

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: JUL 19, 2021

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

**Town of Innisfil
Lot Grading & Zoning Approval**

kbayley

Aug 04, 2021



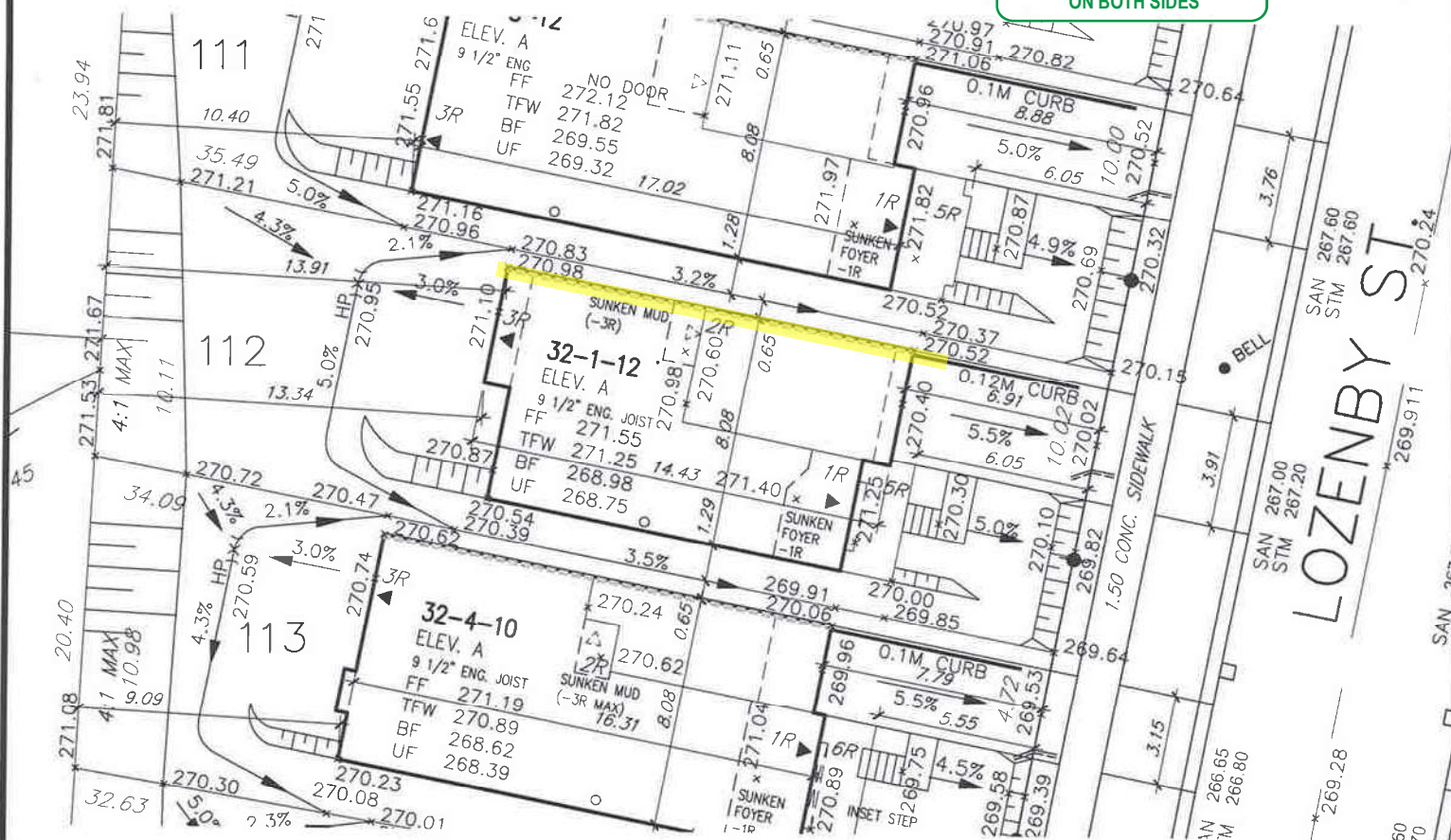
URBAN ECOSYSTEMS LTD. HAS REVIEWED THE PROPOSED GRADES AS SHOWN ON THIS PLAN AND HAS FOUND THEM TO BE IN GENERAL CONFORMANCE WITH THE APPROVED PLANS.

LOT NO. 112

DATE _____



POURED-IN-PLACE STAIRS WITH MASONRY VENEER ON BOTH SIDES



POURED-IN-PLACE STAIRS WITH MASONRY VENEER ON BOTH SIDES

ALL DIMENSIONS ARE IN METRIC
UNLESS OTHERWISE NOTED

COVERAGE					BLD. HEIGHT 9.0M (MAX)		MIN LANDSCAPE (30%)		
LOT NO.	MODEL	LOT AREA S.M.	UNIT COVERAGE S.M.	(MAX. 45%)	AVG. GRADE AROUND EXT WALL	HEIGHT	DRIVEWAY	LANDSCAPE	%
112	32-1-12 'A'	348.471 S.M.	116.60 S.M.	33.46 %	$\frac{270.52+270.40+270.30+270.00+270.10+270.87+271.10+270.98}{8}=270.59$	8.17	27.04	204.83	58.78












Grading Notes:

It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.












VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.











Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

[illegible]

-  PROPOSED VALVE
 LP  LIGHT POLE
 WATER SERVICE
 DOUBLE STM./SAN. CONNECTION
 SINGLE STM./SAN. CONNECTION
 CATCH BASIN
 CABLE TELEVISION PEDESTAL
 BELL PEDESTAL
 H  HYDRANT
 TRANSFORMER

- | | |
|--------|-------------------------------|
| JR | No. OF RISERS |
| FF | FINISHED FLOOR ELEVATION |
| ML | FINISHED MAIN LEVEL ELEVATION |
| UF | UNDERSIDE FOOTING ELEVATION |
| BF | FIN. BASEMENT FLOOR SLAB |
| TFW | TOP OF FOUNDATION WALL |
| UFR | UNDERSIDE FOOTING AT REAR |
| UFF | UNDERSIDE FOOTING AT FRONT |
| UFS | UNDERSIDE FOOTING AT SIDE |
| DECK | WALK OUT DECK |
| W.O.B. | WALK OUT BASEMENT |
| REV | REVERSE PLAN |

-  STREET SIGN
 MAIL BOX
 RETAINING WALL
 CHAIN LINK FENCE (SEE LANDSCAPE PLAN)
 ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)
 WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)
 HYDRO SERVICE LATERAL
 HYDRO METER
 GAS METER  SWALE DIRECTION
 EMBANKMENT
 (3:1 SLOPE unless otherwise noted)

-  PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA
 OR  THIS LOT CONTAINS ENGINEERED FILL
 AIR CONDITIONER REQUIRED
 OR  RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
 SIDE WINDOW LOCATION
 OPT. DOOR LOCATION
 EXTERIOR DOOR LOCATION
 REDUCE SIDE YARD



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste	25591
name	BCIN
signature	
registration information	
VAS Design Inc.	42658

Builder to verify location of all hydrants, street lights, transformers and other services. If minimum dimensions are not maintained, builder is to relocate at his own expense.
Builder to verify service connection elevations prior to constructing

**VA3
DESIGN**
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BAYVIEW WELLINGTON

project name
ALCONA SHORES

municipality
NNISEU

lot/block no
112
registered plan no

project no.
13049

SEP 2017

SEP 20

scale
1.250

CITY PLAN

SITE PLAN

file name
13010_00.tif

drawing no.

1

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