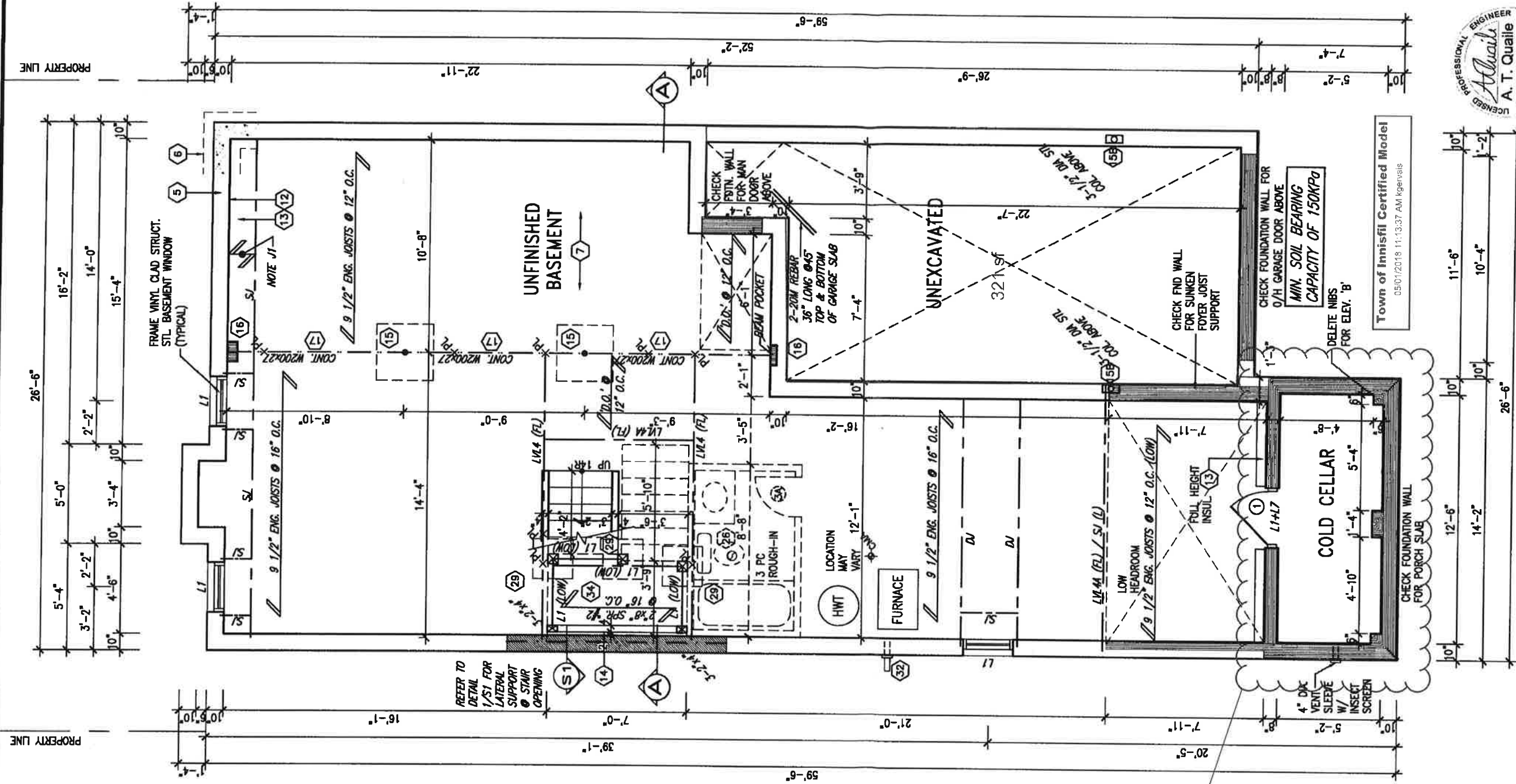


AREA CALCULATIONS		ELEV. A	ELEV. B
GROUND FLOOR AREA		1086 SF	1086 SF
SECOND FLOOR AREA		1331 SF	1321 SF
SUBTOTAL		2417 SF	2407 SF
DEDUCT ALL OPENINGS		0 SF	0 SF
TOTAL NET AREA		2417 SF	2407 SF
FINISHED BSMT AREA		224.54 m ²	223.62 m ²
COVERAGE W/OUT PORCH		0 SF	0 SF
		1408 SF	1408 SF
		130.81 m ²	130.81 m ²
COVERAGE W/ PORCH		1493 SF	1493 SF
		138.70 m ²	138.70 m ²

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions of the subdivision agreement. The Control Authority is not responsible in any way for examining or approving any plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

APPROVED FOR CONSTRUCTION
JUNE 10 2017
A. T. Quail



Provide 4" of rigid insulation for protection of footings on interior of cold cellar.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL L.V.'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: J.I. PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)



Town of Innisfil Certified Model
05/01/2018 11:13:37 AM kgervais

no.	description	date	by
5	REVISED FDN WALLS TO 10"	DEC 14-16 SB	25591
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16 RC	42658
3	REVISED INSULATION AT STAIRS	SEPT 20/16 SB	
2	ADD WOOD AND REAR UPGRADE	JUL 22-16 SB	
1	ISSUED FOR CLIENT REVIEW	JUL 04-16 SB	

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

BAYVIEW WELLINGTON

S32-4-12G
PELICAN 4-12

project name	ALCONA
location	INNISFIL, ONTARIO
date	JUNE 2016
drawn by	SB
checked by	3/16" = 1'-0"
scale	

project no.	13049
drawing no.	1
file name	13049-S32-4-12
date	13049-S32-4-12
town	Town of Innisfil

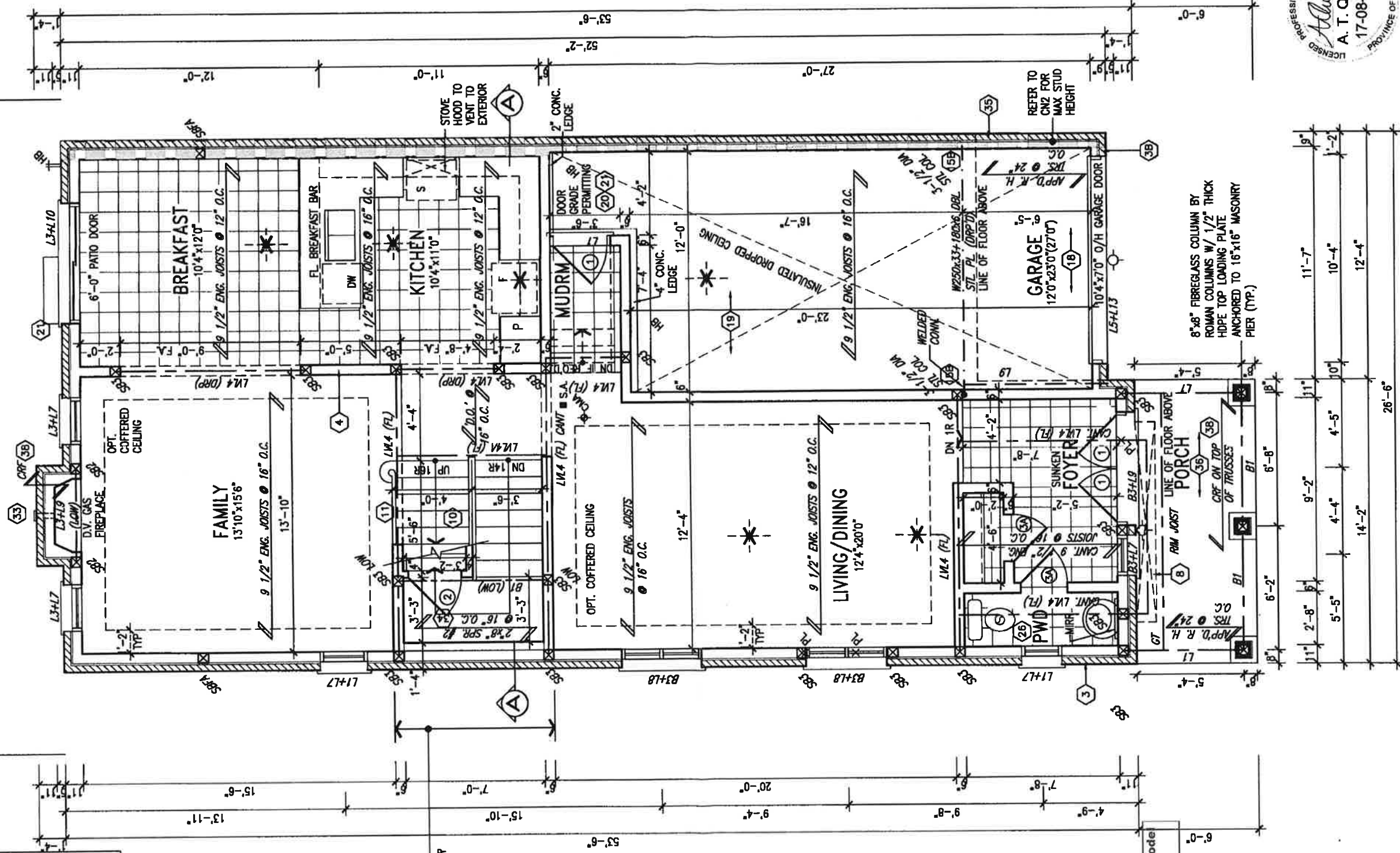
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

MINI-REVISION REVIEW & APPROVAL
AUG 16 2017
J. G. Williams Limited Architect

PROPERTY LINE

PROPERTY LINE



GROUND FLOOR PLAN 'A' 12'0" GARAGE

INDICATES REDUCED SIDE YARD

no.	description	date	by
9			
8			
7			
6			
5	REVISED FDN WALLS TO 10"	DEC 14-16 SB	
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16 RC	
3	REVISED INSULATION AT STAIRS	SEP 20/16 SB	
2	ADD WOD AND REAR UPGRADE	JUL 22-16 SB	
1	ISSUED FOR CLIENT REVIEW	JUL 04-16 SB	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

name: Wellington Jno-Baptiste
signature: [Signature]
title: Designer
company: VAS Design Inc.
address: 255 Consumers Rd Suite 120
Toronto ON M2J 1R4
phone: 416.630.2255 f 416.630.4782
email: vas@vasdesign.com

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vas@vasdesign.com

BAYVIEW WELLINGTON

S32-4-12G
PELICAN 4-12

project name	ALCONA	municipality	INNISFIL, ONTARIO	project no.	13049
date	JUNE 2016	checked by	SB	drawing no.	2
drawn by	SB	scale	3/16" = 1'-0"	file name	13049-S32-4-12

REMARKS - H:\ARCHIVE\WORKING\2013\13049-BAYVIEW\S32-4-12.dwg - Tue - Aug 1 2017 - 12:03 PM

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS,
UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: ALL LM'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

Town of Innisfil Certified Model
05/01/2018 11:13:50 AM kgervais

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

2012

[illegible][illegible]

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information	signature	DOB
Wellington Jno-Baptiste	<i>[Signature]</i>	25591
name	signature	DOB
VAS Design Inc.	<i>[Signature]</i>	49658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be loaned.

All done!



DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782

BAYVIEW WELLINGTON

project name	ALCONA
AggId:project name	INNISFIL, ONTARIO

S32-4-12G

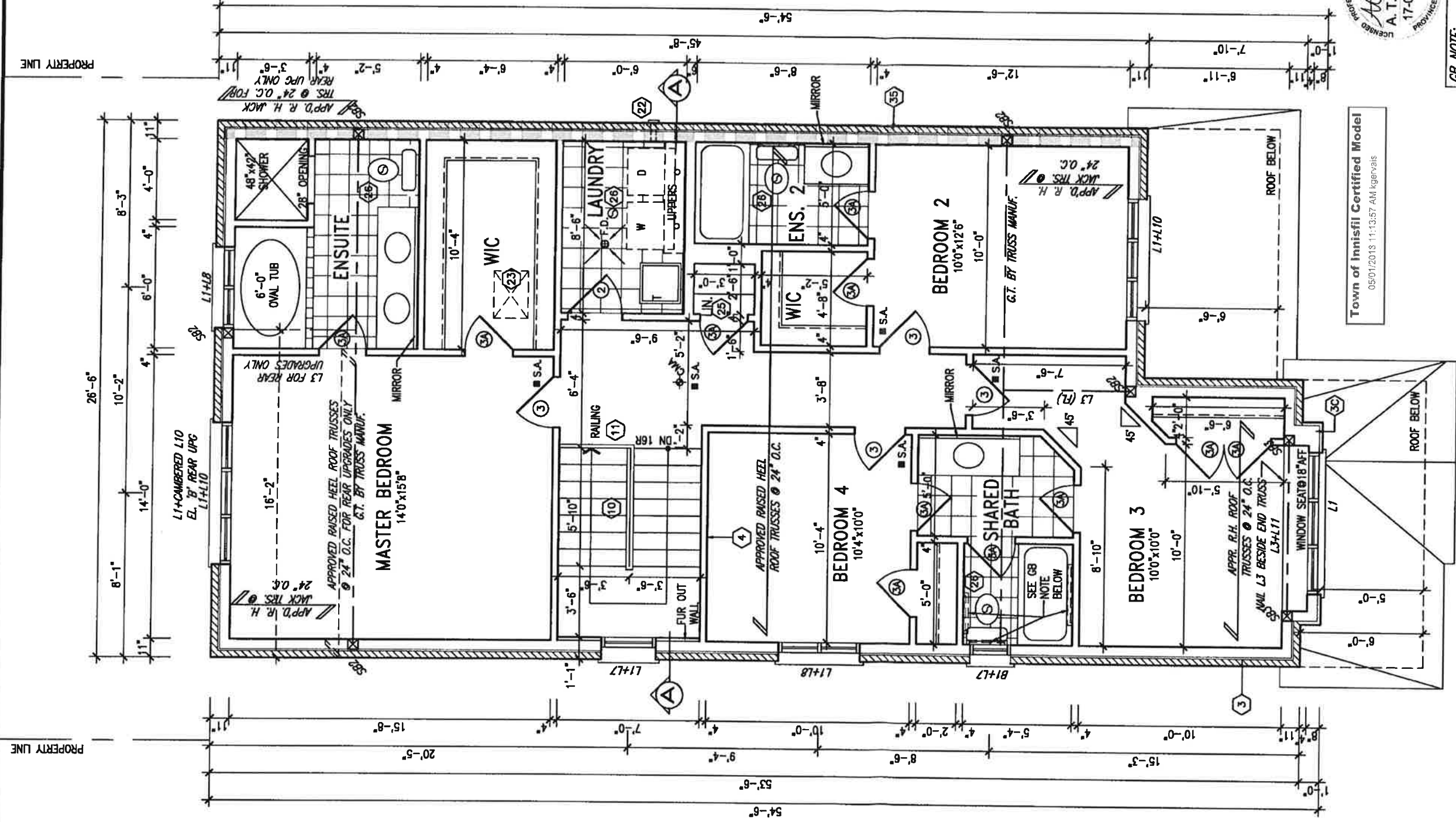
PELICAN 4-12

date JUNE 2016 SECOND FLOOR PLAN 'A'

LOOK 1 PLAN A	for name 13049-S37-4-12
---------------	----------------------------

Aug 1 2017 - 12:03 PM

ALL RIGHTS RESERVED. NO PART OF THIS PUBLICATION MAY BE REPRODUCED OR TRANSMITED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM THE PUBLISHER.



INDICATES REDUCED SIDE YARD

Town of Innisfil Certified Model
05/01/2018 11:13:57 AM kgervais

GB NOTE:
STUD WALL
REINFORCEMENT FOR
FUTURE GRAB BARS IN
MAIN BATHROOM
REINFORCEMENT OF STUD WALLS
SHALL BE INSTALLED ADJACENT
TO WATER CLOSETS AND SHOWERS
OR ENTRITIES IN MAIN BATHROOM.
REFER TO CBC 9.5.2.3
3.8.3.8.(3)(a), 3.8.3.8.(3)(c),
3.8.3.13.(2)(a) & 3.8.3.13.(4)(c)
AND DETAILS PROVIDED.

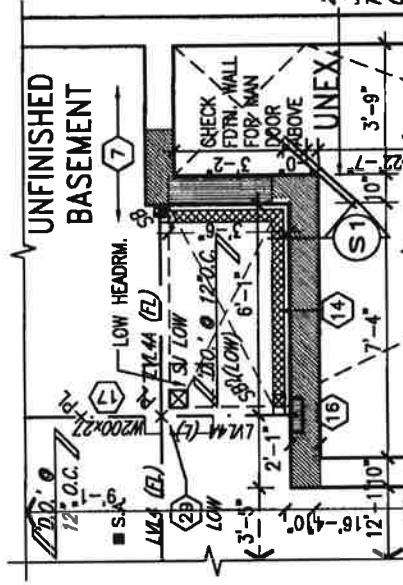
SECOND FLOOR PLAN 'A' 12'0" GARAGE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any conditions of approval. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building codes or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

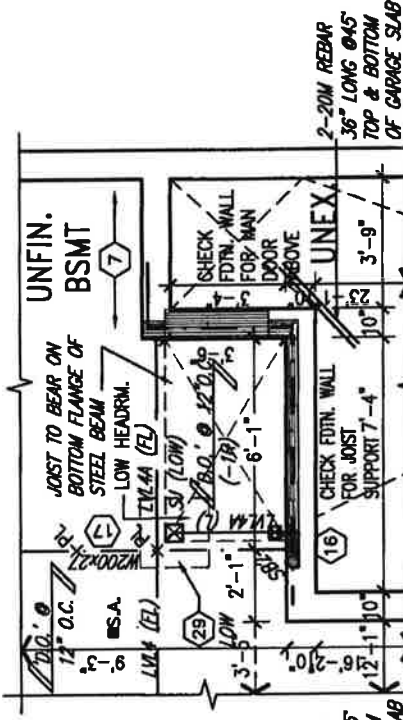
APPROVED BY TOWN OF INNISFIL

APPROVED BY TOWN OF INNISFIL



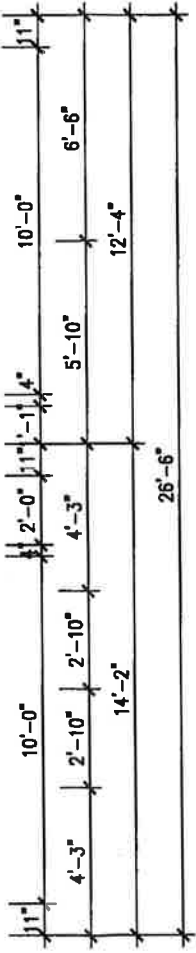
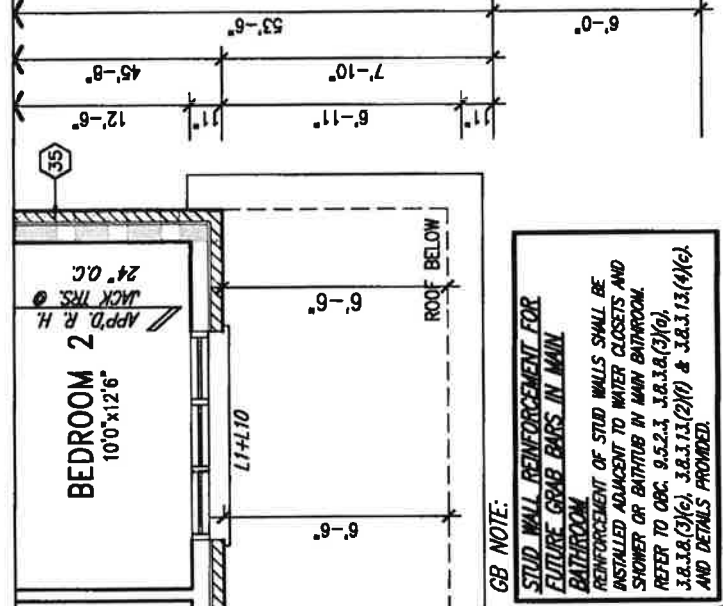
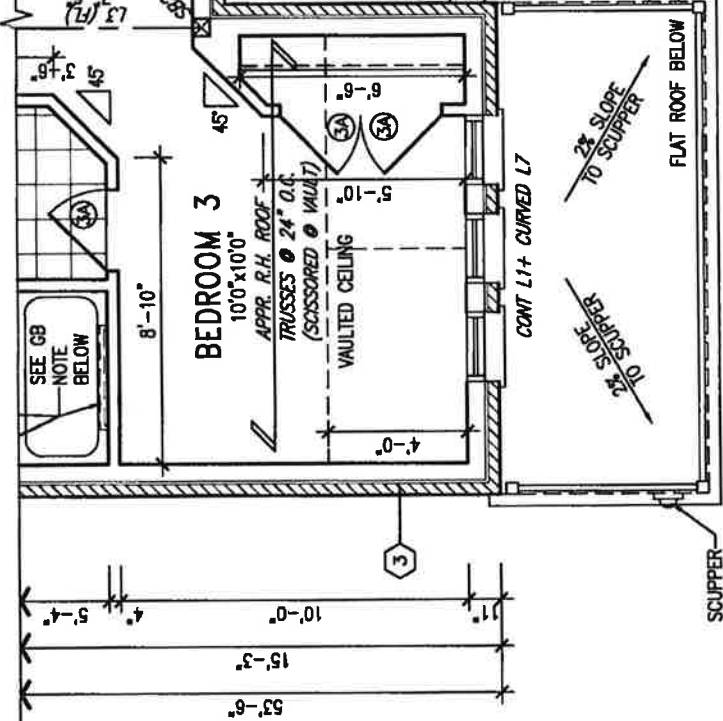
PART. BSMT PLAN

MUD ROOM SUNKEN >1R

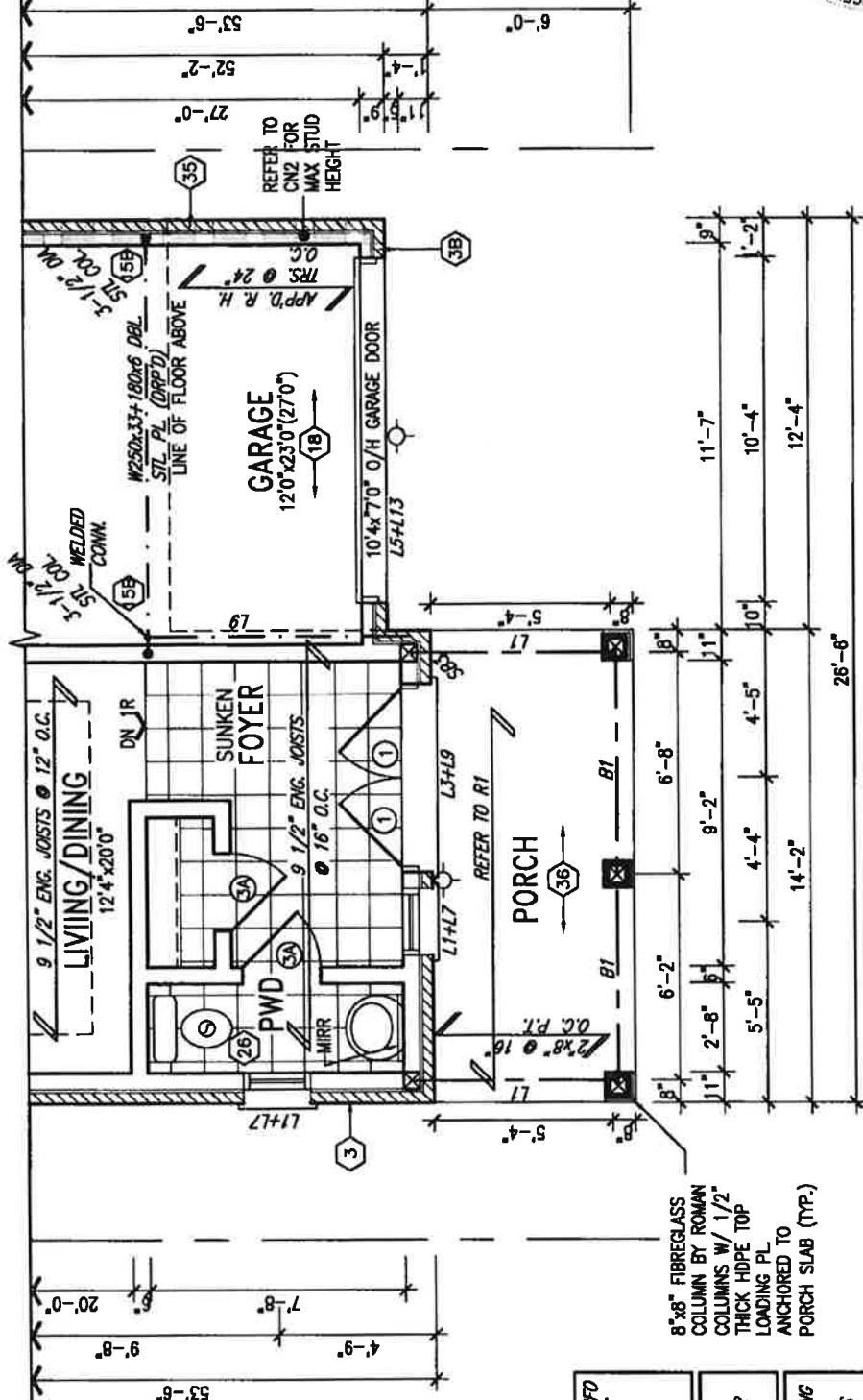


PART. BSMT PLAN

MUD ROOM SUNKEN 1R



PARTIAL SECOND FLOOR PLAN 'B'



NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LM'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

Town of Innisfil Certified Model
05/01/2018 11:42:20 AM kgavals

INDICATES REDUCED SIDE YARD

PROFESSIONAL ENGINEER
A. T. Quaile
17-08-01
PROVINCE OF ONTARIO

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2555 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S32-4-12G
PELICAN 4-12

project name	ALCONA	municipality	INNISFIL, ONTARIO
project no.	13049	drawing no.	4
date	JUNE, 2016	partial plans 'B'	
drawn by	SB	checked by	3/16" = 1'-0"
scale	1/8" = 1'-0"	title name	13049-S32-4-12
date	JUNE, 2016	scale	1/8" = 1'-0"

ALL drawings, specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

05/01/2018 11:15:24 AM kgervais

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

S32-4-12G
PELICAN 4-12

BAYVIEW WELLINGTON

V3
DESIGN
5 Consumers Rd Suite 1

and has the qualifications and meets the requirements and not in the Ontario Building Code to be a Designer. Registration Information Wellington Jno-Bopliste name registration information VAS Design Inc. 25591 BCN 42658	<i>Signature</i> <i>Signature</i> Co-designer must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the job. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
--	--

no.	description	date	by
1	ISSUED FOR CLIENT REVIEW	JUL 04-16	SB
2	ADD WOOD AND REAR UPGRADE	JUL 22-16	SB
3	REVISED INSULATION AT STAIRS	SEPT 20/16	SB
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC
5	5 REVISED FOR WALLS TO 10"	DEC 14-16	SB
6			
7			
8			

All drawings specifications, related documents and design are the copyright property of WAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without WAS DESIGN's written permission.

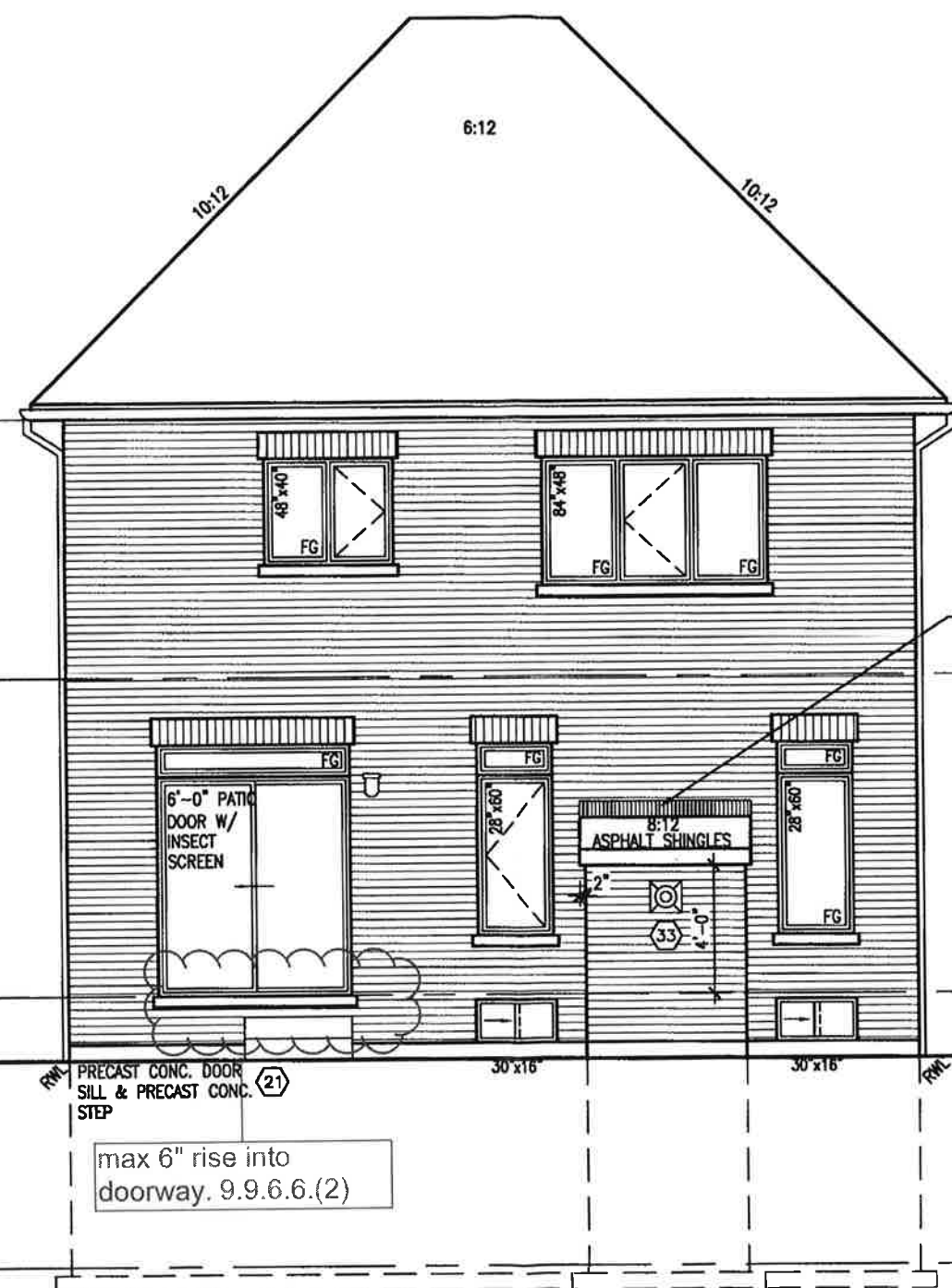
RIGHT SIDE ELEVATION 'A'

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION


 A. T. Quaile
 17-08-01
 PROVINCE OF ONTARIO

1'-0"

1'-0"



REAR ELEVATION 'A' & 'B'

Town of Innisfil Certified Model
05/01/2018 11:15:44 AM kgervais



REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

TOP OF PLATE
TOP OF WINDOW
6'-10"
8'-1"
FIN. SECOND FLOOR
TOP OF TRANSOM
TOP OF DOOR/WINDOW
1'-0"
6'-10"
9'-11"
FIN. GROUND FLOOR
FIN. GRADE
8'-5"
TOP OF SLAB

PREFIN. MTL FLASHING W/
CAULKING TO MATCH
MASONRY (TYP.)

PRECAST CONC. DOOR
SILL & PRECAST CONC.
STEP
max 6" rise into
doorway. 9.9.6.6.(2)

project no. 13049		drawing no. 8	
project name BAYVIEW WELLINGTON		project name REAR ELEVATION 'A' & 'B'	
municipality INNISFIL, ONTARIO		scale 3/16" = 1'-0"	
date JUNE, 2016		checked by SB	
drawn by SB		date 13049-S32-4-12	
author RICHARD - H.V. (ARCHITECTURE WORKS) 2013\13049-BAYVIEW-UTILITY\13049-S32-4-12.dwg - Tue Aug 1 2017 12:03 PM		revision 13049-S32-4-12	

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

no.	description	date	by
9			
8			
7			
6			
5	REVISED FIN WALLS TO 10"	DEC 14-16 SB	
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16 RC	
3	REVISED INSULATION AT STAIRS	SEPT 20/16 SB	
2	ADD WOOD AND REAR UPGRADE	JUL 22-16 SB	
1	ISSUED FOR CLIENT REVIEW	JUL 04-16 SB	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

signature: *A. T. Quail* 25591
name: A. T. Quail
qualification: Architect
firm: VA3 Design Inc.
registration number: 42653

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
32-4-12 ELEVATION B		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	549 S.F.	120.968 S.F.	22.03 %
LEFT SIDE	1070 S.F.	108.22 S.F.	10.11 %
RIGHT SIDE	1070 S.F.	0 S.F.	0.00 %
REAR	530 S.F.	123 S.F.	23.21 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3219.00 S.F.	352.19 S.F.	10.94 %
TOTAL SQ. M.	299.05 S.M.	32.72 S.M.	10.94 %

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

FACE BRICK (TYP.)

VAULTED CEILING BEYOND (6:12)

1"x6" ALUM. FRIEZE BD. (TYP.)

10" PRECAST ARCH W/ PRECAST KEYSTONE ON PRECAST SURROUND BETWEEN WINDOWS ALL W/ 1/2" PROJ.

18" HIGH PREFIN. ALUM. RAILING (TYP.)

PREFIN. ALUM. CLAD COPING

STUCCO FINISH (TYP.)

8"x8" FIBREGLASS COLUMN BY ROMAN COLUMNS W/ 1/2" THICK HDPE TOP LOADING PLATE ANCHORED TO PORCH SLAB (TYP.)

FIN. SUNKEN FOYER

POURED CONC. PORCH SLAB AND DOOR SILL (TYP.)

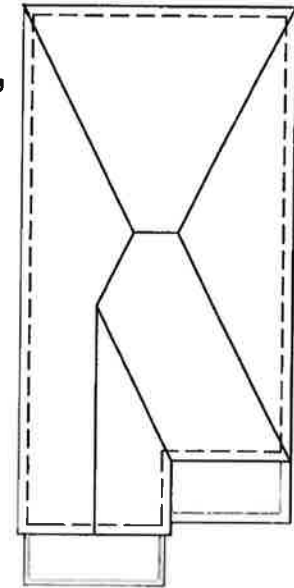
POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

max 6" rise into doorway. 9.9.6.6.(2)

FRONT ELEVATION 'B'

Town of Innisfil Certified Model
05/01/2018 11:15:53 AM kgervais

ROOF PLAN 'B'
N.T.S.



ASPHALT SHINGLES (TYP.)

VALLEY FLASHING (TYP.)

PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)

10" PRECAST HEADER ON 10" PRECAST SURROUND W/ 1/2" PROJ. (TYP.)

PREFIN. MTL FLASHING W/ CAULKING TO MATCH MASONRY (TYP.)

STL BEAM LOCATION

MUNICIPAL ADDRESS PLAQUE

10" PRECAST HEADER W/ PRECAST KEYSTONE W/ 1/2" PROJ. (TYP.)

STONE VENEER (TYP.)

STEPPED FOOTING

TOP OF PLATE

TOP OF WINDOW

FIN. SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN. GROUND FLOOR

FIN. GRADE

TOP OF SLAB

S32-4-12G
PELICAN 4-12

BAYVIEW WELLINGTON

project no.
13049

drawing no.
9

city
INNISFIL, ONTARIO

project name
ALCONA

date
JUNE, 2016

checked by
SB

drawn by
SB

scale
3/16" = 1'-0"

front elevation 'B'

13049-S32-4-12

13049-S32-4-12

13049-S32-4-12

13049-S32-4-12

13049-S32-4-12

13049-S32-4-12

13049-S32-4-12

13049-S32-4-12

13049-S32-4-12

13049-S32-4-12

13049-S32-4-12

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2A 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and taken responsibility for this design and is a duly qualified professional engineer in the Province of Ontario. The undersigned is not responsible for the design of any other part of the project.

no.	description	date	by
5	REVISED FDN WALLS TO 10"	DEC 14-16 SB	SB
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16 RC	RC
3	REVISED INSULATION AT STAIRS	SEPT 20-16 SB	SB
2	ADD WOOD AND REAR UPGRADE	JUL 22-16 SB	SB
1	ISSUED FOR CLIENT REVIEW	JUL 04-16 SB	SB

LICENSED PROFESSIONAL ENGINEER
A. T. Quaile
17-08-01
PROVINCE OF ONTARIO

05/01/2018 11:16:29 AM kgervais

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

S32-4-12G
PELICAN 4-12

BAYVIEW WELLINGTON

project name	project no.
ALCONA	13049
MUNICIPALITY	
INNISFIL, ONTARIO	

RIGHT SIDE ELEVATION 'B'
 DATE: JUNE, 2016
 DRAWN BY: SB
 CHECKED BY: *
 SCALE: 3/16" = 1'-0"
 THE NAME: 13049-S32-4-12
 RICHARD - H. ARCHIVE WORKING 2013.13049.BN.UTMS.32.13049-S32-4-12.dwg - Tue - Aug 1 2017 - 12:03 PM
 THE UNRECORDED ELEVATION OF THIS RECORD IS 11.00'

VA3 DESIGN
255 Consumers Rd Suite

Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and the information furnished herein. The undersigned has read and understands the specifications and meets the requirements set out in the drawings. The undersigned certifies that the design complies with the applicable Building Code and all applicable regulatory information.
 Name Wellington Jno-Baptiste Signature [Signature] License No. 42538
 Title Architect Date 12/20/04
 Registration Information: Registration Information: WAS Design Inc.
 The undersigned must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are the property of the Designer which shall remain the property of the Designer until the completion of the project. Drawings are not to be copied.

no.	description	date	by
9	*	*	*
8	*	*	*
7	*	*	*
6	*	*	*
5	REVISED FPN WALLS TO 10"	DEC 14-16	SB
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 24-16	RC
3	REVISED INSULATION AT STAIRS	SEPT 20/16	SB
2	AUD MOD AND REAR UPGRADE	JUL 22-16	SB
1	ISSUED FOR CLIENT REVIEW	JUL 04-16	SB

© 2004 by the copyright owner. All rights reserved. No part of this publication may be reproduced, stored in a retrieval system, or transmitted, in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without prior written permission from the copyright owner.

VALLEY FLASHING (TYP.)

PREFIN. MTL FLASHING W/
CAULKING TO MATCH —
MASONRY (TYP.)

MTL FLASHING W/ CAULKING
BEHIND CLADDING (TYP.) —

10" PRECAST BAND
W/ 1/2" PROJ. —

8"x8" FIBREGLASS
COLUMN BY ROMAN
COLUMNS W/ 1/2"
THICK HDPE TOP
LOADING PLATE
ANCHORED TO PORCH
SLAB (TYP.)

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE) 45 MINUTE FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR
CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO
MAINTAIN 45 MINUTE FIRE RATING.

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
 PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE)
 INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS
 TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL
 INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT
 LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY
 BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE
 INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
 (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

RIGHT SIDE ELEVATION 'B'


 LICENSED PROFESSIONAL ENGINEER
A. T. Quaile
 A. T. Quaile
 17-08-01
 PROVINCE OF ONTARIO

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

Town of Innisfil Certified Model
05/01/2018 11:17:21 AM kgervais

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

S32-4-12G
PELICAN 4-12

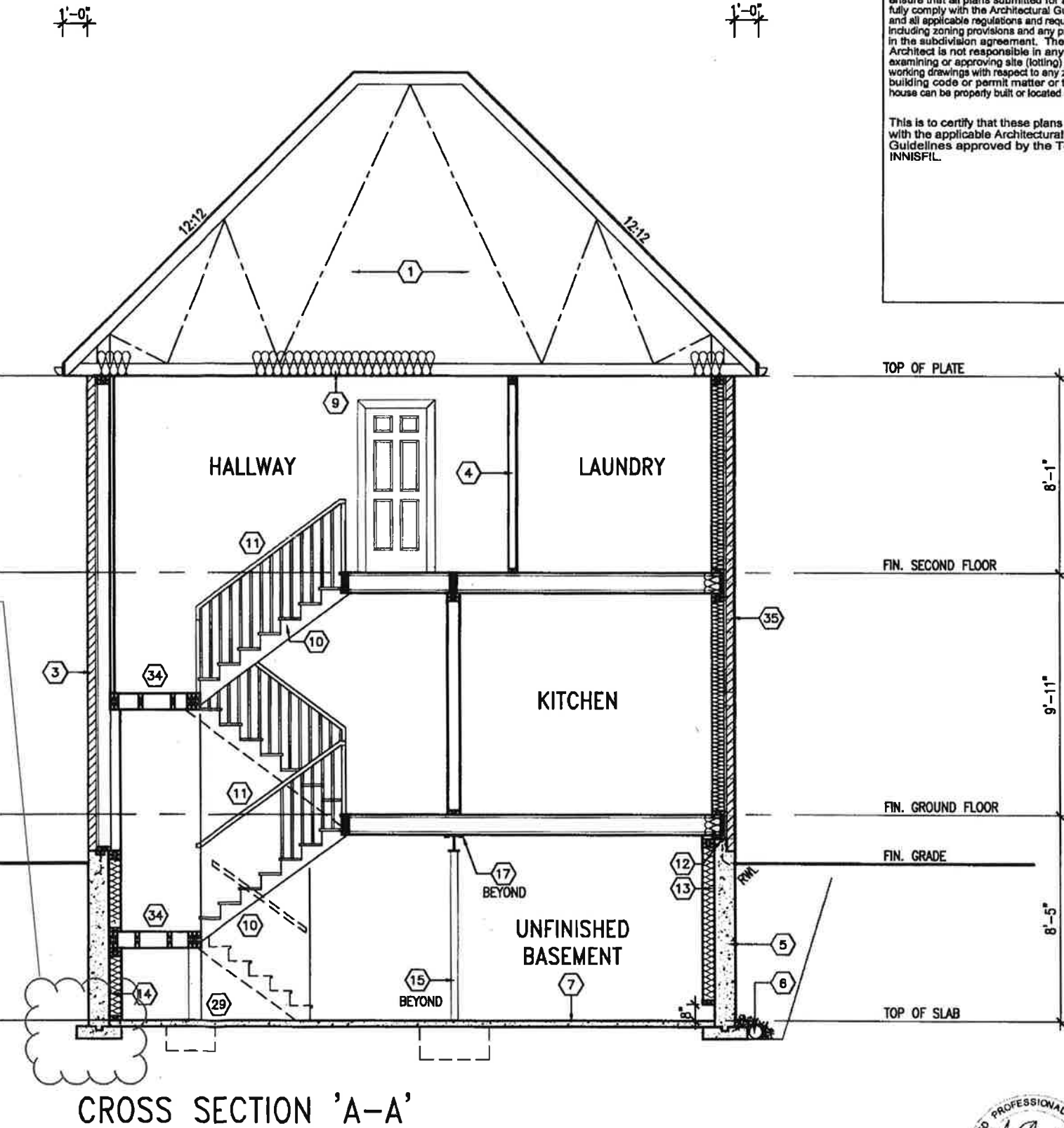
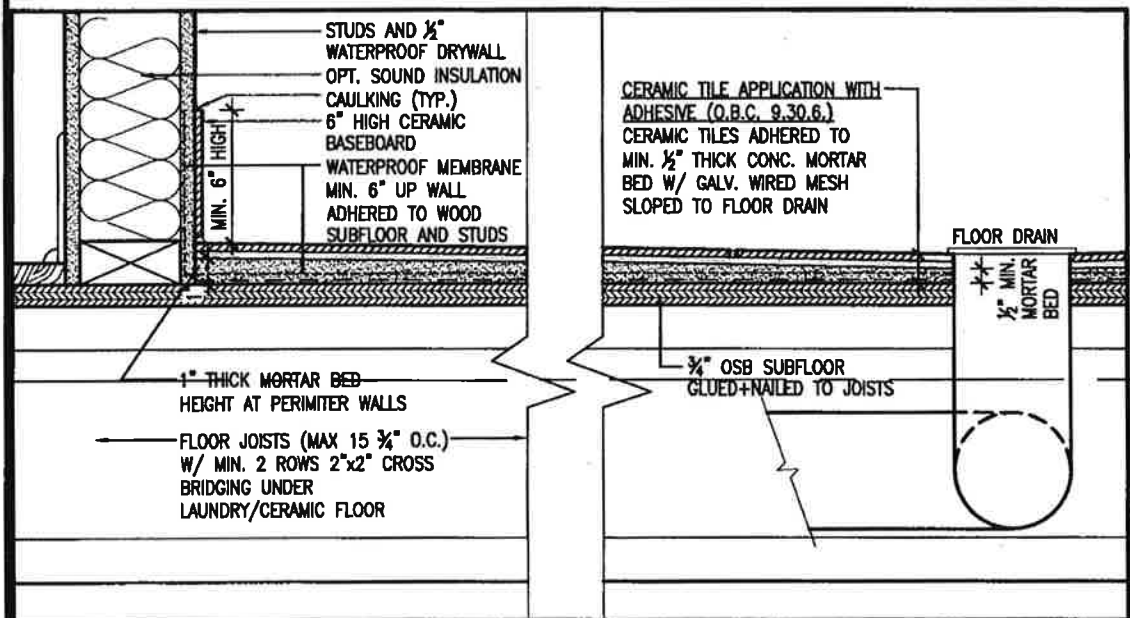
BAYVIEW WELLINGTON

project no. 13049
drawing no. 12
cross section 'A-A'
scale 3/16" = 1'-0"
checked by SB
drawn by SB
date JUNE, 2016
project name ALCONA
municipality INNISFIL, ONTARIO

VAS
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
1 416.630.2255 f 416.630.4782
vasdesign.com

no.	description	date	by
9	REVISED FIN WALLS TO 10"	DEC 14-16 SB	
8	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16 RC	
7	REVISED INSULATION AT STAIRS	SEP 20-16 SB	
6	ADD WOOD AND REAR UPGRADE	JUL 22-16 SB	
5	ISSUED FOR CLIENT REVIEW	JUL 04-16 SB	
4			
3			
2			
1			

foundation drainage shall be provided at the bottom of every foundation wall containing the building interior. 9.14.2.1.



PROFESSIONAL ENGINEER
A. T. Quaile
17-08-01
PROVINCE OF ONTARIO

DETAIL THRU SLOPED CERAMIC FLOOR IN LAUNDRY

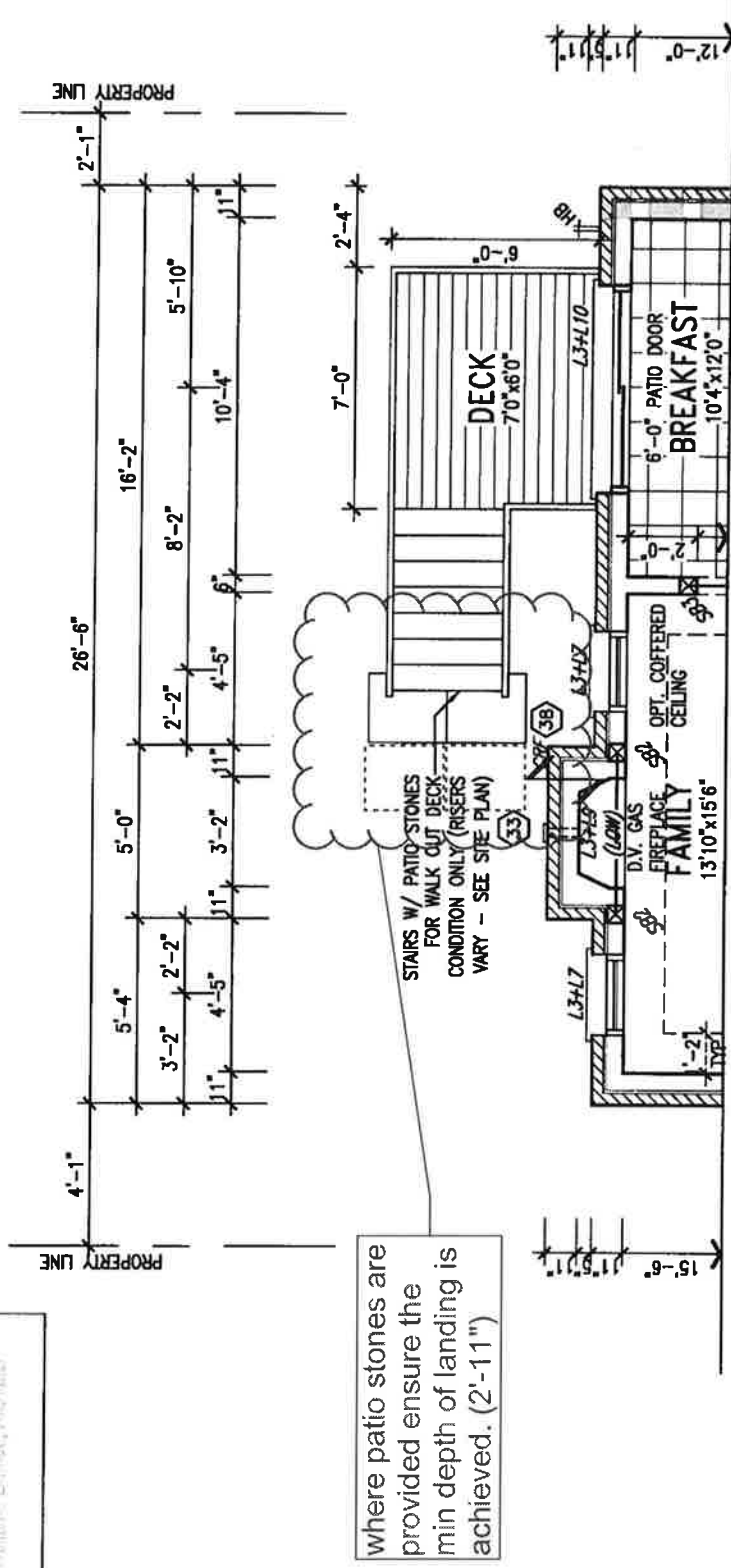
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision and any provisions in the subdivision agreement. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any houses can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

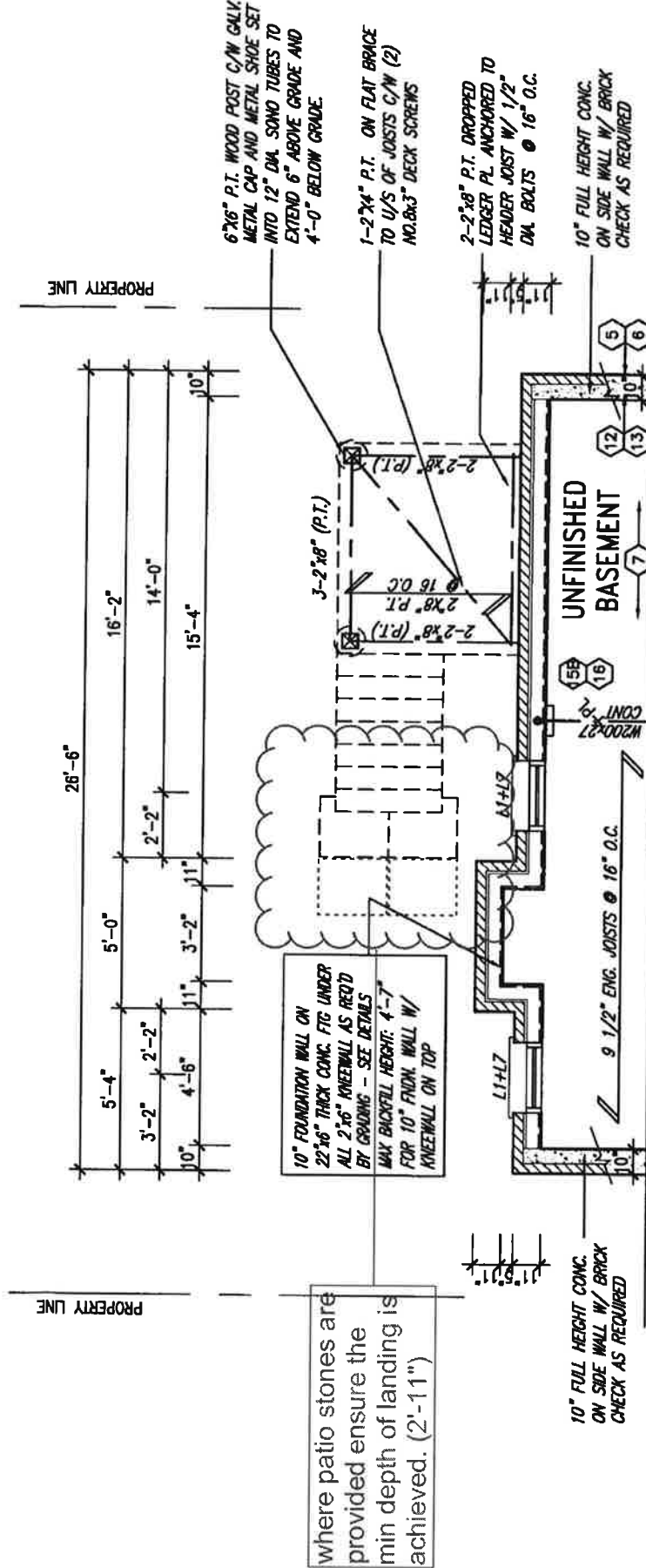
ARCHITECTURAL REVIEW APPROVAL

AUG 9 2017

Scott G. Williams, Architect, Architect



PARTIAL GROUND FLOOR PLAN 'A' & 'B'
W.O.D. 9R AND MORE COND.



PARTIAL BASEMENT FLOOR PLAN 'A' & 'B'
W.O.D. 9R AND MORE COND.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

MIN. SOIL BEARING
CAPACITY OF 150KPa



INDICATES REDUCED SIDE YARD

no.	description	date	by
9			
8			
7			
6			
5	REVISED FDN WALLS TO 10"	DEC 14-16 SB	
4	REVISED AS PER ENG. TRUSS LAYOUT	SEP 28-16 RC	
3	REVISED INSULATION AT STAIRS	SEP 20-16 SB	
2	ADD WOOD AND REAR UPGRADE	JUL 22-16 SB	
1	ISSUED FOR CLIENT REVIEW	JUL 04-16 BM	

The undersigned has reviewed and taken responsibility for this design and that the design complies with the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	
name	Wellington Jno-Baptiste
registration information	25591
firm	VAS Design Inc.
address	42658

VAS3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

project name	ALCONA	project no.	13049
date	JULY, 2016	city	INNISFIL, ONTARIO
drawn by	SB	checked by	SB
scale	3/16" = 1'-0"	file name	13049-S32-4-12
drawing no.	13	drawing no.	13

ALL drawings specifications, related documents and design are the copyright property of VAS3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS3 DESIGN's written permission.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

S32-4-12G
PELICAN 4-12

BAYVIEW WELLINGTON

project name	project no.
ALCONA	13049
city	county
INNISFIL, ONTARIO	
date	drawing no.
NOV, 2015	14
drawn by	file name
BD, BUN	13049-S32-4-12
checked by	scale
	5/16" = 1'-0"
W.O.D. REAR ELEVATION 'A' & 'B'	
RICHARDSON - H.A. ARCHIVE, WORKING 2013.13049.S32.4-12.dwg - Tue - Aug 11 2017 - 12:53 PM 13049-S32-4-12.dwg	

V3
DESIGN
255 Consumers Rd Suite 114
Toronto ON M2J 1R4
416.630.2255 f 416.630.4141
va3design.com

the anticipated job reviewed and takes responsibility for the design and construction of the project. The Designer shall be responsible for the design and construction of the project and shall be responsible for the design and construction of the project. the anticipated job reviewed and takes responsibility for the design and construction of the project. The Designer shall be responsible for the design and construction of the project and shall be responsible for the design and construction of the project.	the anticipated job reviewed and takes responsibility for the design and construction of the project. The Designer shall be responsible for the design and construction of the project and shall be responsible for the design and construction of the project. the anticipated job reviewed and takes responsibility for the design and construction of the project. The Designer shall be responsible for the design and construction of the project and shall be responsible for the design and construction of the project.	the anticipated job reviewed and takes responsibility for the design and construction of the project. The Designer shall be responsible for the design and construction of the project and shall be responsible for the design and construction of the project. the anticipated job reviewed and takes responsibility for the design and construction of the project. The Designer shall be responsible for the design and construction of the project and shall be responsible for the design and construction of the project.
---	---	---

o.	description	date	by
9	5 REVISD FDN WALLS TO 10"	DEC 14-16 SB	
8	4 REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16 RC	
7	3 REVISED INSULATION AT STAIRS	SEPT 20/16 SB	
6	2 ADD WOOD AND REAR UPGRADE	JUL 22-16 SB	
5	1 ISSUED FOR CLIENT REVIEW	JUL 04-16 BM	

<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
32-4-12 ELEVATION A 9R WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	530 S.F.	117.056 S.F.	22.09 %
LEFT SIDE	1070 S.F.	108.22 S.F.	10.11 %
RIGHT SIDE	1070 S.F.	0 S.F.	0.00 %
REAR	636 S.F.	131.889 S.F.	20.74 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3306.00 S.F.	357.17 S.F.	10.80 %
TOTAL SQ. M.	307.13 S.M.	33.18 S.M.	10.80 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
32-4-12 ELEVATION B 9R WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	549 S.F.	120.968 S.F.	22.03 %
LEFT SIDE	1070 S.F.	108.22 S.F.	10.11 %
RIGHT SIDE	1070 S.F.	0 S.F.	0.00 %
REAR	636 S.F.	131.889 S.F.	20.74 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3325.00 S.F.	361.08 S.F.	10.86 %
TOTAL SQ. M.	308.90 S.M.	33.54 S.M.	10.86 %

FACE BRICK (TYP.) _____

2"x6" P.T. CROSS _____

BRACING (TYP.) _____

6"x6" P.T. WOOD POST C/W
GALV. METAL CAP AND
METAL SHOE SET INTO 12"
DIA. SONO TUBES TO
EXTEND 6" ABOVE GRADE
AND 4'-0" BELOW GRADE.

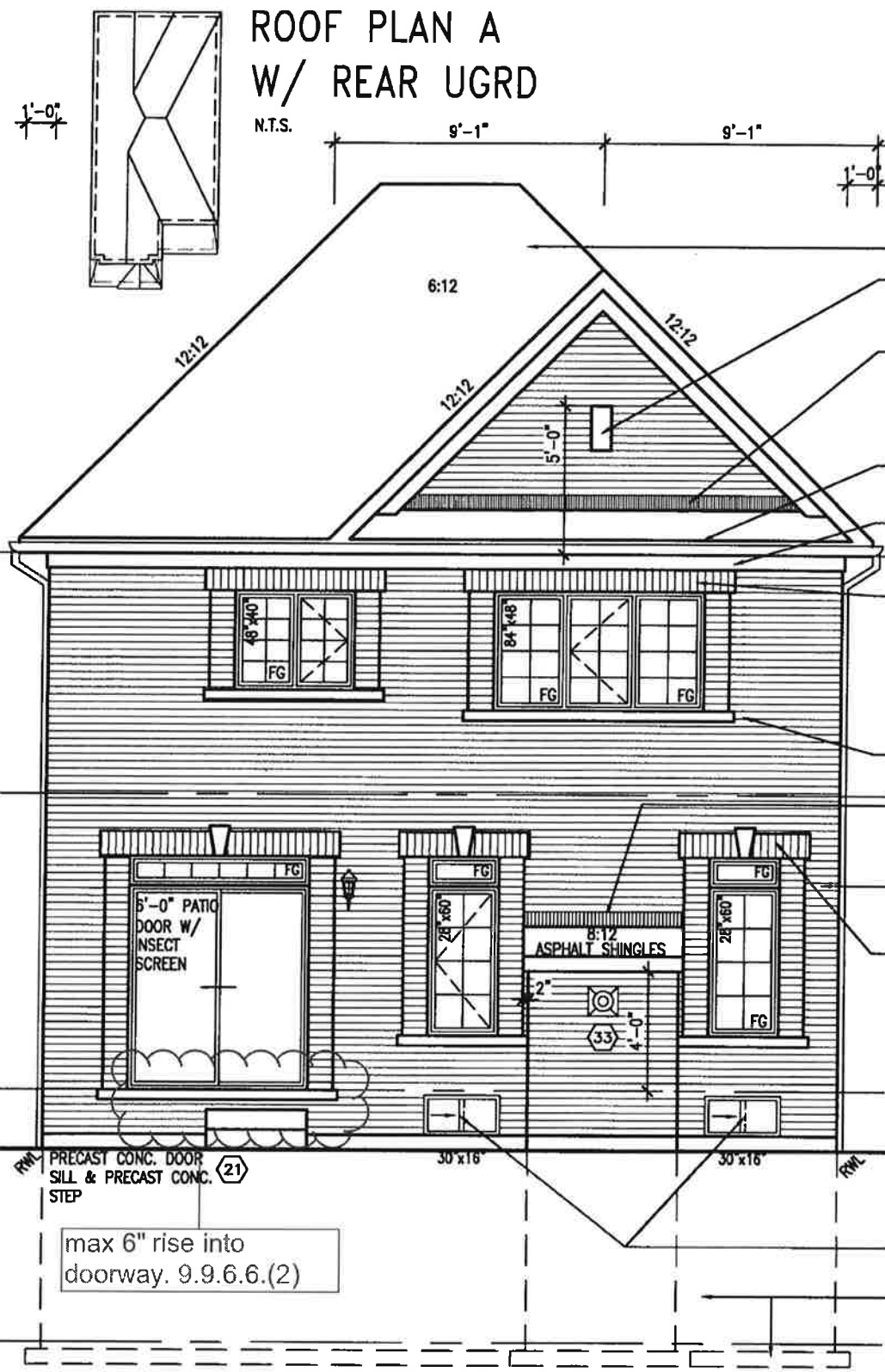
POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

REAR ELEVATION 'A' & 'B'
W.O.D.9R AND MORE COND.
12'0" GARAGE

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

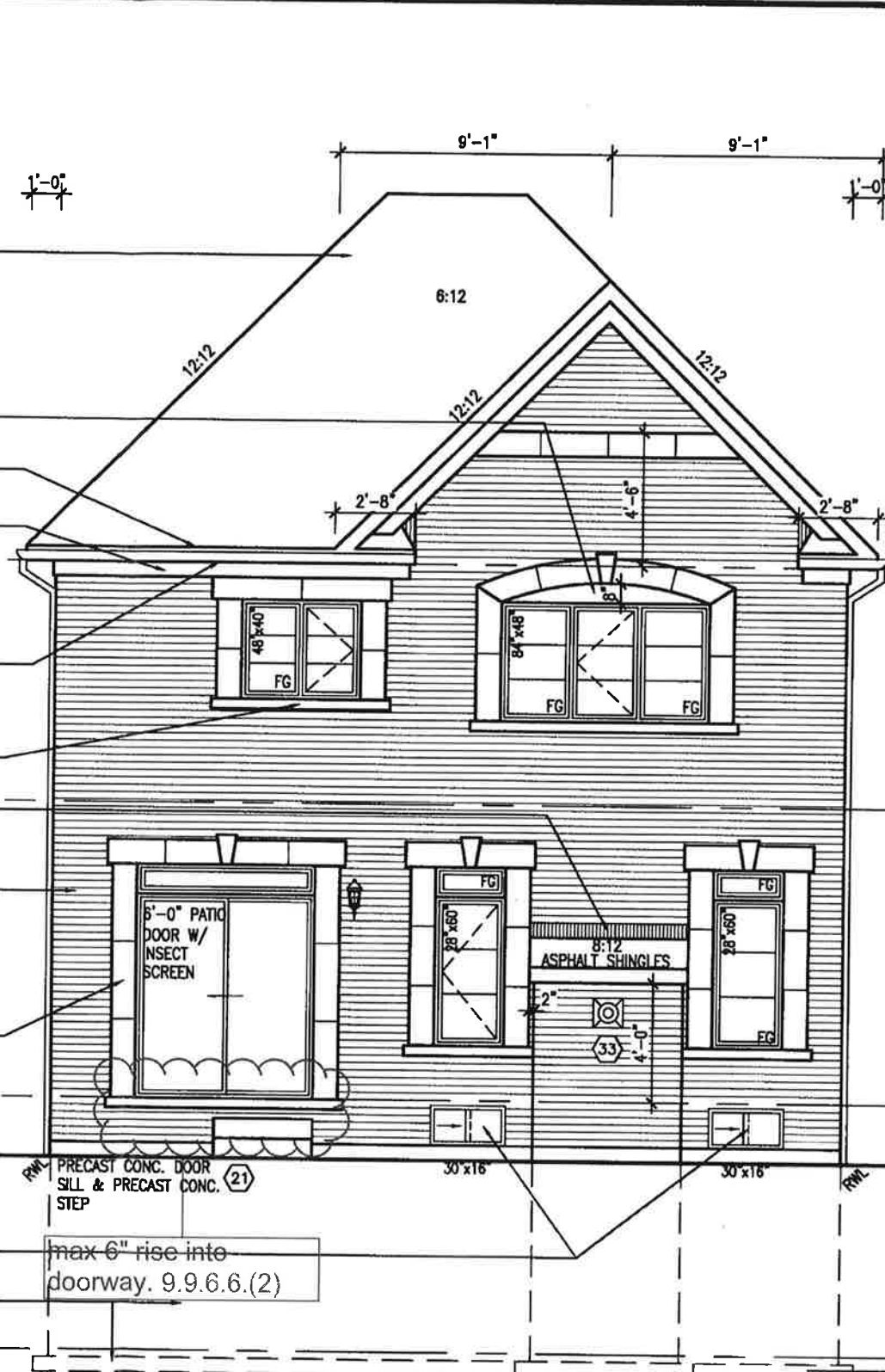
Town of Innisfil Certified Model
05/01/2018 11:20:00 AM kgervais





ROOF PLAN A
W/ REAR UGRD

REAR ELEVATION 'A' UPGRADE
12'0" GARAGE



ROOF PLAN B
W/ REAR UGRD

REAR ELEVATION 'B' UPGRADE
12'0" GARAGE

Town of Innisfil Certified Model
05/01/2018 11:20:10 AM kgervais

LICENSED PROFESSIONAL ENGINEER
A. T. Quaile
17-08-01
PROVINCE OF ONTARIO

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for working drawings or any other drawings or building drawings or permit matters or that house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

JOHN E. WILSON, ARCHITECT
AUG 14 2017

BAYVIEW WELLINGTON project name ALCONA municipality INNISFIL, ONTARIO project no. S32-4-12G drawing no. 13049		project no. 13049 drawing no. 15 title REAR UPGRADE ELEVATION 'A' & 'B' date JUNE, 2016 checked by SB drawn by SB scale 3/16" = 1'-0" RECD - K. VARCHAVE, WORKING 2013\13049.BW\UNITS\32\13049-S32-4-12.dwg - Tue Aug 1 2017 - 12:03 PM
VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com		The undersigned has reviewed and taken responsibility for this design and construction and made the requirements set out in the Ontario Building Code to be followed. qualification information name Wellington Jno-Baptista registration number 25591 name VAS Design Inc. registration number 42558 date DEC 14-16 SB date SEP 26-16 RC date SEP 20-16 SB date JUL 22-16 SB date JUL 04-16 SB date by description



REAR ELEVATION 'A' UPGRADE
W.O.D.9R AND MORE COND.
12'0" GARAGE



Town of Innisfil Certified Model
05/01/2018 11:20:34 AM kgervais

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS



REAR ELEVATION 'B' UPGRADE
W.O.D.9R AND MORE COND.
12'0" GARAGE

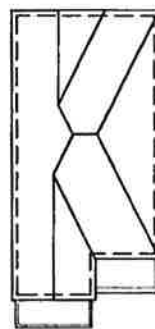
REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any permits. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

APPROVED BY & APPROVAL
JUL 10, 2017
JUL 10, 2017
JUL 10, 2017

ROOF PLAN B
W/ REAR UGRD
N.T.S.



no.	description	date	by
1	ISSUED FOR CLIENT REVIEW	JUL 04-16 SB	
2	ADD WOOD AND REAR UPGRADE	JUL 22-16 SB	
3	REVISED INSULATION AT STAIRS	SEP 20-16 SB	
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16 RC	
5	REVISED FIN WALLS TO 10"	DEC 14-16 SB	

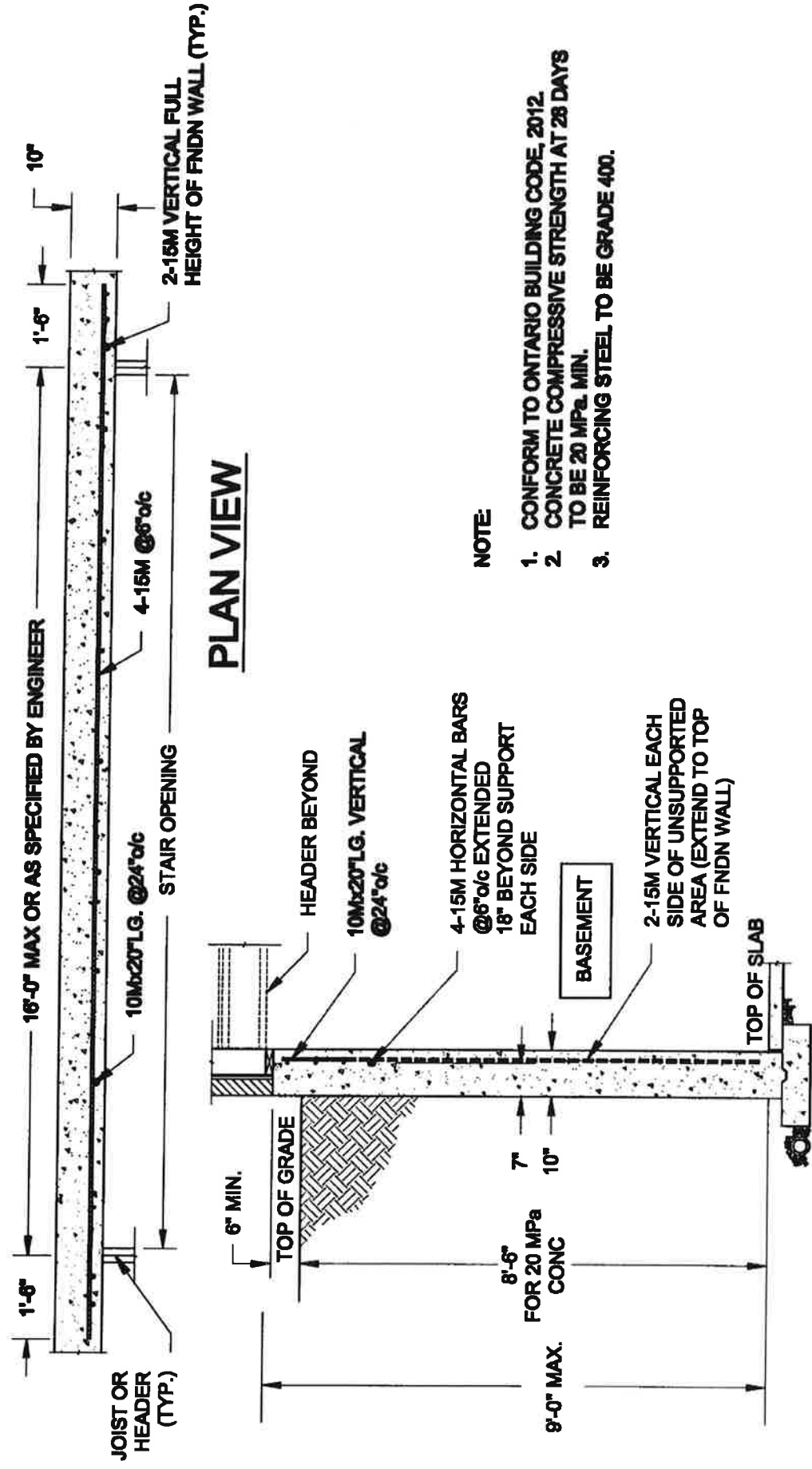
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
name: Wellington Jno-Baptista
address: 255 Consumers Rd Suite 120
city: Toronto
provinc: ON
country: Canada
phone: 416.630.2255
fax: 416.630.4782
email: v3design.com
signature: [Signature]
date: [Date]

BAYVIEW WELLINGTON

S32-4-12G
PELICAN 4-12

project no.	13049
city	INNISFIL, ONTARIO
date	JUNE 2016
drawn by	SB
checked by	SB
scale	3/16" = 1'-0"
drawing no.	16
sheet name	REAR UPGRADE ELEVATION 'A' & 'B' 9R OR MORE WOD
sheet no.	13049-S32-4-12

REPRODUCED BY VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.



NOTE

1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 20 MPa MIN.
3. REINFORCING STEEL TO BE GRADE 400.

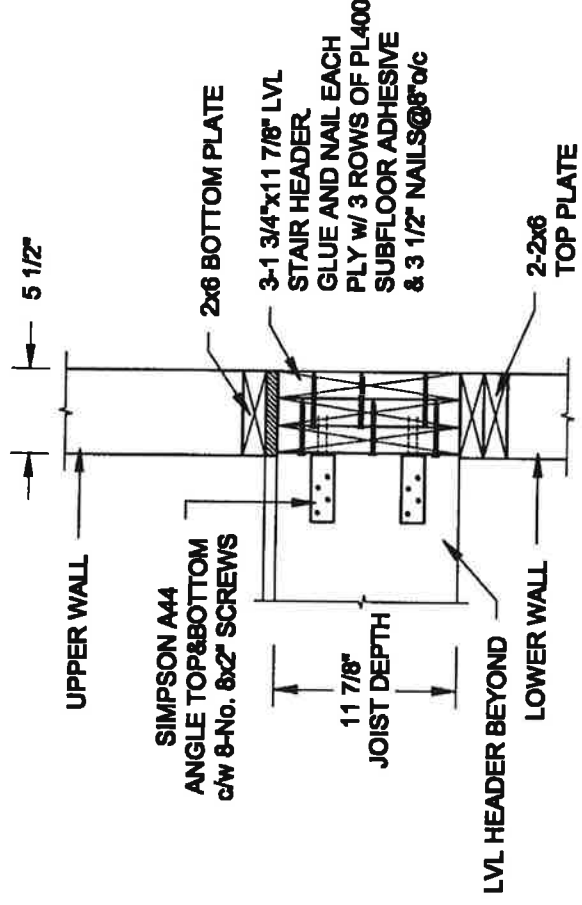
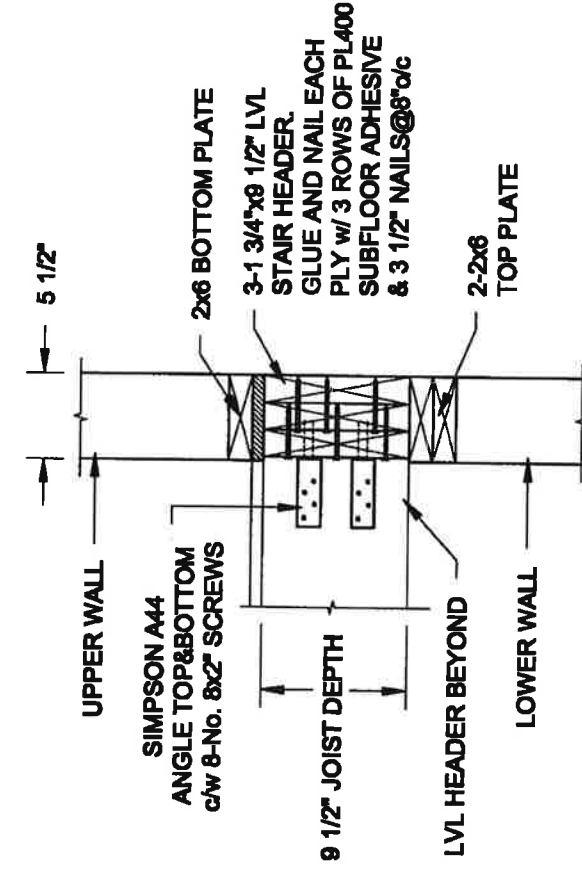
1 LATERALLY UNSUPPORTED WALL

SCALE: 3/8" = 1'-0"

FOR 9 1/2" JOIST DEPTH

FOR 11 7/8" JOIST DEPTH

Town of Innisfil Certified Model
05/01/2018 11:21:21 AM kgervais



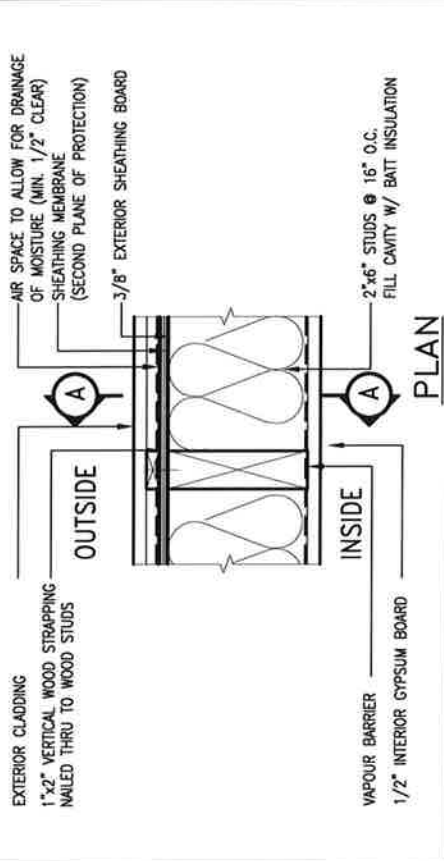
2 STAIR HEADER @ EXTERIOR WALL

SCALE: 1" = 1'-0"

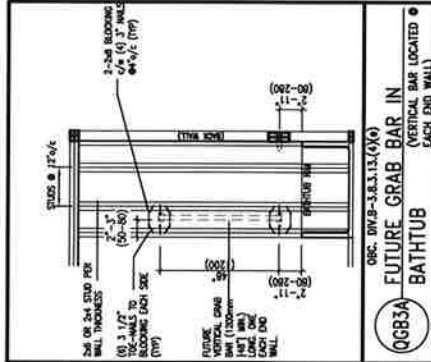
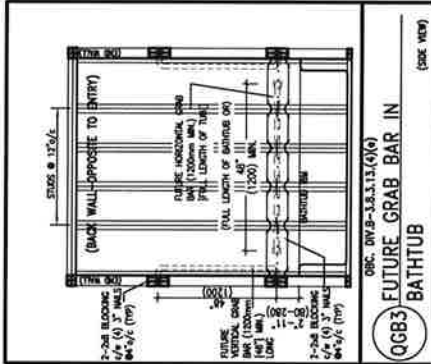
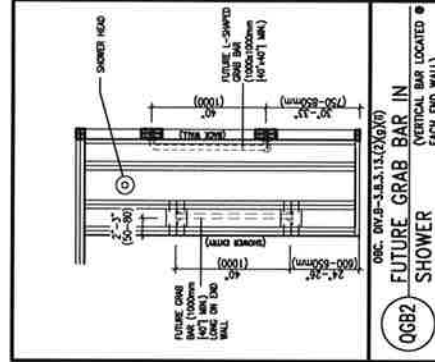
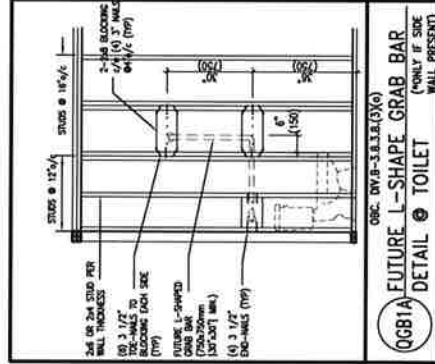
S1



Scale: AS NOTED		Engineer's Seal:		Project:	
Date: JUL-31-2017		QUAILE ENGINEERING LTD.		BAYVIEW WELLINGTON HOMES - ALCONA PROJECT	
Drawn: SC		38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8847 E: quaile.eng@rogers.com		INISFIL, ONTARIO	
Checked: SJB		TYPICAL STRUCTURAL DETAILS FOR SINGLES		Project No.: 16-083	
F:\BentC-08251616-088 BAYVIEW WELLINGTON ALCONA SINGLES16-083.dwg		Drawing No.: S1			



STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF WOOD STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3.
FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORIZ. & VERT. LOADS OF 1.3 KN (300 lb)
REFER TO OBC. DIV. B- WATER CLOSET 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c), SHOWER 3.8.3.11.(2)(b), & BATHTUB 3.8.3.13.(4)(c), AND DETAILS PROVIDED BELOW.



NOTES:

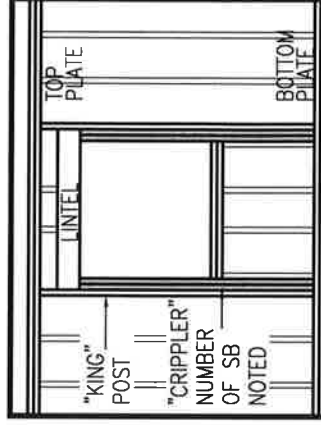
1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 kPa.
SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR
JOIST LENGTH OF 2.5m OF ONE FLOOR
2. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
3. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB
EXTERIOR SHEATHING ON THE EXTERIOR FACE.
4. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 kPa.
5. STUDS GREATER THAN 9'-10" HIGH TO BE NO. 2 SPF
6. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR
SIDING.

MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:

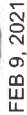
2"x8" @ 16" O.C. - 16'-0"
2"x8" @ 12" O.C. - 17'-9"
2'-2"x8" @ 16" O.C. - 20'-4"
2'-2"x8" @ 12" O.C. - 22'-4"

NOTES:

1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 Kpa
2. SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
3. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
4. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") Gypsum BOARD ON THE INTERIOR FACE.
5. WALL FRAMING SHALL CONFORM TO NBC 9.23.10.1.(2)
6. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa
7. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
8. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.



"CRIPPLE" DETAIL

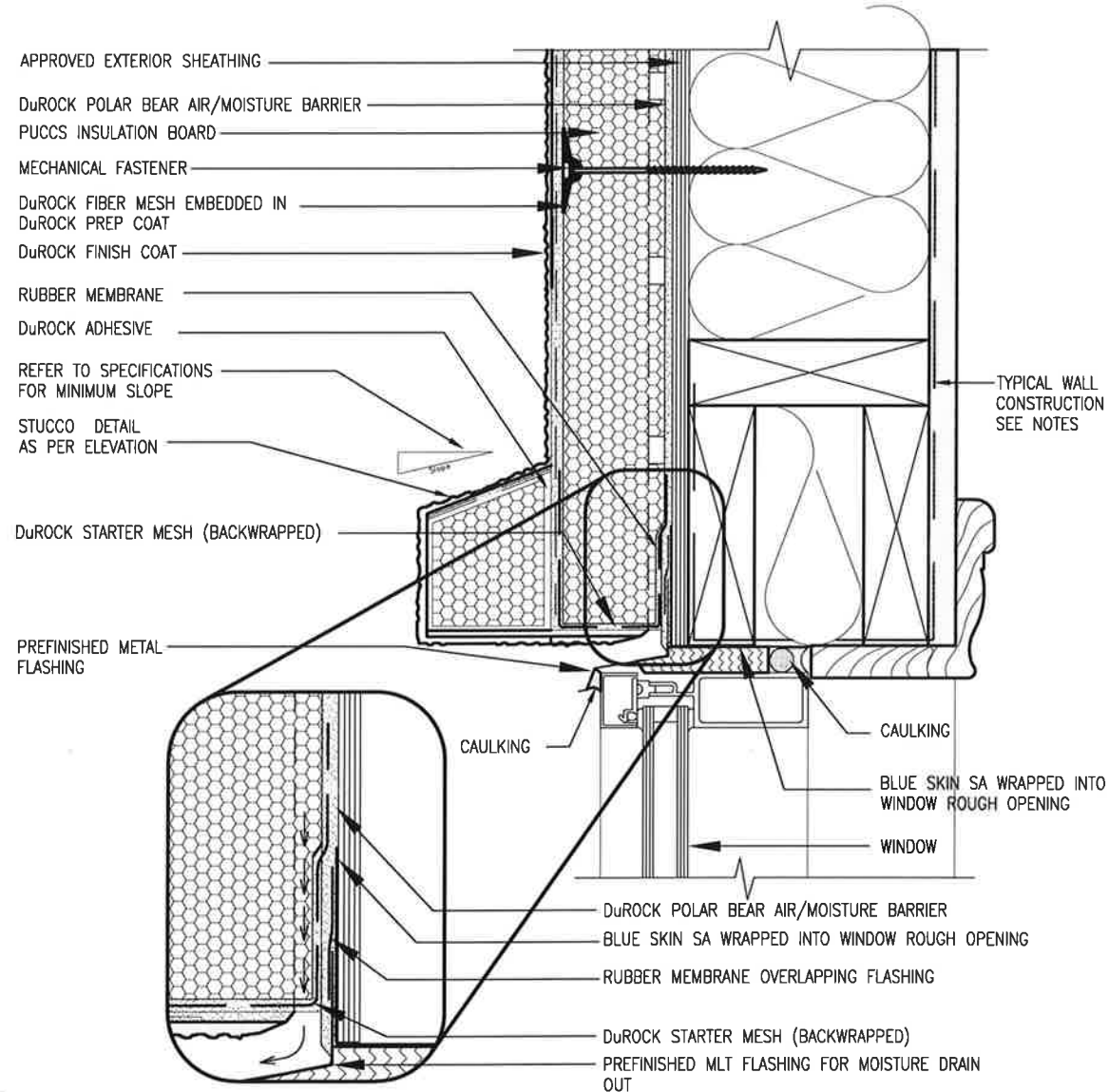


9	*	*		The undersigned has reviewed and takes responsibility for this design.
8	*	*		This drawing complies with all applicable codes and meets the requirements set out in the Ontario Building Code to be a Design.
7	*	*		qualification information
6	*	*		
5	*	*		name Wellington Jno-Baptiste
4	*	*		registration information BCON
3	*	*		VA3 Design Inc. signature 25591
2	UPDATE TO CBC VER 2020	FEB 09-21	RC	Contractor must verify all dimensions on the job and report any discrepancies immediately. The Designer is proceeding with the work. All drawings and specifications are submitted by the Designer to the property owner's approval. Drawings are not to be scaled.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	DRAWING NOT TO BE SCALED
(no.)	description	date	by	

V3
DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

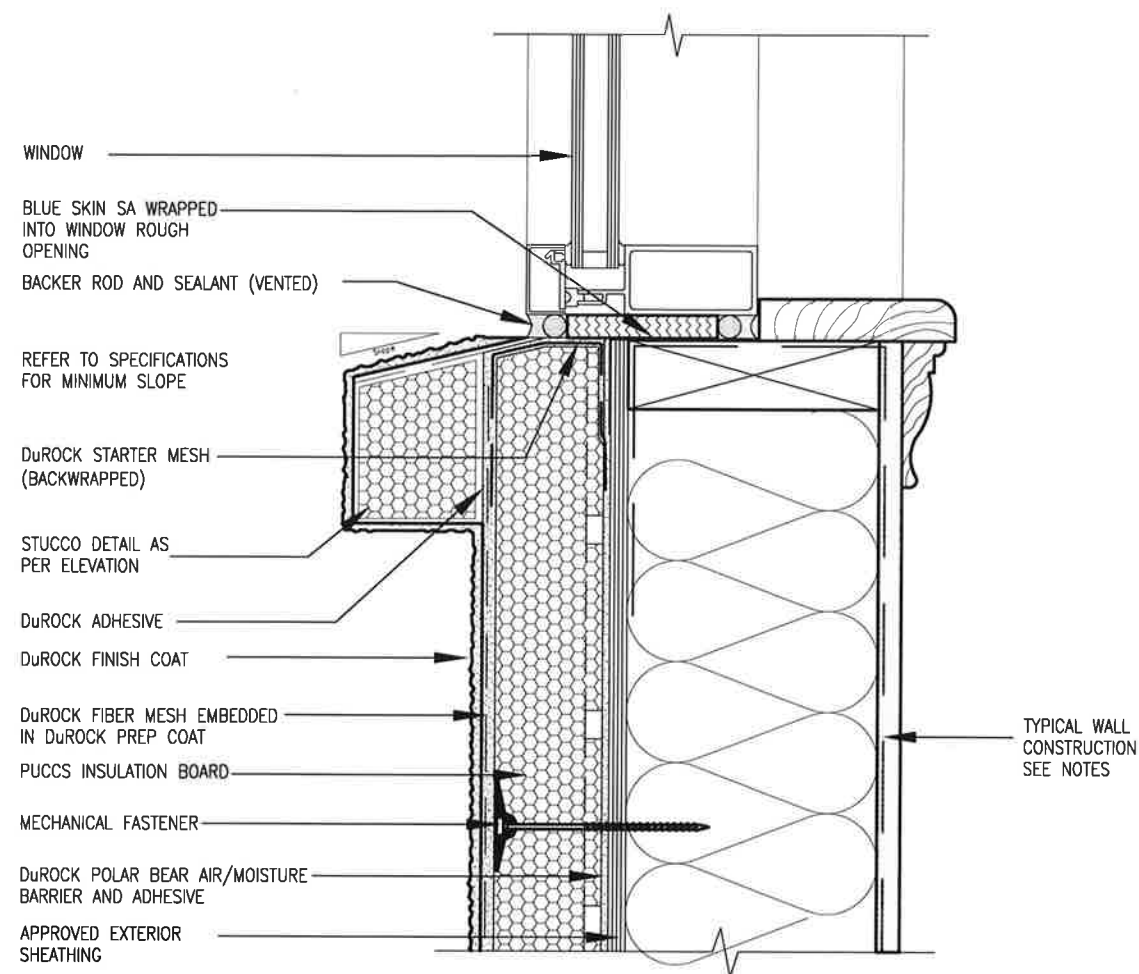
project name ALCONA	INNIISFIL ON.	CONST NOTE
date MAY 2016	checked by -	checked by -
drawn by RC	scale 3/16" = 1'-0"	file name 13049-CN-A1 VER 2020
title 13049-CN-A1		project no. 13049
drawing no. 13049		drawing no. 13049

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.



1 WINDOW HEADER
CN3 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM

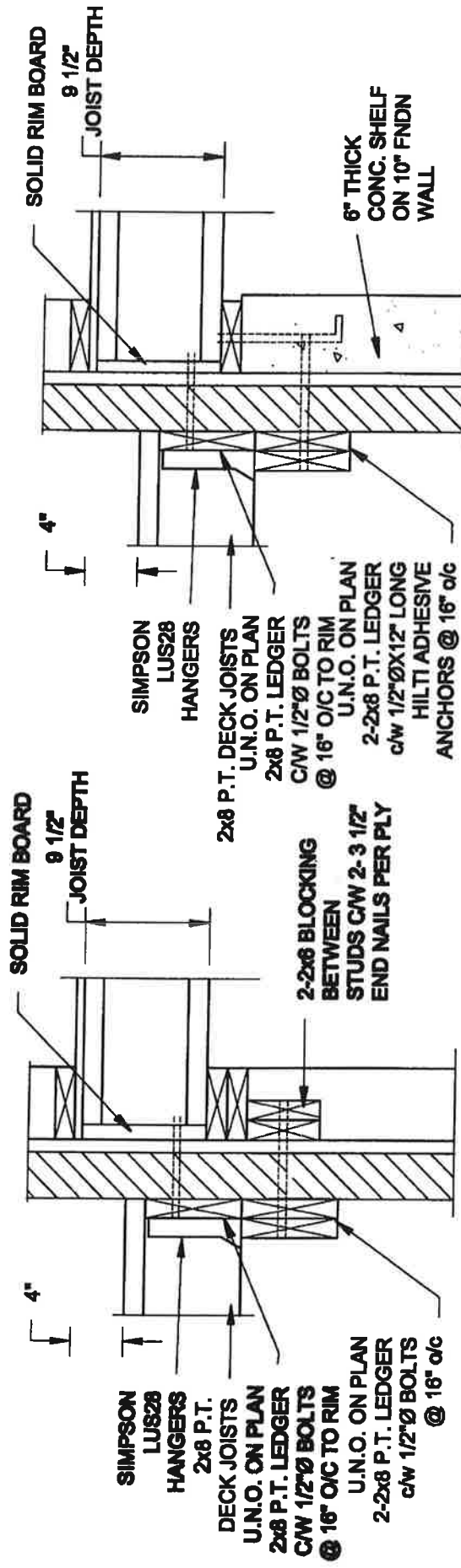


2 WINDOW SILL
CN3 SCALE: 3"=1'-0"

BAYVIEW WELLINGTON project name ALCONA date MAY 2016 drawn by RC		CONST NOTE municipality INNISFIL, ON.		CONSTRUCTION NOTES project no. 13049 drawing no. CN3 file name 13049-CN-A1 VER 2020 checked by 3/16" = 1'-0" scale RC	
VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 vc3design.com					
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington - Jno-Baptiste name Jno-Baptiste signature VA3 Design Inc. BCN 42588					
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. Drawings must be returned at the completion of the work. Drawings are not to be copied. 2 UPDATE TO OBC VER 2020 1 ISSUE FOR CLIENT REVIEW no. description date by					

All drawings, specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

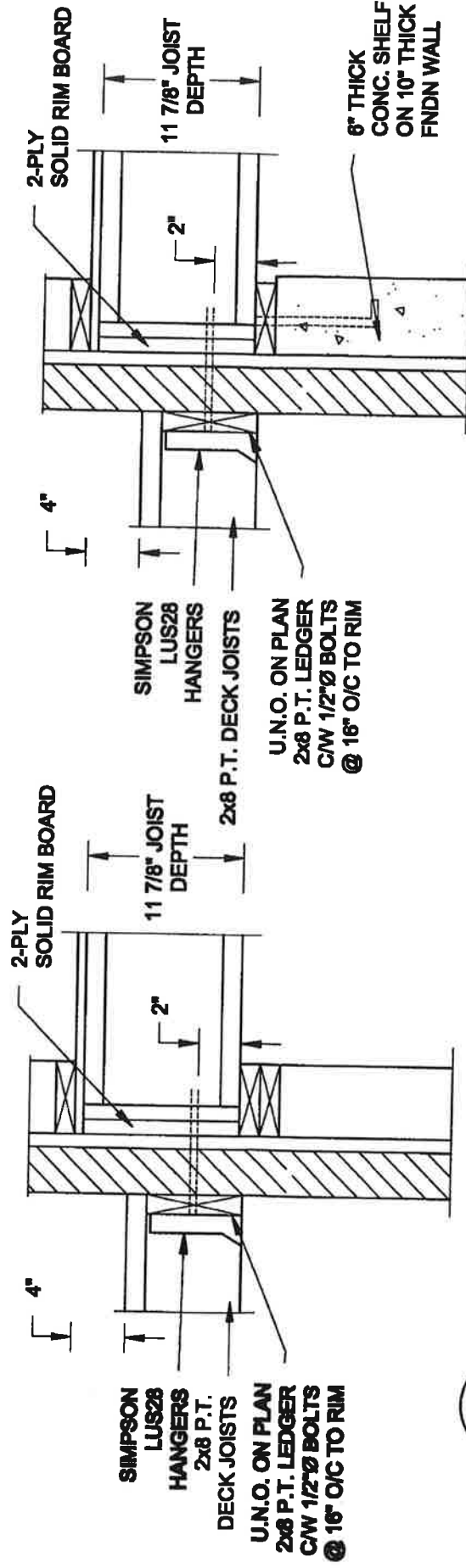
FOR 9 1/2" JOIST DEPTH



1A **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.

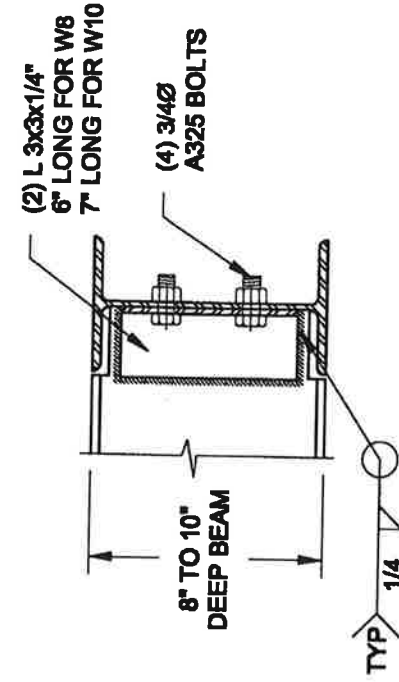
1B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"



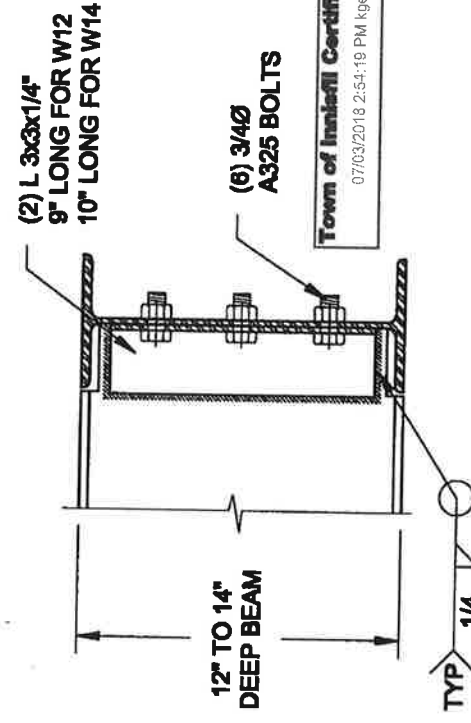
2A **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" oc KNEEWALL ON 10" THICK CONC FNDN WALL**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.

2B **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**



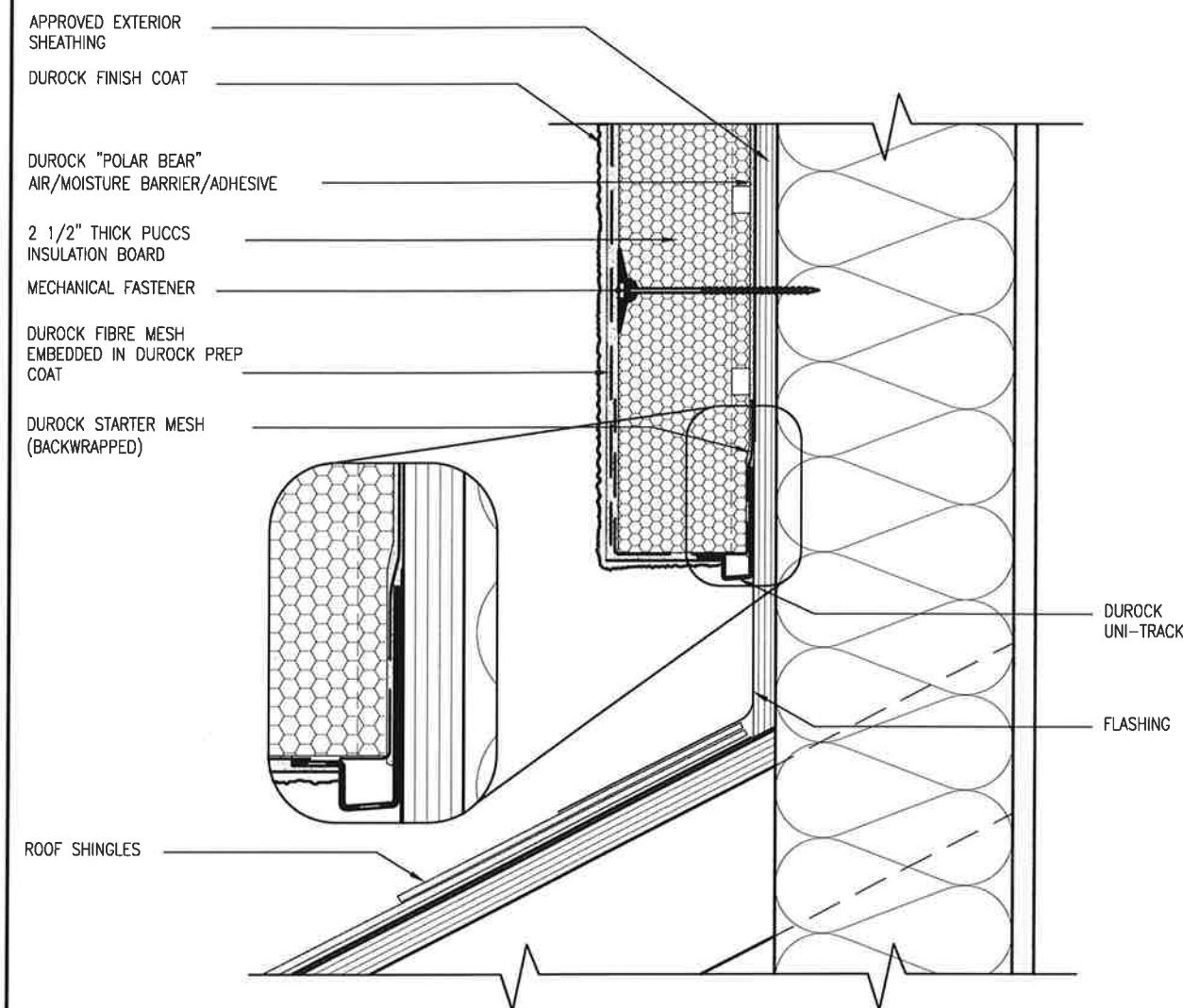
**NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX
AND W10x39 (W250x58) BEAM MAX.**



NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX AND W14x48 (W380x72) BEAM MAX.

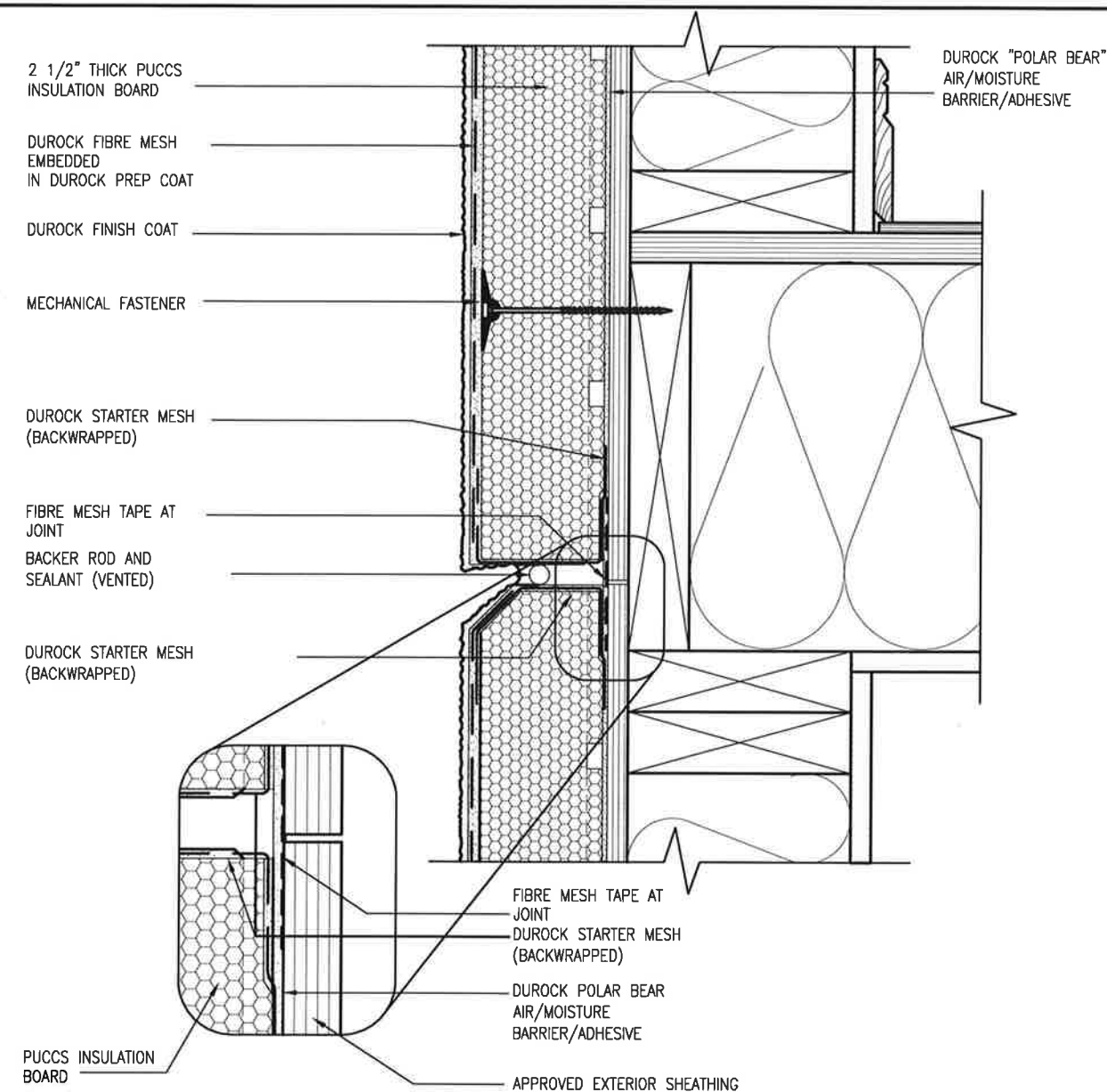
3 STEEL BEAM CONNECTION DETAIL
S2 SCALE: 1-1/2" = 1'-0"

Scale: AS NOTED	 QUAILE ENGINEERING LTD. 38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-883-8847 E: quaile_eng@rogers.com		Engineer's Seal:  AUG 10, 2017	Project: DAYVIEW WELLINGTON HOMES - ALCONA PROJECT INARFEL, ONTARIO	Project No.: 16-083	Drawing No.: 82
Date: JUL-01-2017				TYPICAL STRUCTURAL DETAILS FOR GARAGES		
Drawn: SC	Checked: SJB					



3 STUCCO TERMINATION @ ROOF
CN4 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



4 HORIZONTAL EXPANSION JOINT
CN4 SCALE: 3"=1'-0"

9	*	*	
8	*	*	
7	*	*	
6	*	*	
5	*	*	
4	*	*	
3	*	*	
2	UPDATE TO ORC VER 2020	FEB 09 - 21 RC	
1	ISSUE FOR CLIENT REVIEW	AUG 04 - 17 RC	
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

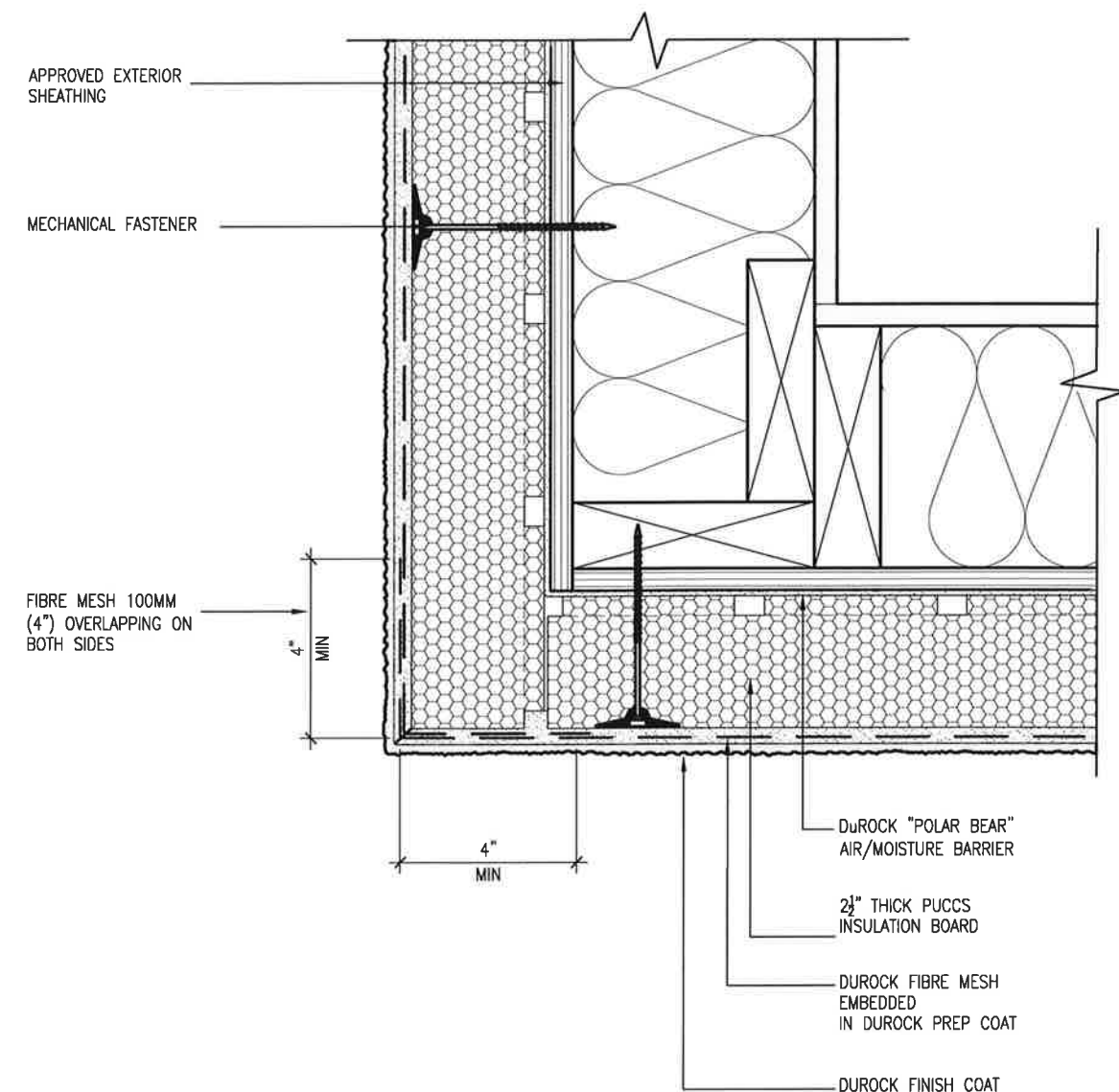
Wellington Jno-Bopliste 25591

name *Wellington* BOPliste
 registration information *WAS Design Inc.*
 BDN 42658

VA3
DESIGN
5 Consumers Rd Suite 1
Toronto ON M2J 1R4
16.630.2255 f 416.630.4
va3design.com

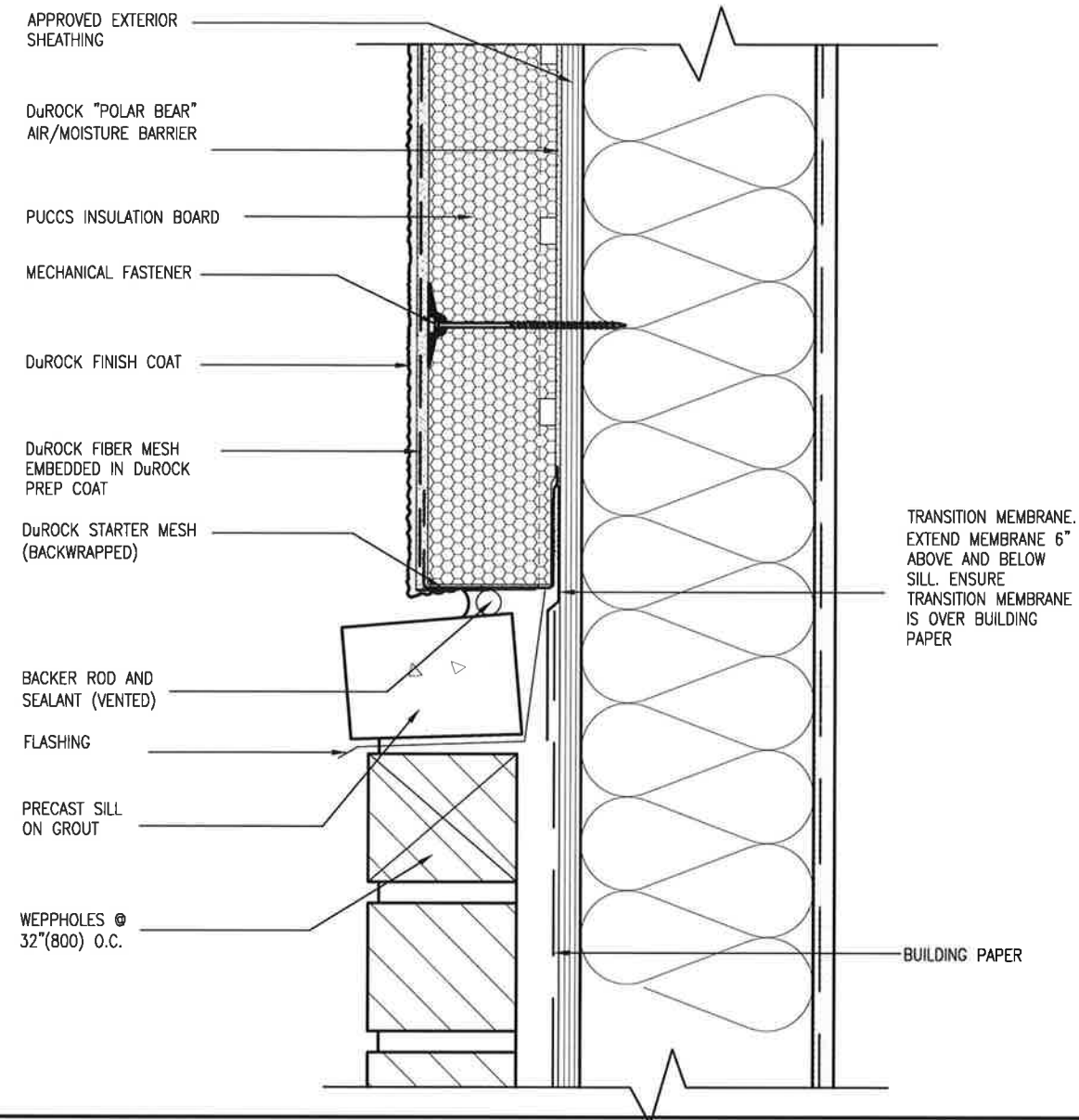
BAYVIEW WELLINGTON		CONST NOTE	
project name	ALCONA	municipality	INNISFIL ON.
drawn by	RC	project no.	13049
date	MAY 2016	drawing no.	CN4
checked by	-	CONSTRUCTION NOTES	
scale	3/16" = 1'-0"	file name	13049-CN-A1 VER 2020

All drawings specifications, related documents and design are the copyright property of V&S DESIGN. Reproduction of this property in whole or in part is strictly prohibited without V&S DESIGN's written permission.



5 CORNER DETAIL
CN5 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE
BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE
EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM
BASED. ALL STUCCO TO BE INSTALLED AS PER
MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



6 STUCCO / MASONRY PLINTH CONNECTION
CN5 SCALE: 3"=1'-0"

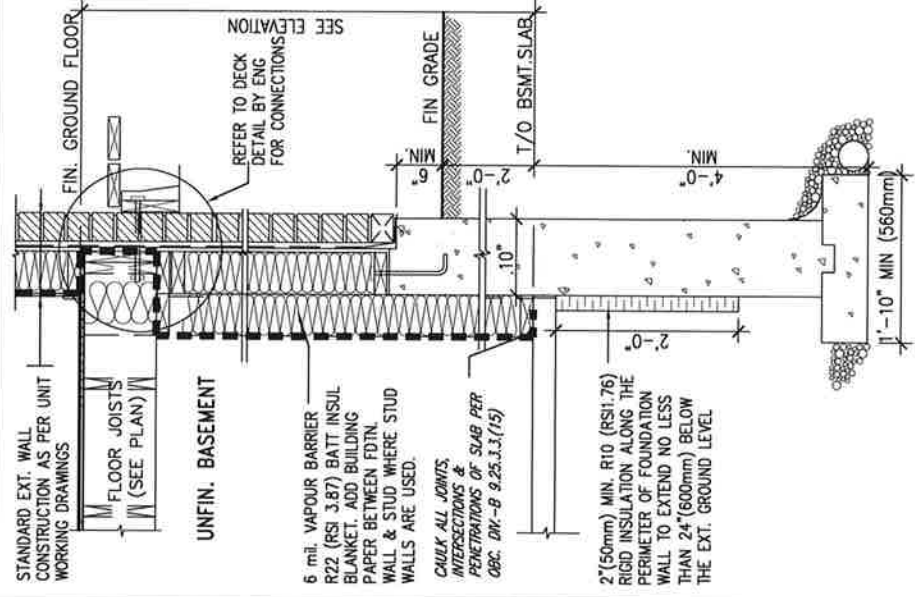
	9	*	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
	8	*		
	7	*	qualification information	
	6	*		
	5	*	Wellington Jno-Baptiste	25591
	4	*	name	
	3	*	registration information	BON
		*	VAS Design Inc.	signature
		*		42658
2	UPDATE TO ORC MAR 2020	FEB 09-21 RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property owner's signature and seal must be returned at the completion of the work. Drawings are not to be reproduced.	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC		
no.	description	date		by

VA3 DESIGN
255 Consumers Rd Suite 1
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4
va3design.com

BAYVIEW WELLINGTON	CONST NOTE
project name ALCONA	municipality INNISFIL ON.
date MAY 2016	project no. 13049
drawn by RC	drawing no. CN5
checked by —	scale 3/16" = 1'-0"
CONSTRUCTION NOTES	
file name 13049-CN-A1 VER 2020	

drawings specifications, related documents and design are the copyright property of V&V DESIGN. Reproduction of this property in whole or in part is strictly prohibited without V&V DESIGN's written permission.

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.



SECTION AT W.O.D/W.O.B.

INSULATION REQUIREMENTS
REFER TO OBC SB-12, CHAPTER 3.
ZONE 1- COMPLIANCE PACKAGE A1.

SECTION w/ BRICK VENEER (PACKAGE A1)

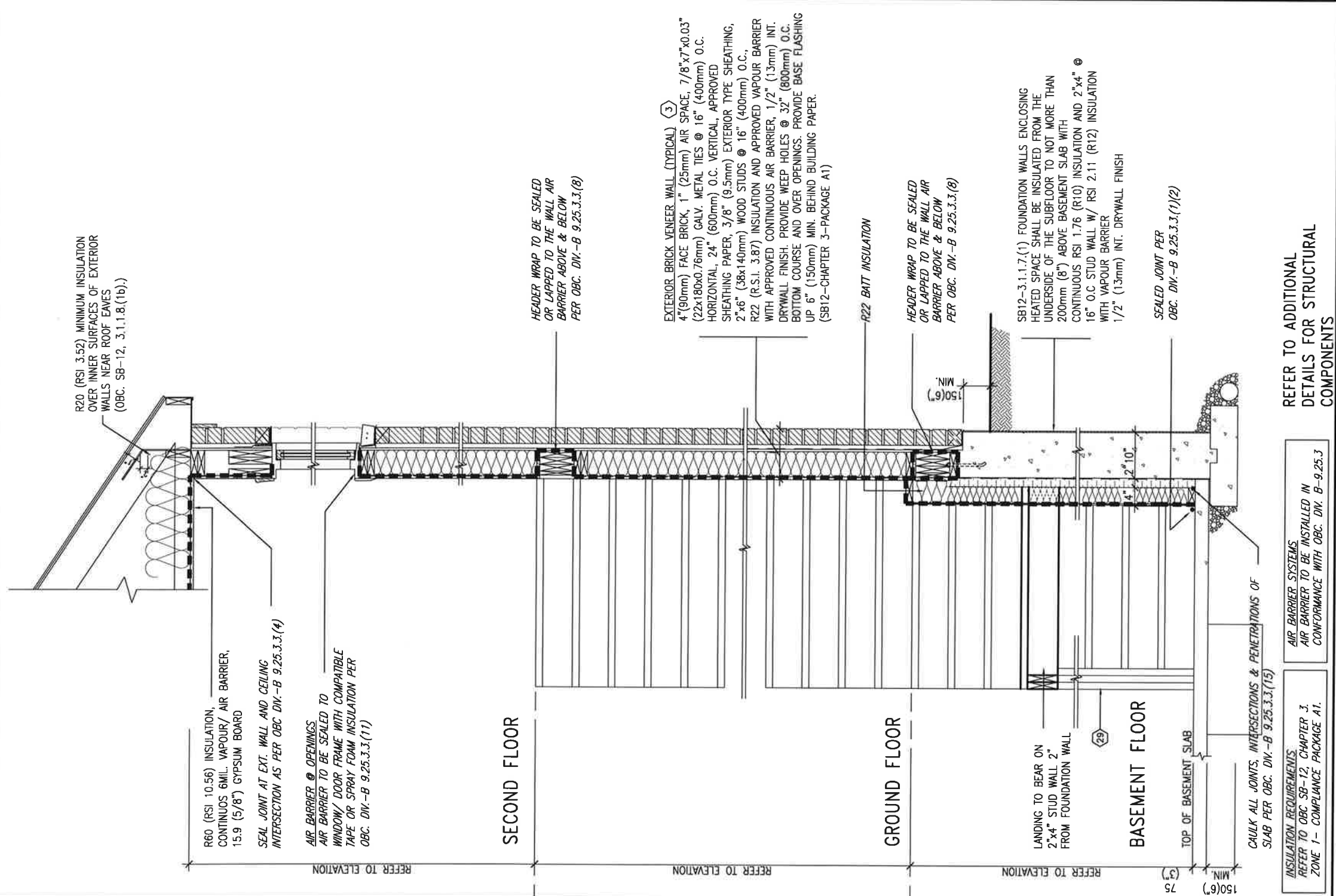
SCALE: N.T.S.

VA3 DESIGN
55 Consumers Rd Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.
va3design.com

BAYVIEW WELLINGTON CONST NOTE		project name ALCONA	municipality INNISFIL, ON.	project no. 13049
date MAY 2016		CONSTRUCTION NOTES		drawing no. CN6
drawn by RC	checked by -	scale 3/16" = 1'-0"	file name 13049-CN-A1 VER 2020	

All drawings specifications, related documents and design are the copyright property of V33 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without V33 DESIGN's written permission.

SB12-COMPLIANCE PACKAGE 'A1'



REFER TO ADDITIONAL
DETAILS FOR STRUCTURAL
COMPONENTS

EW
STR

TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)

10" FOUNDATION WALL

SCALE: N.T.S.

9	*	*	
8	*	*	
7	*	*	
6	*	*	
5	*	*	
4	*	*	
3	*	*	
2	UPDATE TO GBC VER 2020	FEB 09-21	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC

no. description

date by

The undersigned has reviewed and takes responsibility for this design and has the publications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste

25591

name registration information

VAS Design Inc.

BCN

42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are to be checked and approved by the Designer and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON		CONST NOTE	
project name	ALCONA	project no.	13049
date	MAY 2016	drawing no.	CN7
drawn by	RC	checked by	RC
scale	3/16" = 1'-0"	file name	13049-CN-A1 VER 2020
IN/IN/ST/IL/ON.		CONSTRUCTION NOTES	

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

COMPLIANCE TO CBC SD 12.2.1.1.1 (11)

The diagram illustrates a plumbing layout. A horizontal pipe runs across the middle. On the left, a vertical pipe goes up to a fixture. On the right, a vertical pipe goes down to a fixture. Two 'X' marks are placed on the horizontal pipe. The letter 'W' is on the left side of the horizontal pipe. A break symbol (two parallel lines with a diagonal slash) is on the bottom horizontal line. The top horizontal line has a break symbol on the right side.

Architectural elevation drawing of the 'WOB SIDE ELEVATION'. The drawing shows a sloped roofline and a vertical wall section. Key features include:

- Floor Levels:** FINISHED SECOND FLOOR, FINISHED GROUND FLOOR, FINISHED FLOOR U/S OF FLOOR JOIST, FINISHED BASEMENT FLOOR, and FINISHED GRADE.
- Dimensions:**
 - B:** Vertical height from FINISHED GRADE to FINISHED FLOOR U/S OF FLOOR JOIST.
 - W:** Horizontal distance from the vertical line of FINISHED GRADE to the vertical line of FINISHED FLOOR U/S OF FLOOR JOIST.
 - A:** Vertical height from the horizontal line of FINISHED FLOOR U/S OF FLOOR JOIST to the roofline.
 - X:** Horizontal distance from the vertical line of FINISHED FLOOR U/S OF FLOOR JOIST to the vertical line of the wall section.
- Annotations:**
 - 56"x72" FG:** A window or door opening with a diagonal line indicating a break or a specific material.
 - MID-POINT OF BASEMENT HEIGHT 'B':** A horizontal dashed line indicating the midpoint of the basement height.
- Other Features:** A vertical line on the right side of the drawing, and a small section of a wall or roofline on the far right.

WHEN EXPOSED WALL "A" IS LESS THAN 50%
OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "X"
IS NOT LESS THAN BASEMENT WALL AS
REQUIRED BY TABLE 2.1.1.2A

V3
DESIGN
5 Consumers Rd Suite

project name	project no
ALCONA	13049
municipality	
INNISFIL ON.	

date	checked by	scale	file name	drawing no.
MAY 2016	—	3/16" = 1'-0"	13049-CN-A1 VER 2020	CN8
drawn by				
CR				

R:\CN8\40 - VACUUM WORKING\2015\13049-CN-A1 VER 2020.dwg - Tue - Feb 9 2021 - 11:15 AM
 R:\CN8\40 - VACUUM WORKING\2015\13049-CN-A1 VER 2020.dwg - Tue - Feb 9 2021 - 11:15 AM

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

the undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste	signature	BCIN	25591
name	registration information		
VA3 Design Inc.			42658

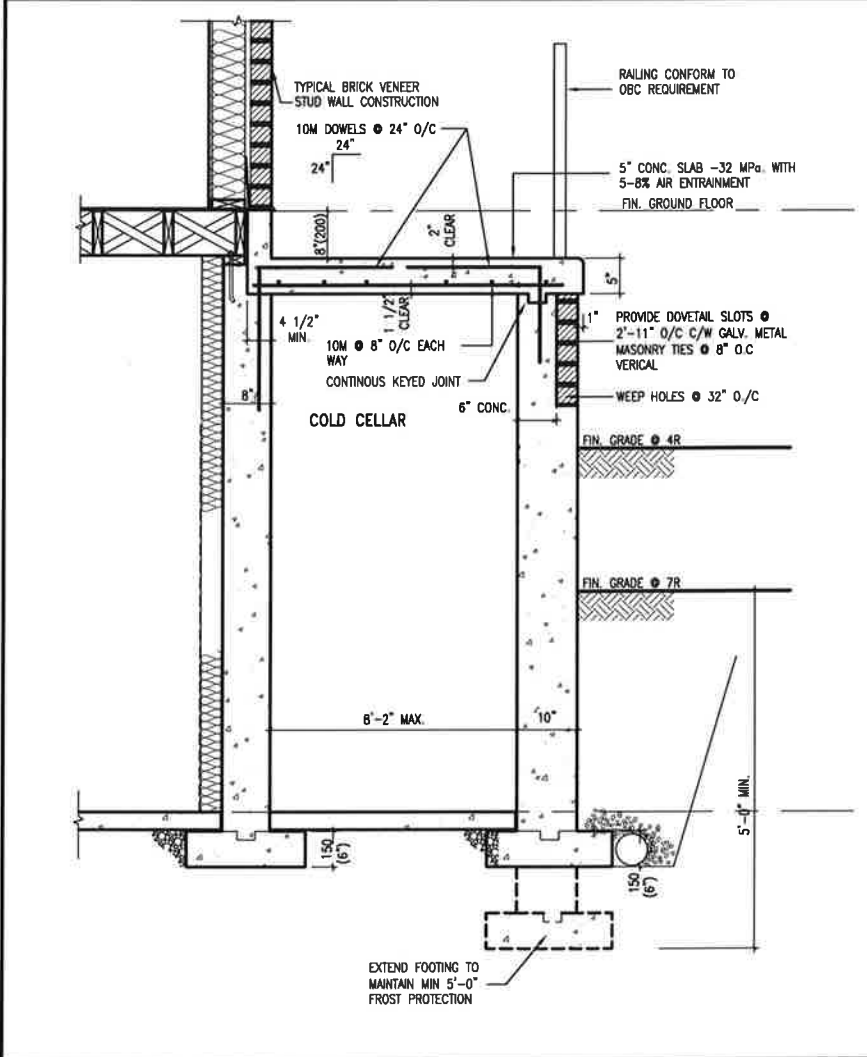
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

All draw

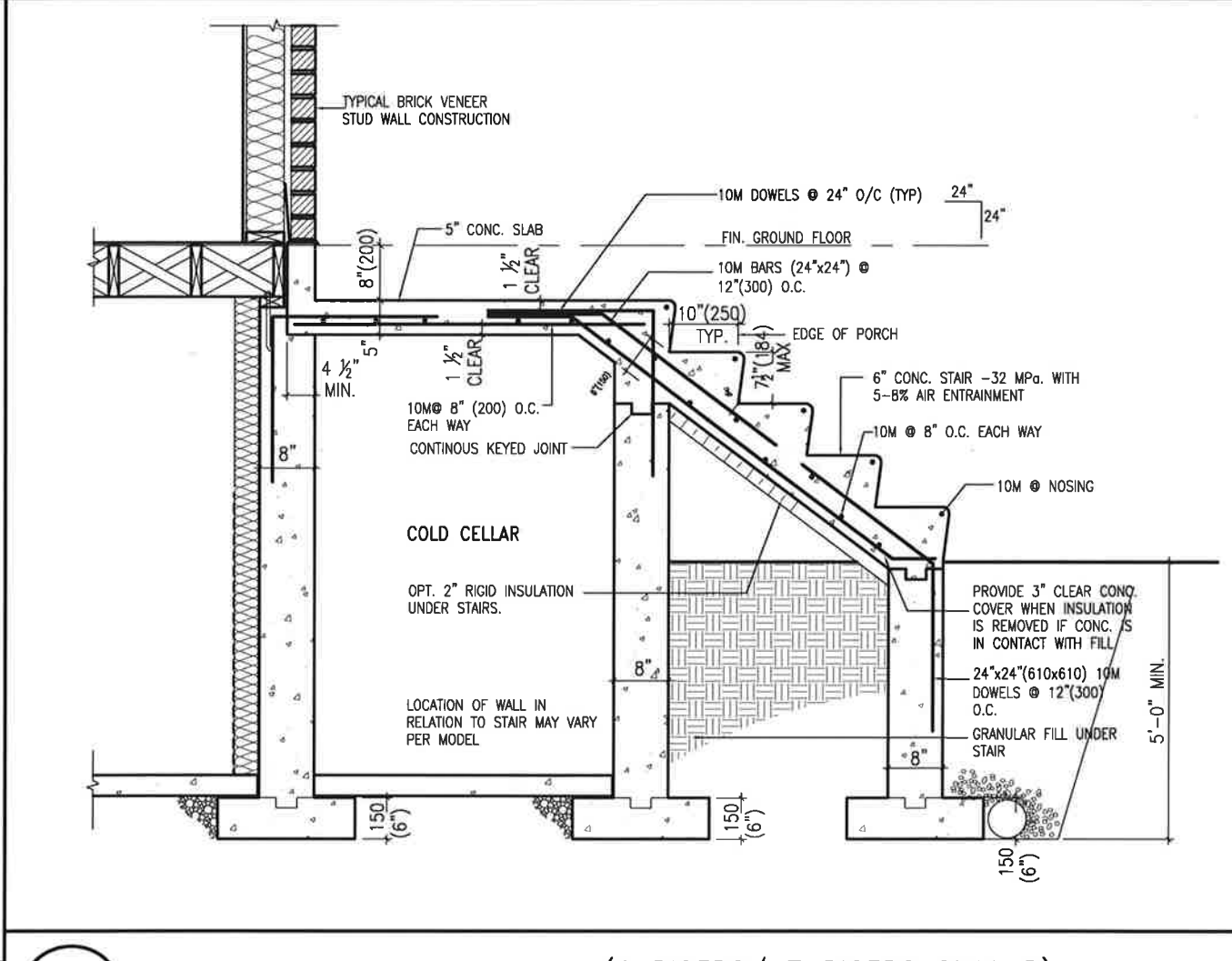
no.	description	date	by
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC



FEB 9, 2021



X1 SECTION AT PORCH FOR 4-7R CONDITION
SCALE: N.T.S.

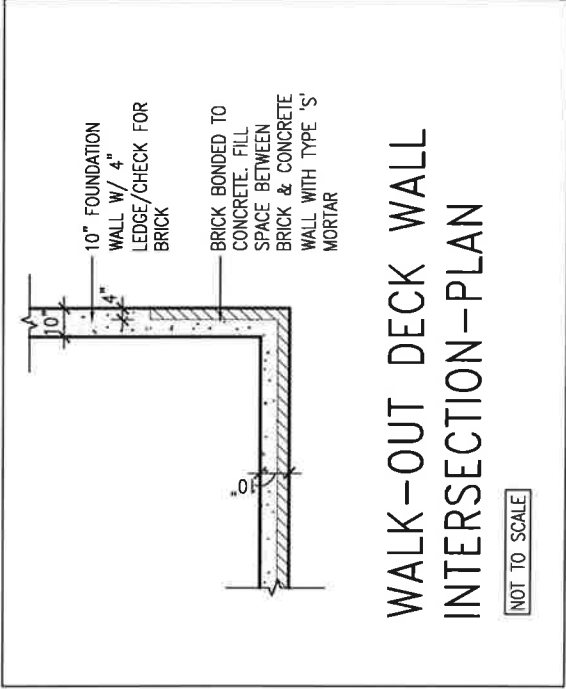


X2 EXTERIOR CONC. STAIR DETAIL (6 RISERS/ 7 RISERS SIMILAR)
SCALE: N.T.S.

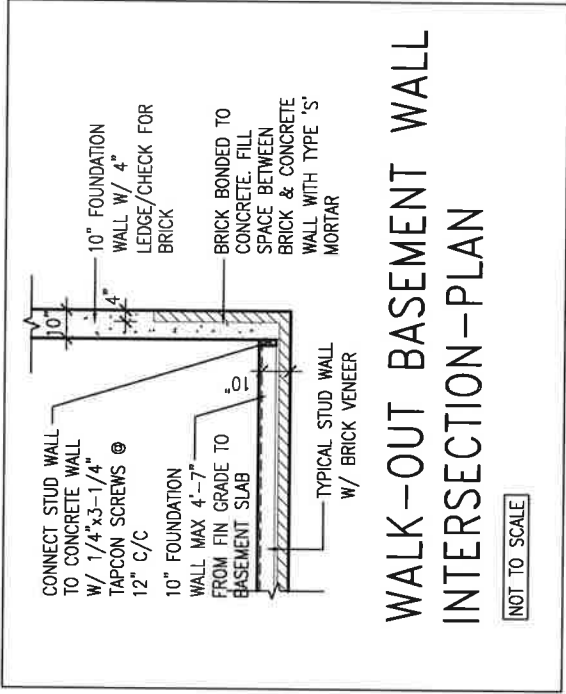
CONST NOTE	
BAYVIEW WELLINGTON	
project name: ALCONA municipality: INNISFIL ON.	
project no.: 13049 drawing no.: CN9	
CONSTRUCTION NOTES	
file name: 13049-CN-A1 VER 2020	
date: MAY 2016 checked by: RC scale: 3/16" = 1'-0"	
drawn by: RC	
RICHARD - H. ARCHITECTURE/WORKING (2013) 13049 BAYVIEW/UNITES CN Notes 13049-CN-A1 VER 2020.dwg - Tue - Feb 9 2021 - 11:15 AM	
All drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.	

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

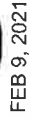
The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information			
name	Wellington Jno-Baptiste		
registration number	25591		
BCN	42658		
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before construction begins. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
no.	description	date	by
2	UPDATE TO OBC VER 2020	FEB 09-21	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC



WALK-OUT DECK WALL INTERSECTION-ELEVATION



WALK-OUT DECK WALL
INTERSECTION-ELEVATION MAX
4'-7" BACKFILL

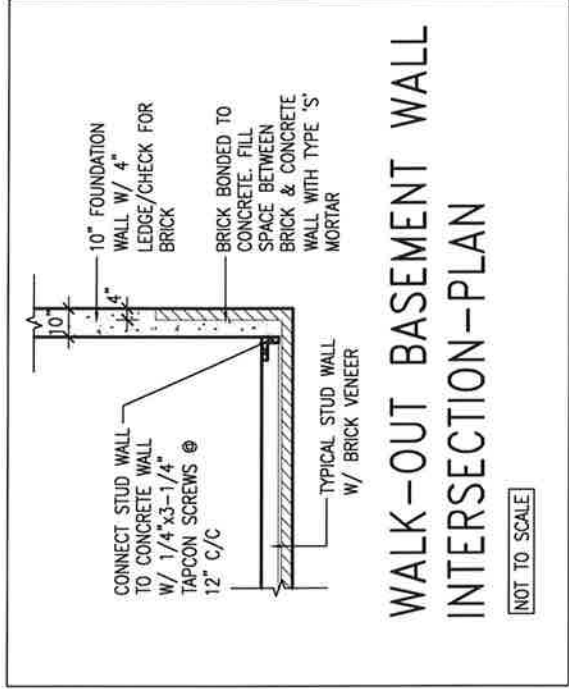
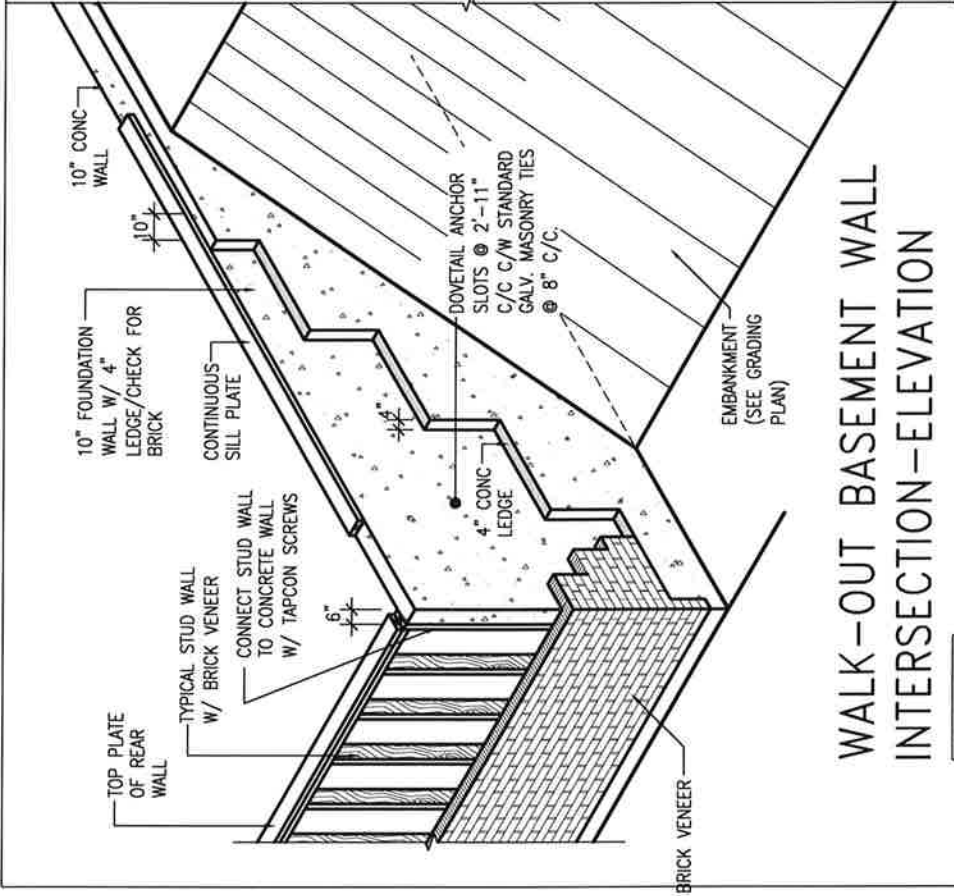


9	*				The undersigned has reviewed and takes responsibility for this design on behalf of the Designer and meets the requirements set out in the Ontario Building Code to be a Designer.
8	*				qualification information
7	*				Welling Jno-Baptiste
6	*				25591
5	*				name registration information BCN
4	*				VAS Design Inc.
3	*				42658
2	UPDATE TO OBC VER 2020	FEB 09-21	RC		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are subject to change without notice.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC		Drawings are not to be sealed. Drawings are not to be sealed.
no.	description	date	by		

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

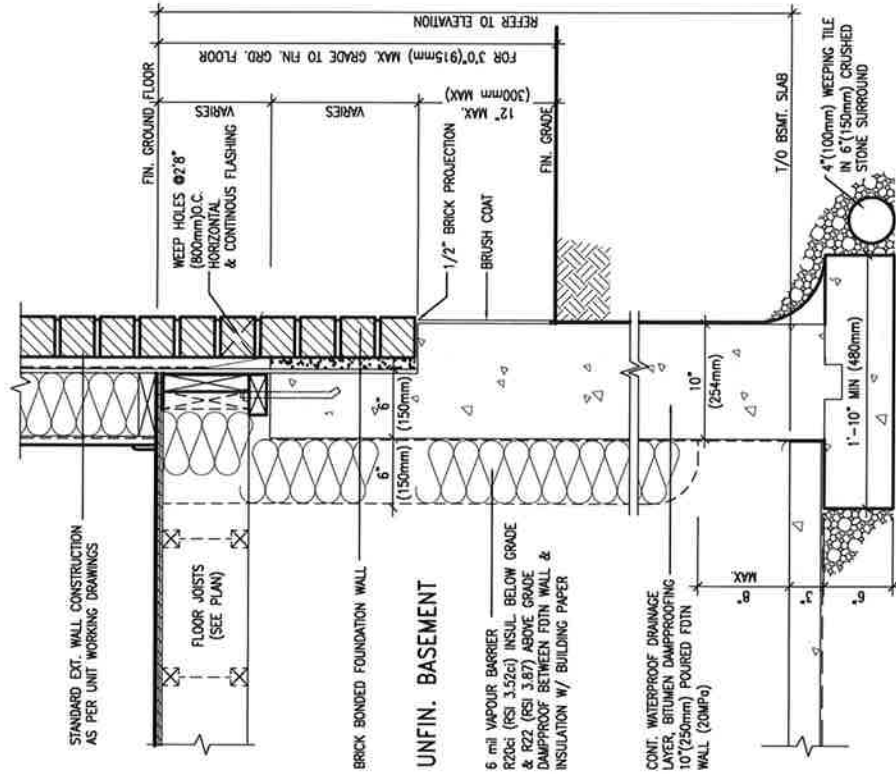
BAYVIEW WELLINGTON		CONST NOTE	
project name ALCONA		project no. 13049	
date MAY 2016		drawing no. CN10	
drawn by RC		checked by —	
scale 3/16" = 1'-0"		file name 13049-CN-A1 VER 2020	
municipality INNISFIL ON.		CONSTRUCTION NOTES	

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

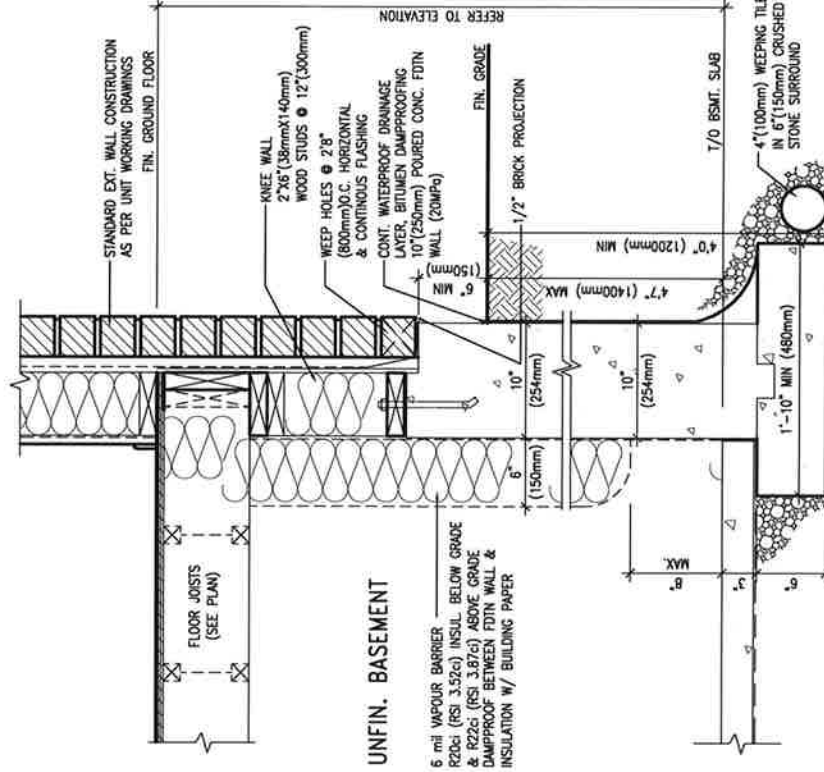


WALK-OUT BASEMENT WALL
INTERSECTION-ELEVATION
[NOT TO SCALE]

(10" FOUNDATION WALL)



EW3.06x
PKG A1
WALL SECTION FOR GRADE TO FIN.
FLOOR MORE THAN 4'7" (1400mm)
HEIGHT DIFFERENCE
[SCALE: N.T.S.]



EW3.07x
PKG A1
WALL SECTION FOR GRADE TO BASEMENT
SLAB 4'7" (1400mm)
MAX. HEIGHT DIFFERENCE
[SCALE: N.T.S.]



FEB 9, 2021

no.	description	date	by
2	UPDATE TO OBC VER 2020	FEB 09-21 RC	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste 25591 BCN
VAS Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.782
va3design.com

project name	project no.	const note
ALCONA	13049	
city	drawing no.	construction notes
MAY 2016	CN11	13049-CN-A1 VER 2020
RC		

checked by: 3/16" = 1'-0"
scale: 3/16" = 1'-0"
date: FEB 9, 2021

