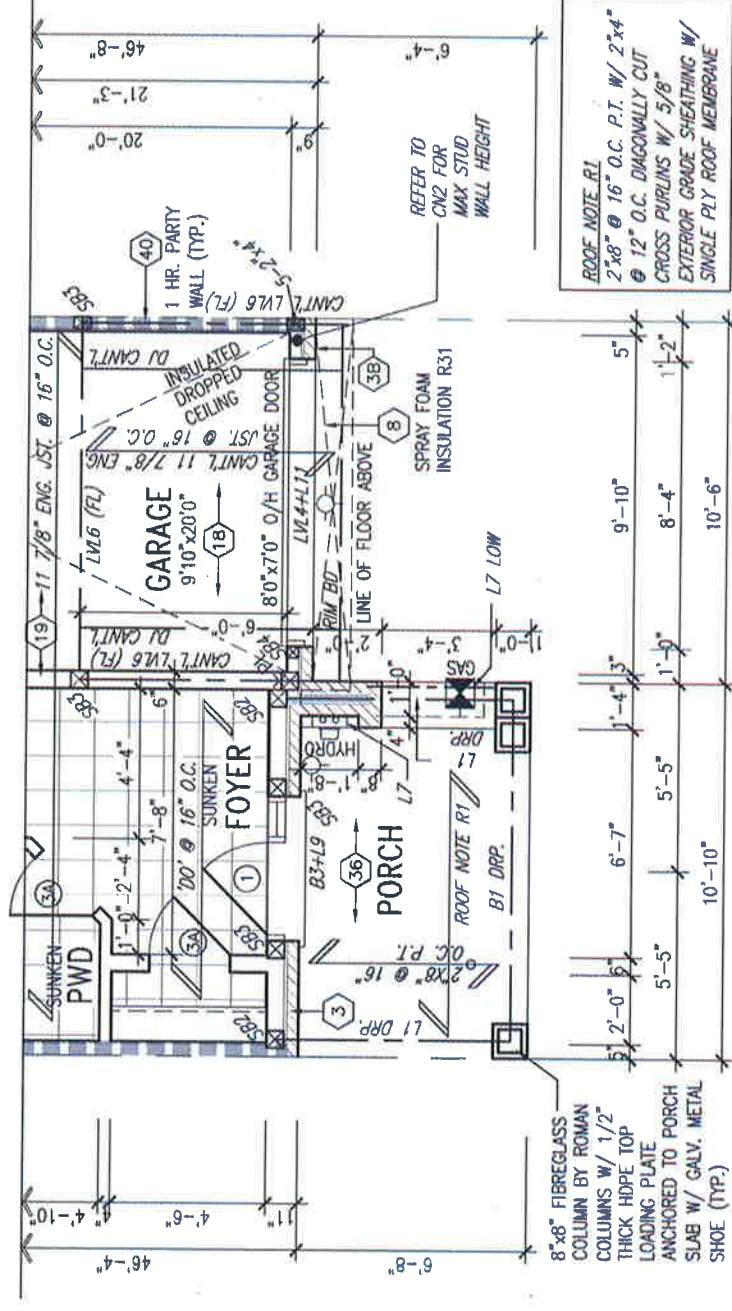
APPROVED BY: _____
DATE: JUN. 28, 2018

DATE: JUN. 28, 2018



**REFER TO ROOF TRUSS
MANUFACTURERS' BUILDING
BLOCK TRUSS LAYOUT FOR
ACTUAL ROOF STRUCTURE**

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF
TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING
INFORMATION UNLESS OTHERWISE NOTED.



ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x4"
@ 12" O.C. DIAGONALLY CUT
CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/
SINGLE PLY ROOF MEMBRANE



JUNE 26, 2018

PARTIAL GROUND FLOOR PLAN 'B'

BAYVIEW WELLINGTON

TH-3
CRANE 3

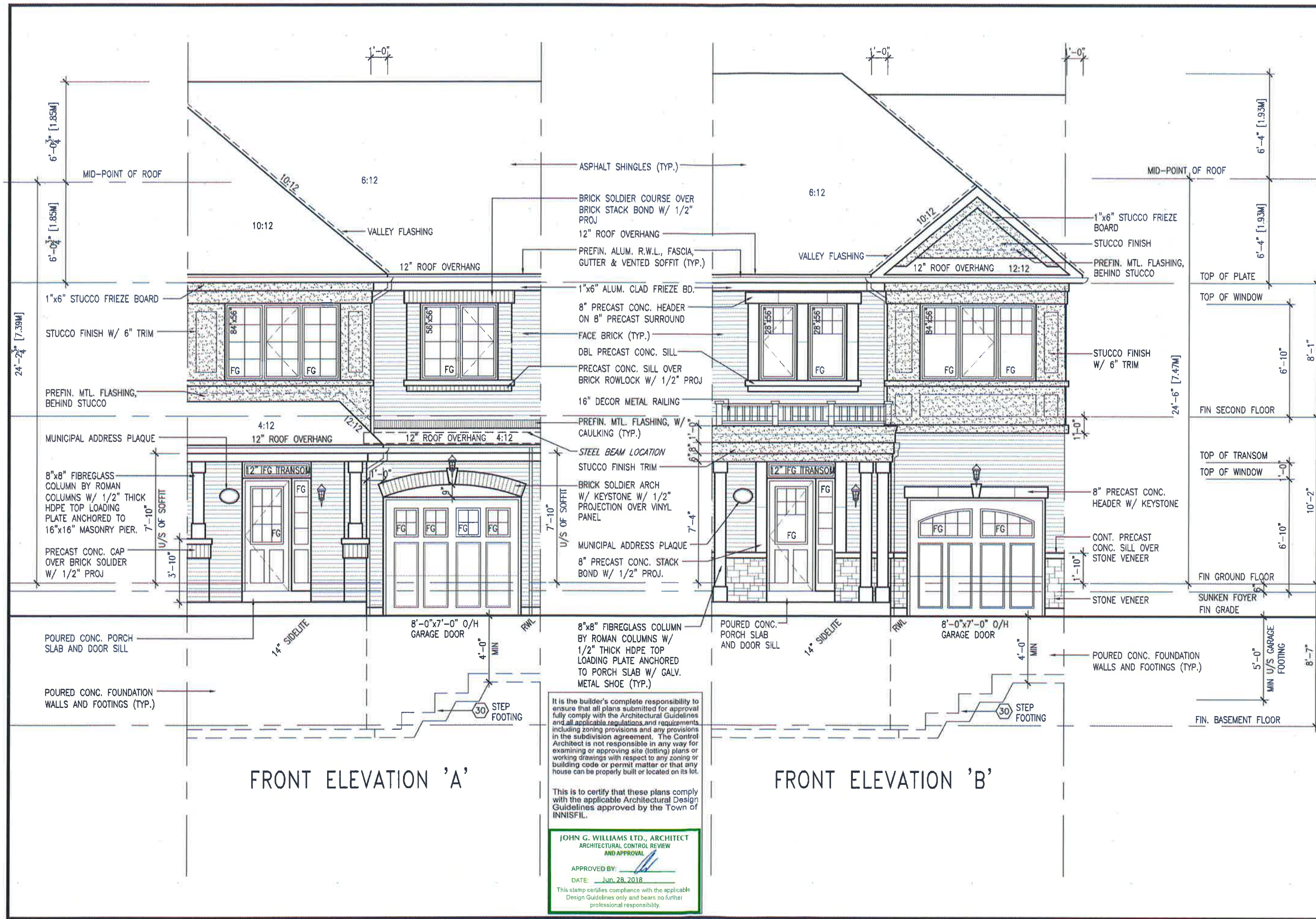
project name	priority	project no
ALCONA	INNISFIL, ON.	13049

code
DECEMBER, 2017
PARTIAL FLOOR PLAN 'B'
drawing no.

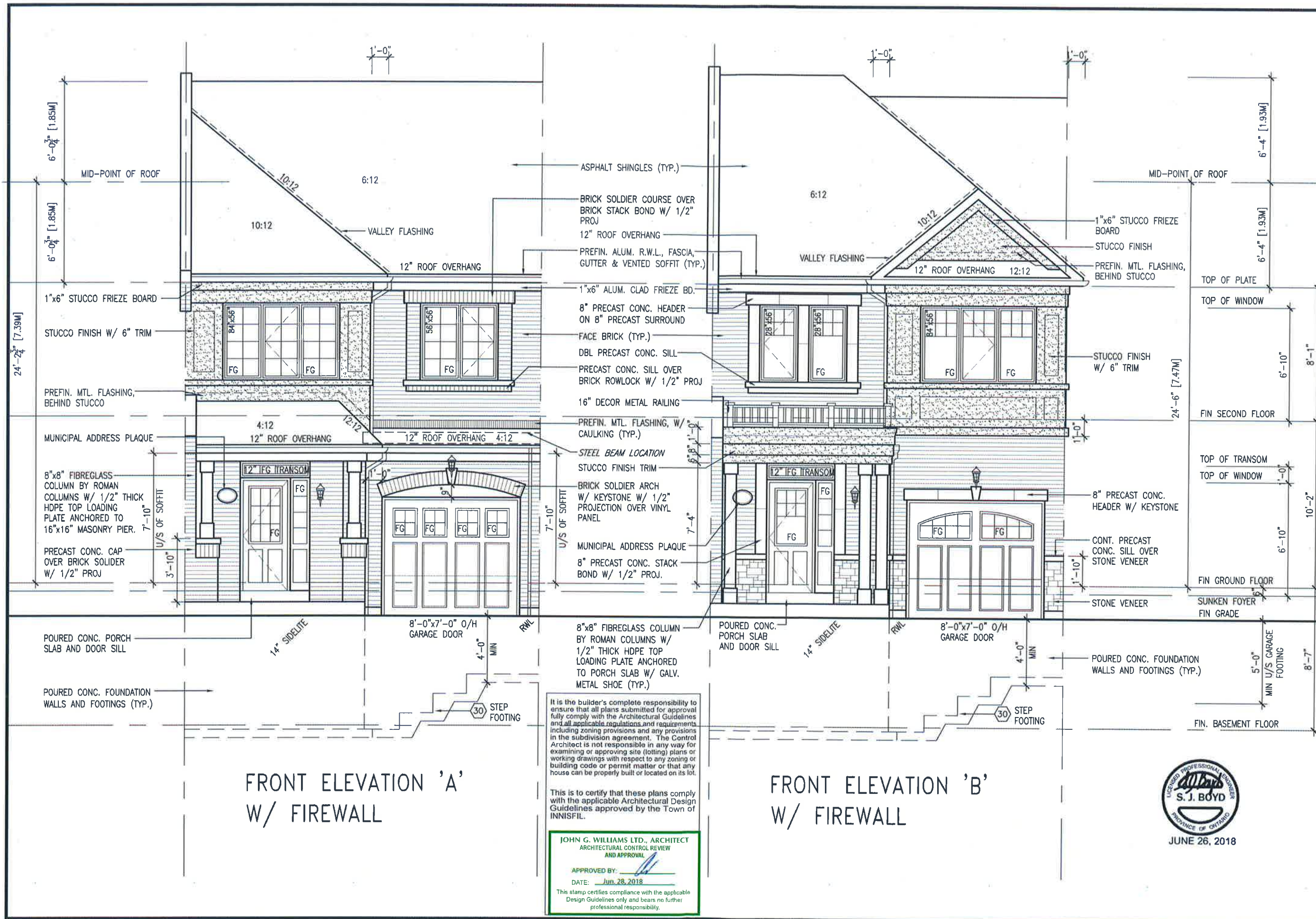
drawn by	checked by	scale	file name
CL	--	$3/16" = 1'-0"$	13049--TH-3

4

All drawings, specifications, related documents and design are the copyright property of V&S DESIGN. Reproduction of this property in whole or in part is strictly prohibited without V&S DESIGN's written permission.



project name		project no.	
BAYVIEW WELLINGTON		TH-3 CRANE 3	
project location		municipality	
ALCONA		INNISFIL, ON.	
date		drawing no.	
DECEMBER, 2017		13049-TH-3	
drawn by		scale	
CL		3/16" = 1'-0"	
checked by		date	
CL		JUN 26 2018 - 6:39 AM	
project description		drawing no.	
FRONT ELEVATIONS 'A' & 'B'		5	
project location		drawing no.	
255 Consumers Rd Suite 120		13049-TH-3	
Toronto, ON M2J 1R4		drawing no.	
t 416.630.2255 f 416.630.4782		5	
va3design.com		drawing no.	
va3design.com		5	
The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		drawing no.	
Wellington, Ontario		13049-TH-3	
name		drawing no.	
Wellington, Ontario		13049-TH-3	
registration information		drawing no.	
VA3 Design Inc.		13049-TH-3	
Contractor must verify all dimensions on the job and report any discrepancies to the Designer. The Designer is not responsible for any errors or omissions in the drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		drawing no.	
JUN 21-18 SB		13049-TH-3	
MAY 22-18 WT		13049-TH-3	
MAY 18-18 WT		13049-TH-3	
MAR 27-18 PB		13049-TH-3	
JAN 08-18 CL		13049-TH-3	
REVISED AS PER ENG'S COMMENTS		drawing no.	
REVISED AS PER FLOOR TRUSS COMMENTS		13049-TH-3	
REVISED AS PER ROOF TRUSS COMMENTS		drawing no.	
REVISED AS PER CONSTRUCTION COMMENTS		13049-TH-3	
ISSUE FOR CLIENT REVIEW		drawing no.	
JUN 28 2018		5	
date		drawing no.	
JUN 28 2018		13049-TH-3	
description		drawing no.	
FRONT ELEVATIONS 'A' & 'B'		5	



FRONT ELEVATION 'A'
W/ FIREWALL

FRONT ELEVATION 'B'
W/ FIREWALL



TH-3
CRANE 3

BAYVIEW WELLINGTON

ALCONA

INNISFIL, ON.

project no.
13049

drawing no.
6

FRONT ELEVATIONS 'A' & 'B'

scale
3/16" = 1'-0"

date
DECEMBER, 2017

created by
CL

checked by
CL

drawn by
CL

project name
ALCONA

location
INNISFIL, ON.

project no.
13049

drawing no.
6

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2235 f 416.630.4782
va3design.com

9. The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

10. qualification information

11. name
Wellington Jho-Baptiste

12. registration information
VA3 Design Inc.

13. date
JUN 21-18 SB

14. date
MAY 22-18 WT

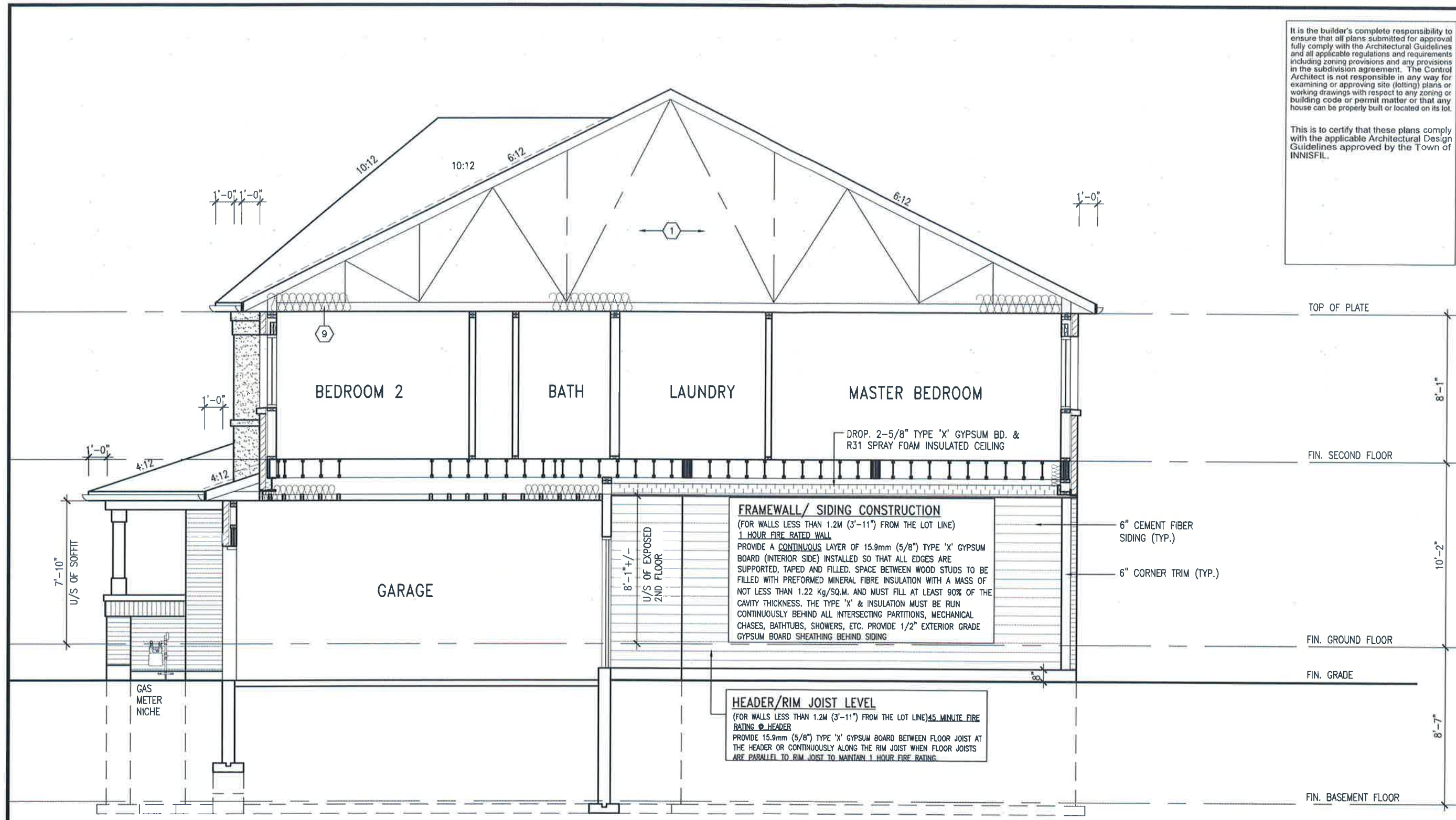
15. date
MAY 18-18 WT

16. date
MAR 27-18 PB

17. date
JAN 08-18 CL

18. description

19. date
JUN 26, 2018



INTERIOR SIDE ELEVATION - ELEV. 'A'

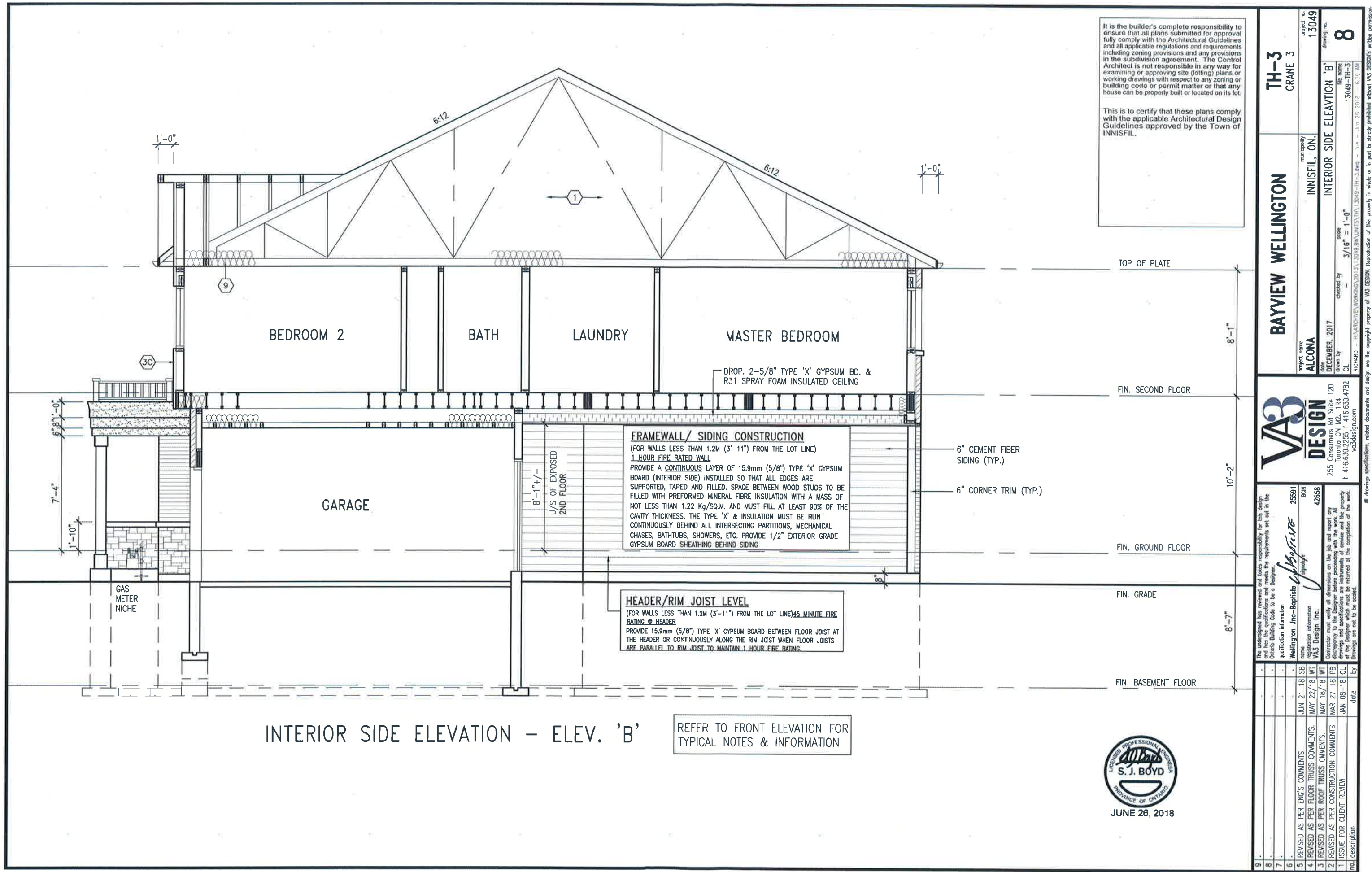
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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BAYVIEW WELLINGTON		TH-3 CRANE 3
project name	ALCONA	project no. 13049
checked by	DECEMBER, 2017	drawing no. 7
drawn by	CL	the name 13049-TH-3
scale	3/16" = 1'-0"	date JUN 26 2018 - 6:39 AM
INNISFIL, ON.		INTERIOR SIDE ELEVATION 'A'
VA3 DESIGN		
255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2235 f 416.630.4782 vo3design.com		
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		
Wellington John Baptiste		25591
VA3 Design Inc.		42658
JUN 21-18 SB		BOV
MAY 22-18 WT		
MAY 18-18 WT		
MAR 27-18 PB		
JAN 08-18 CL		
no.	description	date
5	REVISED AS PER ENG'S COMMENTS	
4	REVISED AS PER FLOOR TRUSS COMMENTS.	
3	REVISED AS PER ROOF TRUSS COMMENTS.	
2	REVISED AS PER CONSTRUCTION COMMENTS	
1	ISSUE FOR CLIENT REVIEW	



UNINSULATED OPENINGS (PER OBC, SB-12,3.1.1(7))			
TH-3 ELEVATION A	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	430 S.F.	59 S.F.	13.72 %
LEFT SIDE	935 S.F.	0 S.F.	0.00 %
RIGHT SIDE	935 S.F.	0 S.F.	0.00 %
REAR	414 S.F.	129 S.F.	31.16 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	2714.00 S.F.	188.00 S.F.	6.93 %
TOTAL SQ. M.	252.14 S.M.	17.47 S.M.	6.93 %

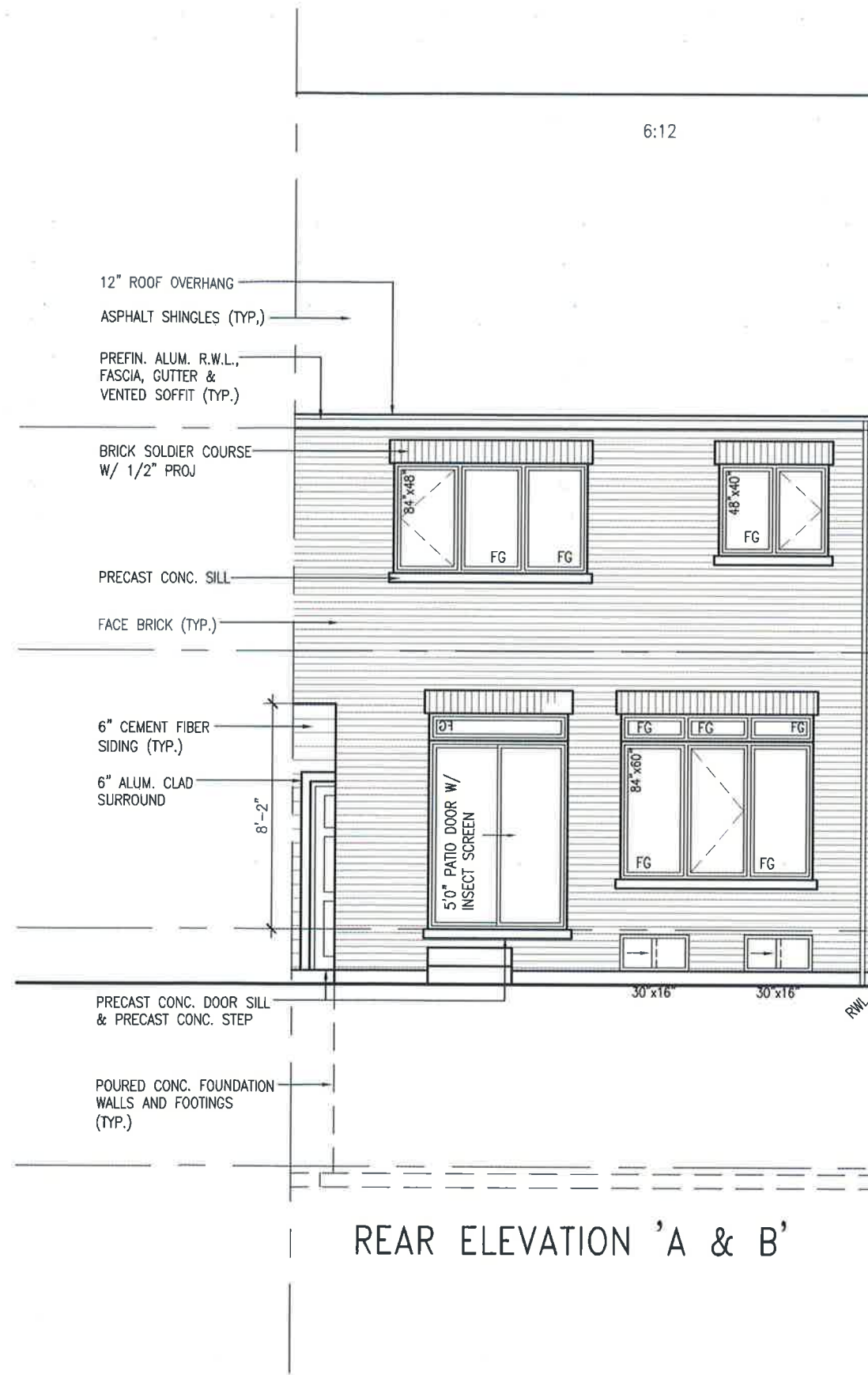
UNINSULATED OPENINGS (PER OBC, SB-12,3.1.1(7))			
TH-3 ELEVATION B	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	430 S.F.	59 S.F.	13.72 %
LEFT SIDE	950 S.F.	0 S.F.	0.00 %
RIGHT SIDE	950 S.F.	0 S.F.	0.00 %
REAR	414 S.F.	129 S.F.	31.16 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	2744.00 S.F.	188.00 S.F.	6.85 %
TOTAL SQ. M.	254.92 S.M.	17.47 S.M.	6.85 %

UNINSULATED OPENINGS (PER OBC, SB-12,3.1.1(7))			
TH-3 ELEVATION A W.O.D	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	430 S.F.	59 S.F.	13.72 %
LEFT SIDE	935 S.F.	0 S.F.	0.00 %
RIGHT SIDE	935 S.F.	0 S.F.	0.00 %
REAR	493 S.F.	146 S.F.	29.61 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	2793.00 S.F.	205.00 S.F.	7.34 %
TOTAL SQ. M.	259.48 S.M.	19.04 S.M.	7.34 %

UNINSULATED OPENINGS (PER OBC, SB-12,3.1.1(7))			
TH-3 ELEVATION B W.O.D	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	430 S.F.	59 S.F.	13.72 %
LEFT SIDE	950 S.F.	0 S.F.	0.00 %
RIGHT SIDE	950 S.F.	0 S.F.	0.00 %
REAR	493 S.F.	146 S.F.	29.61 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	2823.00 S.F.	205.00 S.F.	7.26 %
TOTAL SQ. M.	262.26 S.M.	19.04 S.M.	7.26 %

ROOF PLAN 'A'

ROOF PLAN 'B'



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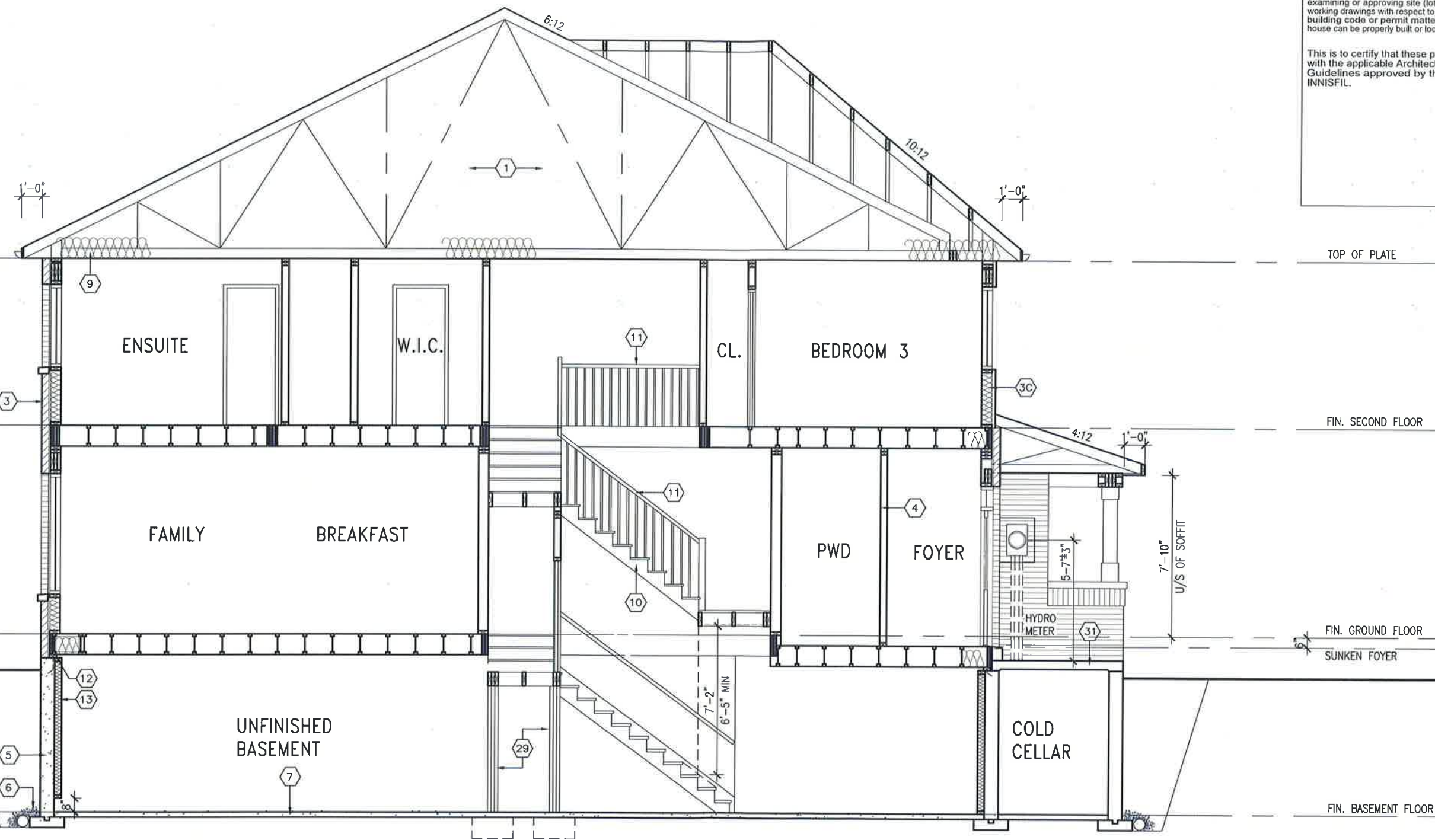
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY:
DATE: Jun. 28, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

TOP OF PLATE	8'-1"
TOP OF WINDOW	6'-10"
FIN. SECOND FLOOR	10'-2"
TOP OF TRANSOM	1'-0"
TOP OF WINDOW	6'-10"
FIN. GROUND FLOOR	8'-7"
FIN. GRADE	
FIN. BASEMENT FLOOR	



BAYVIEW WELLINGTON		TH-3 CRANE 3	
project name	ALCONA	project no.	13049
city	INNISFIL, ON.	drawing no.	9
date	DECEMBER, 2017	file name	13049-TH-3
checked by	CL	scale	3/16" = 1'-0"
drawn by	CL	date	Jun 26 2018 - 6:39 AM
REAR ELEVATION			
RICHARD - 111 ARCHIVE WORKING 2013 13049 BAYVIEW TH-3 13049-TH-3.dwg - Tue - Jun 26 2018 - 6:39 AM			
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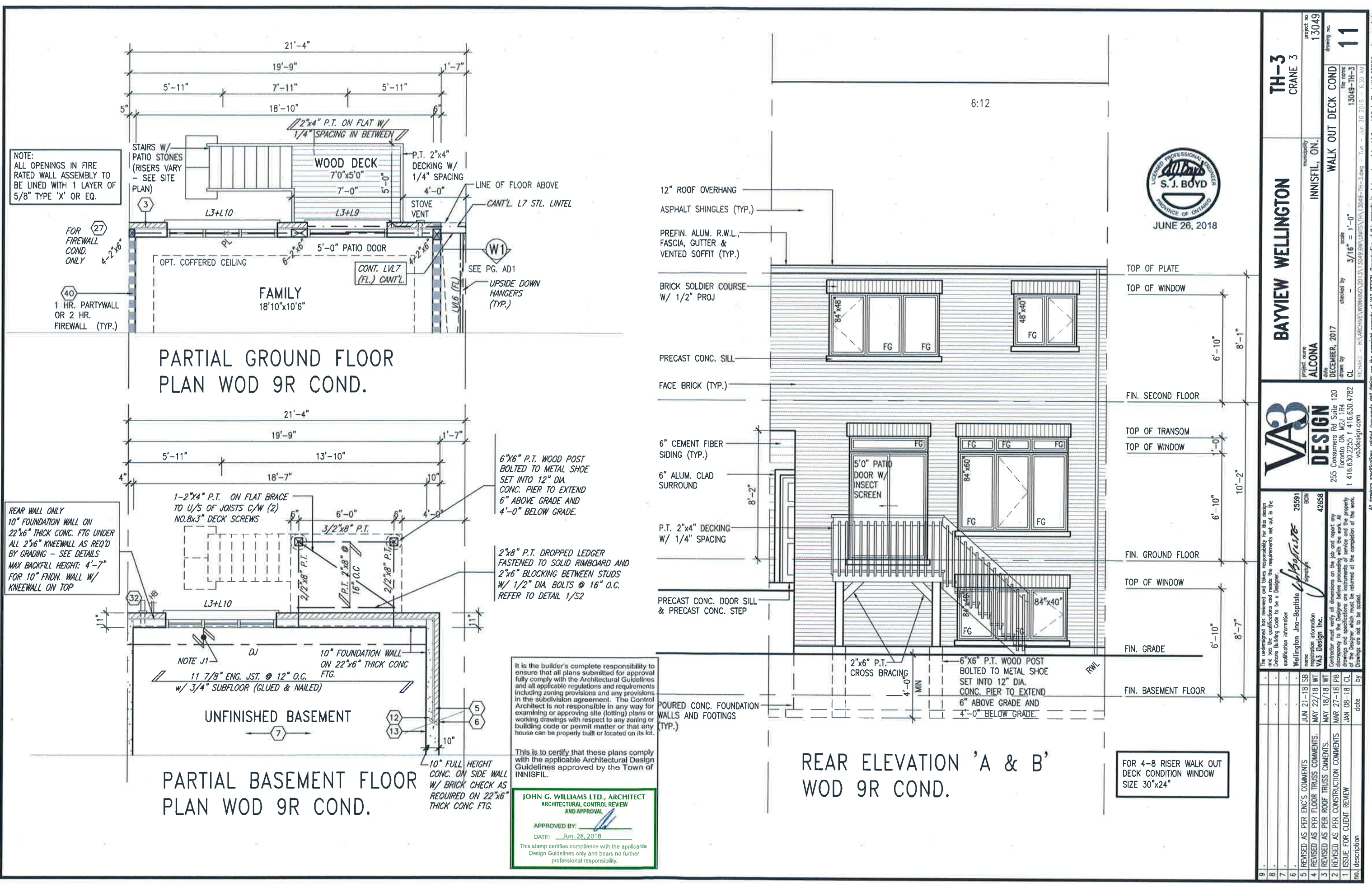
CROSS SECTION A-A



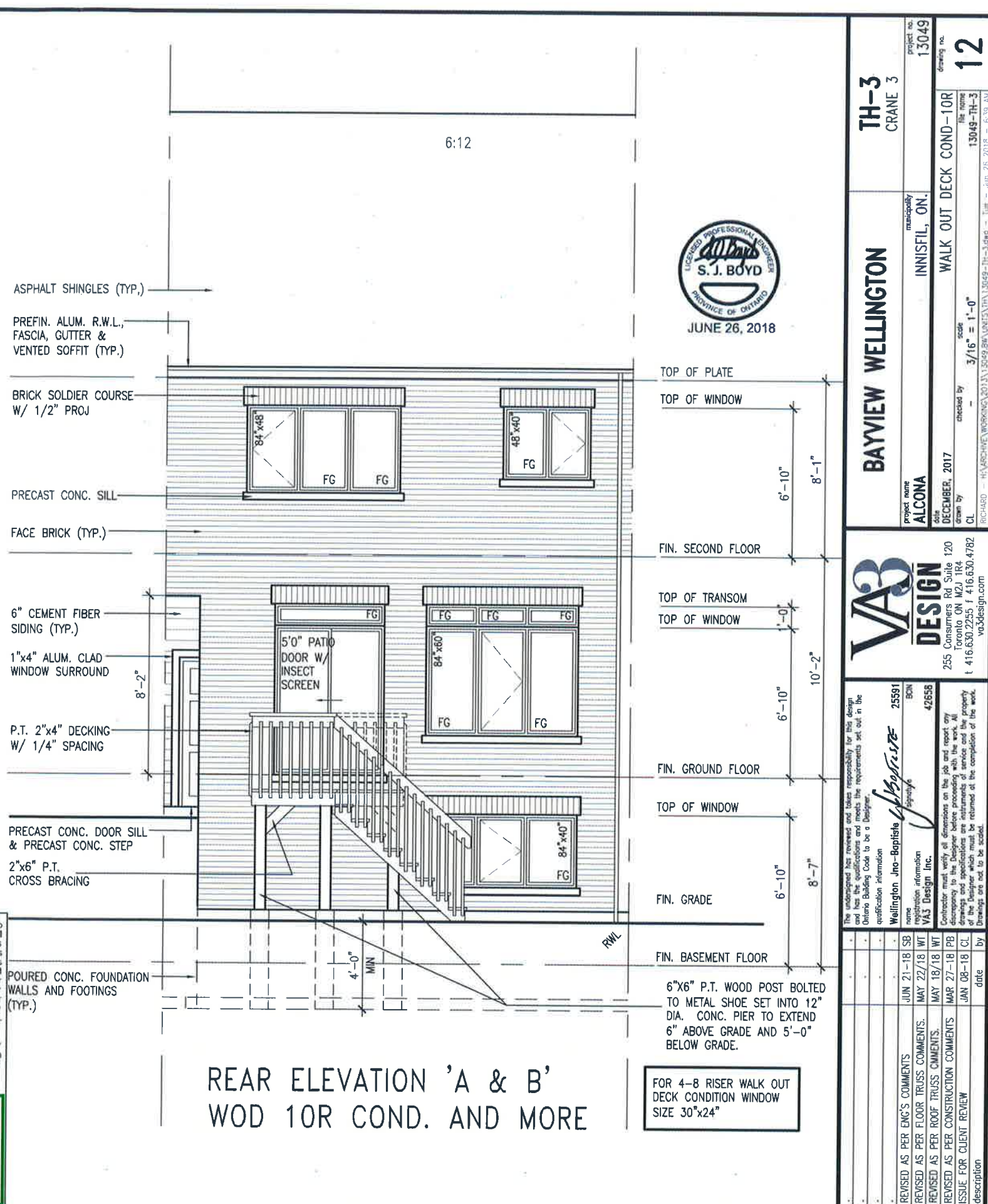
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BAYVIEW WELLINGTON		TH-3 CRANE 3
project name	ALCONA	project no 13049
date	DECEMBER, 2017	drawing no 10
drawn by	CL	SECTION
checked by		the name 13049-TH-3
scale	3/16" = 1'-0"	date JUN 26 2018 - 6:39 AM
VA3 DESIGN		
255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2235 f 416.630.4782 va3design.com		
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		
qualification information	Wellington Jno-Baptiste	25591 BCN
name	VA3 Design Inc.	42658
registration information		
JUN 21-18 SB		
MAY 22/18 WT		
MAY 18/18 WT		
MAR 27-18 PB		
JAN 08-18 CL		
no.	description	date
5	REVISED AS PER ENG'S COMMENTS	
4	REVISED AS PER FLOOR TRUSS COMMENTS.	
3	REVISED AS PER ROOF TRUSS COMMENTS.	
2	REVISED AS PER CONSTRUCTION COMMENTS	
1	ISSUE FOR CLIENT REVIEW	



TH-3 CRANE 3		BAYVIEW WELLINGTON		ALCONA		INNISFIL, ON.		WALK OUT DECK COND		11	
project no.		13049		drawing no.		11		file name		13049-TH-3	
scale		3/16" = 1'-0"		created by		CL		checked by		CL	
date		JUN 26 2018		drawn by		CL		project name		BAYVIEW WELLINGTON	
no.		5		description		REVISED AS PER ENG'S COMMENTS		JUN 21-18 SB		25591	
4		REVISED AS PER FLOOR TRUSS COMMENTS.		MAY 22/18 WT		42658		JUN 21-18 SB		25591	
3		REVISED AS PER ROOF TRUSS COMMENTS.		MAY 18/18 WT		42658		MAY 18/18 WT		42658	
2		REVISED AS PER CONSTRUCTION COMMENTS		MAR 27-18 PB		42658		MAR 27-18 PB		42658	
1		ISSUE FOR CLIENT REVIEW		JAN 08-18 CL		42658		JAN 08-18 CL		42658	



UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
TH-3 ELEV. B W.O.D	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	430 S.F.	59 S.F.	13.72 %
LEFT SIDE	950 S.F.	0 S.F.	0.00 %
RIGHT SIDE	950 S.F.	0 S.F.	0.00 %
REAR	506 S.F.	146 S.F.	28.85 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	2836.00 S.F.	205.00 S.F.	7.23 %
TOTAL SQ. M.	263.47 S.M.	19.04 S.M.	7.23 %

ASPHALT SHINGLES (TYP.)

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

8" PRECAST CONC.
HEADER W/ 1/2" PROJ

PRECAST CONC. SILL

FACE BRICK (TYP.)

6" CEMENT FIBER
SIDING (TYP.)

1"x4" ALUM. CLAD
WINDOW SURROUND

P.T. 2"x4" DECKING
W/ 1/4" SPACING

PRECAST CONC. DOOR SILL
& PRECAST CONC. STEP

2"x6" P.T.
CROSS BRACING

POURED CONC. FOUNDATION
WALLS AND FOOTINGS
(TYP.)

Town of Innisfil Certified Model
11/09/2018 3:58:15 PM kbayley

6:12

TOP OF PLATE

TOP OF WINDOW

FIN. SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN. GROUND FLOOR

TOP OF WINDOW

FIN. GRADE

FIN. BASEMENT FLOOR

6"x6" P.T. WOOD POST BOLTED
TO METAL SHOE SET INTO 12"
DIA. CONC. PIER TO EXTEND
6" ABOVE GRADE AND 5'-0"
BELOW GRADE.

REAR UPGRADE ELEV. 'B'
WOD 10R COND. OR MORE'

FOR 4-8 RISER WALK OUT
DECK CONDITION WINDOW
SIZE 30"x24"

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: 
DATE: Jul. 10, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

TH-3
CRANE 3

BAYVIEW WELLINGTON

ALCONA

project no.
13049

drawing no.
13

TH-3

DATE
DECEMBER, 2017

CL

3/16" = 1'-0"

REAR ELEVATION UPGRADE

13049-TH-3

13049-TH-3

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

25591

25591

42658

Wellington Jno-Baptista

VA3 Design Inc.

VA3 Design Inc.

JUL 05/18 PB

JUN 21/18 SB

MAY 22/18 WT

MAY 18/18 WT

MAR 27/18 PB

JAN 08/18 CL

ADD UPGRADE REAR ELEVATION

REVISED AS PER ENG'S COMMENTS

REVISED AS PER FLOOR TRUSS COMMENTS.

REVISED AS PER ROOF TRUSS COMMENTS.

REVISED AS PER CONSTRUCTION COMMENTS

ISSUE FOR CLIENT REVIEW

date

by

9

8

7

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5

4

3

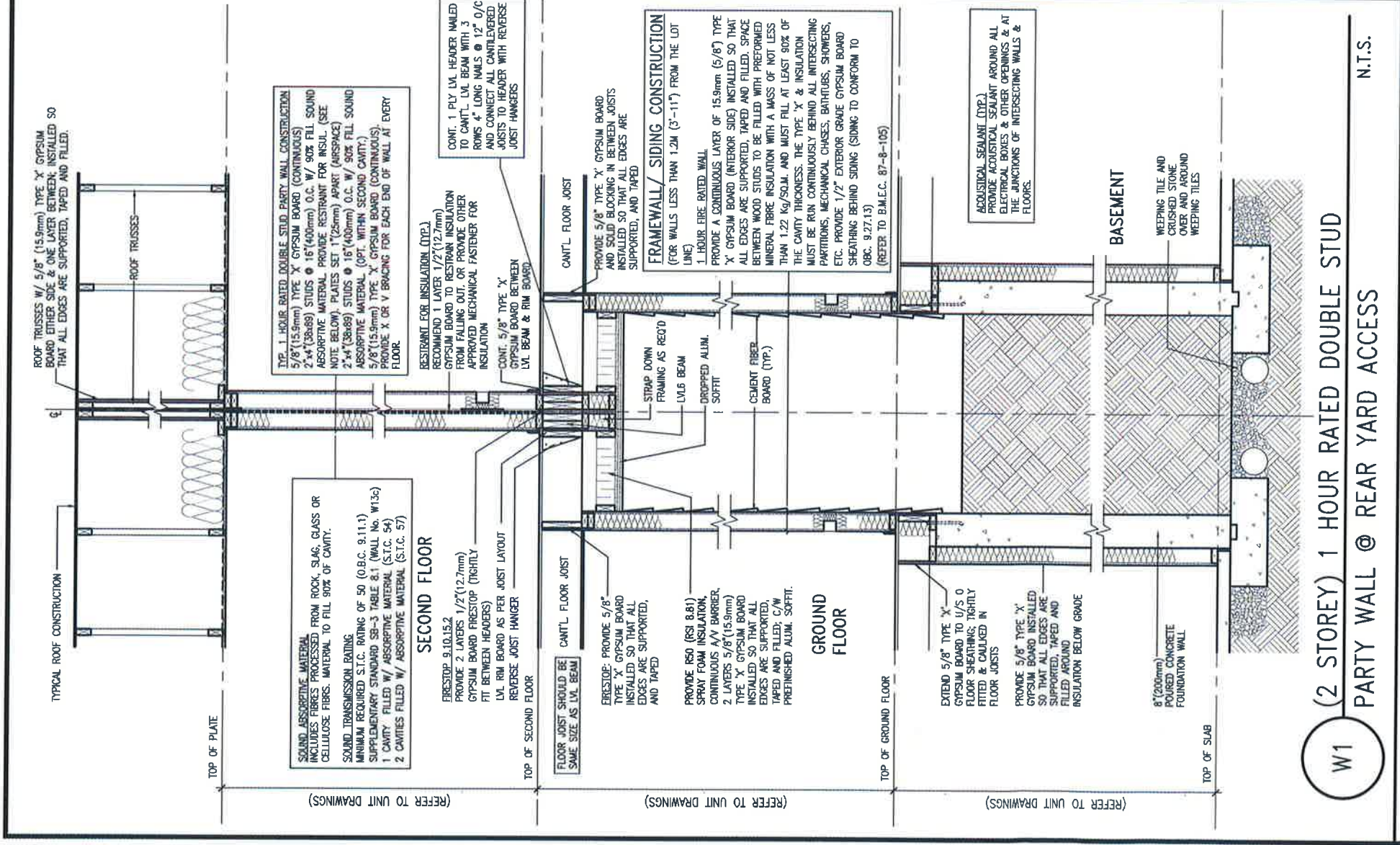
2

1

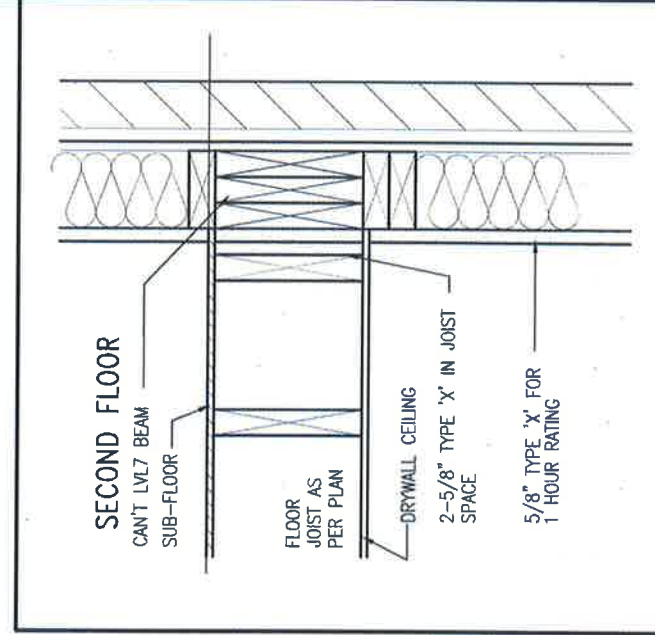
no.

description

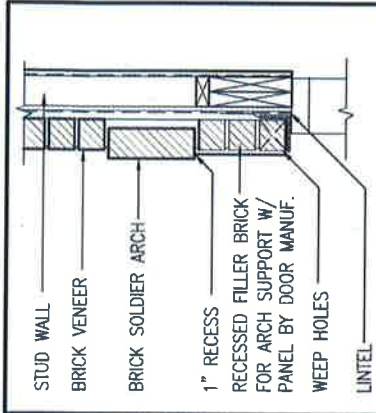
OCT 15, 2018



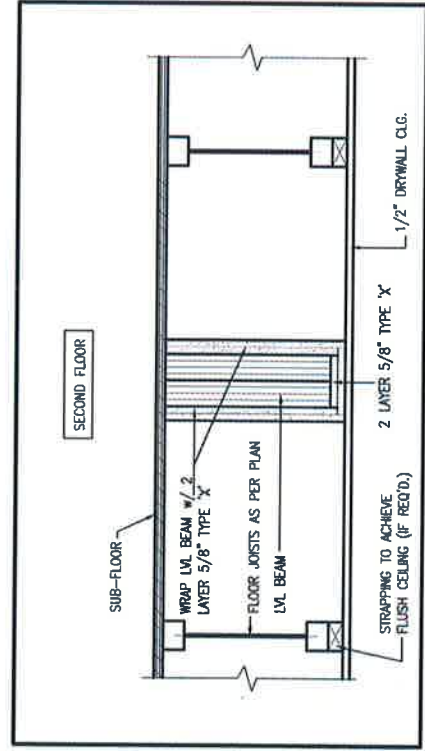
W1 (2 STOREY) 1 HOUR RATED DOUBLE STUD PARTY WALL @ REAR YARD ACCESS N.T.S.



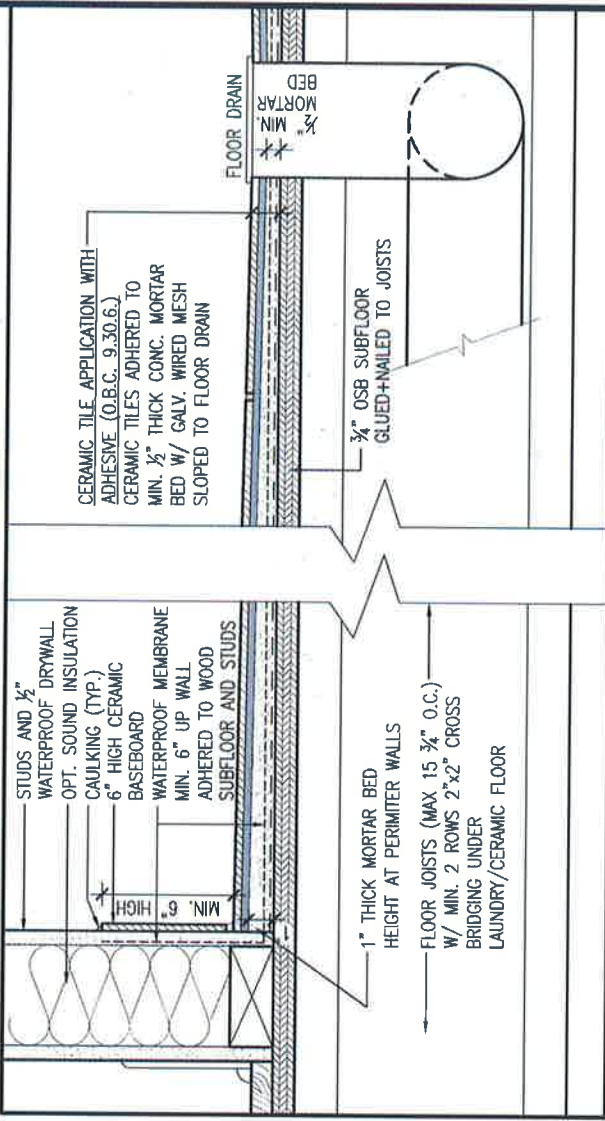
C1 CANTILEVERED LVL WITH 1 HOUR RATING N.T.S.



Y SECTION 'Y' AT BRICK ARCH N.T.S.



B1 RATED FLUSH LVL BEAM N.T.S.



DETAIL THRU SLOPED CERAMIC FLOOR IN LAUNDRY

no.	description	date	by
5	REVISED AS PER ENG'S COMMENTS	JUN 21-18 SB	
4	REVISED AS PER FLOOR TRUSS COMMENTS.	MAY 22/18 WT	
3	REVISED AS PER ROOF TRUSS COMMENTS.	MAY 18/18 WT	
2	REVISED AS PER CONSTRUCTION COMMENTS	MAR 27-18 PB	
1	ISSUE FOR CLIENT REVIEW	12-18-17 VA3	

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

name: Wellington Jno-Baptiste

registration information: 25591

VA3 Design Inc.

42658

Contractor must comply with all dimensions on the job and report any discrepancy to the Designer. The Designer is not responsible for any drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name: **ALCONA**

municipality: **INNISFIL, ON**

project no: **13049**

drawing no: **AD1**

code: **DEC. 2017**

checked by: **R.A.A.M.**

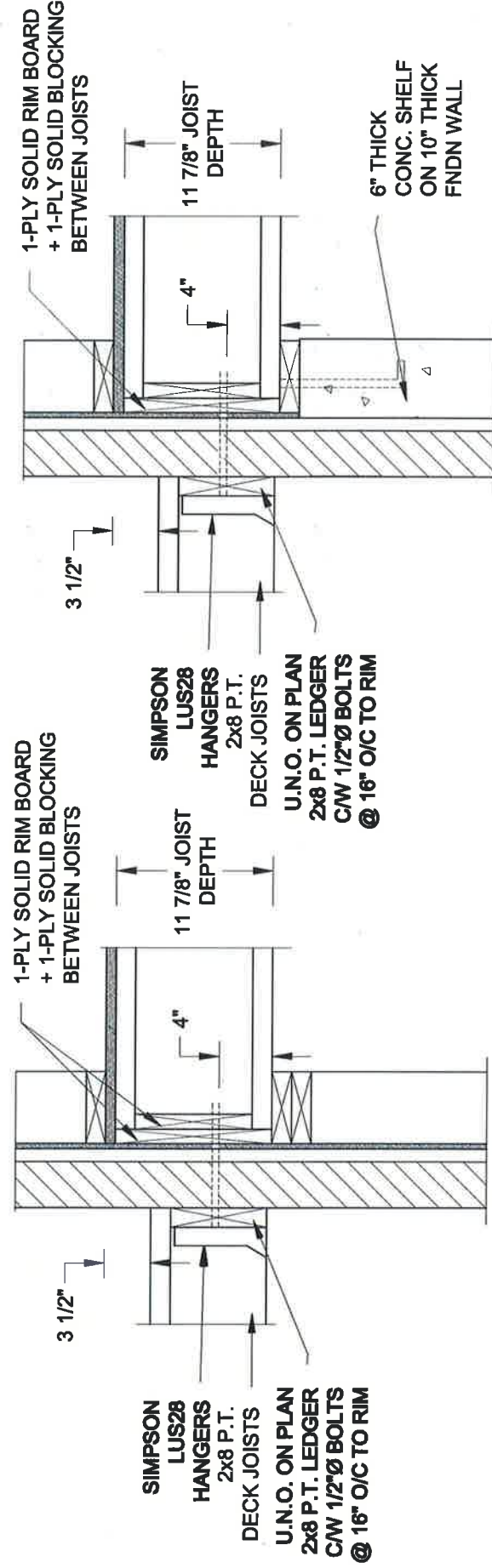
scale: **3/16" = 1'-0"**

details: **13049-TH-3**

date: **13049-TH-3**

TH-1

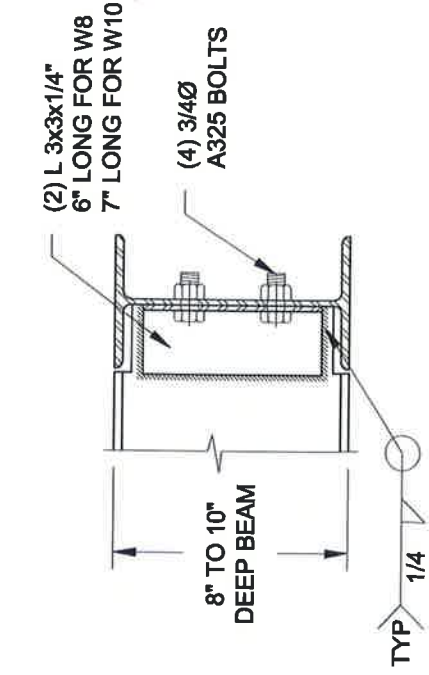
CRANE 3



1A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

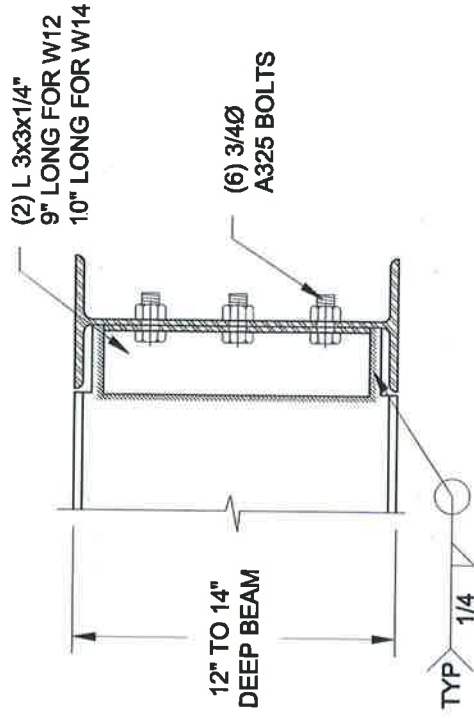
1B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
 2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
 3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.



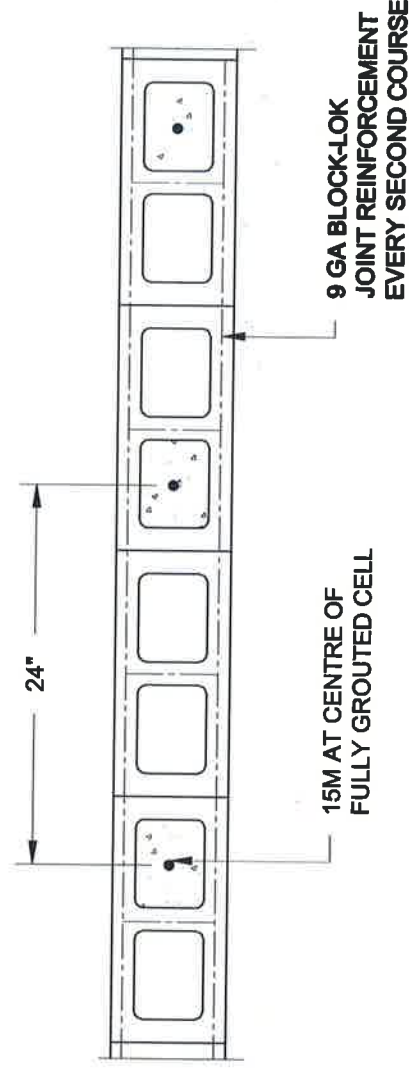
NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX
 AND W10x39 (W250x58) BEAM MAX.

2
S2 SCALE: 1-1/2" = 1'-0"



NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX
 AND W14x48 (W360x72) BEAM MAX.

2
S2 SCALE: 1-1/2" = 1'-0"



3
S2 SCALE: 1" = 1'-0"

NOTES:

1. REINFORCING STEEL TO CONFORM TO CSA G30.18, GRADE 400.
2. GROUT TO HAVE A COMPRESSIVE STRENGTH OF 20 MPa AT 28 DAYS WITH 10" SLUMP. MAXIMUM AGGREGATE SIZE = 3/8".
3. LAP VERTICAL BARS 30" AT ANY SPLICES.

QUAILE ENGINEERING LTD.



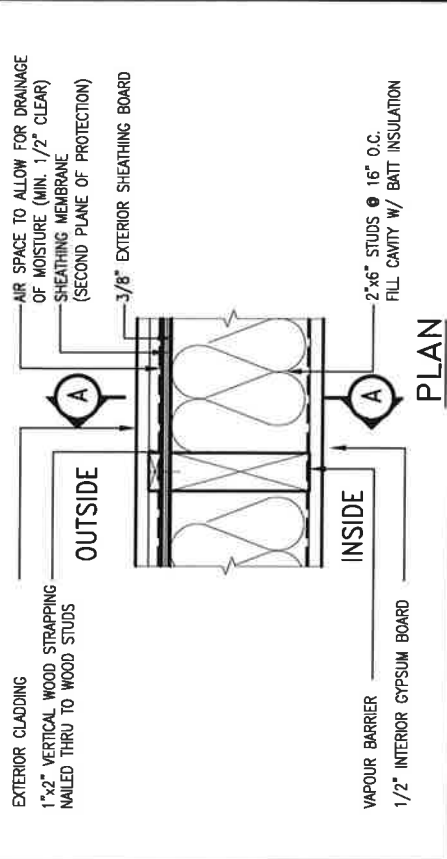
38 Parkside Drive, UNIT 7
 Newmarket, ON
 L3Y 8J9
 T: 905-853-8547
 E: quaile.eng@rogers.com



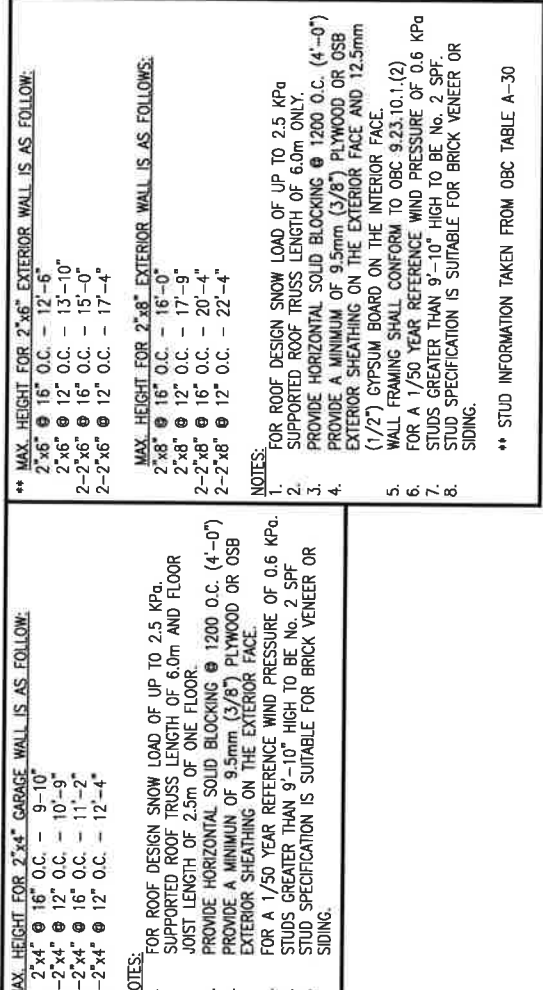
Project: BAYVIEW WELLINGTON HOMES - ALCONA TOWNS
 INNESFL, ONTARIO

TYPICAL STRUCTURAL DETAILS FOR SINGLES

Project No.: 18-104 Drawing No.: S2



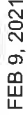
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
 REINFORCEMENT OF WOOD STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSET AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.2.3.1.
 FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KN (300 lb).
 REFER TO OBC. DIV. B- WATER CLOSET 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). & BATHTUB 3.8.3.13.(4)(e). AND DETAILS PROVIDED BELOW.



OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A
MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION
PER CBC, DIV. B- TABLE 6.2.3.12.

• KITCHEN EXHAUST.	3.0m
• DRIVEWAY, PARKING SPACE, ROAD.	1.5m
• SOLID FUEL APPLIANCE EXHAUST	3.0m

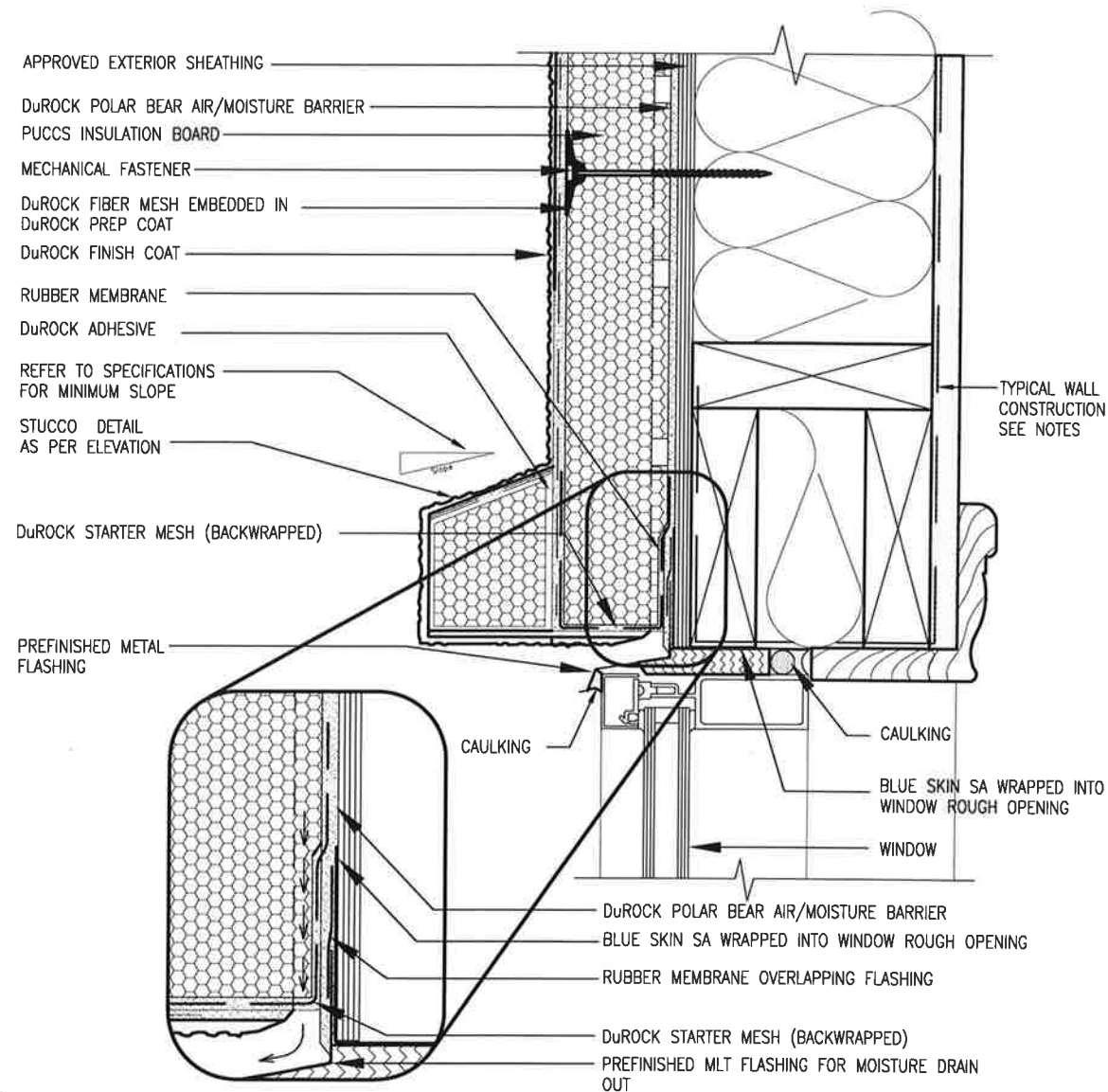
KIT-Ex-NOTE-2020.dwg



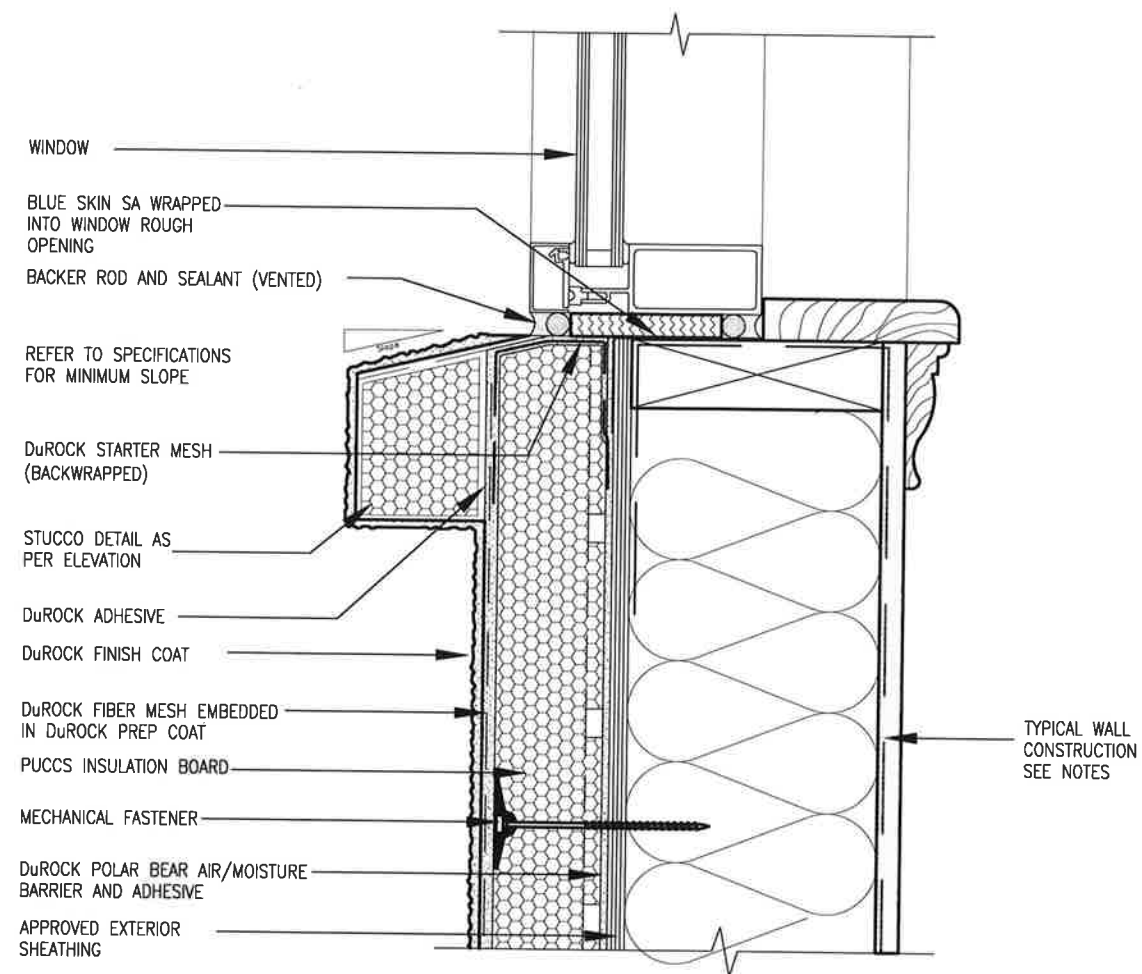
designer has retained and carries responsibility for the design. The designer must be qualified to perform the design and must meet the qualifications and needs of the requirements set out in the Building Code to be a Designer.	25591 <i>J. B. B. S. E.</i> <i>J. B. B. S. E.</i> BC20N 42658
Design Information	Design Information
Design Inc.	Design Inc.

BAYVIEW WELLINGTON		CONST NOTE	
project name	ALCONA	municipality	INNISFILLON.
project no.	13049	drawing no.	CN2
date		CONSTRUCTION NOTES	
drawn by	MAY 2016	checked by	scale
RC			3/16" = 1'-0"
file name		13049-CN-A1 VER 2020	

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1 WINDOW HEADER
CN3 SCALE: 3"=1'-0"



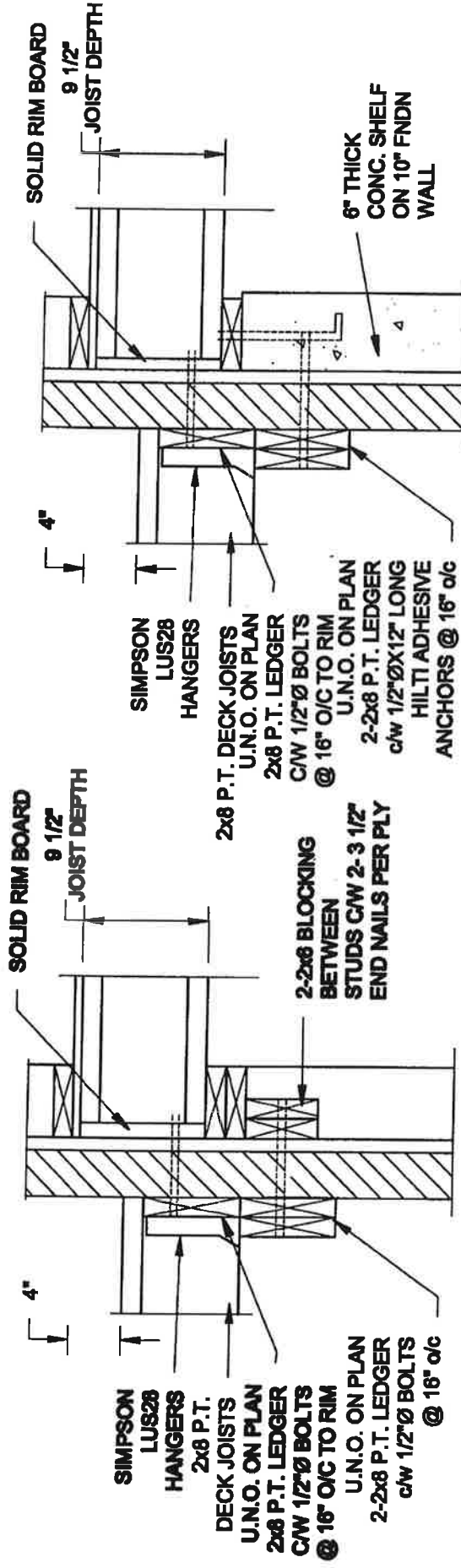
2 WINDOW SILL
CN3 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. DETAILS ARE BASED ON DuROCK PUCCS SYSTEM

CONST NOTE		BAYVIEW WELLINGTON		VA3 DESIGN	
project no.	13049	project name	ALCONA	designer	VA3 DESIGN
drawing no.	13049	municipality	INNISFILON.	address	255 Consumers Rd Suite 120 Toronto ON M2J 1R4
CONSTRUCTION NOTES		scale	3/16" = 1'-0"	phone	416.630.2255 f 416.630.4782
13049-CN-A1 VER 2020		checked by	RC	email	va3design.com
CN3		drawn by	RC	contractor	Wellington Jno-Baptiste
13049-CN-A1 VER 2020		date	MAY 2016	contractor registration information	25591 BCN 42658
13049-CN-A1 VER 2020		date	MAY 2016	contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
no.	description	date	by		
1	UPDATE TO OBC VER 2020	FEB 09-21	RC		
2	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC		

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FOR 9 1/2" JOIST DEPTH

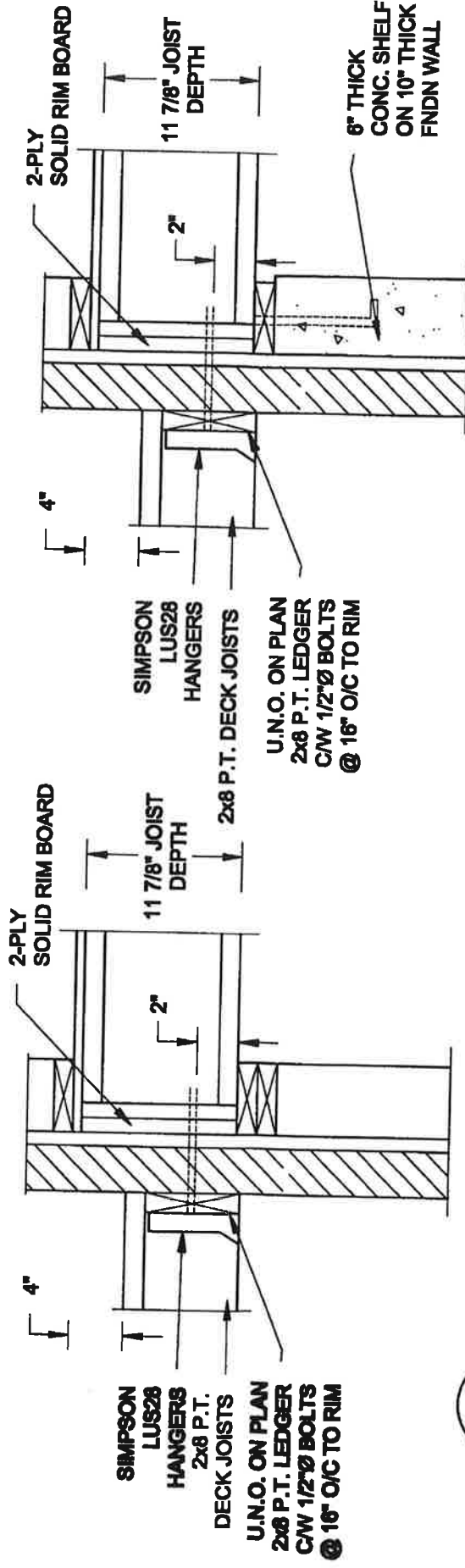


1A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

1B **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.

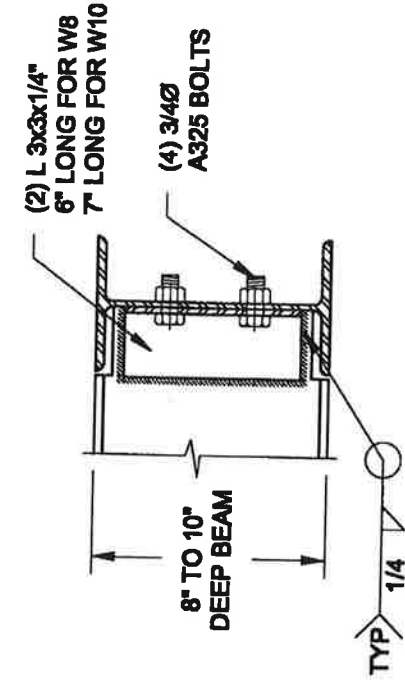
FOR 11 7/8" JOIST DEPTH



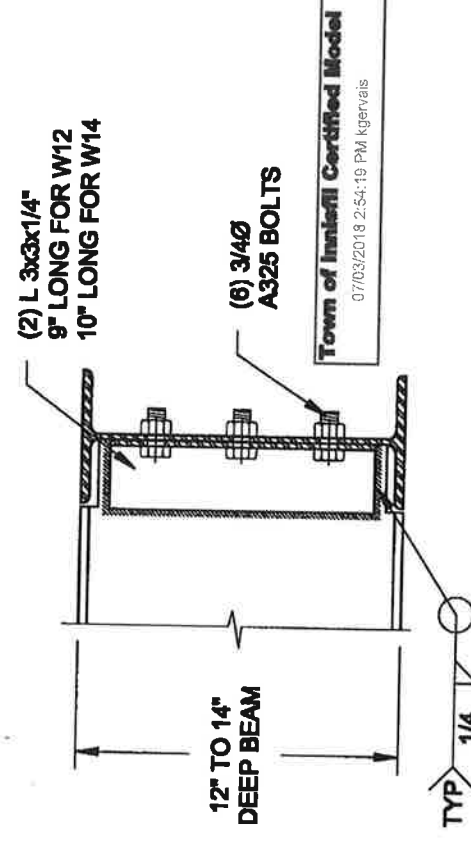
2A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

2B **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" oc KNEEWALL ON 10" THICK CONC FNDN WALL.**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL.
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.



**NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX
AND W10x39 (W250x58) BEAM MAX.**

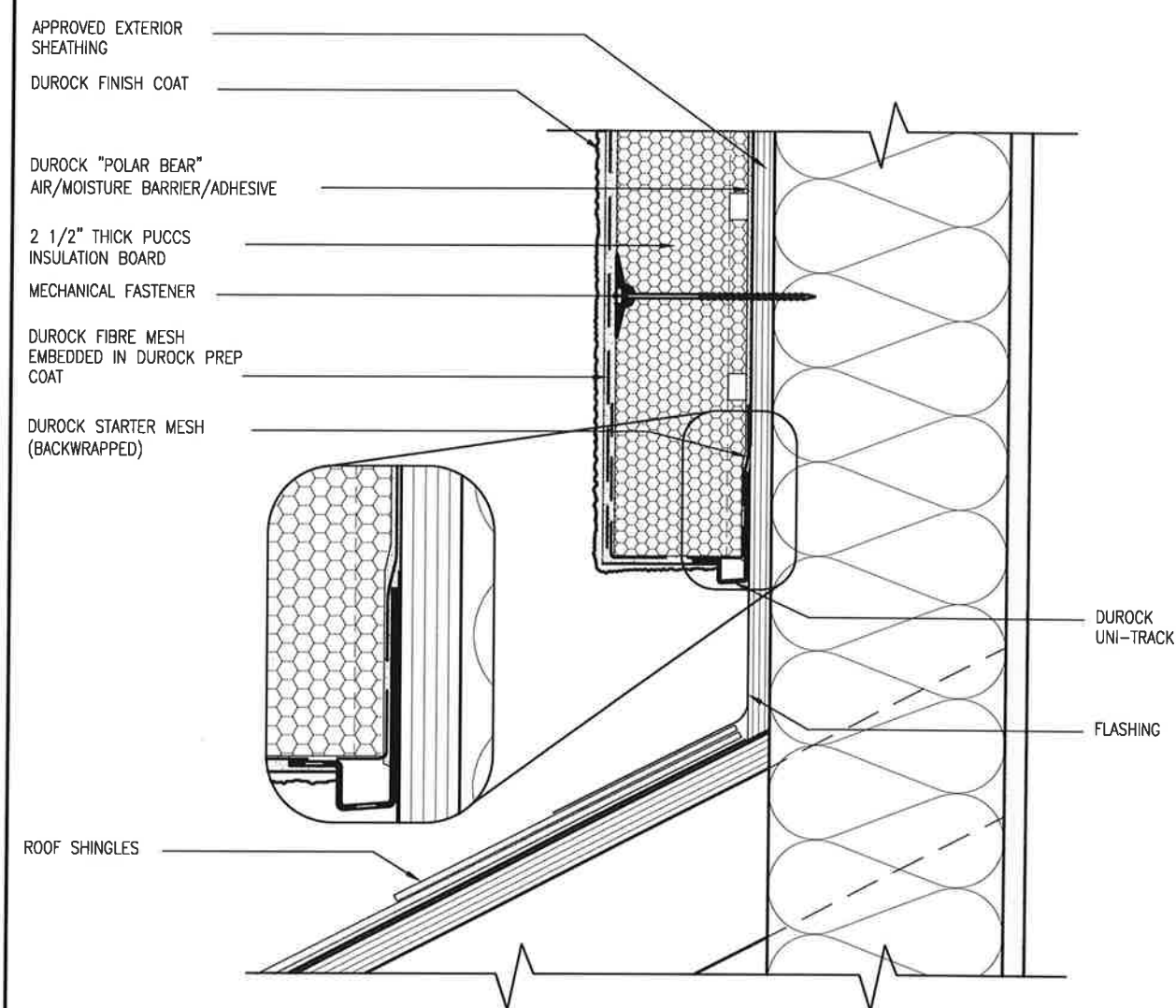


NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX AND W14x48 (W360x72) BEAM MAX.

3 **STEEL BEAM CONNECTION DETAIL**
S2 **SCALE: 1-1/2" = 1'-0"**

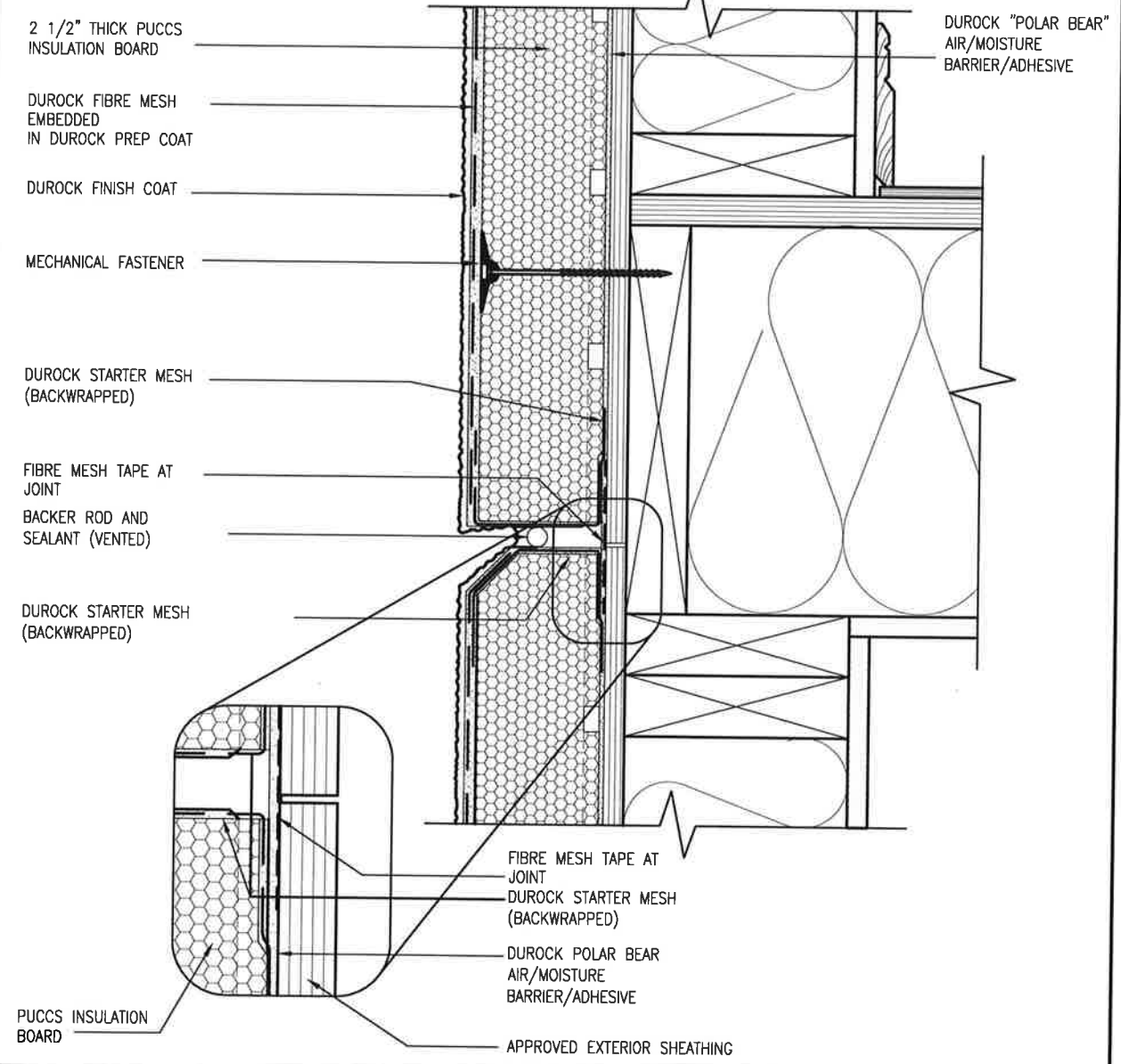
SCALE: 1-1/2" = 1'-0"

Scale: AS NOTED		 38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-863-8547 E: quaile_eng@rogers.com	QUAILE ENGINEERING LTD.	Engineer's Seal:  S. J. BOYD LICENSED PROFESSIONAL ENGINEER ONTARIO PROVINCE OF	Project: BAYVIEW WELLINGTON HOMES - ALCONA PROJECT INMARKET, ONTARIO	Project No.: 18-083	Drawing No.: 82
Date: JUL-01-2017							
Drawn: SC	Checked: SJB						



3 STUCCO TERMINATION @ ROOF
CN4 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



4 HORIZONTAL EXPANSION JOINT
CN4 SCALE: 3"=1'-0"

CONST NOTE		BAYVIEW WELLINGTON		INISFILON.		CONSTRUCTION NOTES		CN4	
project no.	13049	project name	ALCONA	municipality	INISFILON.	checked by	scale	3/16" = 1'-0"	date
drawing no.	13049	drawn by	RC	date	MAY 2016	checked by	scale	3/16" = 1'-0"	date
1. UPDATE TO OBC VER 2020 2. ISSUE FOR CLIENT REVIEW									
no.	description	date	by						
1	UPDATE TO OBC VER 2020	FEB 09-21	RC						
2	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC						

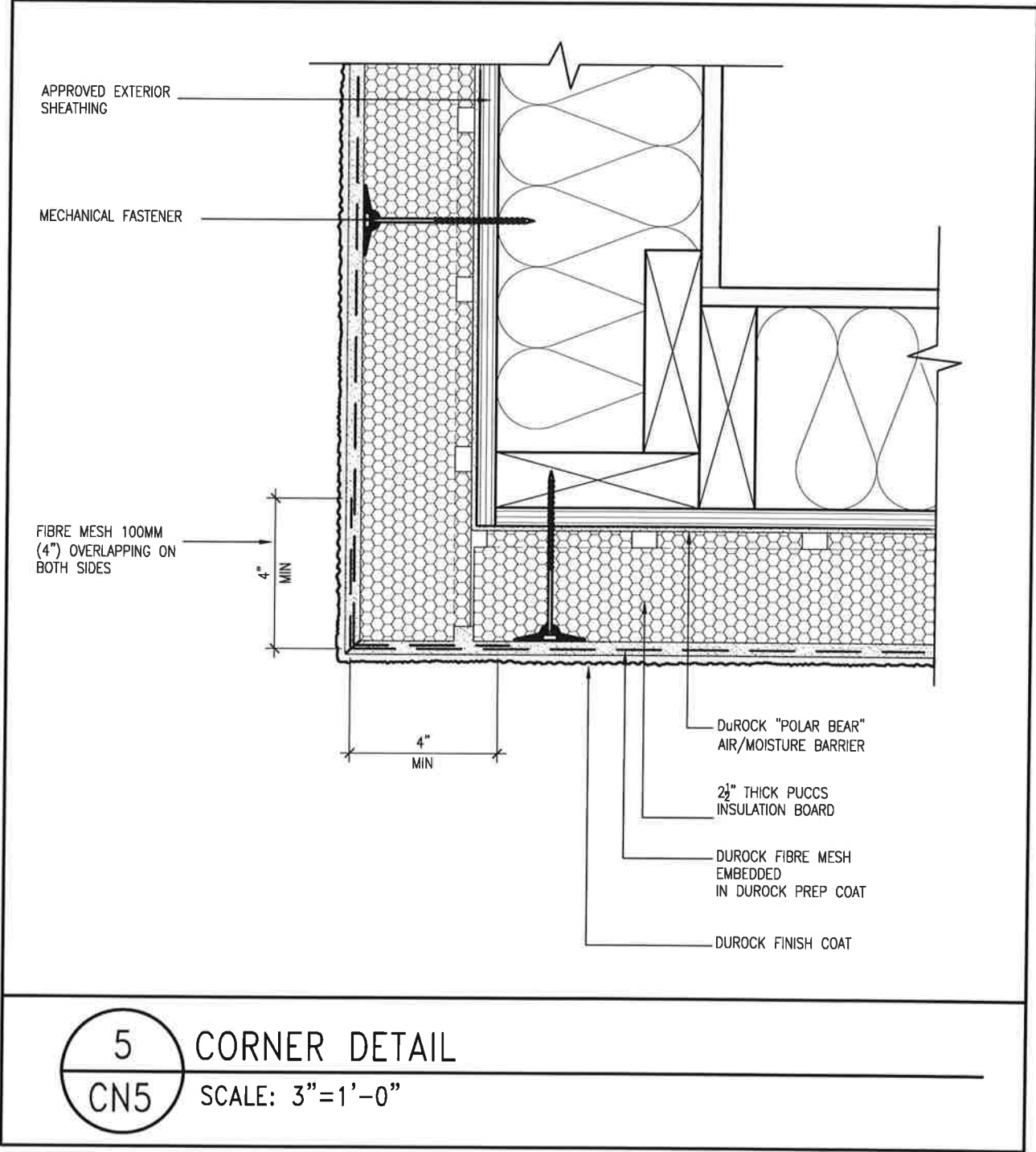
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

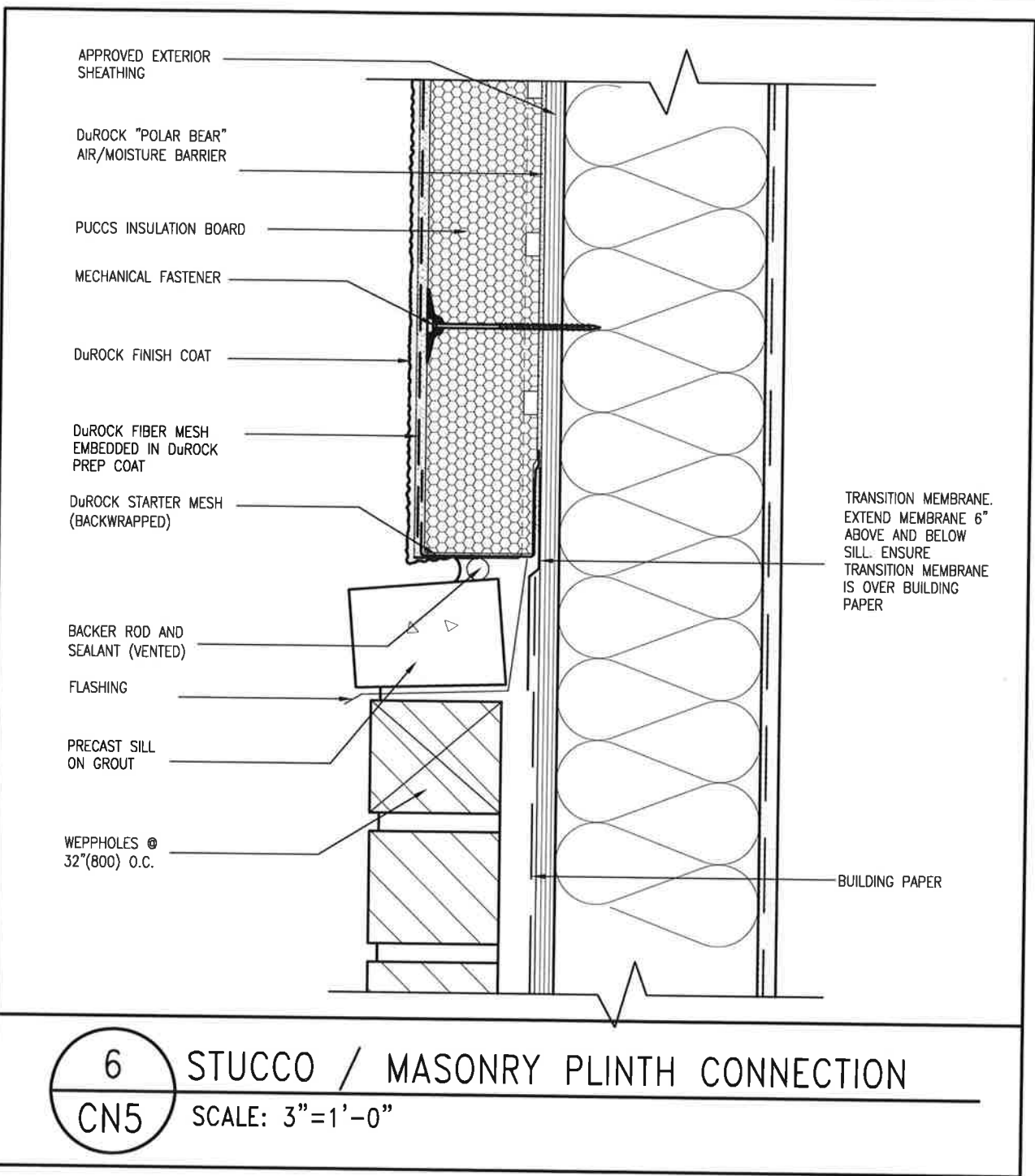
qualification information
Wellington Jno-Baptista 25591 BDN
name
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

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5 CORNER DETAIL
CN5 SCALE: 3"=1'-0"

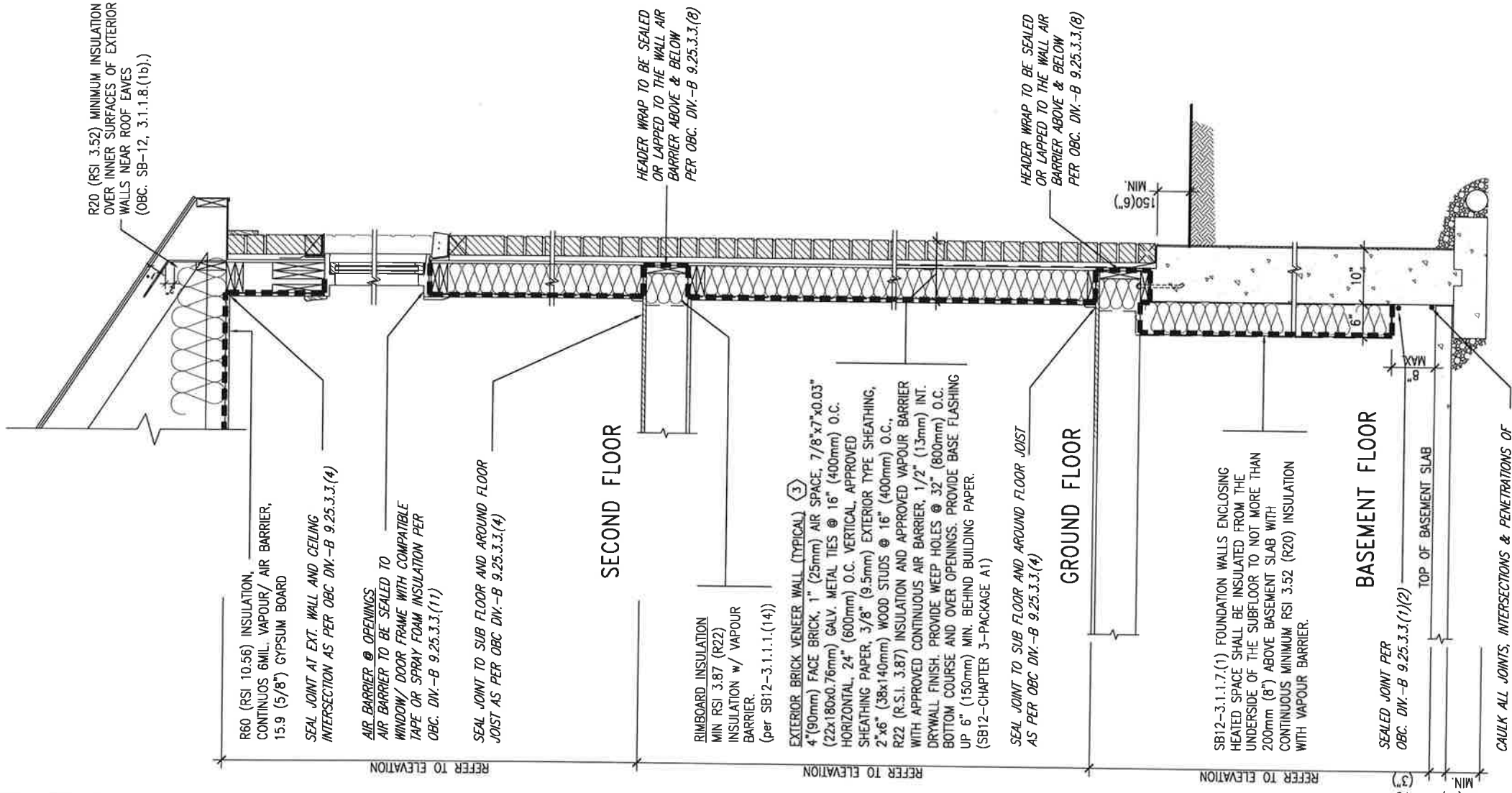


6 STUCCO / MASONRY PLINTH CONNECTION
CN5 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM

CONST NOTE		BAYVIEW WELLINGTON		ALCONA		INNISSILLON		MAY 2016		RC		3/16" = 1'-0"		13049-CN-A1 VER 2020		CN5	
project name		project no		municipality		drawing no		date		checked by		scale		file name		drawing no	
255 Consumers Rd Suite 120		13049		INNISSILLON		CN5		MAY 2016		RC		3/16" = 1'-0"		13049-CN-A1 VER 2020		CN5	
Toronto, ON M2J 1Y4		13049-CN-A1		INNISSILLON		CN5		MAY 2016		RC		3/16" = 1'-0"		13049-CN-A1 VER 2020		CN5	
t 416.630.2255 f 416.630.4782		13049-CN-A1		INNISSILLON		CN5		MAY 2016		RC		3/16" = 1'-0"		13049-CN-A1 VER 2020		CN5	
va3design.com		13049-CN-A1		INNISSILLON		CN5		MAY 2016		RC		3/16" = 1'-0"		13049-CN-A1 VER 2020		CN5	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		Wellington, Jiro-Baptista		25591		BCN		42658		FEB 09-21 RC		AUG 04-17 RC		FEB 09-21 RC		AUG 04-17 RC	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. They must be returned at the completion of the work. Drawings are not to be copied.		VA3 Design Inc.		25591		BCN		42658		FEB 09-21 RC		AUG 04-17 RC		FEB 09-21 RC		AUG 04-17 RC	
2. UPDATE TO OBC VER 2020		13049-CN-A1		INNISSILLON		CN5		MAY 2016		RC		3/16" = 1'-0"		13049-CN-A1 VER 2020		CN5	
1. ISSUE FOR CLIENT REVIEW		13049-CN-A1		INNISSILLON		CN5		MAY 2016		RC		3/16" = 1'-0"		13049-CN-A1 VER 2020		CN5	
no. description		13049-CN-A1		INNISSILLON		CN5		MAY 2016		RC		3/16" = 1'-0"		13049-CN-A1 VER 2020		CN5	

SB12-COMPLIANCE PACKAGE 'A1'



INSULATION REQUIREMENTS
REFER TO OBC SB-12, CHAPTER 3.
ZONE 1- COMPLIANCE PACKAGE A1.

AIR BARRIER SYSTEMS
AIR BARRIER TO BE INSTALLED IN
CONFORMANCE WITH OBC. DIV. B-9.25.3

REFER TO ADDITIONAL
DETAILS FOR STRUCTURAL
COMPONENTS

EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY

SECTION w/ BRICK VENEER (PACKAGE A1)

10" FOUNDATION WALL

	9	-	The undersigned has reviewed and takes responsibility for this design.
	8	*	I have qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
	7	*	qualification information
	6	*	Wellington Jno-Baptiste <i>J. Baptiste</i>
	5	*	name registration information BCLN 25591
	4	*	V&J Design Inc. signature
	3	*	BCLN 42658
	2	UPDATE TO OBC VER 2020 FEB 09-21 RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.
no,	description	AUS 04 -17 RC date	



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4788
va3design.com

project name	ALCONA	project no	13049
date	MAY 2016	multiscale	INNSFILON
drawn by		CONSTRUCTION NOTES	
checked by	-	scale	3/16" = 1'-0"
RC		file name	13049-CN-A1 VER 2020
		drawing no.	CN6

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THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

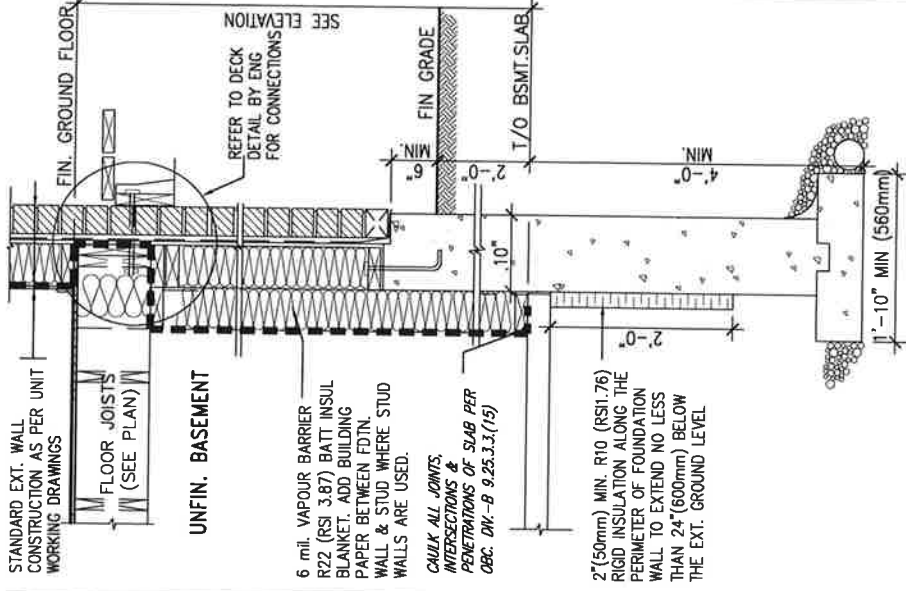
USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space Minimum RSI (R) value	10.56 (R60)	R20 at inner face of exterior walls
Ceiling without Attic Space Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Exposed Floor Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Walls Above Grade Minimum RSI (R) value	3.87 (R22)	6" R22 BATT
Basement Walls Minimum RSI (R) value	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Edge of Below Grade Slab ≤600mm below grade Minimum RSI (R) value	1.76 (R10)	RIGID INSUL
Windows & Sliding glass Doors Maximum U-value	1.6	
Skylights Maximum U-value	2.8U	
Space Heating Equipment Minimum AFUE	96% Min.	NATURAL GAS
Hot Water Heater Minimum EF	0.8	NATURAL GAS
HRV	75%	—
Minimum Efficiency Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required Dependent on number of showers installed Refer to SB12-3.1.1.12 for information	

ci- Denotes Continuous Insulation without framing interruption.



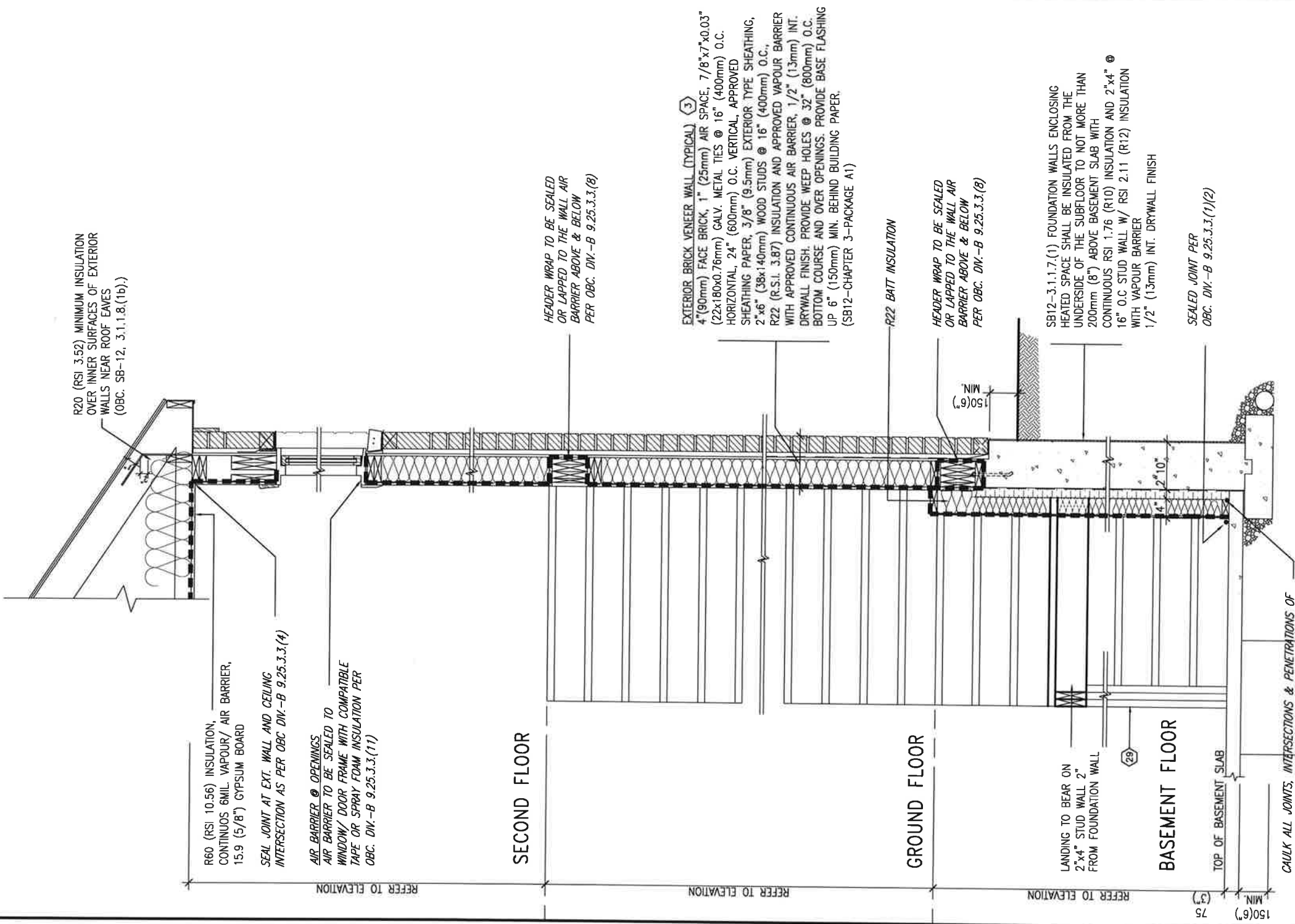
FEB 9. 2021



* REVISED—FEB 2017

SECTION AT W.O.D/W.O.B.

SB12-COMPLIANCE PACKAGE 'A1'



INSULATION REQUIREMENTS REFER TO OBC SB-12, CHAPTER 3. ZONE 1- COMPLIANCE PACKAGE A1.	AIR BARRIER SYSTEMS AIR BARRIER TO BE INSTALLED IN CONFORMANCE WITH OBC DIV. B-9.25.3
---	---

REFER TO ADDITIONAL
DETAILS FOR STRUCTURAL
COMPONENTS

EW STR TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)
10" FOUNDATION WALL SCALE: N.T.S.

9.	*	*	
8.	*	*	
7.	*	*	
6.	*	*	
5.	*	*	
4.	*	*	
3.	*	*	
2.	UPDATE TO OBC VER 2020	FEB 09-21 RC	
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC	
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellingdon Jno-Baptiste 255591

BCN

design registration information

VA3 Design Inc. 42658

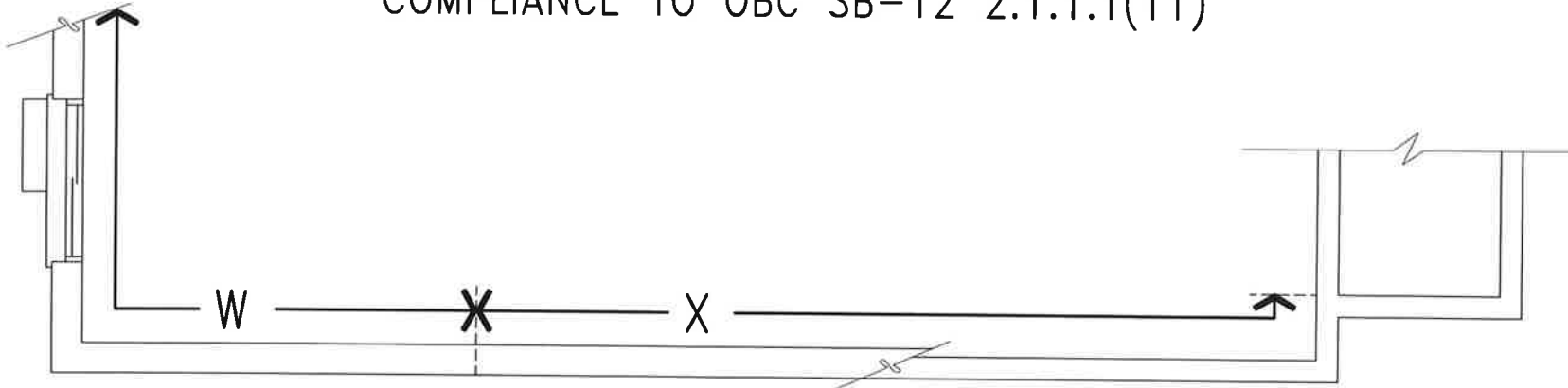
W. Baptiste

signature

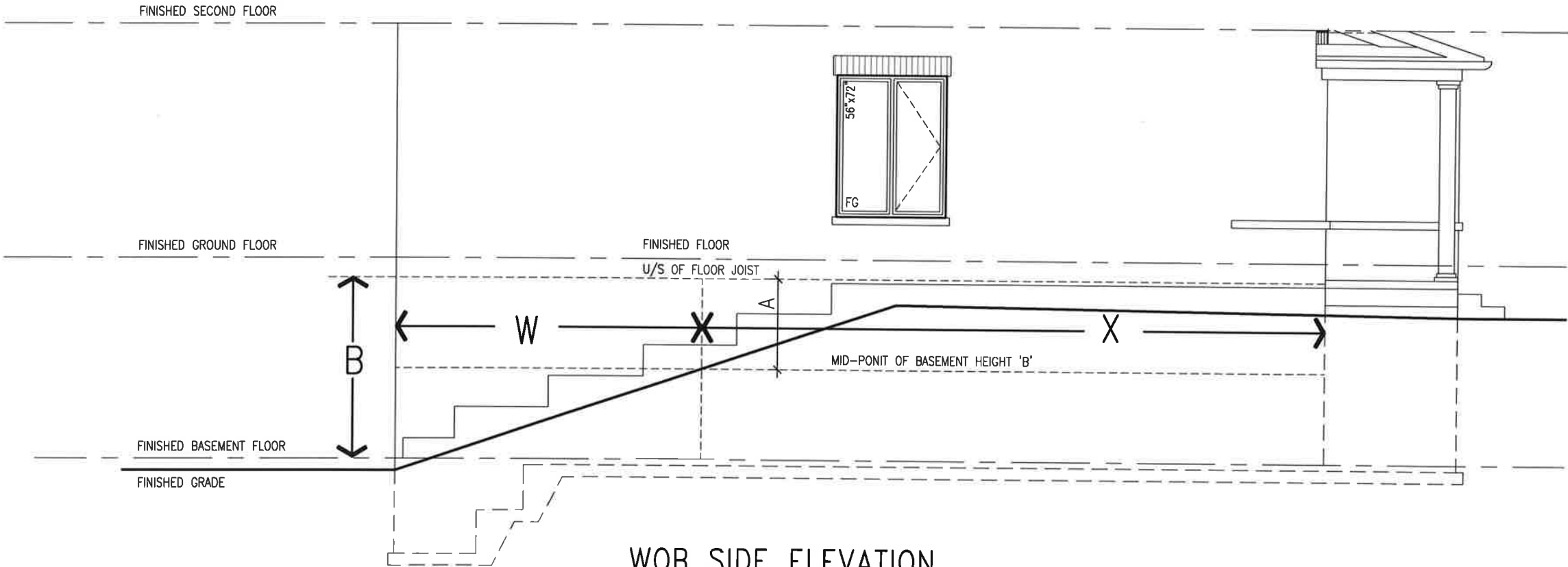
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are to be in accordance with the instruments of service and the property of the Designer which must be returned upon completion of the work. Drawings are not to be scaled.

VAD3 DESIGN		BAYVIEW WELLINGTON		CONST NOTE	
35 Consumers Rd Suite 120 Toronto ON M2J 1P4 16.630.2255 f 416.630.4782 vo2design.com		project name ALCONA		project no. 13049	
date MAY 2016		municipality INNISFIL ON.		drawing no. CN7	
drawn by RC		checked by -		scale 3/16" = 1'-0"	
construction notes 13049-CN-A1 VER 2020					

COMPLIANCE TO OBC SB-12 2.1.1.1(11)



WOB PLAN



WOB SIDE ELEVATION

WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellsington Jno-Bopiste 25591
name registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are instruments of service and the property of the Designer, which are not to be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
2	UPDATE TO OBC VER 2020	FEB 09-21 RC	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC	

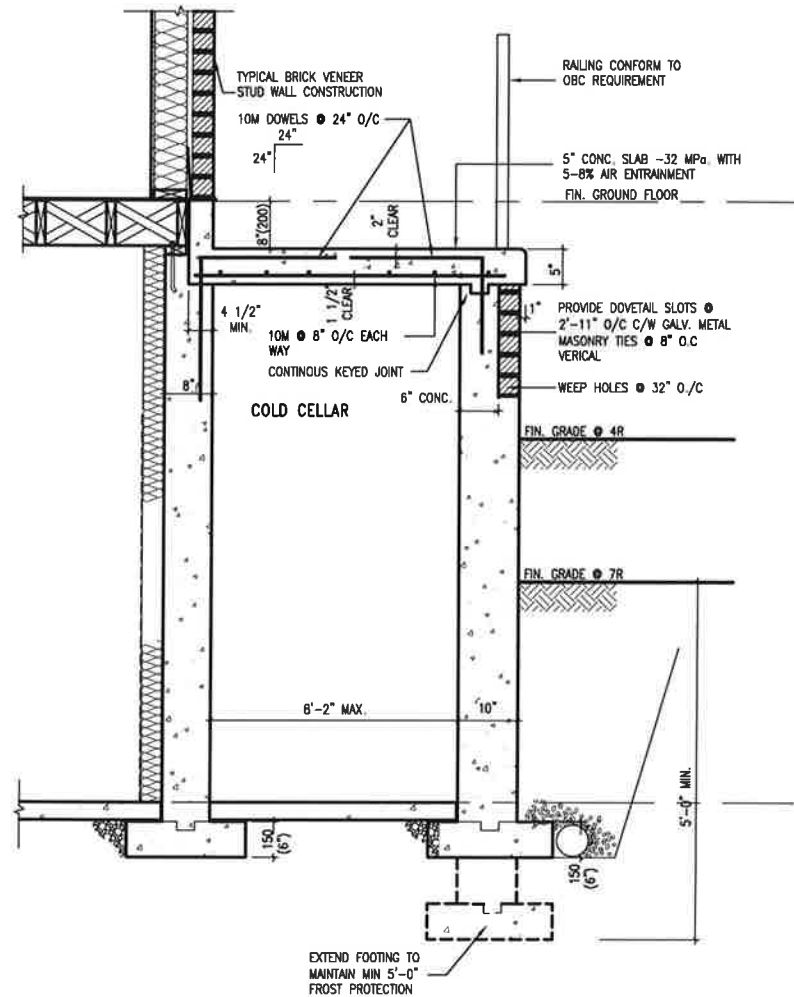
project name	project no.
ALCONA	13049
date	drawing no.
MAY 2016	CN8
checked by	scale
RC	3/16" = 1'-0"
checked by	CONSTRUCTION NOTES
RC	13049-CN-A1 VER 2020
RC	file name
RC	13049-CN-A1 VER 2020
RC	drawing no.
RC	CN8

BAYVIEW WELLINGTON

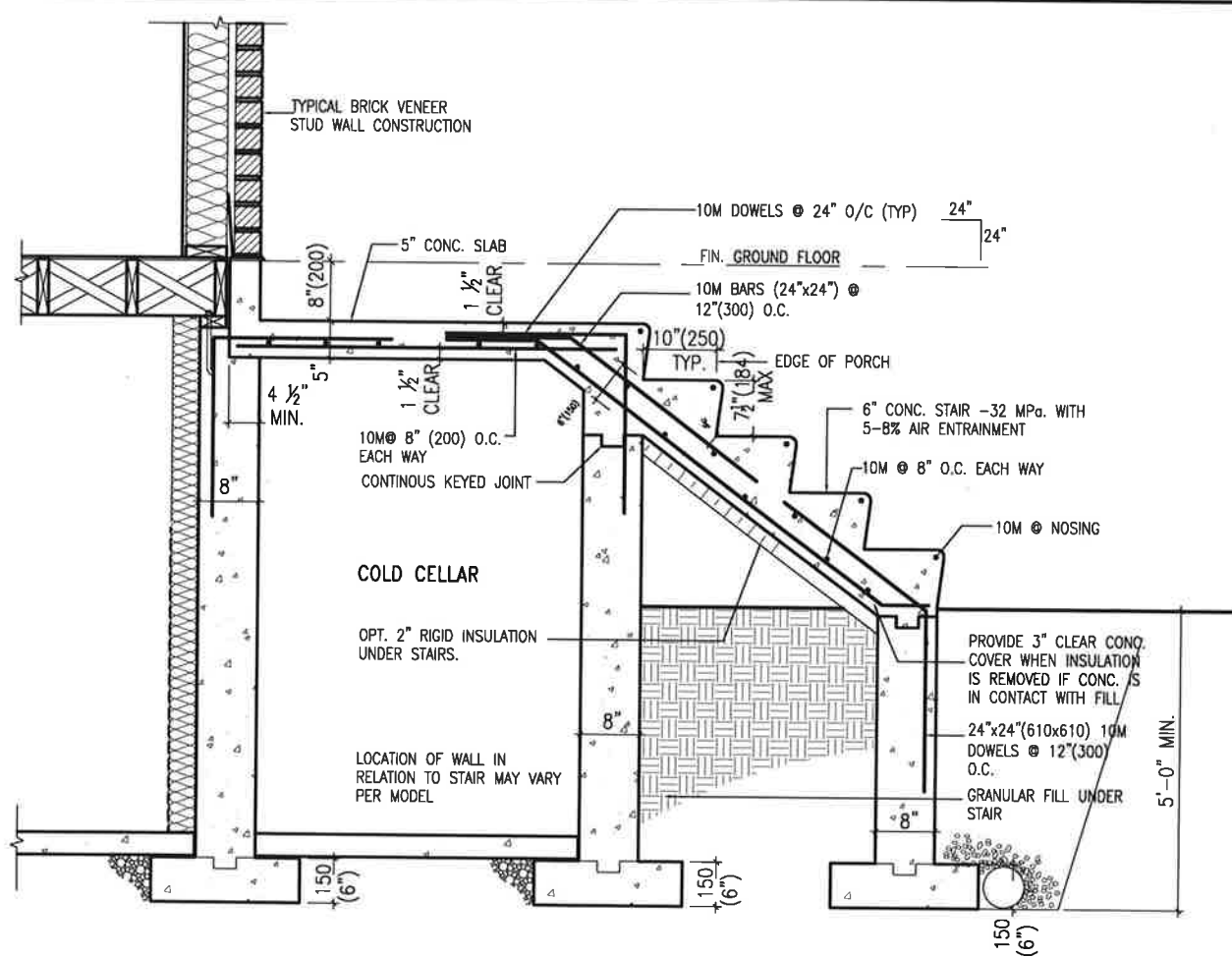
CONST NOTE



FEB 9, 2021



X1 SECTION AT PORCH FOR 4-7R CONDITION
SCALE: N.T.S.



X2 EXTERIOR CONC. STAIR DETAIL (6 RISERS/ 7 RISERS SIMILAR)
SCALE: N.T.S.

CONST NOTE

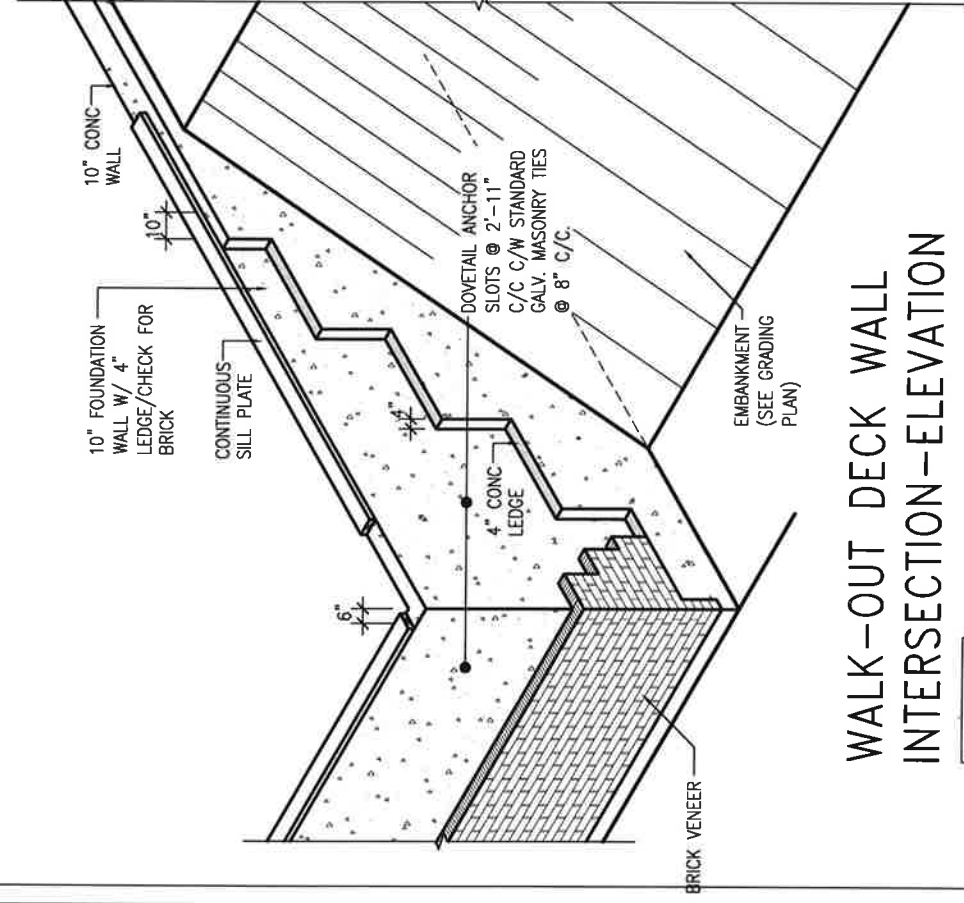
BAYVIEW WELLINGTON

project no	13049
drawing no	CN9
CONSTRUCTION NOTES	13049-CN-A1 VER 2020
file name	13049-CN-A1 VER 2020.dwg
scale	3/16" = 1'-0"
checked by	RC
drawn by	RC
date	MAY 2016
project name	ALCONA
municipality	INNISFIL, ON.

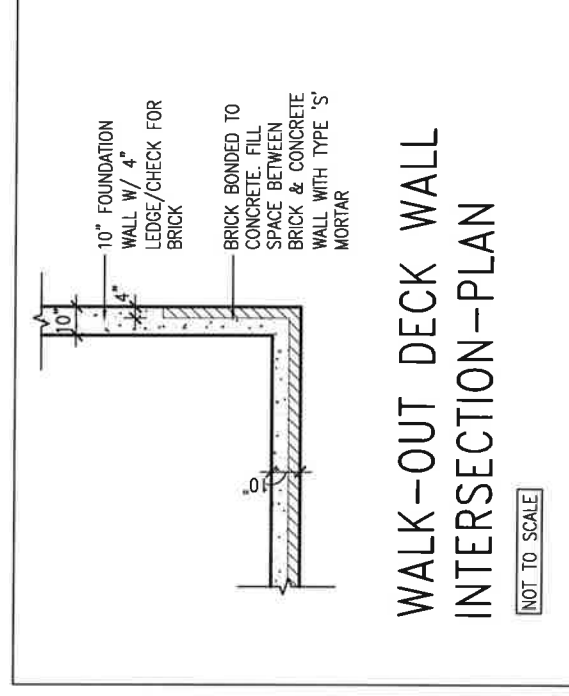
VA3 DESIGN
255 Consumers Rd Suite 120
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va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	25591	BCN
Wellington Jno-Baptiste	42658	
name	VA3 Design Inc.	
registration information		
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		

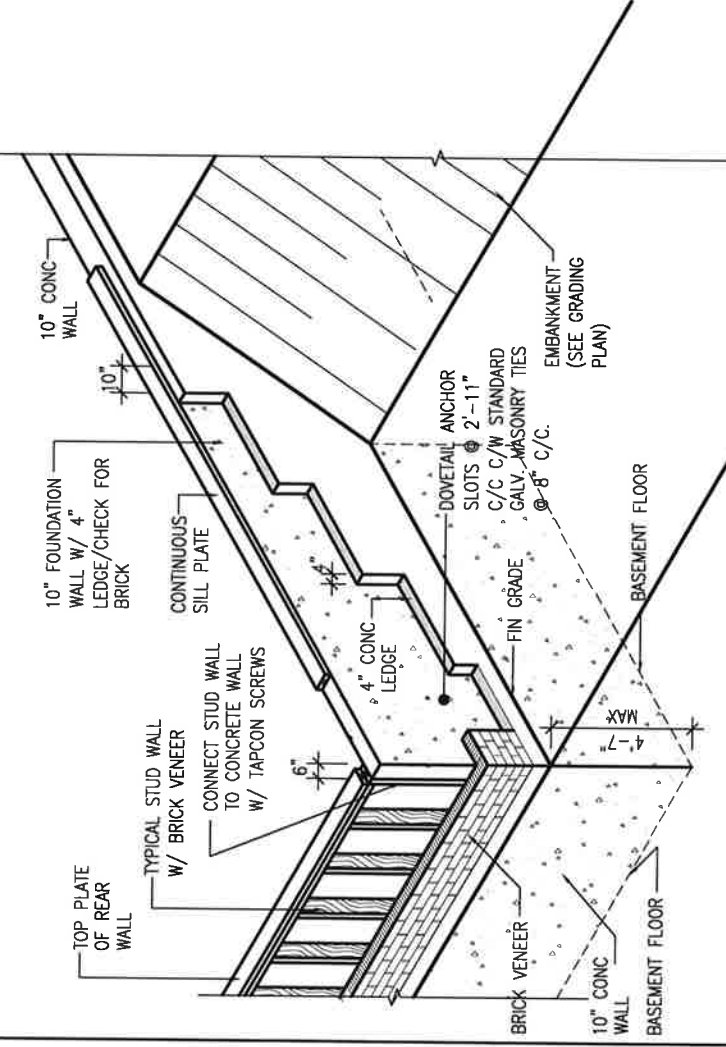
no.	description	date	by
2	UPDATE TO OBC VER 2020	FEB 09-21	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC



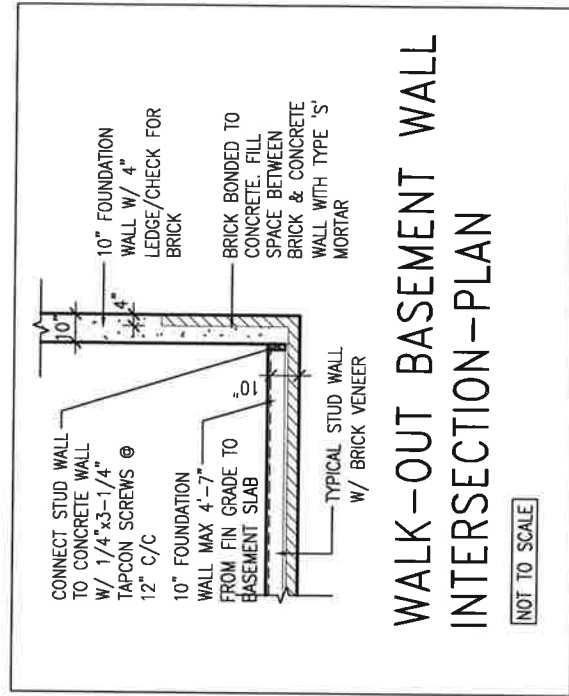
WALK-OUT DECK WALL INTERSECTION-ELEVATION



WALK-OUT DECK WALL INTERSECTION-PLAN



WALK-OUT DECK WALL
INTERSECTION-ELEVATION MAX
4'-7" BACKFILL



WALK-OUT BASEMENT WALL
INTERSECTION-PLAN

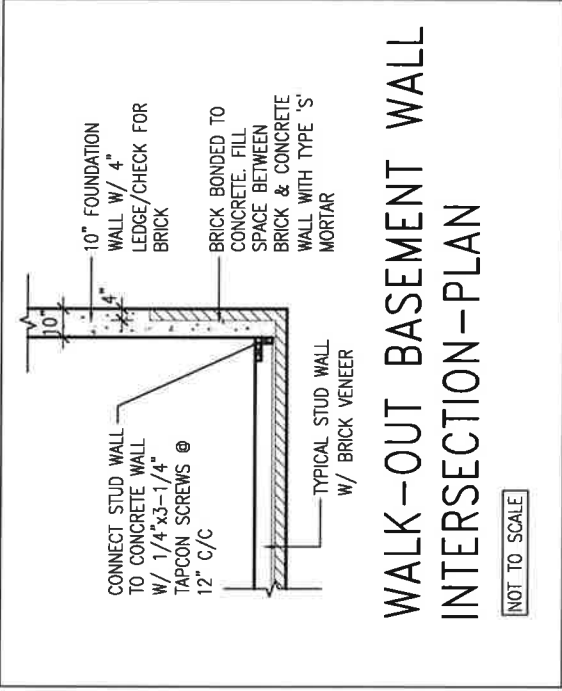


9	*		*		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	*		*		
7	*		*		qualification information
6	*		*		Wellington-Jno-Bopiste
5	*		*		signature <i>J Bopiste</i>
4	*		*		BCIN
3	*		*		VAS Design Inc. signature
2	UPDATE TO OBC VER 2020	FEB 09-21	RC		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are submitted by the contractor and are returned to the work.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC		
no.	disclotion	date	by		

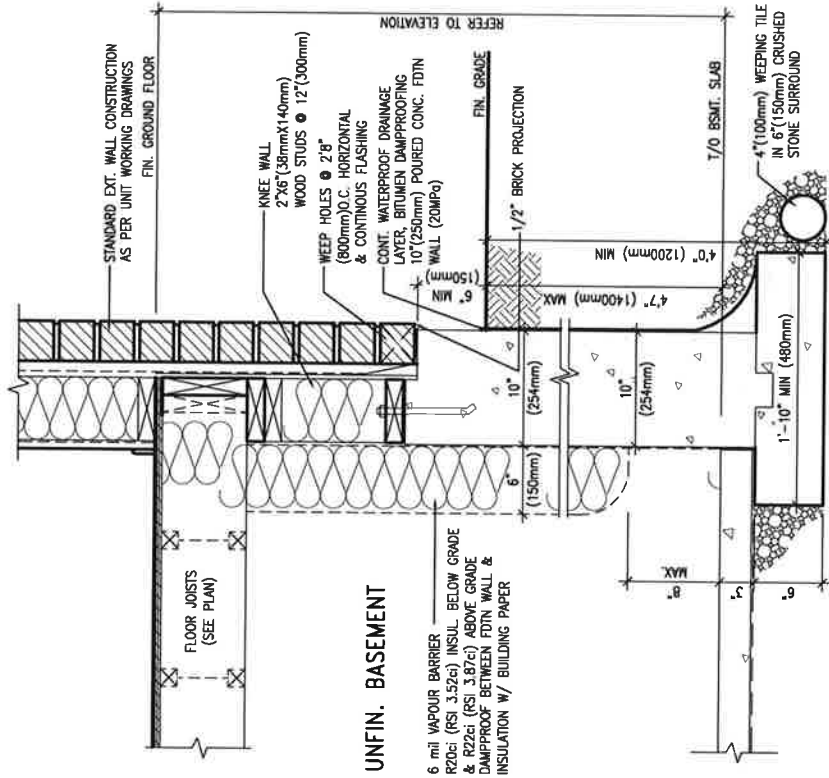
VA3
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BAYVIEW WELLINGTON		CONST NOTE	
project name ALCONA	municipality INNISFIL ON.	project no 13049	drawing no. CN10
date MAY 2016	scale 3/16" = 1'-0"	checked by RC	
drawn by		CONSTRUCTION NOTES	
		file name 13049-CN-A1 VER 2020	

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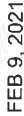


(10" FOUNDATION WALL)



EW3.07x
PKG A1

WALL SECTION FOR GRADE TO BASEMENT
SLAB 4'7" (1400mm)
MAX. HEIGHT DIFFERENCE
SCALE: N.T.S.



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project name ALCONA	project no. 13049
date MAY 2016	drawing no. CN111
drawn by RC	checked by --
scale 3/16" = 1'-0"	file name 13049-CN-A1 VER 2020
BAYVIEW WELLINGTON INNISFIL, ON. CONST NOTE CONSTRUCTION NOTES	

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