

Planning Department

Complies with Zoning By-Law: 2010-050

Date Reviewed: Jul 15, 2021

Reviewed By: Cdebeux

URBAN ECOSYSTEMS LTD., HAS REVIEWED THE PROPOSED GRADES AS SHOWN ON THIS PLAN AND HAS FOUND THEM TO BE IN GENERAL CONFORMANCE WITH THE APPROVED PLANS

LOT NO: 70 L/R

DATE May 19, 2021

ENGINEERING REVIEW

☐ ACCEPTED

☐ ACCEPTED AS NOTED

☐ REQUIRES RE-SUBMISSION

THIS PLAN HAS BEEN REVIEWED WITH RESPECT TO GENERAL CONFORMANCE WITH THE OVERALL LOT GRADING PLAN AND OUR APPROVAL OF THIS PLAN FOR NO OTHER REASON. WE ACCEPT NO RESPONSIBILITY FOR THE ACCURACY OF THE ELEVATIONS AND DIMENSIONS PROVIDED BY OTHERS.

July 15, 2021

DATE

REVIEWED BY

(TOWN OF BRADFORD WEST GWILLIMBURY USE ONLY)



TOWN OF BRADFORD WEST GWILLIMBURY - BUILDING DEPARTMENT

REVIEWED

Inspector: [Signature]

PERMIT NO: PRBD202100307

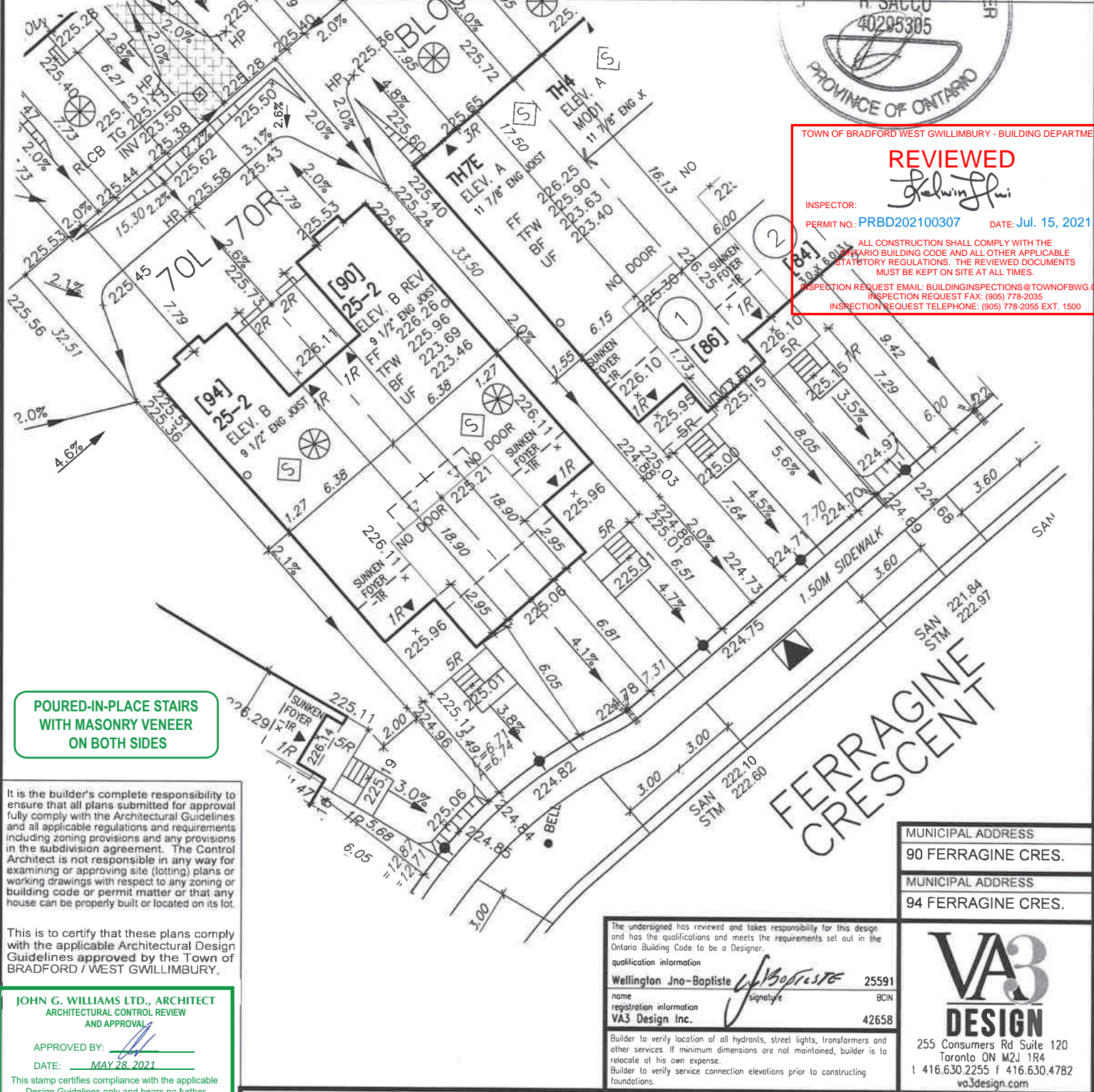
DATE: Jul. 15, 2021

ALL CONSTRUCTION SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE STATUTORY REGULATIONS. THE REVIEWED DOCUMENTS MUST BE KEPT ON SITE AT ALL TIMES.

INSPECTION REQUEST EMAIL: BUILDINGINSPECTIONS@TOWNOFBWG.COM

INSPECTION REQUEST FAX: (905) 778-2035

INSPECTION REQUEST TELEPHONE: (905) 778-2055 EXT. 1500



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JOHN G. WILLIAMS LTD., ARCHITECT

ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]

DATE: MAY 28, 2021

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591

name

registration information

VA3 Design Inc. 42658

Builder to verify location of all hydrants, street lights, transformers and other services. If minimum dimensions are not maintained, builder is to relocate at his own expense.

Builder to verify service connection elevations prior to constructing foundations.

MUNICIPAL ADDRESS

90 FERRAGINE CRES.

MUNICIPAL ADDRESS

94 FERRAGINE CRES.

VA3 DESIGN

255 Consumers Rd Suite 120

Toronto ON M2J 1R4

t 416.630.2255 f 416.630.4782

va3design.com

PROPOSED VALVE

LIGHT POLE

HYDRANT

TRANSFORMER

WATER SERVICE

DOUBLE STM/SAN. CONNECTION

SINGLE STM/SAN. CONNECTION

CATCH BASIN

CABLE

CABLE TELEVISION PEDESTAL

BELL PEDESTAL

FF FINISHED FLOOR ELEVATION

ML FINISHED MAIN LEVEL ELEVATION

UF UNDERSIDE FOOTING ELEVATION

BF FIN. BASEMENT FLOOR SLAB

TFW TOP OF FOUNDATION WALL

UFR UNDERSIDE FOOTING AT REAR

UFF UNDERSIDE FOOTING AT FRONT

UFS UNDERSIDE FOOTING AT SIDE

DECK WALK OUT DECK

W.O.B. WALK OUT BASEMENT

REV REVERSE PLAN

STREET SIGN

MAIL BOX

RETAINING WALL

CHAIN LINK FENCE (SEE LANDSCAPE PLAN)

ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)

WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)

HYDRO SERVICE LATERAL

GAS METER

EMBAKMENT

SWALE DIRECTION

LOTS EQUIPPED WITH SUMP PUMP

[XXXX] MUNICIPAL ADDRESS

PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA

THIS LOT CONTAINS ENGINEERED FILL

AIR CONDITIONER REQUIRED

RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)

SIDE WINDOW LOCATION

OPT. DOOR LOCATION

EXTERIOR DOOR LOCATION

REDUCE SIDE YARD

north arrow

DEVELOPER:	MAX BUILDING HEIGHT: 13.0m	LOT AREA: 507.46m ²	SAN INVERT: 222.10 m	
ARG GROUP	BUILDING HEIGHT: 8.05m	LOT COVERAGE: min. 200m ² /dwelling unit	STM INVERT: 222.60 m	
	AVERAGE GRADE: 225.29m	LOT COVERAGE: min. 6.8m ² /dwelling unit	DESIGNED:	
BUILDER:	3		DRAWN: RC	
BAYVIEW WELLINGTON	2		SCALE: 1:250	
	1	REVISED AS PER ENG'S COMMENTS	MAY 11-2021	DATE: MAY 11-2021
CONSULTANT:	No.	Revision	Date	PLAN: 51M-1137
URBAN ECO SYSTEMS- CIVIL ENG	drawing name			LOT NO: 70
	VA3 DESIGN- ARCHITECTURE			
SITING & GRADING PLAN				

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.