

Planning Department

Complies with Zoning By-Law: 2010-050

Date Reviewed: June 16, 2021

Reviewed By:

Sarah Otter

URBAN ECOSYSTEMS LTD. HAS REVIEWED THE PROPOSED GRADES AS SHOWN ON THIS PLAN AND HAS FOUND THEM TO BE IN GENERAL CONFORMANCE WITH THE APPROVED PLANS

LOT NO. 58 L/R

DATE May 19, 2021

ENGINEERING REVIEW

☒ ACCEPTED

☐ ACCEPTED AS NOTED

☐ REQUIRES RE-SUBMISSION

THIS PLAN HAS BEEN REVIEWED WITH RESPECT TO GENERAL CONFORMANCE WITH THE OVERALL LOT GRADING PLAN AND OUR APPROVAL OF THIS PLAN FOR NO OTHER REASON. WE ACCEPT NO RESPONSIBILITY FOR THE ACCURACY OF THE ELEVATIONS AND DIMENSIONS PROVIDED BY OTHERS.

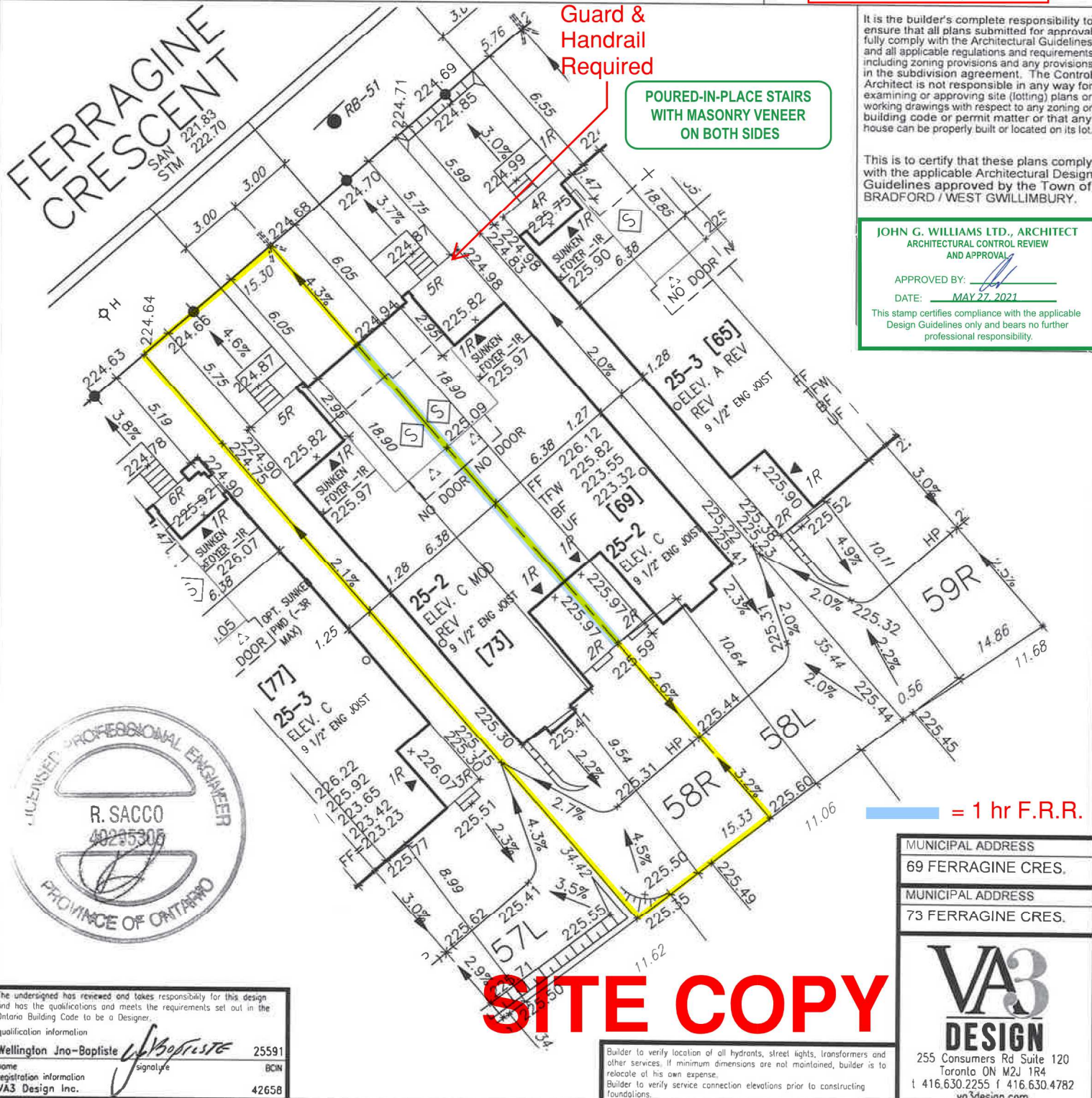
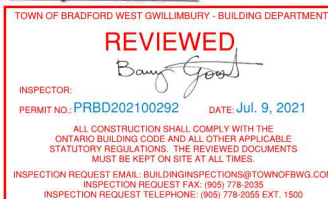
June 21, 2021

Don Whelan

DATE

REVIEWED BY

(TOWN OF BRADFORD WEST GWILLIMBURY USE ONLY)



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: *[Signature]*
DATE: MAY 27, 2021

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptiste *[Signature]* 25591
name
registration information BCIN
VA3 Design Inc. 42658

Builder to verify location of all hydrants, street lights, transformers and other services. If minimum dimensions are not maintained, builder is to relocate at his own expense.
Builder to verify service connection elevations prior to constructing foundations.

MUNICIPAL ADDRESS
69 FERRAGINE CRES.

MUNICIPAL ADDRESS
73 FERRAGINE CRES.

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

project no
16023

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Site plan\16023-SP.dwg - Thu - May 13 2021 - 1:33 PM

<p>⊗ PROPOSED VALVE</p> <p>LP ● LIGHT POLE</p> <p>WATER SERVICE</p> <p>DOUBLE STM./SAN. CONNECTION</p> <p>SINGLE STM./SAN. CONNECTION</p> <p>CATCH BASIN</p> <p>CABLE TELEVISION PEDESTAL</p> <p>BELL PEDESTAL</p>	<p>HYDRANT</p> <p>TRANSFORMER</p> <p>UNDER FIN. BASEMENT FLOOR SLAB</p> <p>TOP OF FOUNDATION WALL</p> <p>UNDERSIDE FOOTING AT REAR</p> <p>UNDERSIDE FOOTING AT FRONT</p> <p>UNDERSIDE FOOTING AT SIDE</p> <p>WALK OUT DECK</p> <p>W.O.B. WALK OUT BASEMENT</p> <p>REV. REVERSE PLAN</p>	<p>STREET SIGN</p> <p>MAIL BOX</p> <p>RETAINING WALL</p> <p>CHAIN LINK FENCE (SEE LANDSCAPE PLAN)</p> <p>ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)</p> <p>WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)</p> <p>HYDRO SERVICE LATERAL</p> <p>HYDRO METER</p> <p>GAS METER</p> <p>SWALE DIRECTION</p> <p>LOTS EQUIPPED WITH SUMP PUMP</p> <p>EMBANKMENT</p>	<p>[XXXX] MUNICIPAL ADDRESS</p> <p>PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA</p> <p>THIS LOT CONTAINS ENGINEERED FILL</p> <p>AIR CONDITIONER REQUIRED</p> <p>RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)</p> <p>SIDE WINDOW LOCATION</p> <p>OPT. DOOR LOCATION</p> <p>EXTERIOR DOOR LOCATION</p> <p>REDUCE SIDE YARD</p>	<p>north arrow</p>
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DEVELOPER:		MAX BUILDING HEIGHT: 13.0m		LOT AREA: 534.43 m2		SAN INVERT: 221.83 m	
ARG GROUP		BUILDING HEIGHT: 8.08m		LOT FRONTAGE: 15.30 m		STM INVERT: 222.70 m	
		AVERAGE GRADE: 225.12m		LOT COVERAGE: N/A %		DESIGNED: -	
BUILDER:		3	-		-		DRAWN: RC
		2	-		-		SCALE: 1:250
		1	REVISED AS PER ENG'S COMMENTS		MAY 11-2021		DATE: - MAY 11-2021
CONSULTANT:		No.	Revision		Date		PLAN: 51M-1137
		drawing name					LOT NO: 58
URBAN ECO SYSTEMS- CIVIL ENG VA3 DESIGN- ARCHITECTURE		SITING & GRADING PLAN					