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REAR WALL ONLY 2"x6" STUDS @ 16" O.C. ON 10" FNDN. WALL FOR BACKFILL HEIGHT < 4'-7" OTHERWISE PROVIDE 6" CONC. SHELF ON 10" FNDN. WALL ON 22"x6" THICK CONC. FOOTING UNLESS NOTED OTHERWISE

6"x6" P.T. WOOD POST C/W GALV. METAL CAP AND METAL SHOE SET INTO 12" DIA. SONO TUBES TO EXTEND 6" ABOVE GRADE AND 5'-0" BELOW GRADE.

FOR 4-6R COND.
2-2"x8" P.T. DROPPED LEDGER FASTENED TO FDN WALL W/ 1/2" DIA. x12" LONG HILTI ADHESIVE ANCHORS @ 16 O.C. REFER TO DETAIL 1/S2

10" FULL HEIGHT CONC. ON REAR AND SIDE WALL W/ BRICK CHECK AS REQUIRED ON 22"x6" THICK CONC. FTG.

VINYL CLAD STRUCTURAL STL FRAME BASEMENT WINDOW (TYP.)

1-2"x4" P.T. ON FLAT BRACE TO U/S OF JOISTS C/W (2) NO.8x3" DECK SCREWS
L1 W/ MIN 3" BEARING AT EACH END

24"x8" THICK CONC. FTG UNDER PARTWALL (TYP.)

UNFINISHED BASEMENT

10" FULL HEIGHT CONC. ON REAR AND SIDE WALL W/ BRICK CHECK AS REQUIRED ON 22"x6" THICK CONC. FTG.

CHECK FOUNDATION WALL FOR PORCH SLAB

LOCATION MAY VARY
10'-0" CMA
S.A.
HWT 6'-4"

FURNACE

8"x8" NIB

2"x8" SPR. #2 @ 12" O.C.

LOW HEADROOM

CHECK FOUNDATION WALL FOR SUNKEN AREA

8" FOUNDATION WALL REFER TO DETAIL S1 FOR LATERAL SUPPORT @ STAIR OPENING,

CHECK FOUNDATION WALL FOR SUNKEN FOYER

FULL HEIGHT INSUL. FOR COLD CELLAR

UNEXCAVATED (REMOVE TOP SOIL ONLY)

MIN. SOIL BEARING CAPACITY OF 100KPa

4" DIA. VENT SLEEVE W/ INSECT SCREEN

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.



MAY 13, 2021

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

AREA CALCULATIONS		ELEV. C
GROUND FLOOR AREA	1013 SF	
SECOND FLOOR AREA	1172 SF	
	2185 SF	
DEDUCT ALL OPEN AREAS	0 SF	
TOTAL NET AREA	2185 SF	
	(202.99 m2)	
FINISHED BSMT AREA	- SF	
W/OUT PORCH	1237 SF	
	(114.92 m2)	
COVERAGE	1464 SF	
	(136.00 m2)	

BASEMENT PLAN 'C'

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptiste 25591
name
registration information
VA3 Design Inc. 42658
BCIN
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



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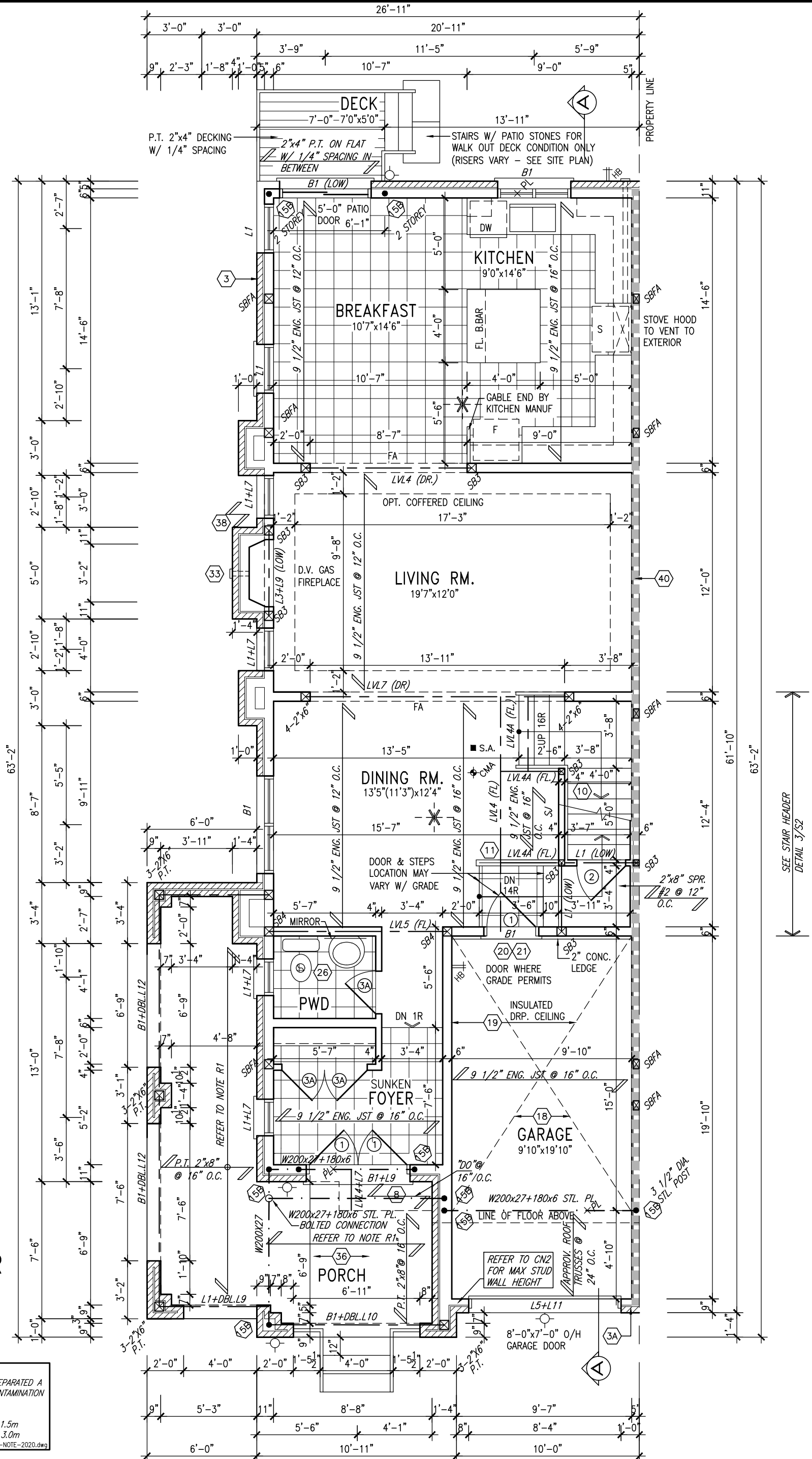
BAYVIEW WELLINGTON

SD25-4

SONOMA 4 LOT 154

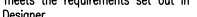
project name	GREEN VALLEY EAST	municipality	BRADFORD EAST, ON.	project no.	16023
date	SEPT. 2016	checked by	RC	scale	3/16" = 1'-0"
drawn by	NC	file name	16023-SD25-4 COR LOT 154	drawing no.	1C
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\Purchaser lot specific\completed\16023-SD25-4 COR LOT 154.dwg - Thu - May 13 2021 - 2:48 PM					

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GROUND FLOOR
PLAN 'C'

<u>OUTDOOR AIR INTAKE SEPARATION</u>	
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.	
• KITCHEN EXHAUST.	3.0m
• DRIVEWAY, PARKING SPACE, ROAD.	1.5m
• SOLID FUEL APPLIANCE EXHAUST	3.0m

9	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON		SD25-4 SONOMA 4 LOT 154		project no. 16023		
8	.	.	qualification information		project name GREEN VALLEY EAST		municipality BRADFORD EAST, ON.		drawing no. 2C		
7	.	.	Wellington Jno-Baptiste  25591		date SEPT. 2016		COR. UPGRADE GRND. FLR. PLAN 'C'		file name 16023-SD25-4 COR LOT 154		
6	.	.	name registration information VA3 Design Inc. 42658		drawn by NC		checked by RC		scale 3/16" = 1'-0"		
5	REVISED AS PER ENG COMMENTS	MAY 13-21	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.							
4	CREATED FOR LOT 154R	MAY 03-21	KL								
3	REVISED AS PER ENG'S COMMENTS	JAN 03-18	RC								
2	REVISED AS PER FLOOR AND ROOF LAYOUTS	SEP 15-17	RC								
1	REVISED FOUNDATION WALL TO BE 10"	NOV 30/16	SB								
no.	description	date	by								

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NOTE: ROOF FRAMING INFORMATION

ALL LAMINATED VENEER LUMBER (LVL) BEAMS, BUILT-UP BEAMS, GIRDER TRUSSES AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED AND CERTIFIED BY ROOF TRUSS MANUFACTURER. REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED ON ARCHITECTURAL DRAWINGS.

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

GB-NOTE-2020.dwg

FLAT ROOF OVER LIVING SPACE: R2
2 PLY WATERPROOFING MEMBRANE ON 5/8" EXT. GRADE PLYWD. ON 2"x4" CROSS PURLINS (CUT DIAGONALLY @ 12" O.C. ON 2"x10" JOISTS @ 12" o.c. FLAT ROOF TO BE INSULATED W/ SPRAY INSULATION (RSI 5.46 (R31)) MIN SLOPE 1:12



MAY 13, 2021

SECOND FLOOR PLAN 'C'

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8	.	.	.
7	.	.	.
6	.	.	.
5	REVISED AS PER ENG COMMENTS	MAY 13-21	RC
4	CREATED FOR LOT 154R	MAY 03-21	KL
3	REVISED AS PER ENG'S COMMENTS	JAN 03-18	RC
2	REVISED AS PER FLOOR AND ROOF LAYOUTS	SEP 15-17	RC
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qualification information			
Wellington Jno-Baptiste	signature	25591	BCIN
registration information			
VA3 Design Inc.		42658	
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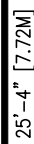
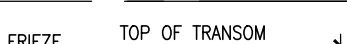
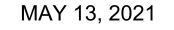
BAYVIEW WELLINGTON

SD25-4

SONOMA 4 LOT 154

project name	GREEN VALLEY EAST	municipality	BRADFORD EAST, ON.	project no.	16023
date	SEPT. 2016	checked by	RC	scale	3/16" = 1'-0"
drawn by	NC	file name	16023-SD25-4 COR LOT 154	drawing no.	3C
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\Purchaser lot specific\completed\16023-SD25-4 COR LOT 154.dwg - Thu - May 13 2021 - 2:45 PM					

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FRONT ELEVATION 'C' (REV.)
SD-4

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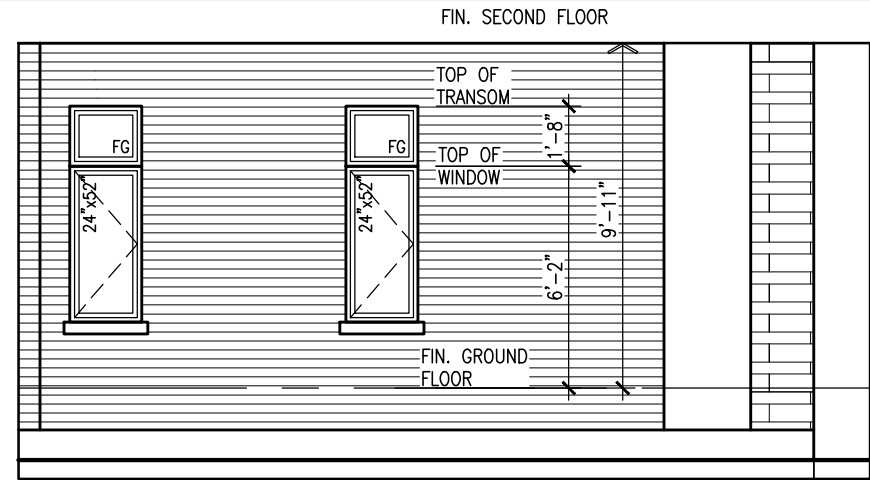
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
SD25-4 COR LOT 154 ELEVATION C	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	478.37 S.F.	122.11 S.F.	25.53 %
LEFT SIDE	1219.57 S.F.	232.33 S.F.	19.05 %
RIGHT SIDE	1204.74 S.F.	0 S.F.	0.00 %
REAR	456.52 S.F.	105.17 S.F.	23.04 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3359.20 S.F.	459.61 S.F.	13.68 %
TOTAL SQ. M.	312.08 S.M.	42.70 S.M.	13.68 %

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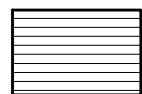


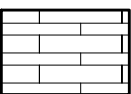
MAY 13, 2021



INSIDE VIEW ELEVATION 'C'



FACE BRICK

STONE BY BRAMPTON BRICK
FINESSE LINE OR SIMILAR

STUCCO FINISH

ALUMINUM CLAD

LEFT SIDE ELEVATION 'C'
CORNER UPGRADE--LOT 154

SD25-4

BAYVIEW WELLINGTON

GREEN VALLEY EAST

SONOMA 4 LOT 154

BRADFORD EAST, ON.

project no.

16023

project name

16023-SD25-4 COR LOT 154

scale

3/16" = 1'-0"

checked by

RC

date

SEPT. 2016

drawn by

NC

25591

BCIN

42658

Wellington Jno-Baptiste

signature

VAS Design Inc.

name

registration information

qualification information

MAY 13-21

MAY 03-21

JAN 03-18

SEP 15-17

NOV 30/16

RC

KL

RC

RC

SB

REVISED AS PER ENG COMMENTS

CREATED FOR LOT 154R

REVISED AS PER ENG'S COMMENTS

REVISED AS PER FLOOR AND ROOF LAYOUTS

REVISED FOUNDATION WALL TO BE 10"

no.

description

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CREATED FOR LOT 154R

REVISED AS PER ENG'S COMMENTS

REVISED AS PER FLOOR AND ROOF LAYOUTS

REVISED FOUNDATION WALL TO BE 10"

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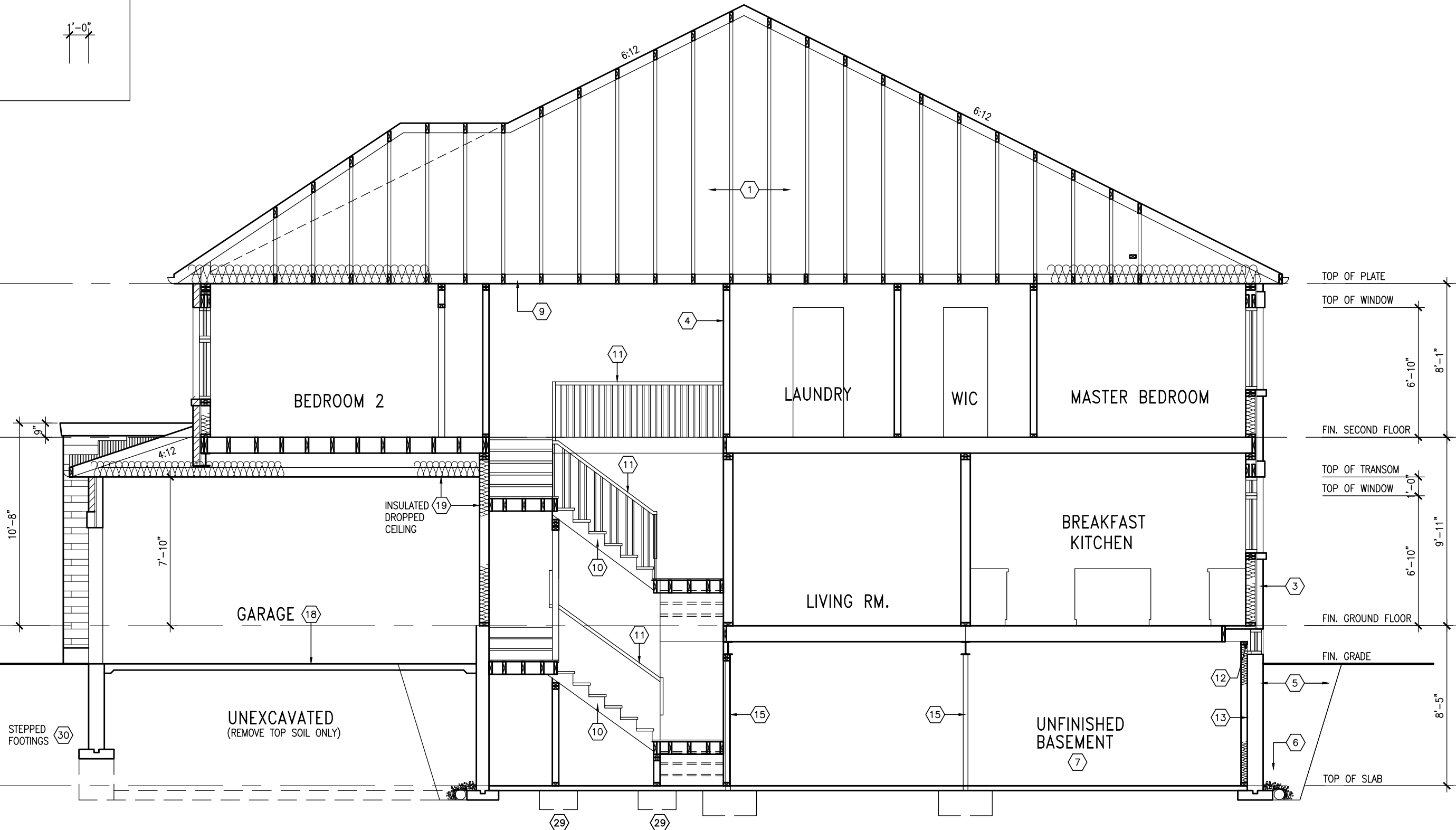
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MAY 13, 2021



SECTION A-A
CORNER UPGRADE- LOT 154

BAYVIEW WELLINGTON

SD25-4
SONOMA 4 LOT 154

project name	municipality	project no.
GREEN VALLEY EAST	BRADFORD EAST, ON.	NC

date

SEPT. 2016

SECTION A-A

drawing no.

drawn by	checked by	scale	file name
NC	RC	3/16" = 1'-0"	16023-SD25-4 COR LOT 154

RICHARD - H:\ARCHIVE\WORKING\2016\18023.EN Units\Purchase lot spot(s) completed\16023-3025-4 COR LOT 154.dwg - Thu - May 13 2021 - 2:45 PM

A

DESIGN
255 Consumers Rd Suite 120

Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

specifications, related documents and de-

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qualification information

Wellington Jno-Baptiste	signature	BCIN
		2559

VA3 Design Inc.

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All data

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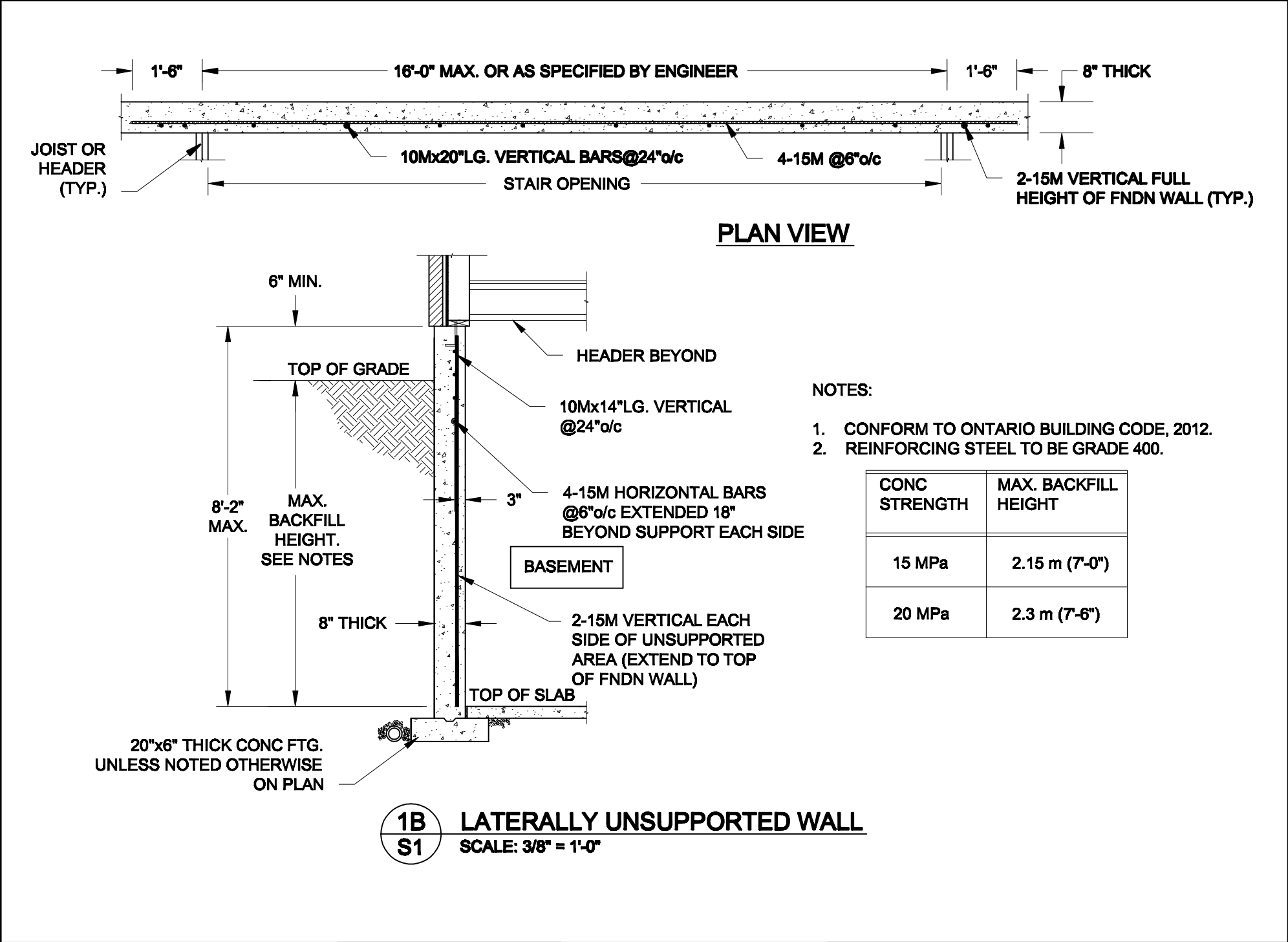
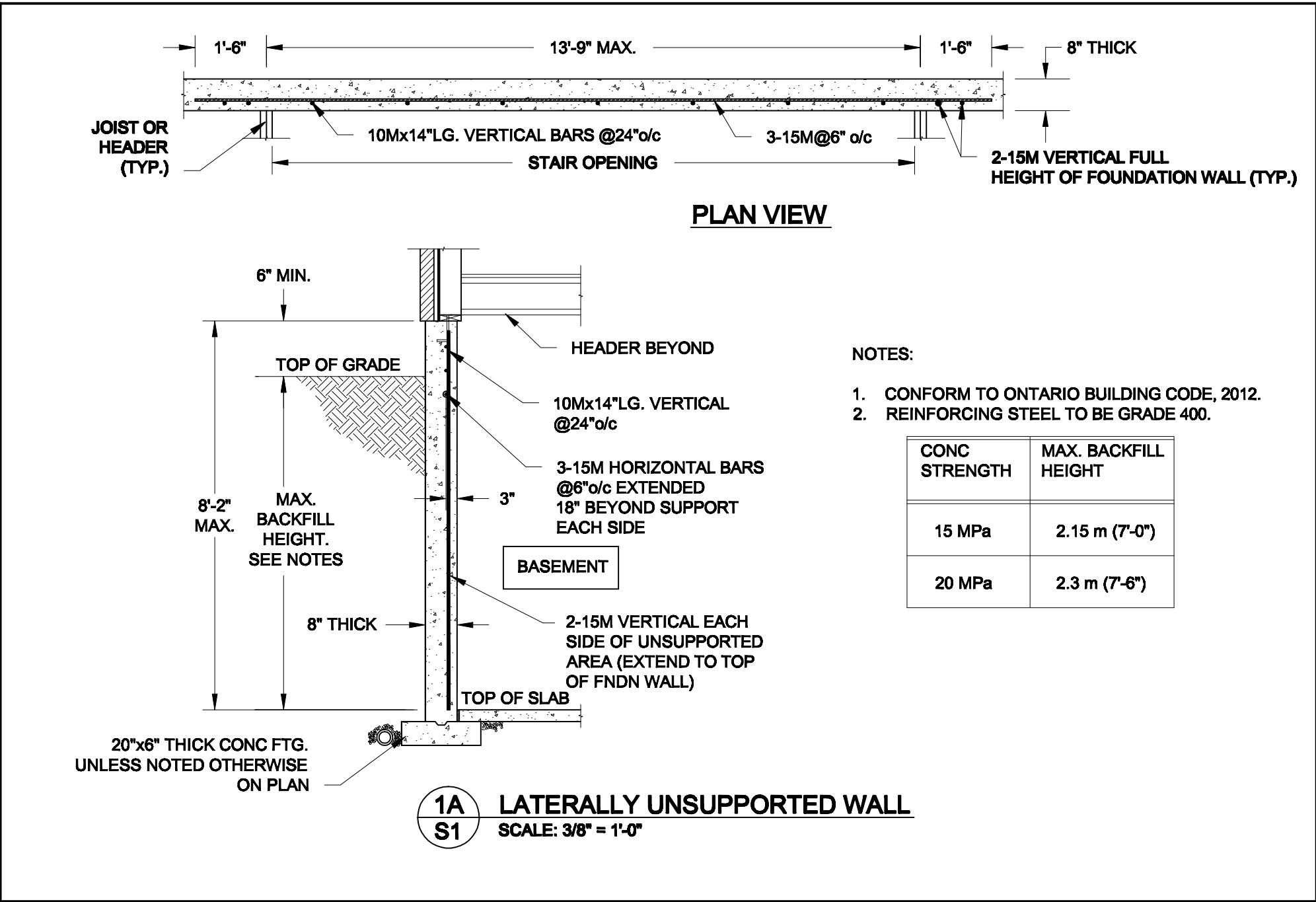
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5	REVISED AS PER ENG COMMENTS	MAY 13-21	RC
4	DESIGNED FOR CONSTRUCTION		

4	CREATED FOR LOT 154R	MAY 03-21	KL
3	REVISED AS PER ENG'S COMMENTS	JAN 03-18	RC

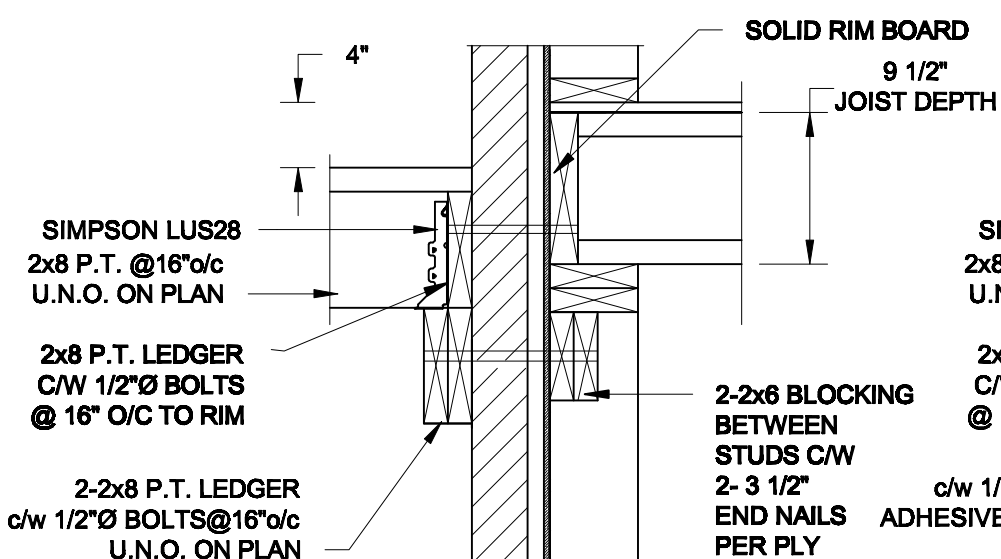
2	REVISED AS PER FLOOR AND ROOF LAYOUTS	SEP 15-17	RC
1	REVISED FOUNDATION WALL TO BE 10"	NOV 30/16	SB

no.	description	date	by
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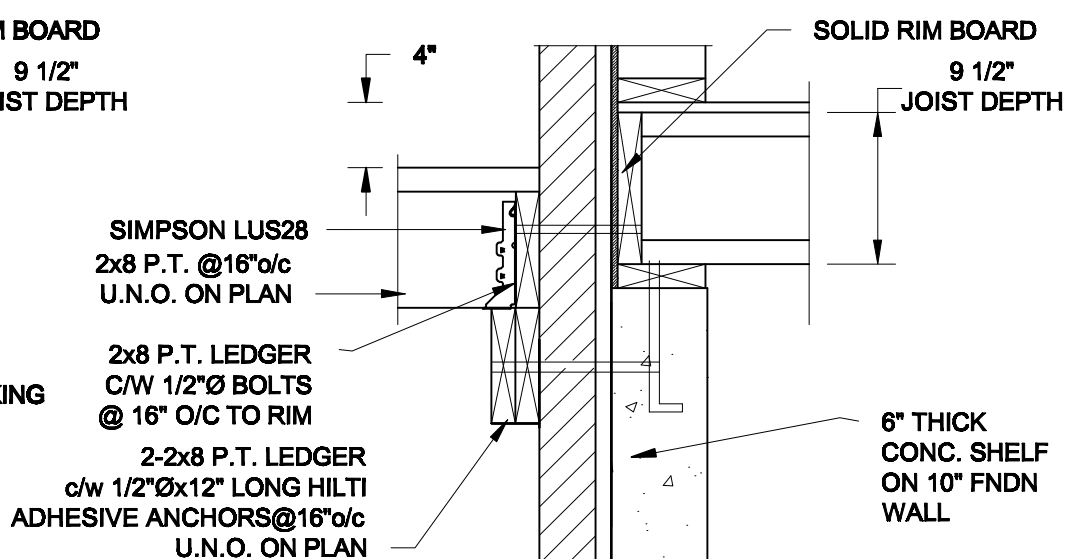


Scale: AS NOTED		QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal:  MAY 13, 2021	Project: BAYVIEW WELLINGTON - GREEN VALLEY EAST - SEMIS BRADFORD, ONTARIO	
Date: MAY-13-2021			TYPICAL STRUCTURAL DETAILS		
Drawn: SC	Checked: SJB		Project No.: 21-062	Drawing No.: S1	

FOR 9 1/2" JOIST DEPTH

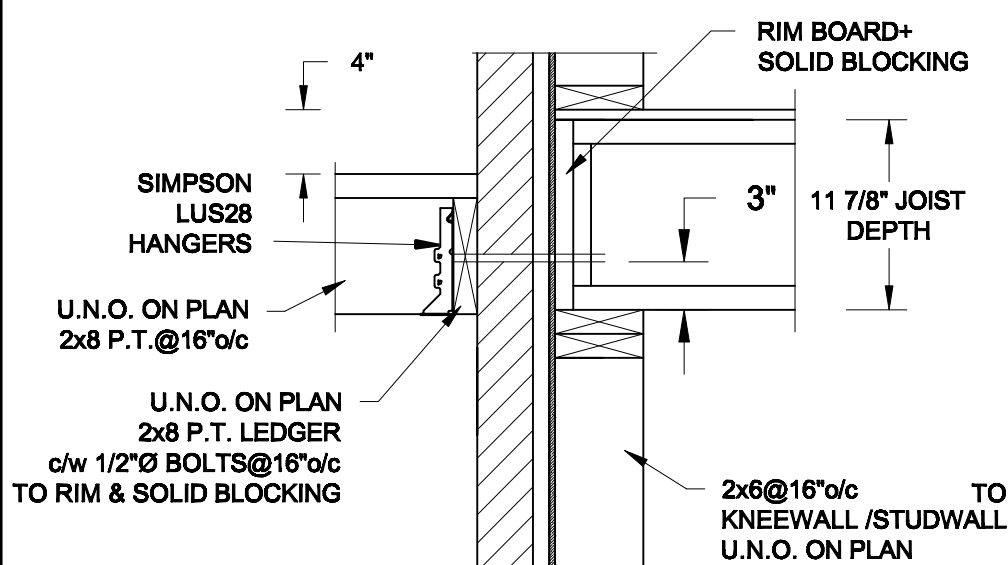


1A **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

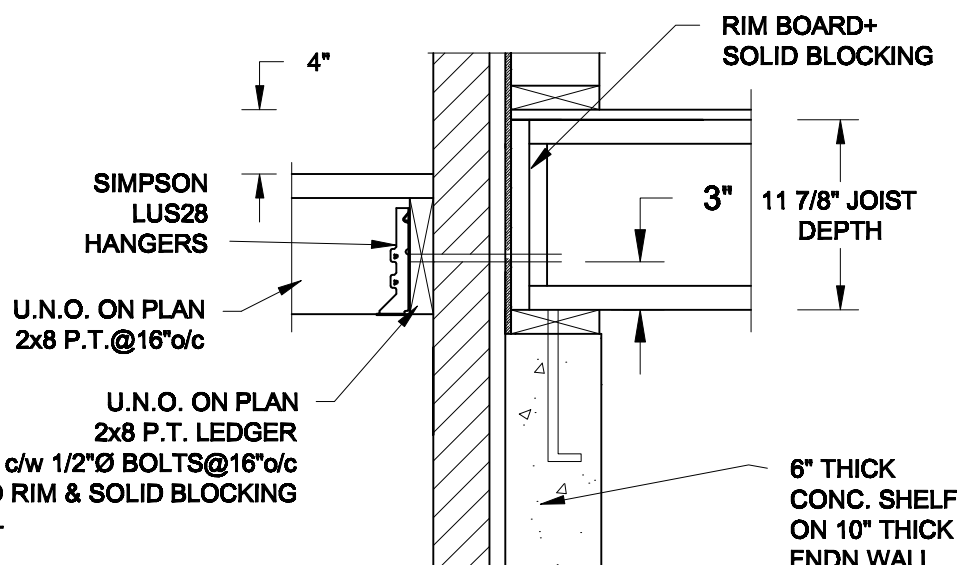


1B **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

FOR 11 7/8" JOIST DEPTH

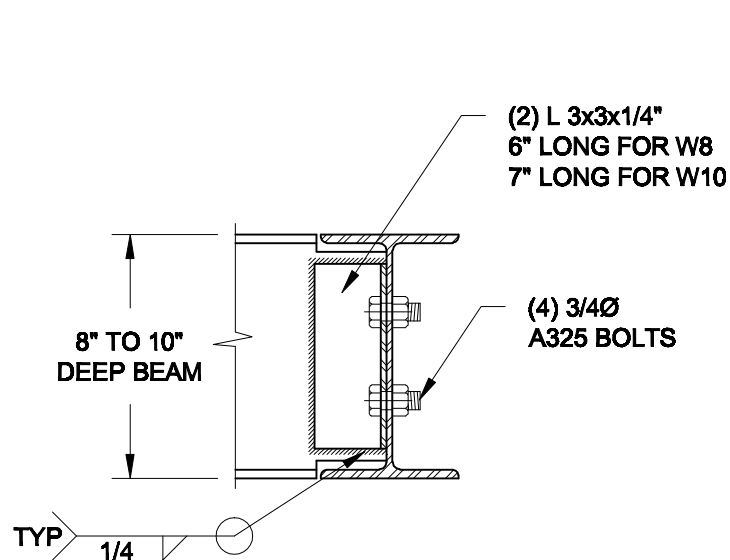


2C DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"



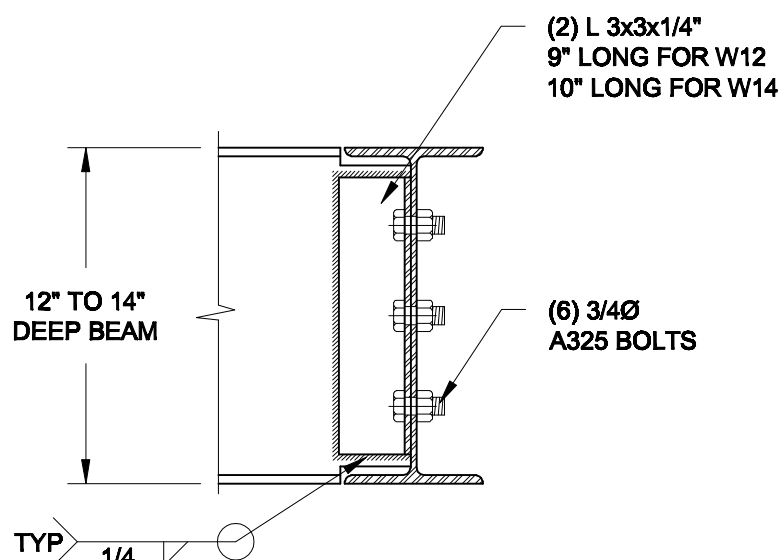
2D DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

- NOTES: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.



**NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX
AND W10x39 (W250x58) BEAM MAX.**

3A BEAM CONNECTION

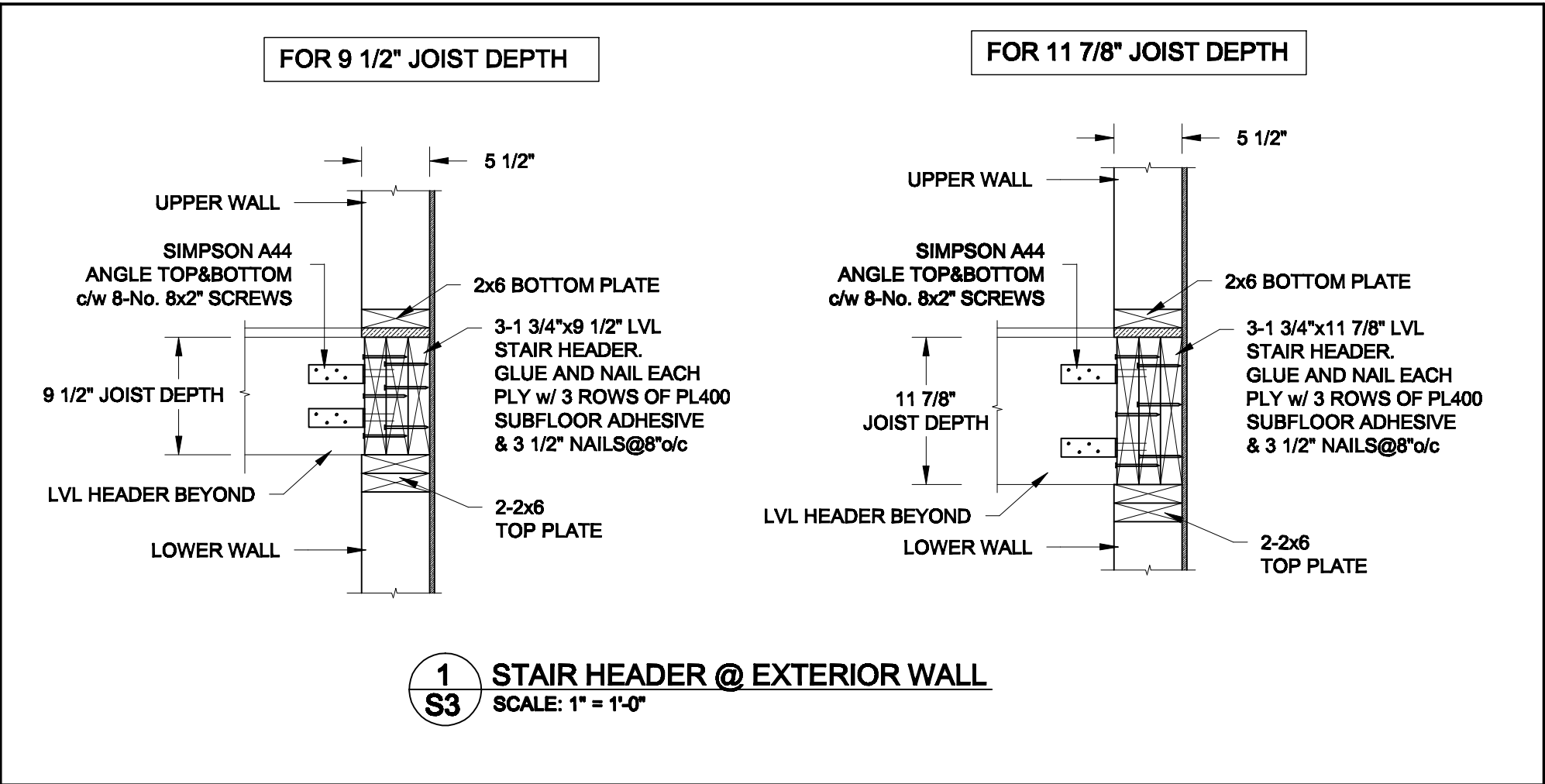


**NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX
AND W14x48 (W360x72) BEAM MAX.**

3B BEAM CONNECTION

S2 SCALE: 1 1/2" = 1'-0"

Scale: AS NOTED	QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal:  MAY 13, 2021	Project: BAYVIEW WELLINGTON - GREEN VALLEY EAST - SEMS BRADFORD, ONTARIO
Date: MAY-13-2021		TYPICAL STRUCTURAL DETAILS	
Drawn: SC Checked: SJB		Project No.: 21-062	Drawing No.: S2

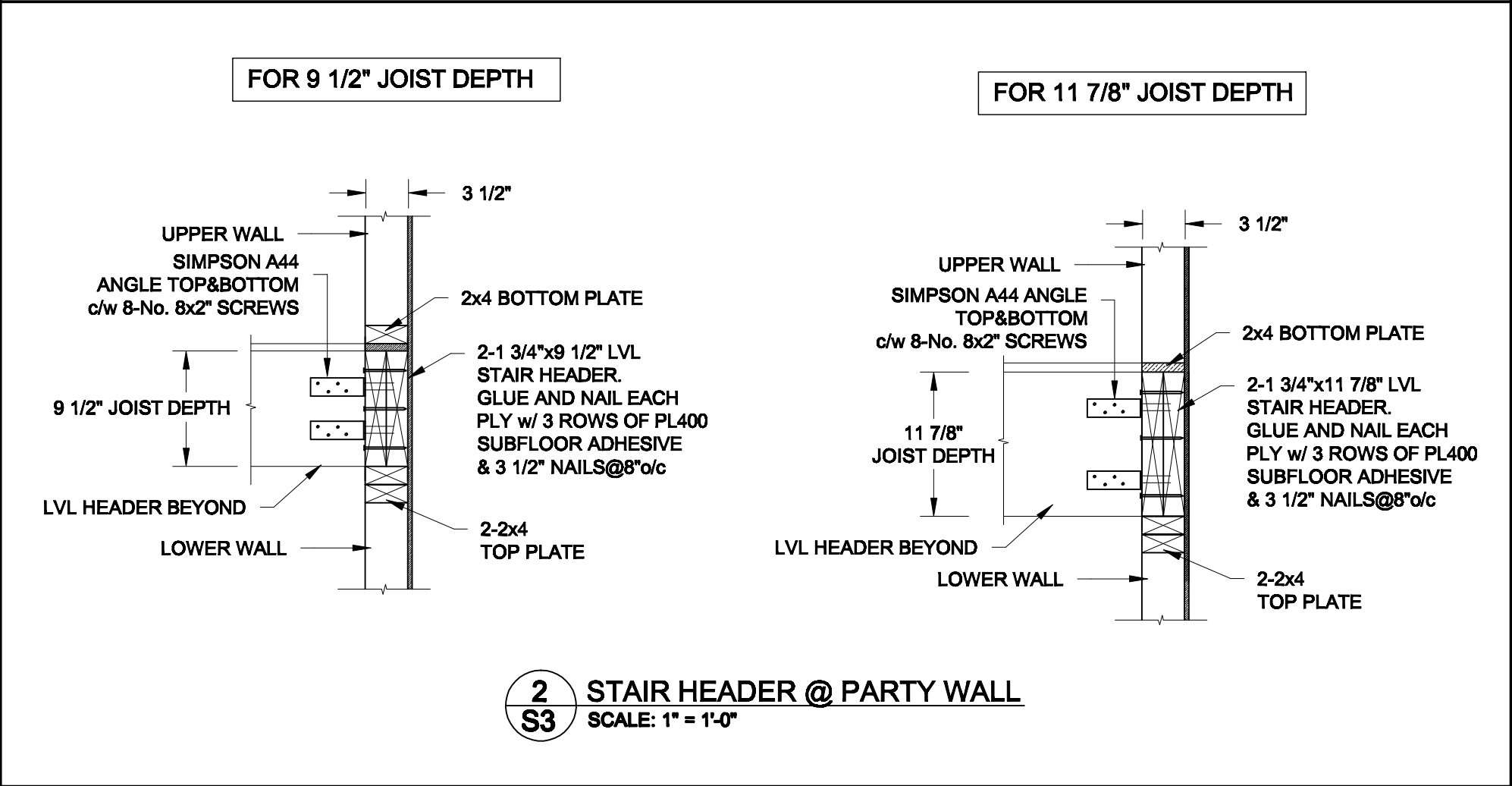


1

S3

STAIR HEADER @ EXTERIOR WALL

SCALE: 1" = 1'-0"



2

S3

STAIR HEADER @ PARTY WALL

SCALE: 1" = 1'-0"

Scale: AS NOTED		QUAILE ENGINEERING LTD. 38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal: MAY 13, 2021	Project: BAYVIEW WELLINGTON - GREEN VALLEY EAST - SEMIS BRADFORD, ONTARIO	
Date: MAY-13-2021				TYPICAL STRUCTURAL DETAILS	
Drawn: SC	Checked: SJB			Project No.: 21-062	Drawing No.: S3