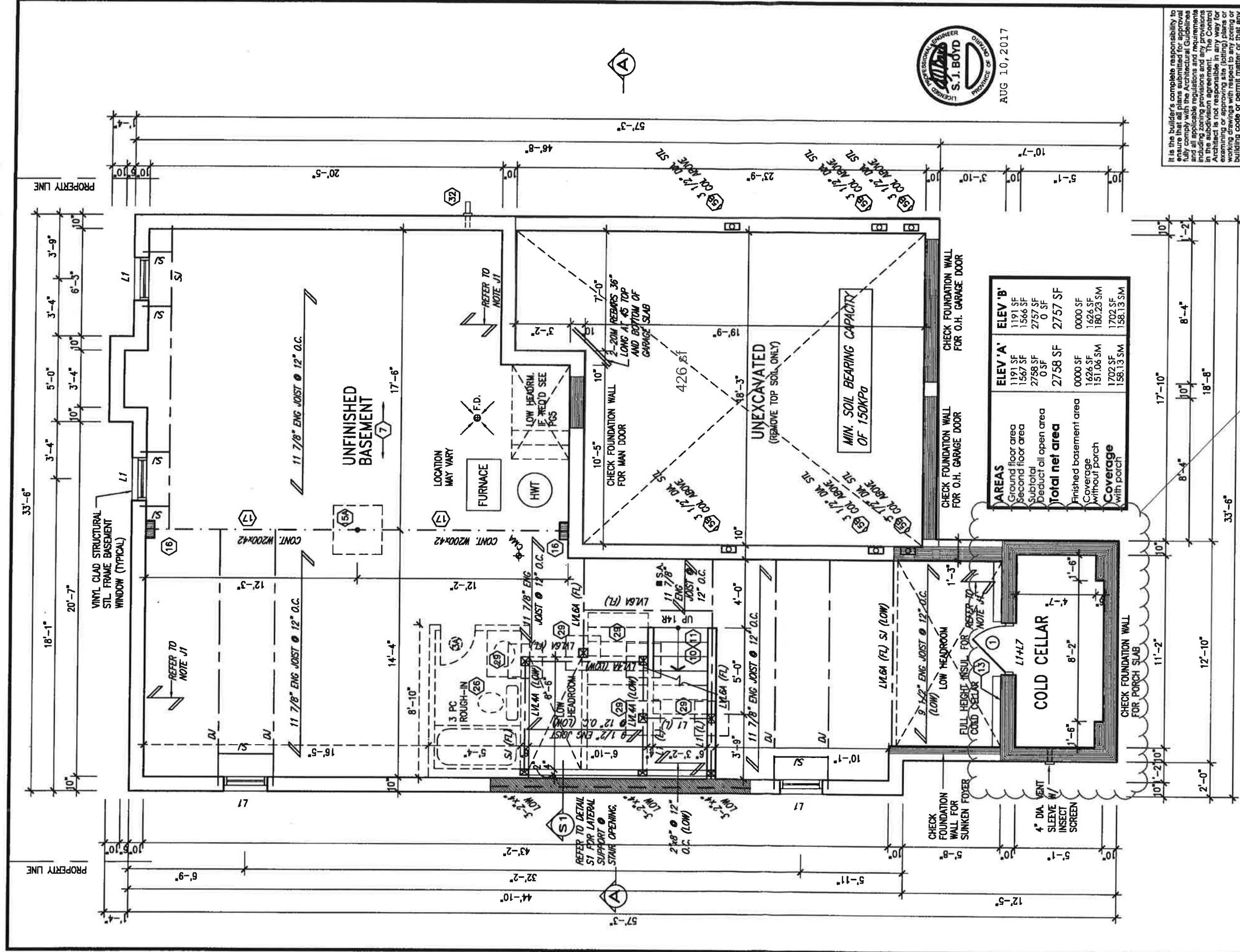




NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: J.I. PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

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07/03/2016 2:30:25 PM kgervais

provide 4" of rigid insulation under slab for protection of footings on interior of cold cellar.

BASEMENT FLOOR PLAN 'A'

AREA CHART ON PAGE 5

AREAS	ELEV 'A'	ELEV 'B'
Ground floor area	1191 SF	1191 SF
Second floor area	1567 SF	1566 SF
Subtotal	2758 SF	2757 SF
Deduct all open area	0 SF	0 SF
Total net area	2758 SF	2757 SF
Finished basement area	0000 SF	0000 SF
Coverage without porch	1626 SF	1626 SF
Coverage with porch	151.06 SM	180.23 SM
	1702 SF	1702 SF
	158.13 SM	158.13 SM

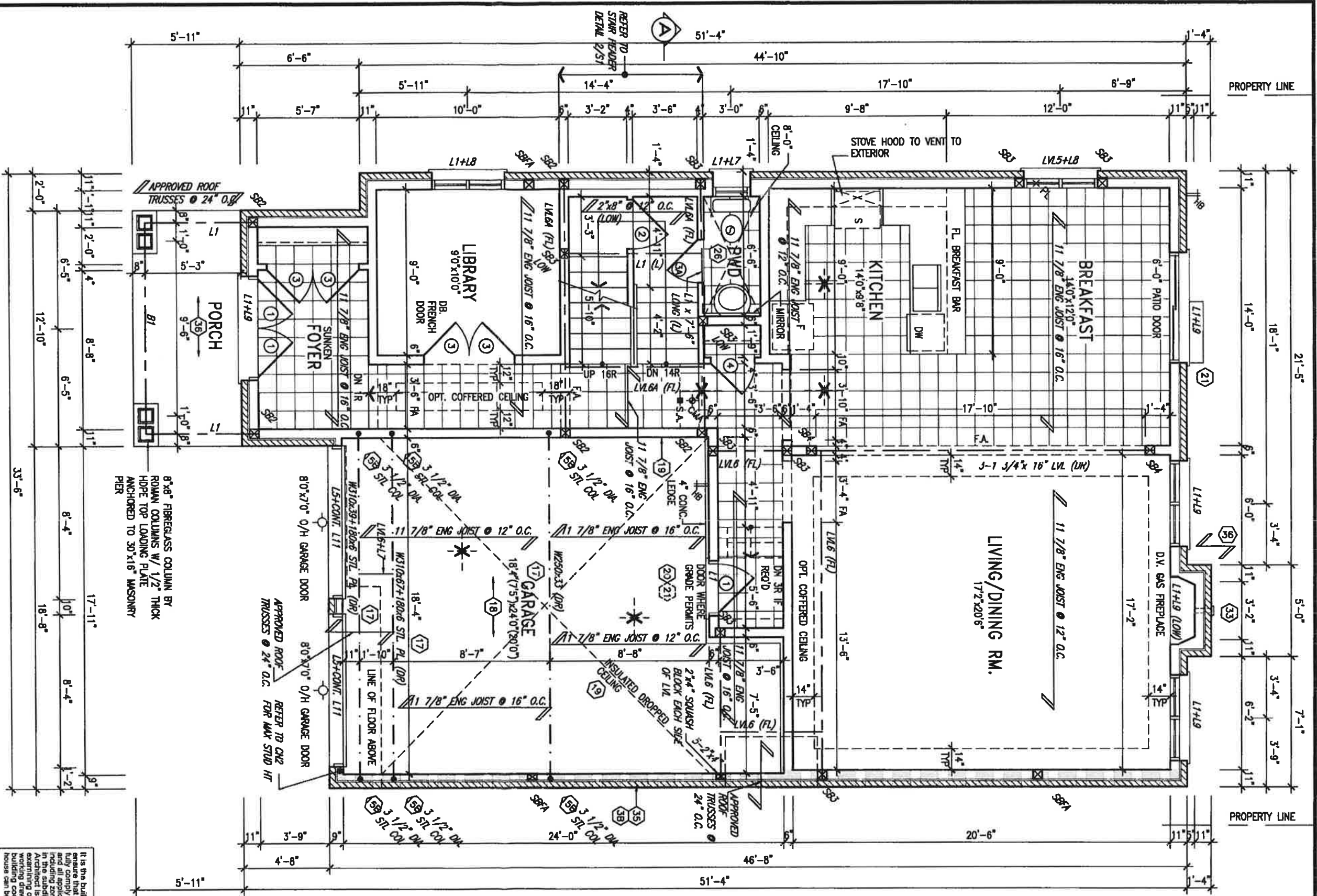


It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the applicable Guidelines and all applicable regulations and provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

ARCHITECTURAL REVIEW & APPROVAL
AUG 14 2017
JONAS WILLIAMS LIMITED, Architect

BAYVIEW WELLINGTON		S39-1	
ALCONA		STARLING 1	
project name	ALCONA	project no.	13049
city	INNISFIL, ONTARIO	drawing no.	1
date	NOV. 2015	file name	13049-S39-1
checked by	RC	scale	3/16" = 1'-0"
drawn by	RC	date	Aug 8 2017 - 10:18 AM
RICHARD - H. ARCHITECTS (2015) 13049-S39-1.dwg - Tue - Aug 8 2017 - 10:18 AM			



GROUND FLOOR PLAN 'A'

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

Town of Innisfil Certified Model
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9.	REVISIONS	DATE	BY	DESCRIPTION
8.				
7.				
6.				
5.				
4.				
3.	REVISED AS PER ENG COMMENTS	AUG 01-17 RC		
2.	REVISED TO 10" FOUNDATION WALLS	DEC 13-16 ALE		
1.	ISSUED FOR CLIENT REVIEW	MAY 16-16 RC		

VA3 DESIGN
255 Consumers Rd Suite 123
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON
INISFIL, ONTARIO

S39-1
STARLING 1

GROUND FLOOR PLAN 'A'
drawing no. 13049

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

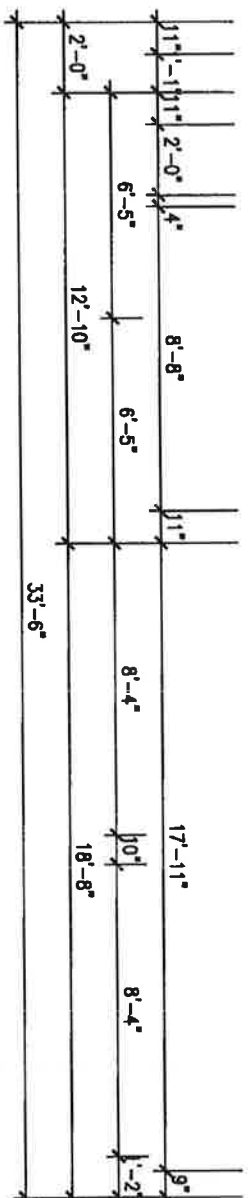
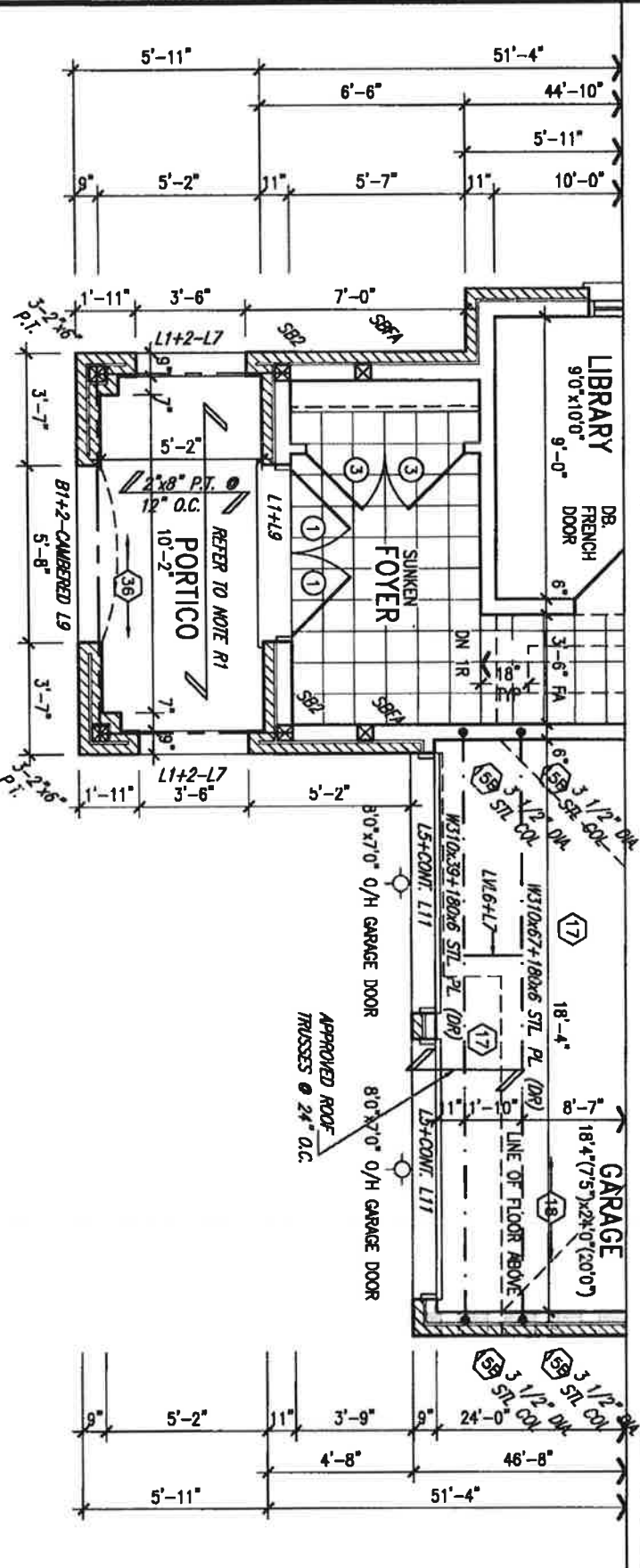
It is the builder's complete responsibility to ensure that all construction complies with the applicable zoning regulations and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for working drawings with respect to any building or construction details. The Control Architect's house can be properly built or located on its lot.



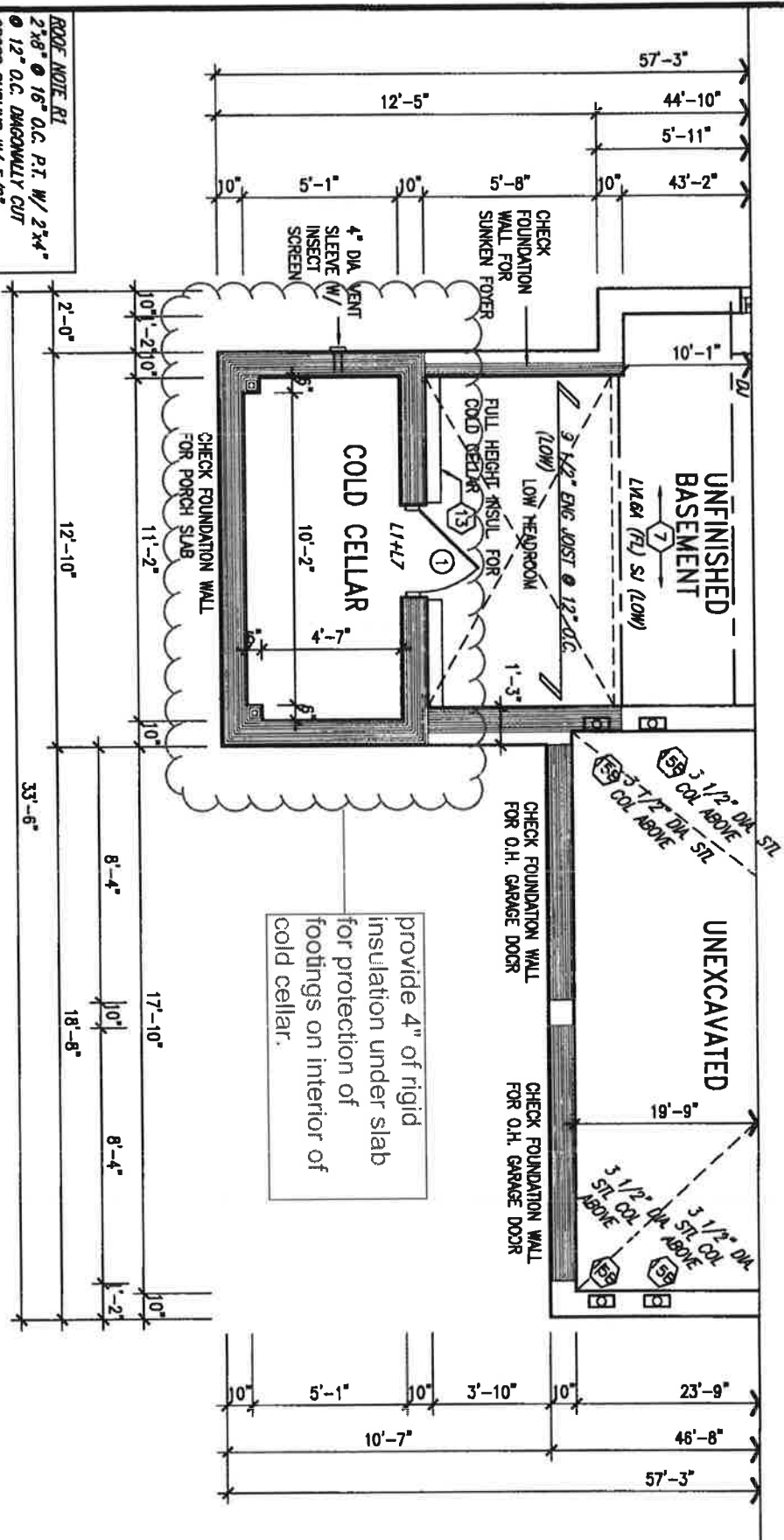
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

APPROVED FOR CONSTRUCTION
AUG 10 2017
J. S. Boyd, Architect



PARTIAL GROUND FLOOR PLAN 'B'



Town of Innisfil Certified Model
07/09/2018 2:31:28 PM kgervais

PARTIAL BASEMENT FLOOR PLAN 'B'

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS UNLESS OTHERWISE NOTED.		NOTE: ALL L.V.'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.	
NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.		NOTE: J.I.: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.).	
1	ISSUED FOR CLIENT REVIEW	date	by
2	REVISION AS PER ENG COMMENTS	AUG 01-17 RC	W.S. Design Inc.
3	REVISION TO 10" FOUNDATION WALLS	DEC 13-16 ALE	W.S. Design Inc.
4	REVISION FOR CLIENT REVIEW	MAY 16-16 RC	W.S. Design Inc.
5	REVISION FOR CLIENT REVIEW	MAY 16-16 RC	W.S. Design Inc.
6	REVISION FOR CLIENT REVIEW	MAY 16-16 RC	W.S. Design Inc.
7	REVISION FOR CLIENT REVIEW	MAY 16-16 RC	W.S. Design Inc.
8	REVISION FOR CLIENT REVIEW	MAY 16-16 RC	W.S. Design Inc.
9	REVISION FOR CLIENT REVIEW	MAY 16-16 RC	W.S. Design Inc.

VA3 DESIGN

255 Consumers Rd Suite 123
Toronto ON M2J 1R4
416.530.2255 f 416.530.4792
v3design.com

BAYVIEW WELLINGTON

INNISFIL, ONTARIO

S39-1
STARLING 1

ALCONA

NOV, 2015

decided by

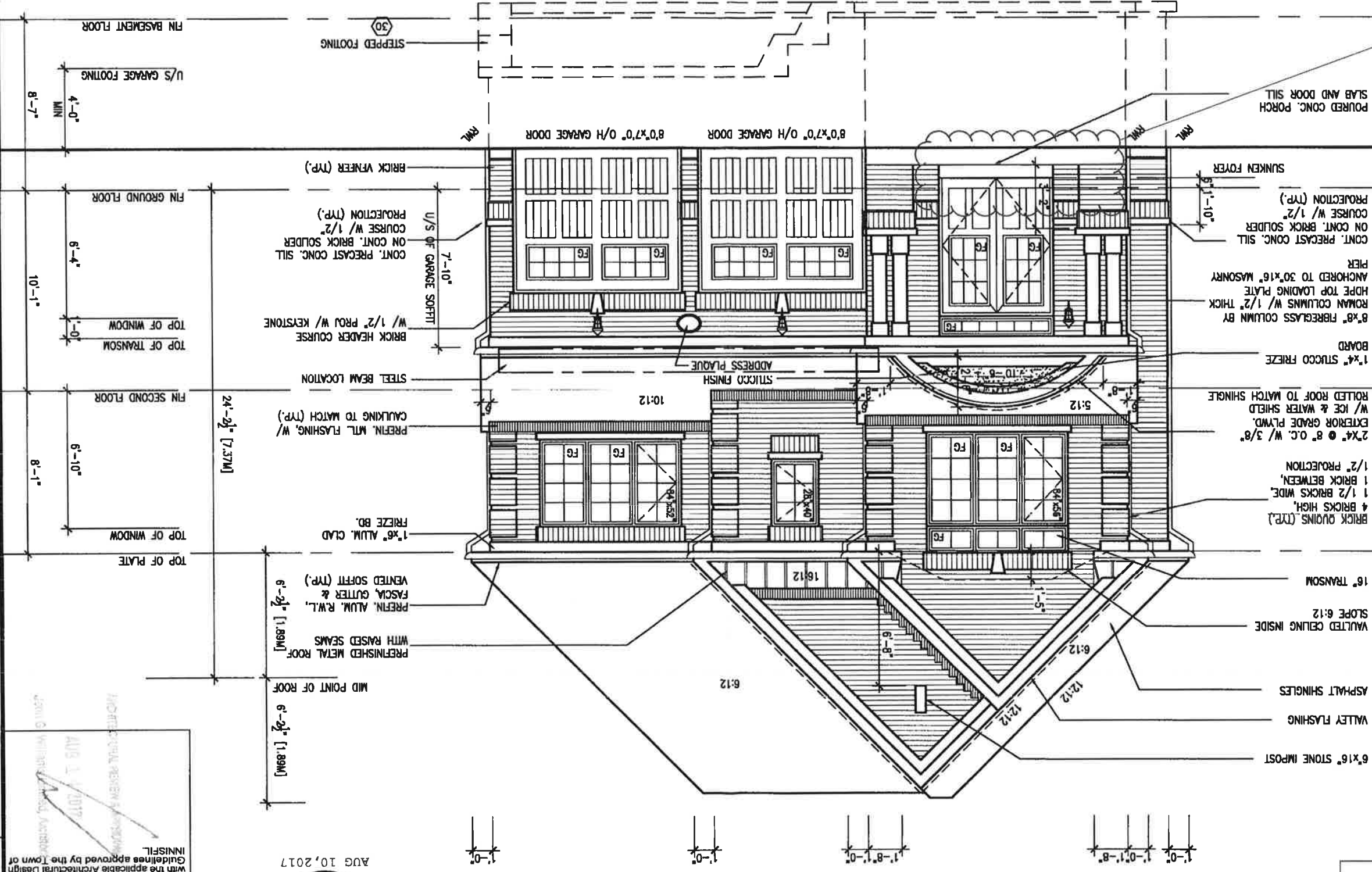
3/16" = 1'-0"

13049-S39-1

4

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FRONT ELEVATION, 'A'



It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Architect is not responsible in any way for examining or approving site (plotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFILL.



AUG 10, 2017

1	description	date	by	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste 25531 426558 name registration information VAS Design Inc. 8236 signature
2	DESIGNED AS PER ENG COMMENTS	AUG 01-17	RC	
3	DESIGNED TO 10" FOUNDATION WALLS	DEC 13-16	A/E	
4	ISSUED FOR CLIENT REVIEW	MAY 16-16	RC	
5				
6				
7				
8				
9				

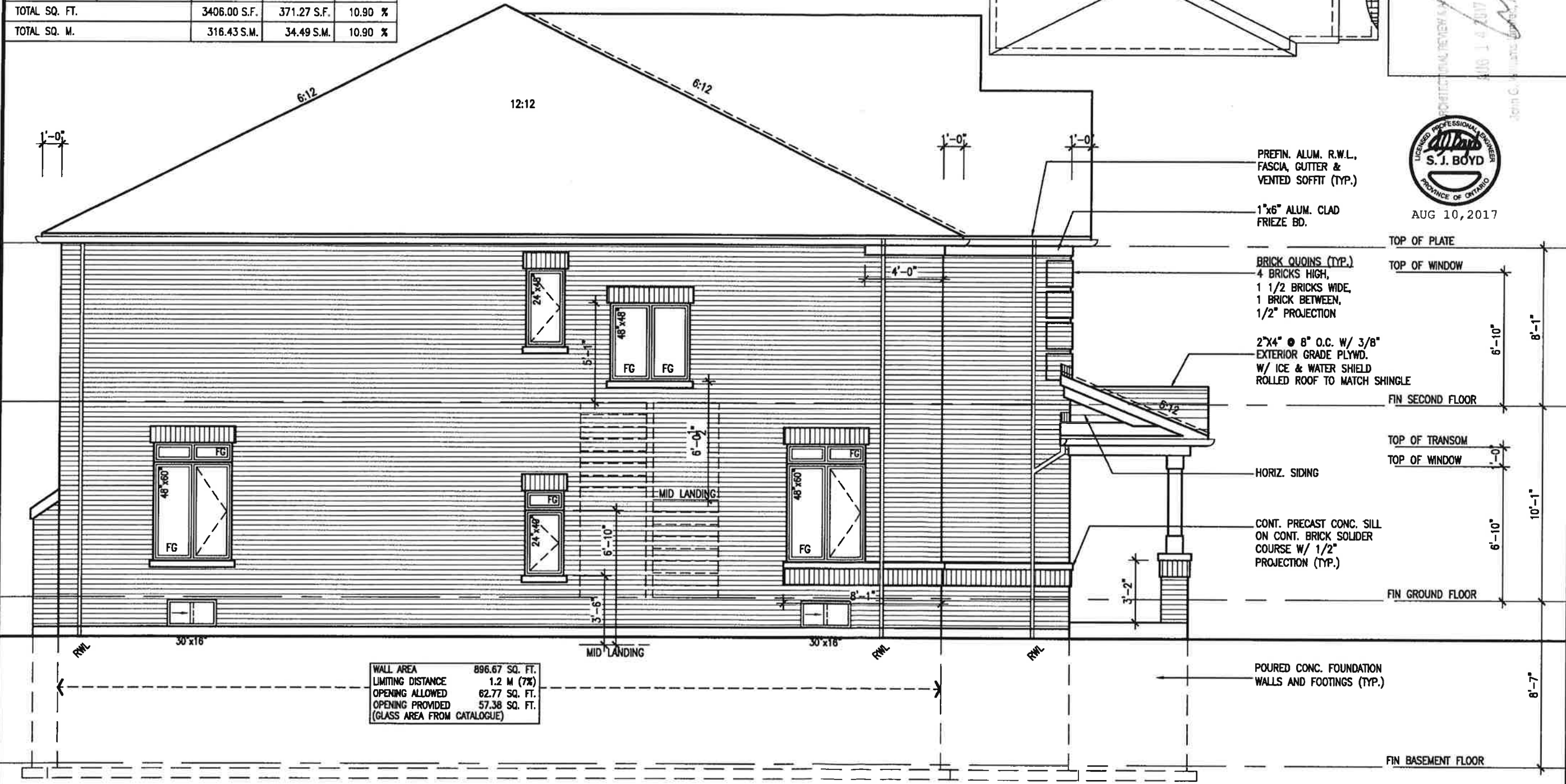
VAD
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.650.2255 / 416.650.4782
vad@vad.ca

project name	BAYVIEW WELLINGTON		S39-1
ALCONA	INNISFIL, ONTARIO	FRONT ELEVATION A	STARLING 1
date	NOV. 2015	drawn by	project no.
checked by	project	3/16" = 1'-0"	13049
RC		13049-S39-1	
HARD - 14" ARCHIVE WORKING 2013 V1 13048.BW UNITS V18 V13049-S39-1.dwg - Tue - Aug 8 2017 - 10:18 AM 6			drawing no.

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))			
S39-1 ELEVATION A		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	682 S.F.	124.500 S.F.	18.26 %
LEFT SIDE	1027 S.F.	87.33 S.F.	8.50 %
RIGHT SIDE	1027 S.F.	0 S.F.	0.00 %
REAR	670 S.F.	159.444 S.F.	23.80 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3406.00 S.F.	371.27 S.F.	10.90 %
TOTAL SQ. M.	316.43 S.M.	34.49 S.M.	10.90 %

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ROOF PLAN 'A'



WALL AREA	896.67 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	62.77 SQ. FT.
OPENING PROVIDED	57.38 SQ. FT.
(GLASS AREA FROM CATALOGUE)	

LEFT SIDE ELEVATION 'A'

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.



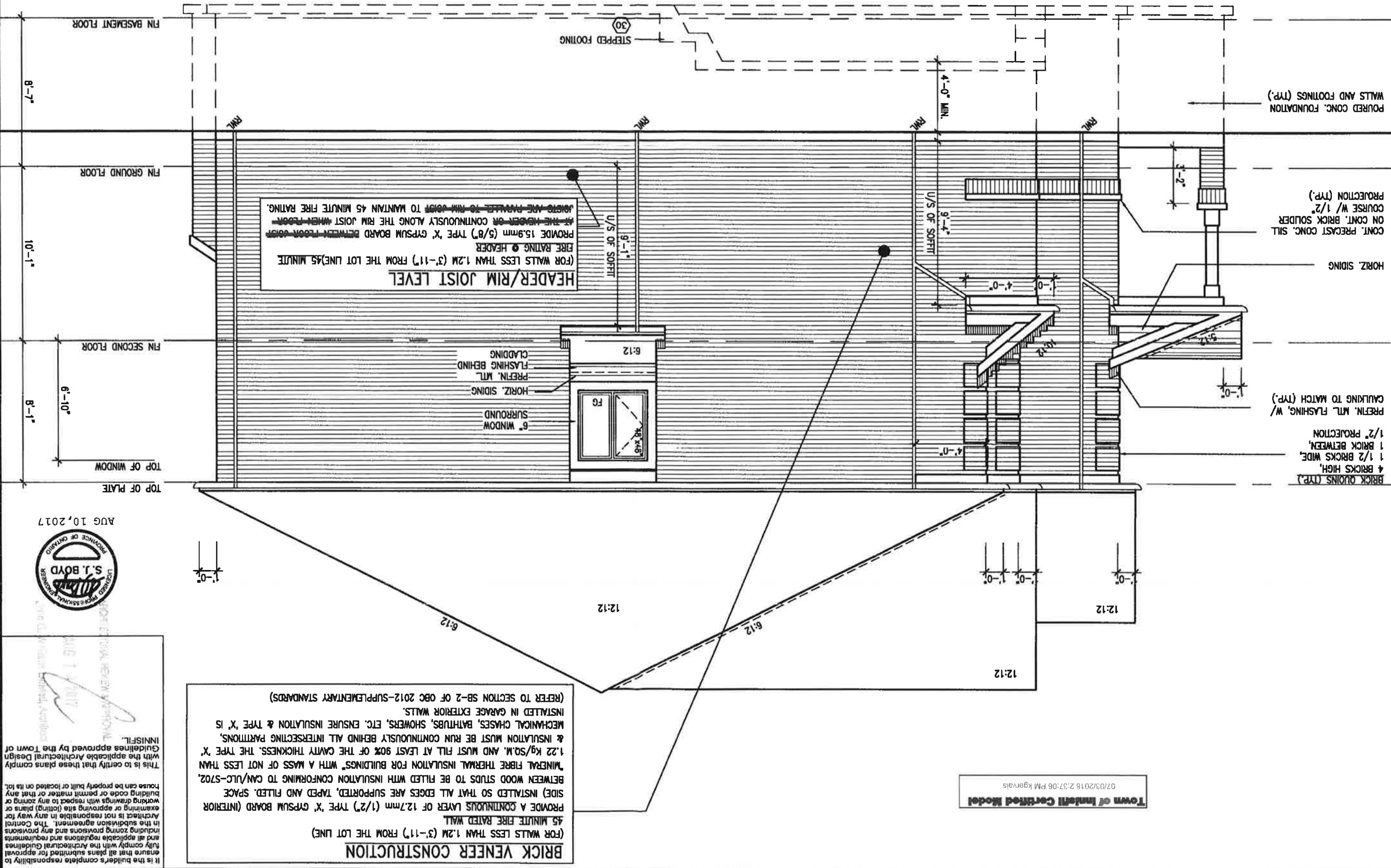
AUG 10, 2017

BAYVIEW WELLINGTON		S39-1		STARLING 1	
project name	ALCONA	municipality	INNISFIL, ONTARIO	project no.	13049
date	NOV. 2015	drawn by	RC	checked by	RC
scale	3/16" = 1'-0"	file name	13049-S39-1	drawing no.	7
RECHARGE - H:\ARCHIVE\WORKING\2015\13049 BAYVIEW\13049-S39-1.dwg - Tue - Aug 8 2017 - 10:18 AM					
VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2L 1R4 t 416.630.2255 / 416.630.4782 va3design.com					
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. Wallington Jno-Baptista VA3 Design Inc. 25591 42658					
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. They must be returned at the completion of the work. Drawings are not to be copied.					
no.	9	8	7	6	5
description	REVISED AS PER ENG COMMENTS	REVISED TO 10" FOUNDATION WALLS	ISSUED FOR CLIENT REVIEW	DATE	DATE
	AUG 01-17 RC	DEC 13-16 AJE	MAY 16-16 RC		

Town of Inverell Certified Model
07/03/2018 2:37:06 PM kgervais

RIGHT SIDE ELEVATION, 'A'

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



No.	Description	Date	By	Signature	Stamp
1	ISSUED FOR CLIENT REVIEW	MAY 16-16 A/E			
2	REMOVED TO FOUNDATION WALLS	DEC 13-16 A/E			
3	REMOVED AS PER ENG COMMENTS	AUG 01-17 RC			
4					
5					
6					
7					
8					
9					

The undersigned has reviewed and issues responsibility for this design, and has the qualifications and meets the requirements set out in the Order of Billing Code to be a Designer.

Qualification Information
Wellington Ave-Boplist
2558
BC
4265

Contractor must notify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAD
DESIGN
255 Consumers Rd Suite 121
Toronto ON M2J 1R4
t 416.630.2256 f 416.630.4774
vcdesign.ca

project name ALCONA	municipality INNISFIL, ONTARIO	project no. 13049
date NOV. 2015	checked by 3/16" = 1'-0"	drawing no. 8
drawn by RC	scale 13049-S39-1	
the name RIGHT SIDE ELEVATION A		
RECORDED - IN ARCHIVES WORKING (2015) \ 13049-S39-1.dwg - Tue - Aug 8 2017 - 10:18 AM		

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

S39-1
STARLING 1

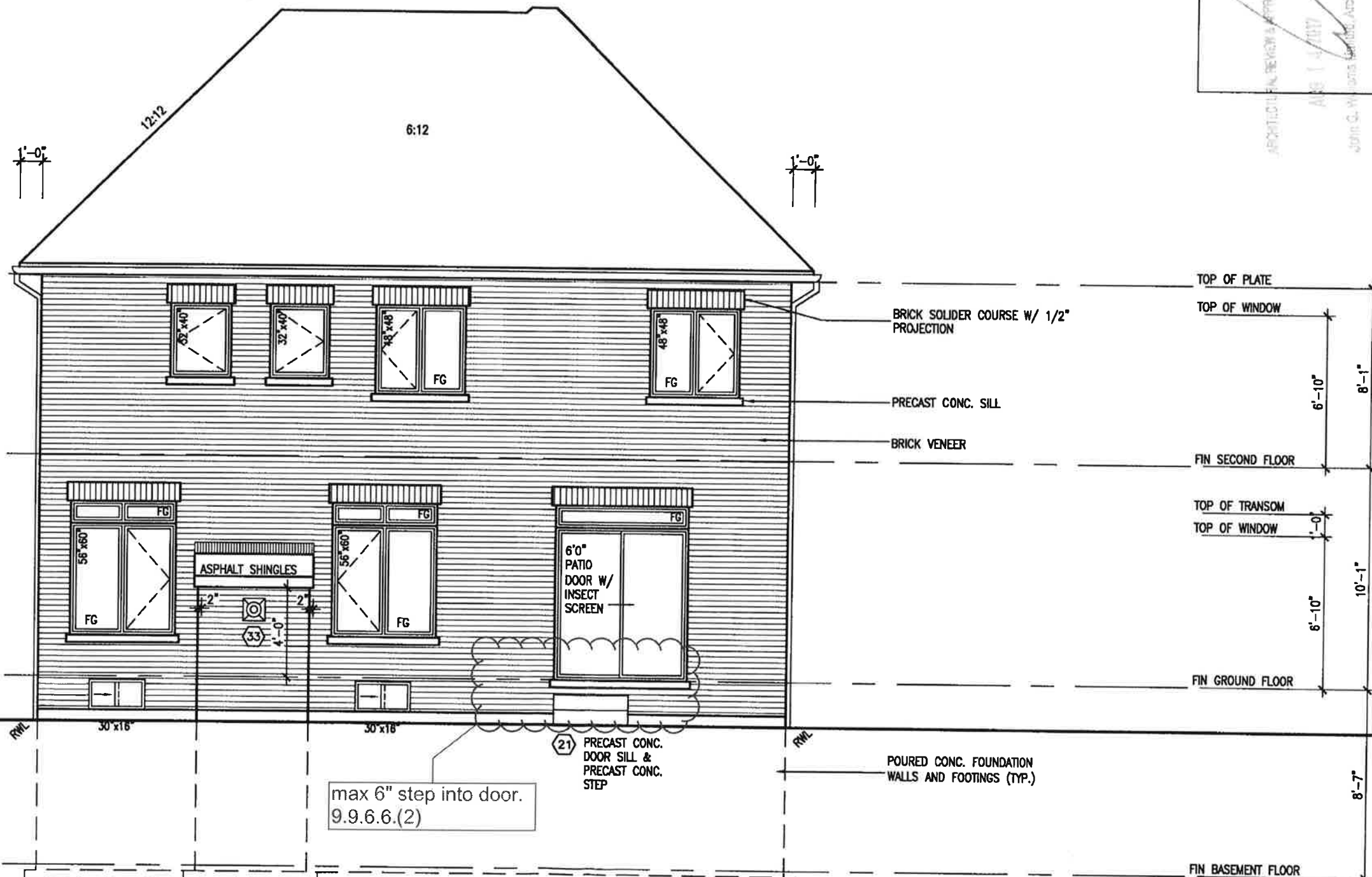
BAYVIEW WELLINGTON

VAD3 DESIGN
255 Consumers Rd Suite 1
Toronto ON M2J 1R4
416.630.2255 f 416.630.4340
vad3design.com

The undersigned has reviewed and bears responsibility for this design and the information furnished herein. I understand that the design and drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	signature	25591
qualification information	name registration information	BCN
Washington Jno-Baptiste	VA3 Design Inc.	426553
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	signature	426553
qualification information	name registration information	BCN
Washington Jno-Baptiste	VA3 Design Inc.	426553

no.	description	date	by
1	ISSUED FOR CLIENT REVIEW	MAY 18-16 RC	
2	REVISED TO 10" FOUNDATION WALLS	DEC 13-16 AJE	
3	REVISED AS PER ENG COMMENTS	AUG 01-17 RC	
4			
5			
6			
7			
8			
9			

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REAR ELEVATION 'A/B'

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

07/03/2018 2:38:24 PM kgervais

07/03/2018 2:38:24 PM kgervais

[illegible]

9.	The undersigned has reviewed and issues responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
8.	acknowledges information			
7.	Wellington John Baptiste	2559		
6.				
5.				
4.				
3.	REVIEWED AS PER ENG COMMENTS	AUG 01-17 REC		
2.	REVIEWED TO 10 th FOUNDATION WALLS	DEC 13-16 REC		
1.	ISSUED FOR CLIENT REVIEW	MAY 16-16 REC		
No.	description	date	by	

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are historical drawings and the property owner has returned at the completion of the work.

Drawings are not to be resold.

42655

VAB
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4702
vabdesign.com

PROJECT NAME ALCONA DATE NOV. 2015 DESIGNED BY RC DRAWN BY 3/16" = 1'-0" SCALE 13049-S39-1 DATE 10/19 AM	INNOVATION FRONT ELEVATION B	PROJECT NO. 13049
--	--	--

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Architect is not responsible in any way for reviewing or approving site (lotting) plans or building drawings with respect to zoning or building code or other matters that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.	S39-1 STARLING 1		T ELEVATION B file name 13049-S39-1	drawing no. 13049
	PROJECT NO. 13049		DATE May 8 2017 - 10:18 AM	10

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
S39-1 ELEVATION B	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	670 S.F.	117.500 S.F.	17.54 %
LEFT SIDE	897 S.F.	87.33 S.F.	9.74 %
RIGHT SIDE	1027 S.F.	0 S.F.	0.00 %
REAR	670 S.F.	159.444 S.F.	23.80 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
		0 S.F.	
TOTAL SQ. FT.	3264.00 S.F.	364.27 S.F.	11.16 %
TOTAL SQ. M.	303.23 S.M.	33.84 S.M.	11.16 %

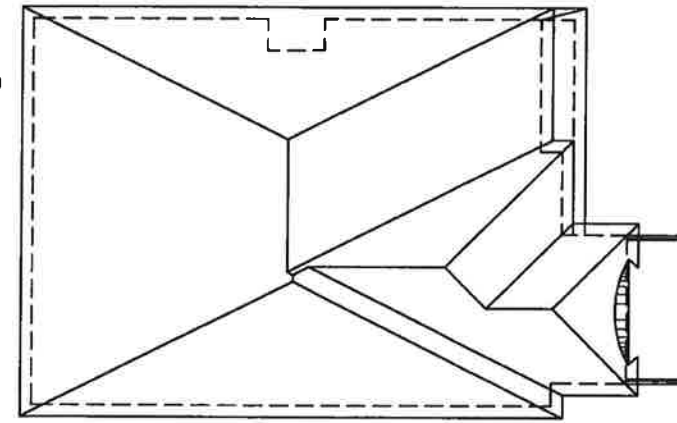


AUG 10, 2017

Town of Innisfil Certified Model

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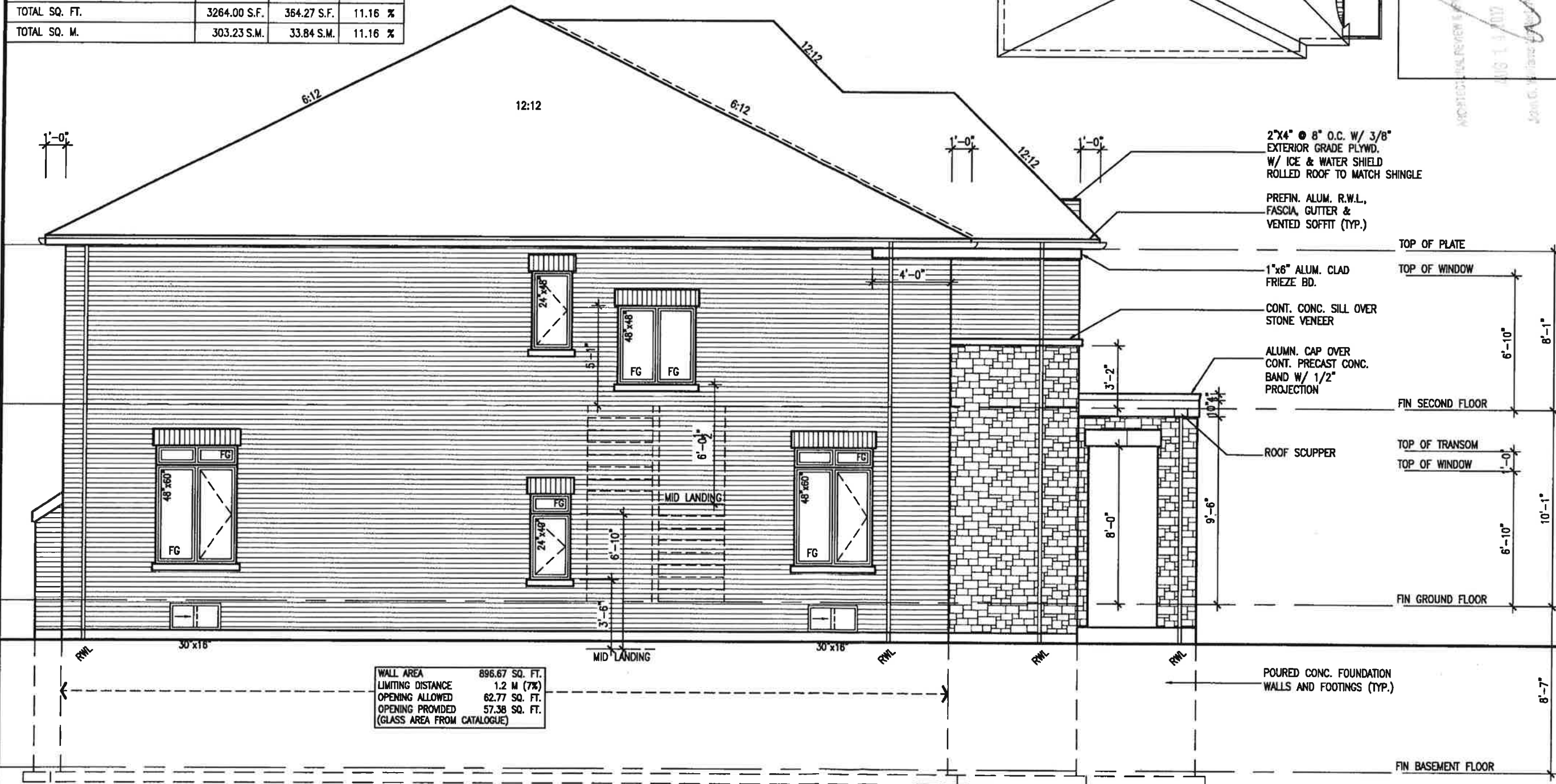
ROOF PLAN 'B'



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BAYVIEW WELLINGTON		S39-1	
ALCONA		STARLING 1	
project name	ALCONA	project no.	13049
city	INNISFIL, ONTARIO	drawing no.	11
date	NOV. 2015	file name	13049-S39-1
drawn by	RC	scale	3/16" = 1'-0"
checked by		date	Aug 8, 2017 - 10:18 AM
RC-HABD - H:\ARCHIVES\WORKING\2013\13049.BW\UNITS\39-1\3049-S39-1.dwg - Tue - Aug 8, 2017 - 10:18 AM			



LEFT SIDE ELEVATION 'B'

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

VA3 DESIGN		255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		Wellington Jno-Baptiste 25591	
qualification information		ICB 42658	
Wellington Jno-Baptiste 25591		ICB 42658	
VA3 Design Inc.		AUG 01-17 RC	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		DEC 13-16 A/E	
REVISED AS PER ENG COMMENTS		MAY 16-16 RC	
REVISED TO 10" FOUNDATION WALLS		date	
ISSUED FOR CLIENT REVIEW		by	
no. description			



PREP'N. ALUM. R.W.L.
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED TO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702. "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 kg/Sq.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' MECHANICAL CHASES, BATHUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

FIN SECOND FLOOR

TOP OF PLATE

TOP OF WINDOW

[illegible]

S39-1
STARTING 1

Municipality
INNISFIL, ONTARIO[illegible]

checked by note 3/16" = 1'-0"

BOOKING\2015\15049.BW\UNITS\397

WAS DESIGN. Reproduction of this project is prohibited.

Town of Innisfil Certified Model
07/03/2018 2:48:33 PM kgervais



AUG 10, 2017

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

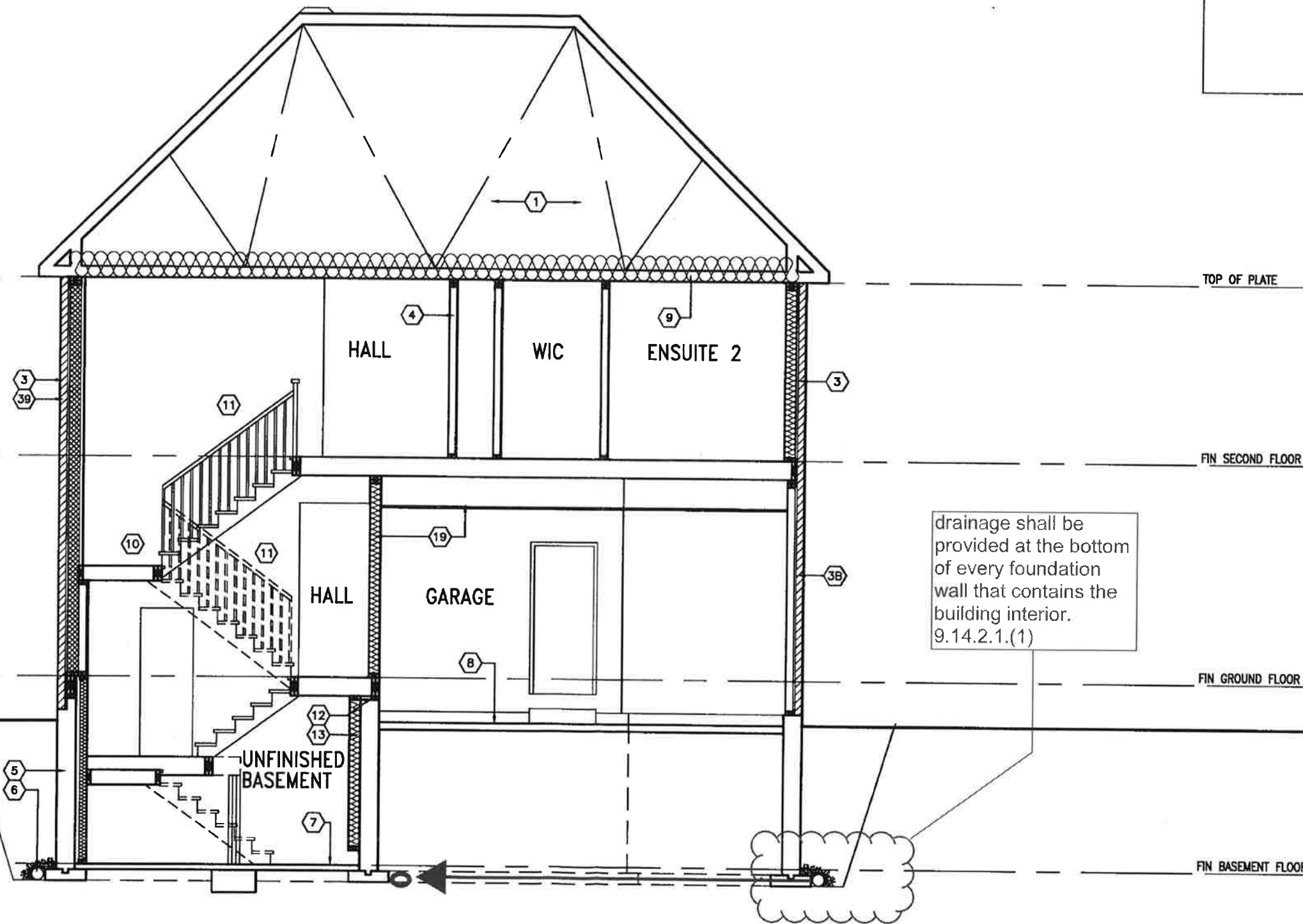
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

BAYVIEW WELLINGTON		S39-1		STARLING 1	
project name	ALCONA	municipality	INNISFIL, ONTARIO	project no.	13049
date	NOV, 2015	checked by	RC	drawing no.	13
scale	3/16" = 1'-0"	checked by	RC	date	13049-S39-1
checked by	RC	checked by	RC	date	13049-S39-1
checked by	RC	checked by	RC	date	13049-S39-1

VA3 DESIGN	
255 Consumers Rd Suite 120	
Toronto, ON M2J 1R4	
t 416.630.2255 f 416.630.4782	
va3design.com	

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
Wellington Inc-Baptiste	
signature	
25591	
BCM	
42658	

no.	description	date	by
3	REVISED AS PER ENG COMMENTS	AUG 01-17 RC	
2	REVISED TO 10" FOUNDATION WALLS	DEC 13-16/AJE	
1	ISSUED FOR CLIENT REVIEW	MAY 16-16 RC	



Town of Innisfil Certified Model
07/03/2018 2:32:07 PM kgervais



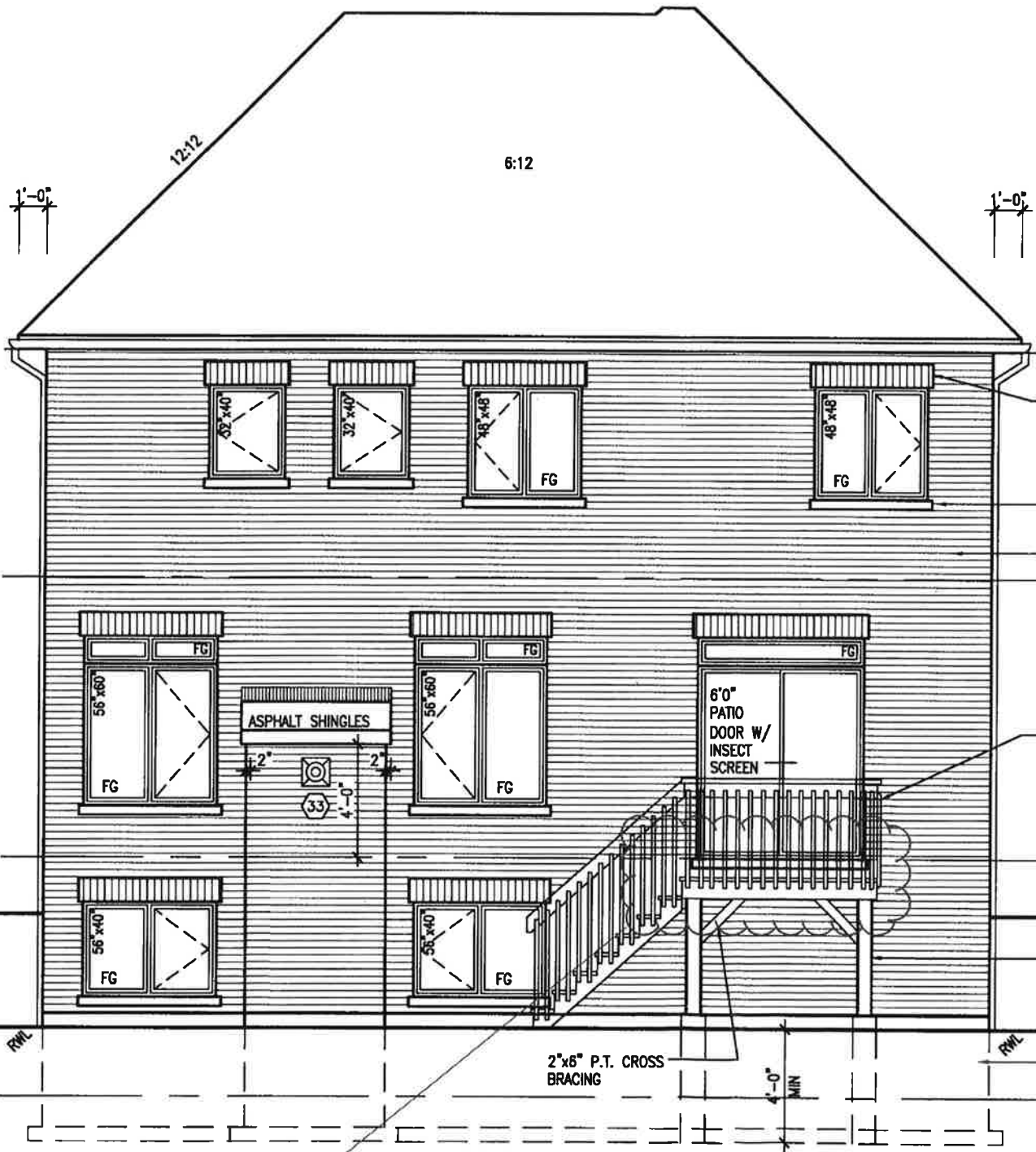
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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BAYVIEW WELLINGTON		S39-1 STARLING 1	
project name	ALCONA	project no.	13049
date	NOV. 2015	drawing no.	15
checked by	RC	scale	3/16" = 1'-0"
checked by	RC	rear elevation	13049-S39-1
checked by	RC	file name	13049-S39-1
checked by	RC	date	Aug 8, 2017 - 10:18 AM

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2L 1R4
1 416.530.2255 f 416.530.4762
va3design.com

The undersigned has reviewed and taken responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		25591	42658
qualification information		Wellington Jno-Baptiste	VA3 Design Inc.
name		VA3 Design Inc.	VA3 Design Inc.
registration information		AUG 01-17 RC	DEC 13-16 A/E
contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be used.		MAY 16-16 RC	
no.	description	date	by
3	REVISED AS PER ENG COMMENTS	AUG 01-17 RC	
2	REVISED TO 10" FOUNDATION WALLS	DEC 13-16 A/E	
1	ISSUED FOR CLIENT REVIEW	MAY 16-16 RC	



BRICK SOLIDER COURSE W/ 1/2" PROJECTION

PRECAST CONC. SILL

BRICK VENEER

PROVIDE 2"x4" P.T. WOOD HANDRAIL GUARD W/ 2"x2" P.T. WOOD PICKETS @ 4" MAX.

6"x6" P.T. WOOD POST C/W GALV. METAL CAP AND METAL SHOE SET INTO 12" DIA. SONO TUBES TO EXTEND 6" ABOVE GRADE AND 4'-0" BELOW GRADE.

POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

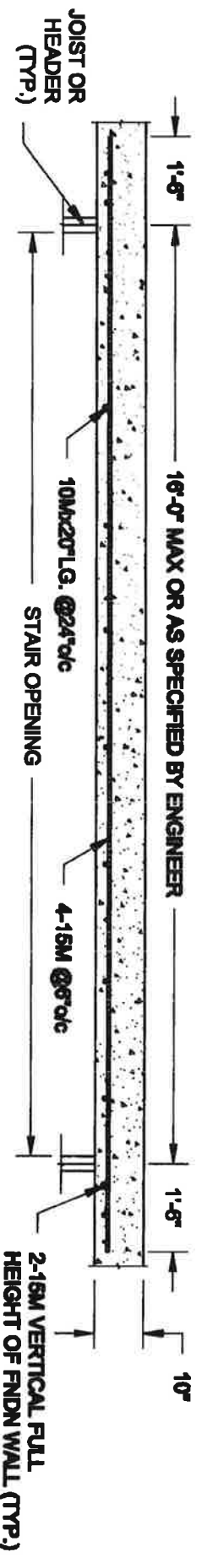
max 6" step into door.
9.9.6.6.(2)

REAR ELEVATION 'A/B' W.O.D.
9R AND MORE COND

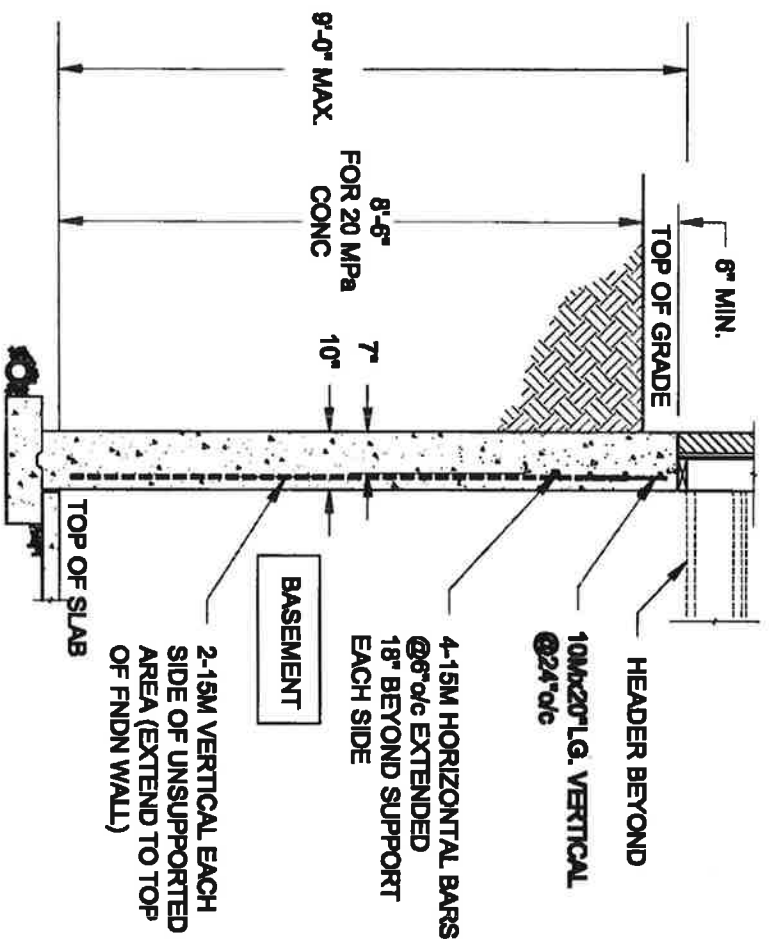
BASEMENT WINDOW SIZES
4R-BR USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

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PLAN VIEW



NOTE:

1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 20 MPa. MIN.
3. REINFORCING STEEL TO BE GRADE 400.

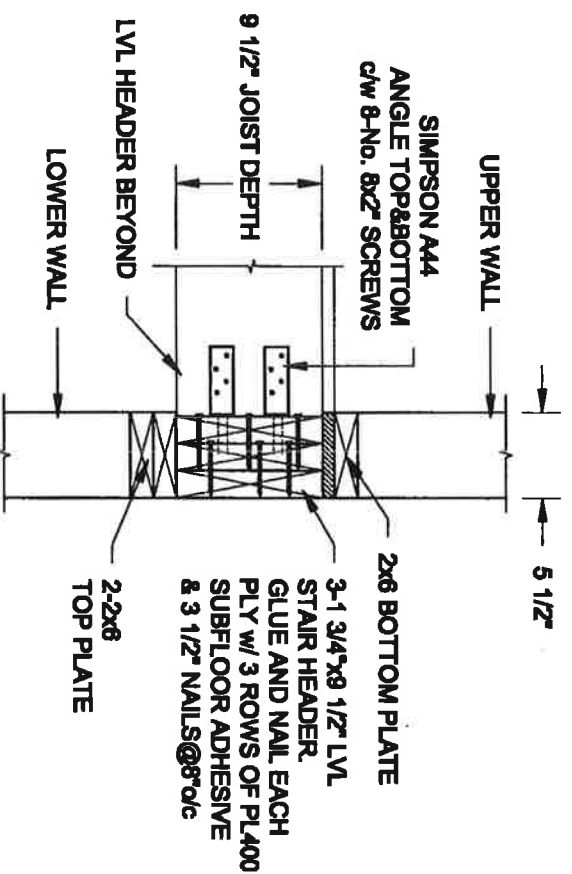
1 LATERALLY UNSUPPORTED WALL

S1

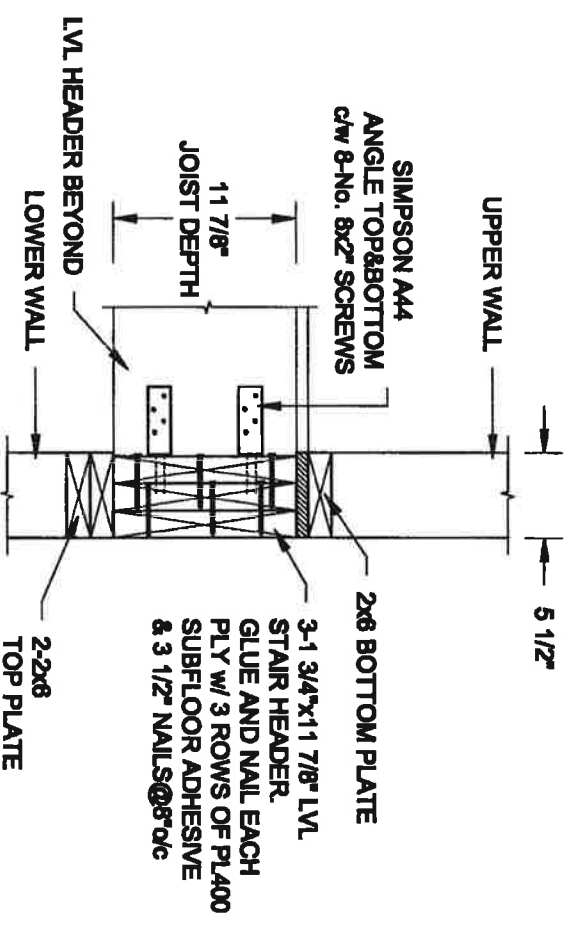
SCALE: 3/8" = 1'-0"

Town of Inverell Certified Model
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FOR 9 1/2" JOIST DEPTH



FOR 11 7/8" JOIST DEPTH



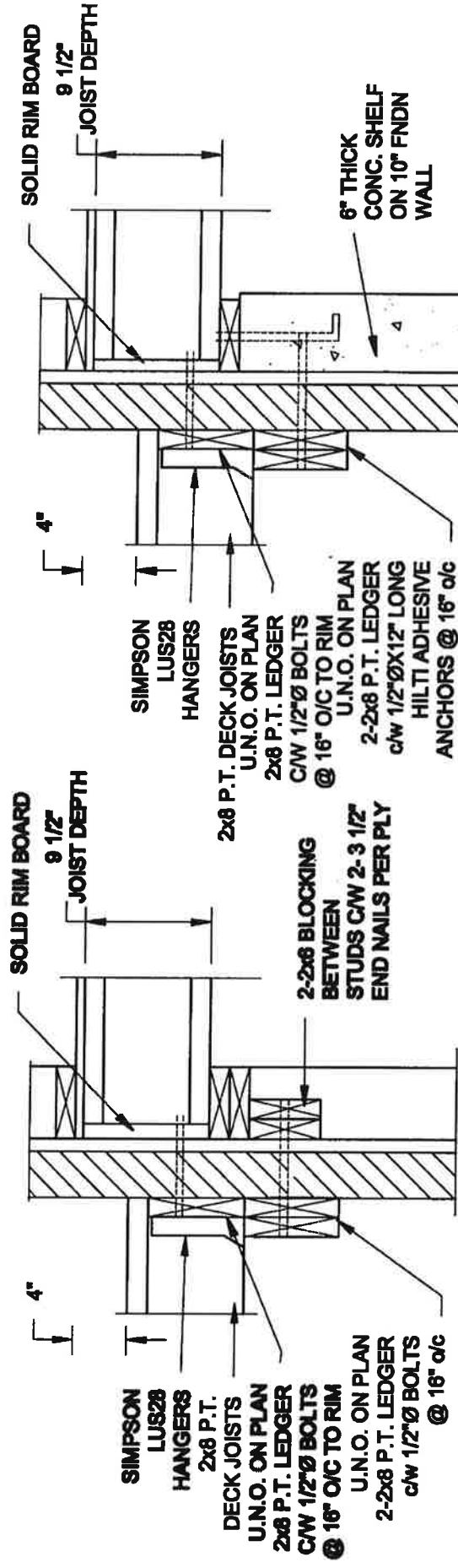
2 STAIR HEADER @ EXTERIOR WALL

S1

SCALE: 1" = 1'-0"

Scale: AS NOTED		QUAILE ENGINEERING LTD.		Engineer's Sd:			
Date: JUL-31-2017		 38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 6L9 T: 905-853-8847 E: quaile.eng@rogers.com		 AUG 10, 2017			
Drawn: SC						Checked: SJB	
Project No.: 16-083						Drawing No.: S1	

FOR 9 1/2" JOIST DEPTH

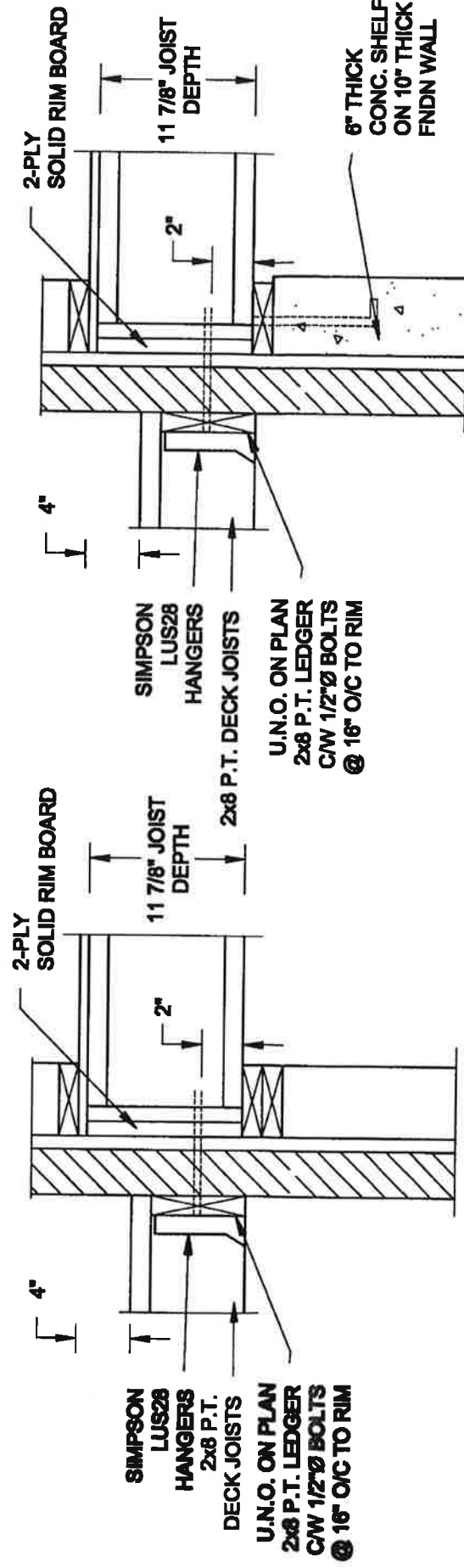


1A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

1B **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.

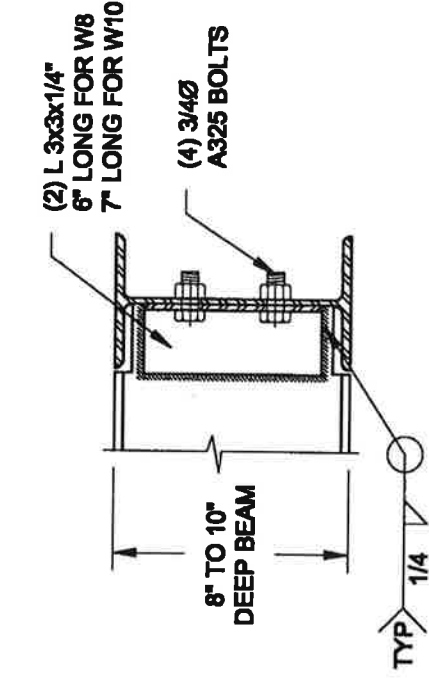
FOR 11 7/8" JOIST DEPTH



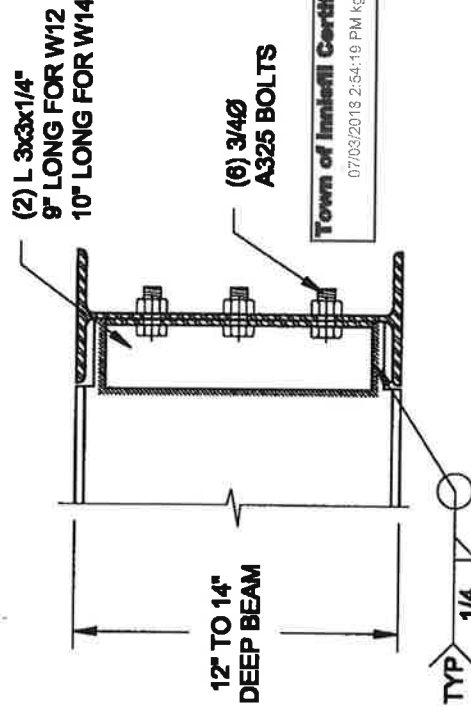
2A **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

2B **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" oc KNEEWALL ON 10" THICK CONC FNDN WALL**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.



NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX AND W10x39 (W250x58) BEAM MAX.



NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX AND W14x48 (W380x72) BEAM MAX.

3 **STEEL BEAM CONNECTION DETAIL**
S2 **SCALE: 1-1/2" = 1'-0"**

Scale: AS NOTED	Project: BAYVIEW WELLINGTON HOMES - ALCONA PROJECT BAYVIEW, ONTARIO	
	Project No.: 16-083	
Date: JUL-01-2017	Engineer's Seal: 	
Drawn: SC	Checked: JMB	

CONSTRUCTION NOTES (Unless otherwise noted)
ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECS
AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL
OTHER APPLICABLE CODES AND AUTHORITIES HAVING
JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS
MINIMUM SPECIFICATIONS. ONT. REG. 332/12-2012 ORC

1. ROOF CONSTRUCTION (2-4-2) - GARAGE WALLS
SHEATHING WITH 1/2" CLIPS. APPROVED WOOD TRUSSES @ 600mm
18" O.C. MAX. APPROVED EXISTING PROTECTION TO EXTEND 900mm
FROM EDGE OF ROOF AND MIN. 300mm (12") BEYOND INNER
FACE OF EXTERIOR WALL. LEAVES PROTECTION NOT BEING FOR
ROOF SLOPE 8:12 OR GREATER. 3849 (2x4) TRUSS BRACING @
1800mm (6') O.C. AT BOTTOM CHORD. PREP. ALUM.
BRASS RODS (FSC®) AND VENTED SOFT. PROVIDE ICE &
WATER SHIELD TO ALL ROOFWALL SURFACES SUSCEPTIBLE TO ICE
DAMMING. ROOF SHEATHING TO BE FASTENED 150 (6") C/C ALONG
EYES & INTERMEDIATE SUPPORTS WITH TRUSSES SPACED GREATER
THAN 406 (16"). ATTIC VENTILATION 1300 OF INSULATED CEILING
AREA WITH MIN. 23% AT EAVES & MIN. 25% AT RIDGE (ORC 9.13.1.2).
2. FRAME WALL CONSTRUCTION (2-4-2) (SE-12-12) 3.11.2.1
SHEATHING WITH 1/2" CLIPS. APPROVED WOOD TRUSSES @ 600mm
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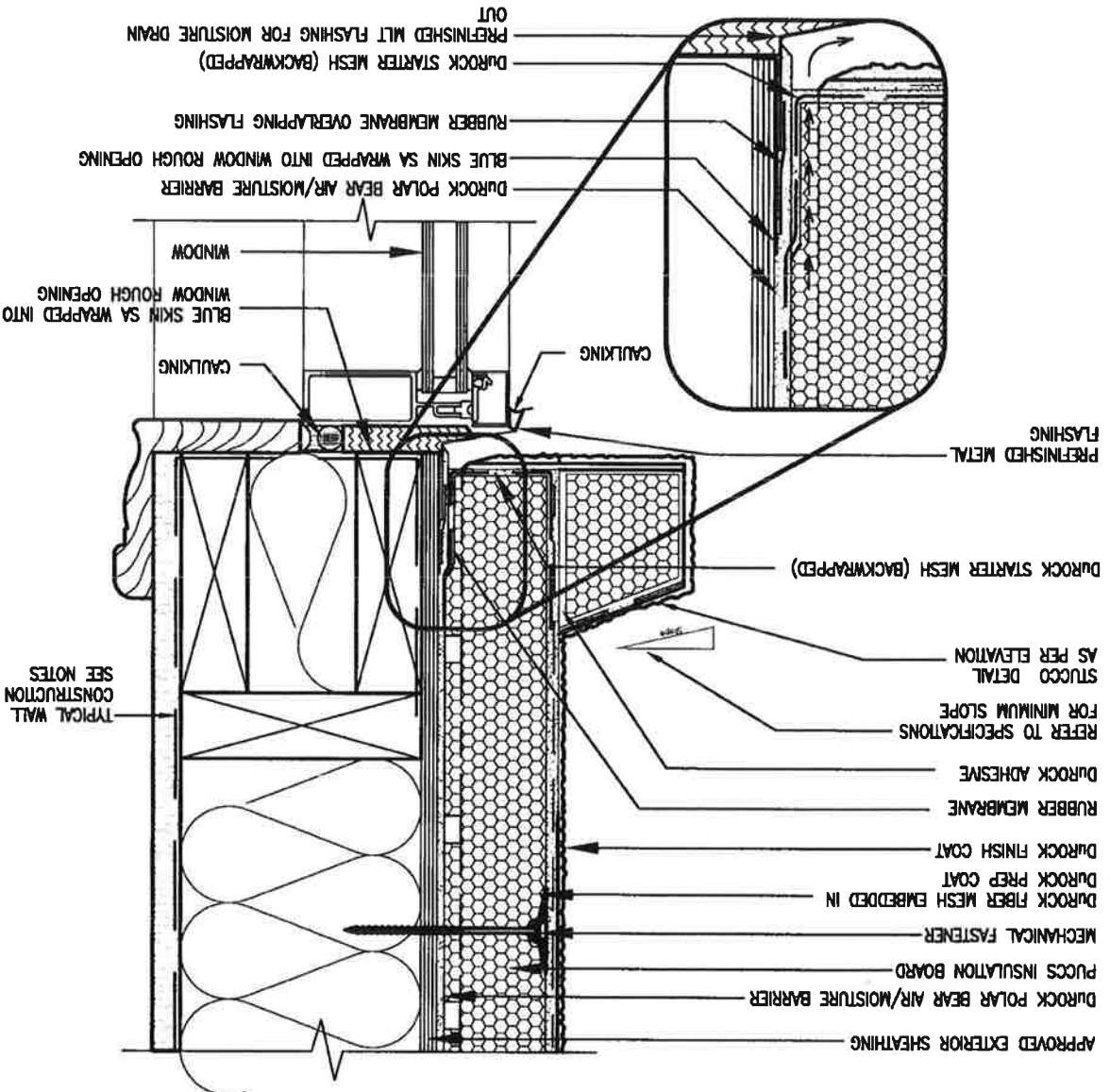
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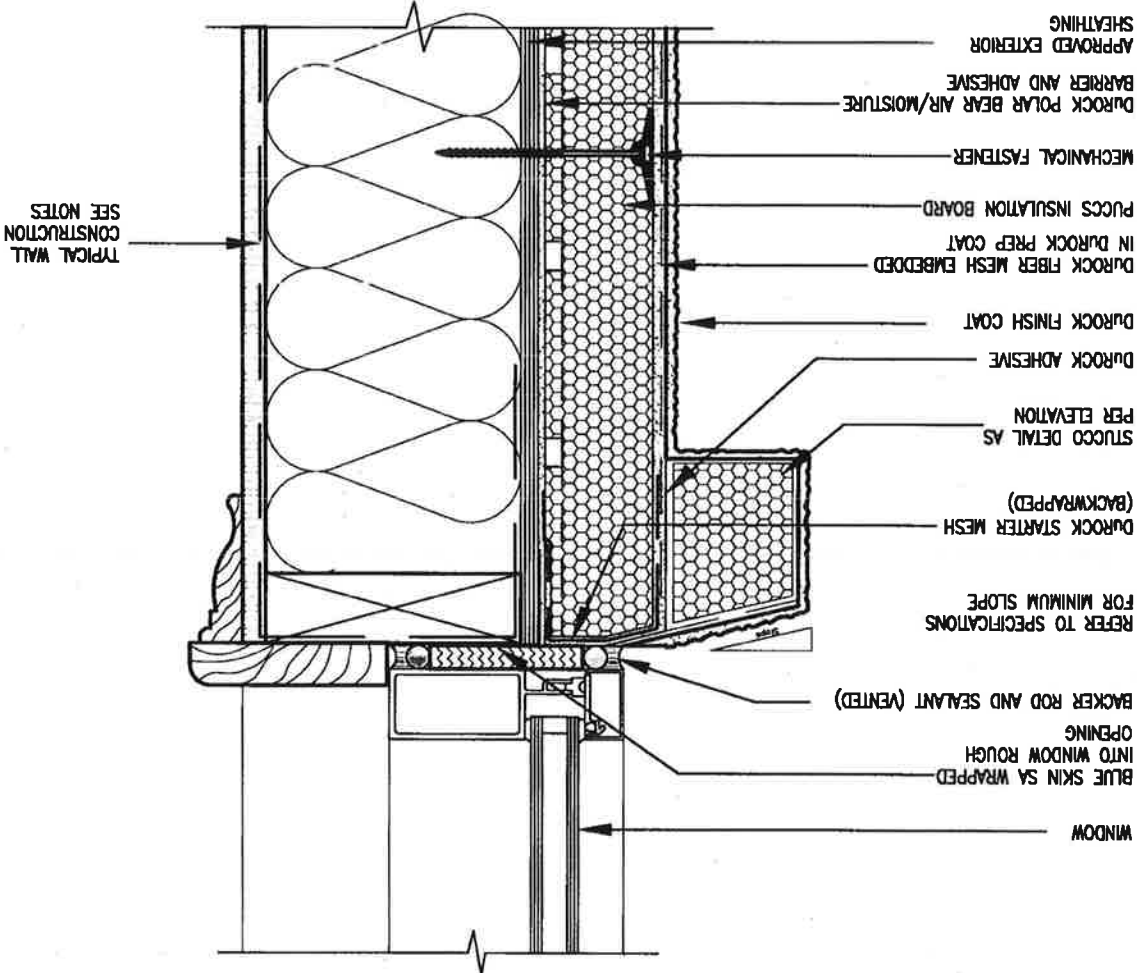
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BASED. ALL STUCCO TO BE INSTALLED AS PER



1 WINDOW HEADER CNS SCALE: 3"=1'-0"



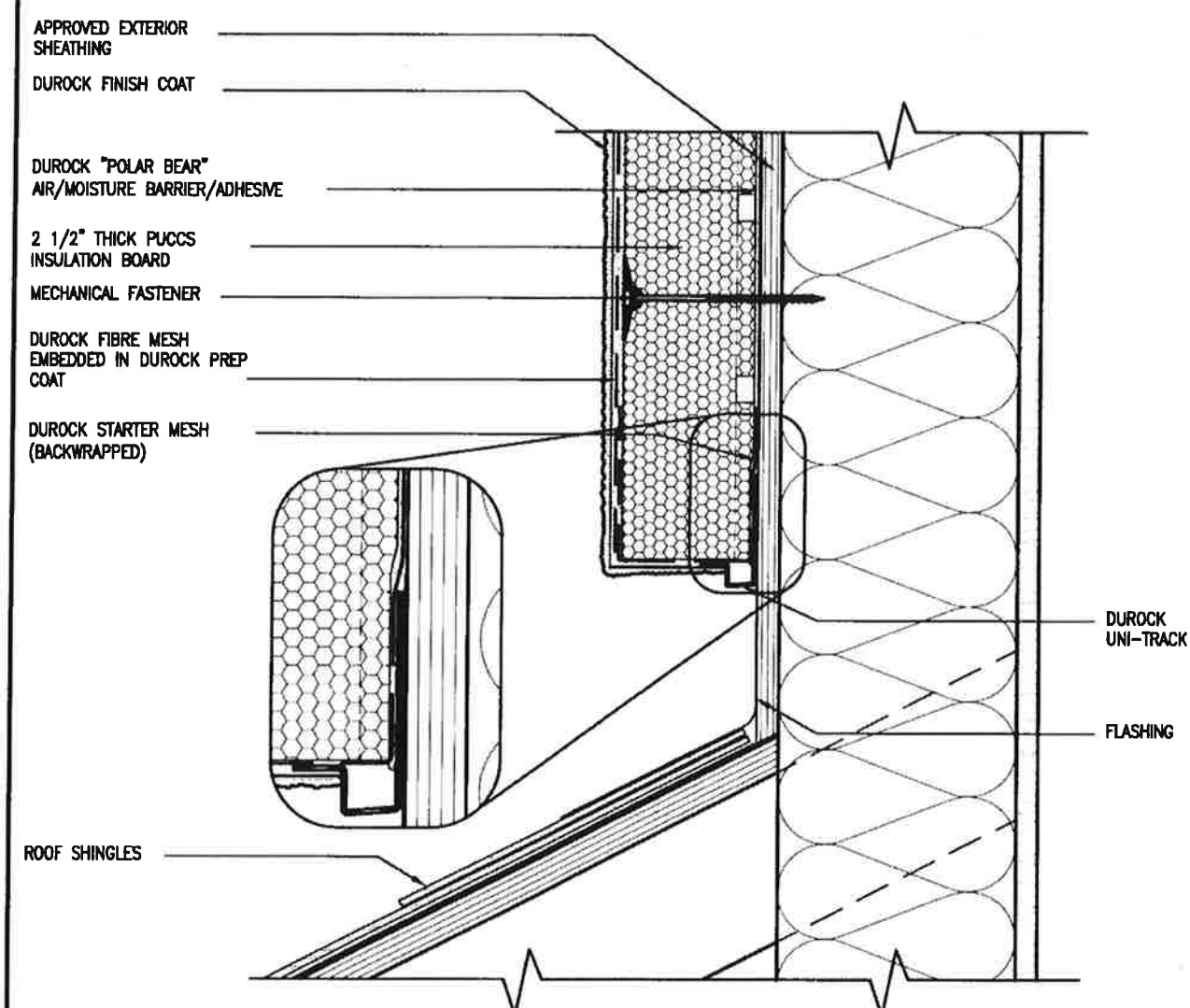
2
CN3

WINDOW SILL

SCALE: 3"=1'-0"

Town of Lincoln Certified Model
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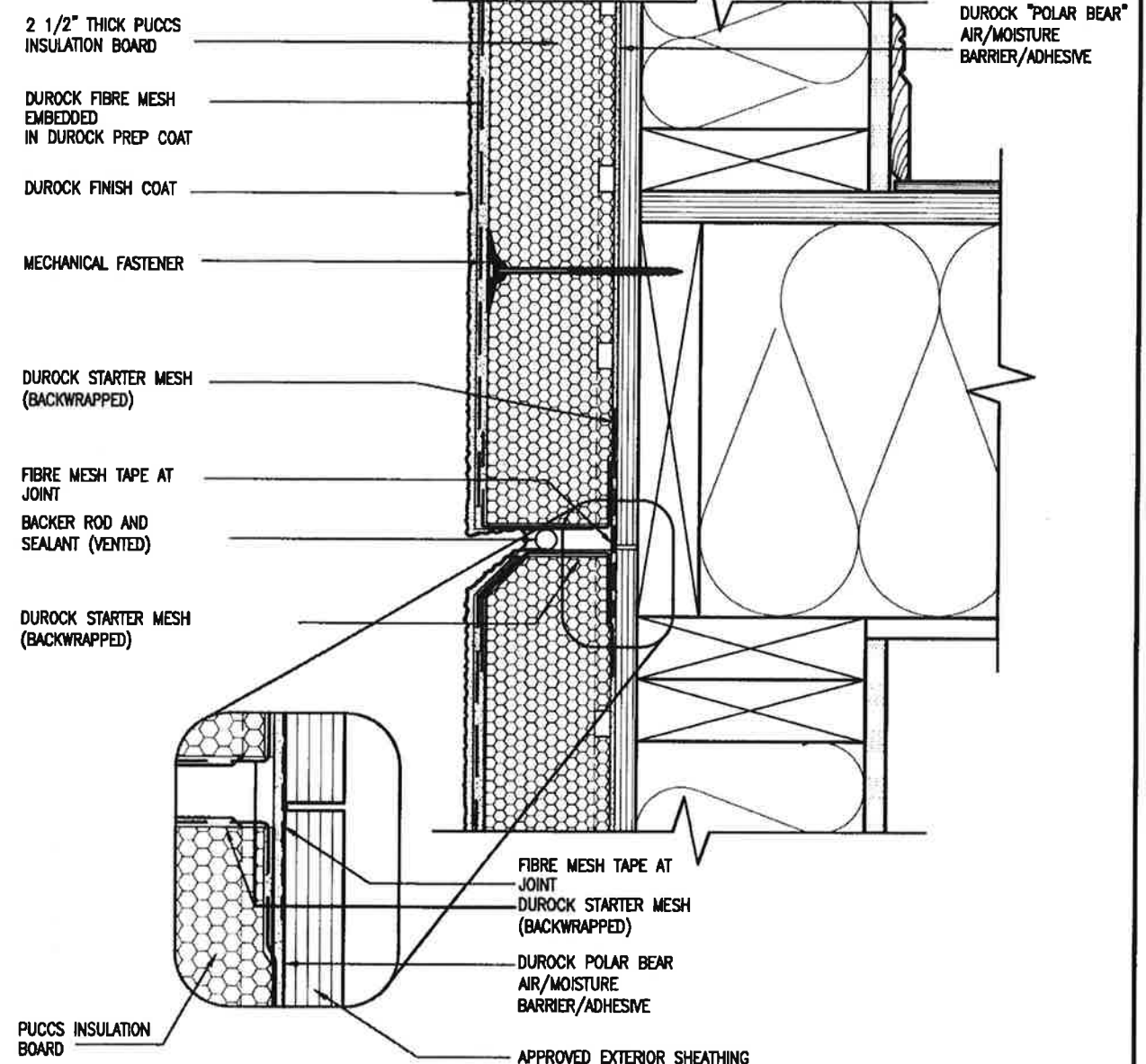


3
CN4

STUCCO TERMINATION @ ROOF

SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



4
CN4

HORIZONTAL EXPANSION JOINT

SCALE: 3"=1'-0"

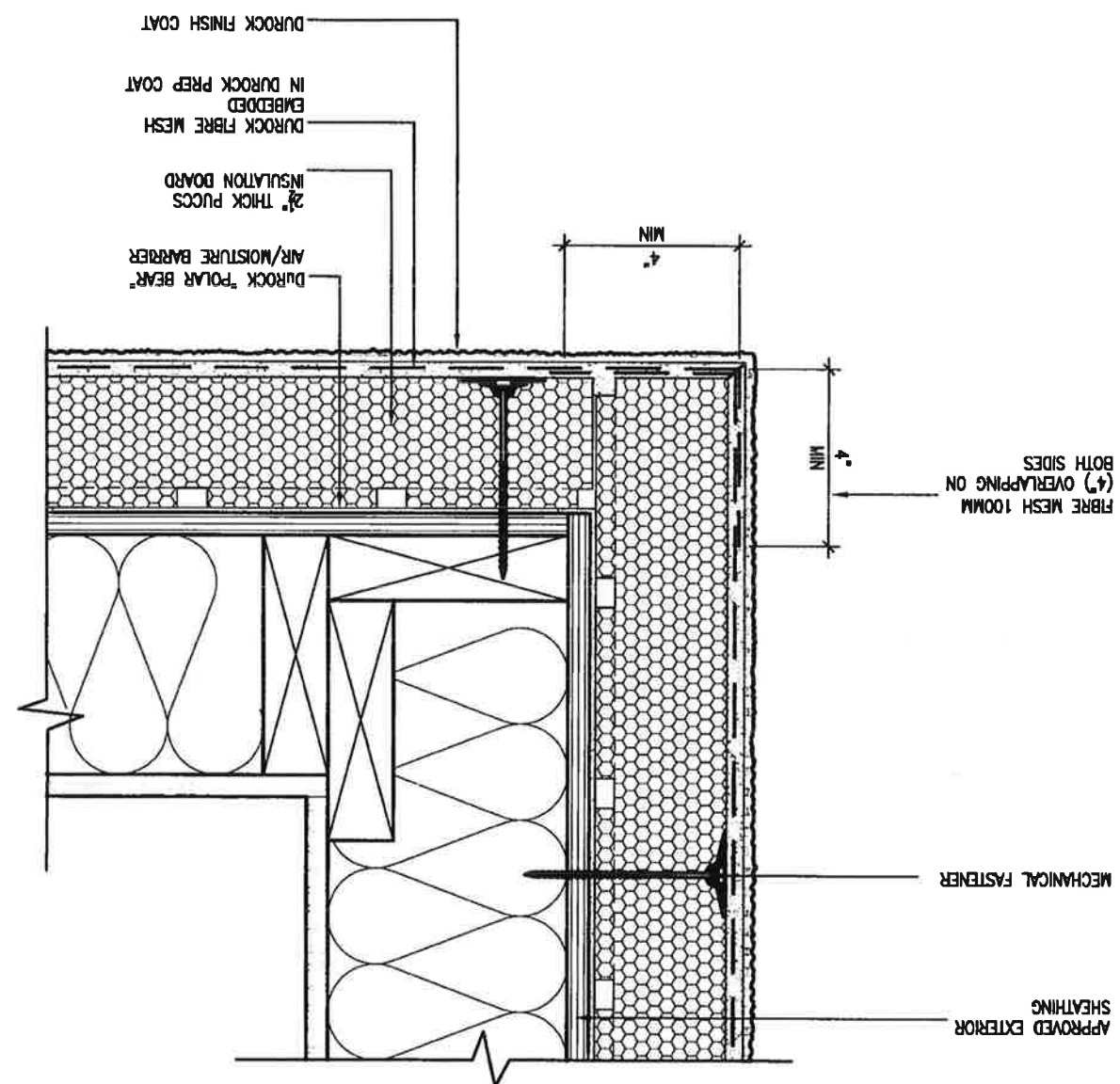
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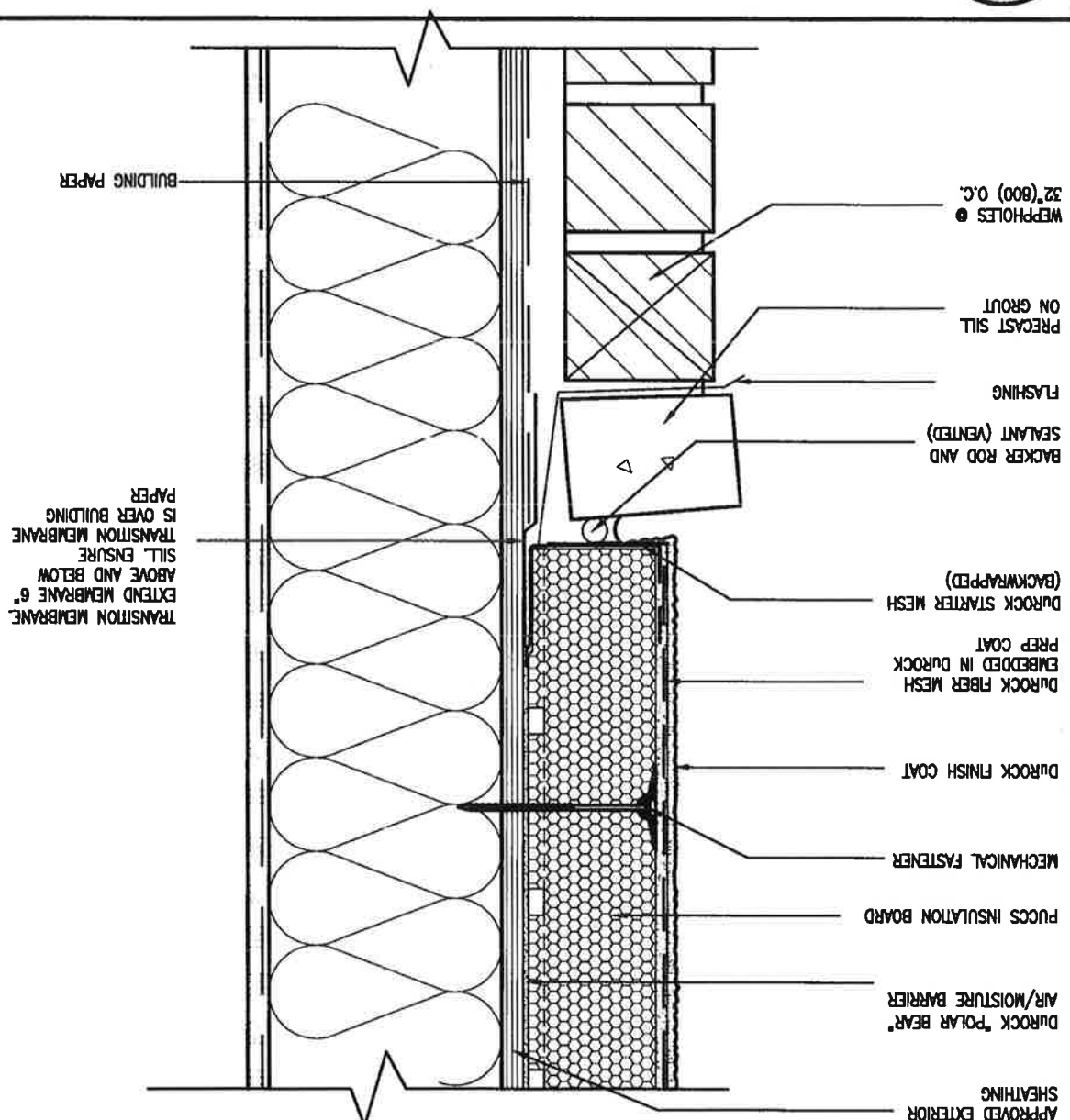
PROFESSIONAL ENGINEER
A. T. Quailie
17-08-04
PROVINCE OF ONTARIO
STRUCTURAL

CONST NOTE		BAYVIEW WELLINGTON		CONSTRUCTION NOTES	
project no.	13049	client	ALCONA	checked by	3/16" = 1'-0"
drawing no.	CN4	date	MAY 2016	drawn by	RC
255 Consumers Rd. Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 vc3design.com					
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	date	by
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5	CORNER DETAIL	CNS
		SCALE: 3"=1'-0"



6 STUCCO / MASONRY PLINTH CONNECTION



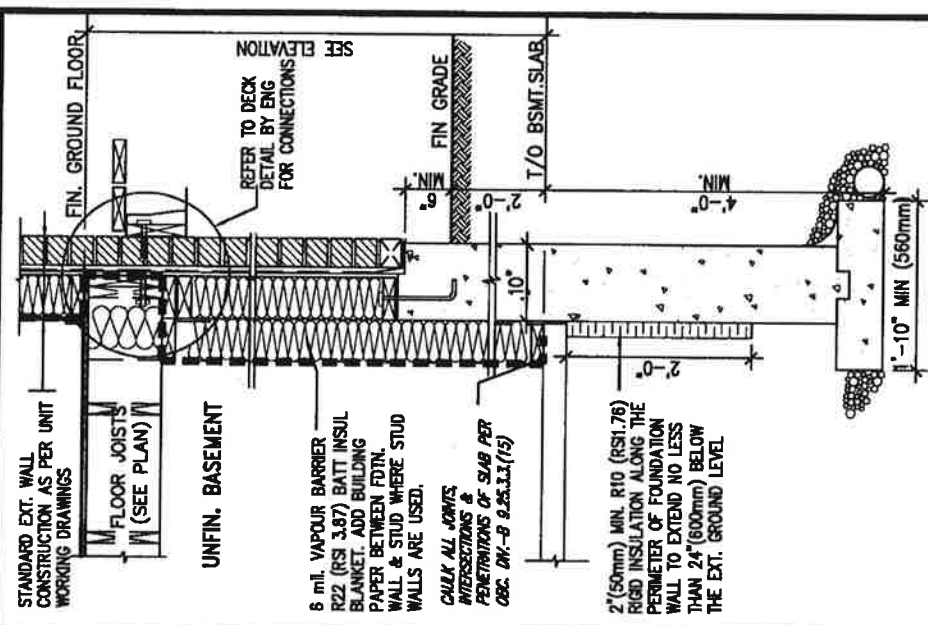
	The undersigned has reviewed and takes responsibility for this design and seal has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		
9	Wellington Inc.-Borlase design information V&S Design Inc. 42658	BORLASE	ICBM
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ISSUE FOR CLIENT REVIEW	AUG-04-17 RC		
NO. DESCRIPTION	DATE	BY	

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

V&S DESIGN INC.
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
I 416.630.2255 F 416.630.4782
vdsdesign@gmail.com

BAYVIEW WELLINGTON	CONST NOTE
ALCONA	INNISSLON.
LATE MAY 2016	CHECKED BY
DRAWN BY	SCALE
-	3/16" = 1'-0"
RC	THE NOTES
RICHARD - H:\ARCHIVE\WORKING\2013\1304S.DWG\UNITS\CN Notes\1304S-CN-A1.dwg - Fri - Aug 4 2017 - 8:56 AM	1304S-CN-A1
PROJECT NAME	PROJECT NO.
ALCONA	1304S
CONSTRUCTION NOTES	GIVING TO:
CNS	

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.



SECTION AT W.O.D./W.O.B.

EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY
SECTION w/ BRICK VENEER (PACKAGE A1)

no.	description	date	by
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
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VA3
DESIGN
255 Consumers Rd. Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.2255
www.va3design.com

BAYVIEW WELLINGTON	CONST NOTE
project name ALCONA	municipality INNISFIL ON.
date MAY 2016	project no. 13049
dwn by RC	drawing no.
checked by -	CONSTRUCTION NOTES
scales 3/16" = 1'-0"	file name 13049-CH-A1
	CN6

All specific actions, related documents, related decisions regarding the

NW 68-8 - Aug 4 2017 - U.S. DISTRICT COURT FOR THE DISTRICT OF COLUMBIA
Case No. 17-cv-00001-UNA Document 1-1 Filed 08/04/17 Page 1 of 1

Town of Inverell Certified Model
07/03/2018 3:05:14 PM kgervais

**R20 (RSI 3.52) MINIMUM INSULATION
OVER INNER SURFACES OF EXTERIOR
WALLS NEAR ROOF EAVES
(CBC, SB-12, 3.1.1.8.(1b).)**

R60 (R510.56) INSULATION, _____
 CONTINUOUS SEAL VAPOR/ AIR BARRIER,
 15.9 (5/8") GYPSUM BOARD
 SEAL JOINT AT EXT. WALL AND CEILING
 INTERSECTION AS PER OBC DN-B-9.25.3.3.(4)
 AIR BARRIER @ OPENINGS,
 AIR BARRIER TO BE SEALED TO _____
 WINDOW/ DOOR FRAME WITH COMPATIBLE
 TAPE OR SPRAY FOAM INSULATION PER
 OBC DN-B-9.25.3.3.(11)

SECOND FLOOR

HEADER WRAP TO BE SEALED
OR LAPPED TO THE WALL AIR
BARRIER ABOVE & BELOW
PER OBC, DIV.-B 9.25.3.3(8)

EXTERIOR BRICK VENEER WALL (TYPICAL) (3)
 4" (90mm) FACE BRICK, 1" (25mm) AIR SPACE, 7/8"x1"x0.03"
 (22.180x4.76x0.03) GALL. METL. TIES @ 16" (400mm) O.C.
 HORIZONTAL, 2"x4" (500mm) O.C. VERTICAL, APPROVED
 SHEATHING PAPER, 5/8" (9.5mm) EXTERIOR TYPE SHEATHING,
 2"x6" (38x140mm) WOOD STUDS @ 16" (400mm) O.C.,
 R22 (R.S.I. 3.87) INSULATION AND APPROVED VAPOUR BARRIER
 WITH APPROVED CONTINUOUS AIR BARRIER, 1/2" (13mm) INT.
 DRYWALL FINISH, PROVIDE WEEP HOLES @ 32" (800mm) O.C.
 BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING
 UP 6" (150mm) MIN. BEHIND BUILDING PAPER.
 (SB-2-CHAPTER 3-PACKAGE A1)

HEADER WRAP TO BE SEALED
OR LAPPED TO THE WALL AIR
BARRIER ABOVE & BELOW
PER DBC, DIV.-B 9.25.3.1(8)

SBFZ-3.1.1.7.(1) FOUNDATION WALLS ENCLOSING HEATED SPACE SHALL BE INSULATED FROM THE UNDERSIDE OF THE SUBFLOOR TO NOT MORE THAN 200mm (8") ABOVE BASEMENT SLAB WITH CONTINUOUS RSI 1.76 (R10) INSULATION AND 2"x4" 16" O.C STUD WALL W/ RSI 2.11 (R12) INSULATION WITH VAPOUR BARRIER.

SEALED JOINT PER
OBC. DAY-B 9.25.3.3.(1)(2)

**REFER TO ADDITIONAL
DETAILS FOR STRUCTURAL
COMPONENTS**

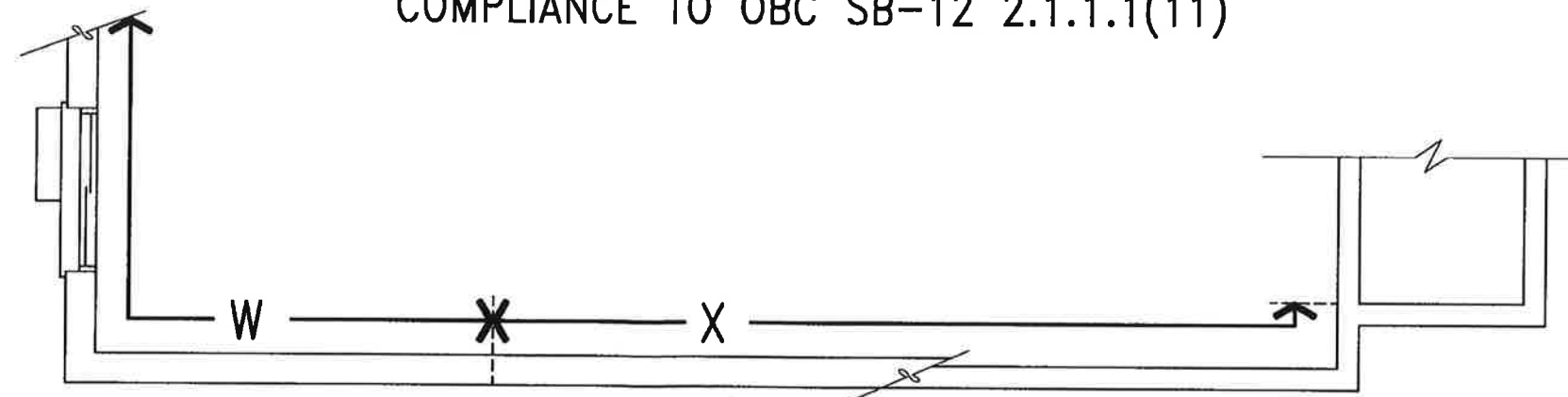
TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)
10" FOUNDATION WALL
SCALE: N.T.S.

	The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the qualification information	
9.	Wellington Jiro-Baptiste JJBaptiste	25591
8.		
7.		
6.		
5.	extra information submitted V&S Design Inc.	42658
4.		
3.		
2.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be recast.	
1.	ISSUE FOR CLIENT REVIEW	AUG-04-17 RC
no description	by	dito

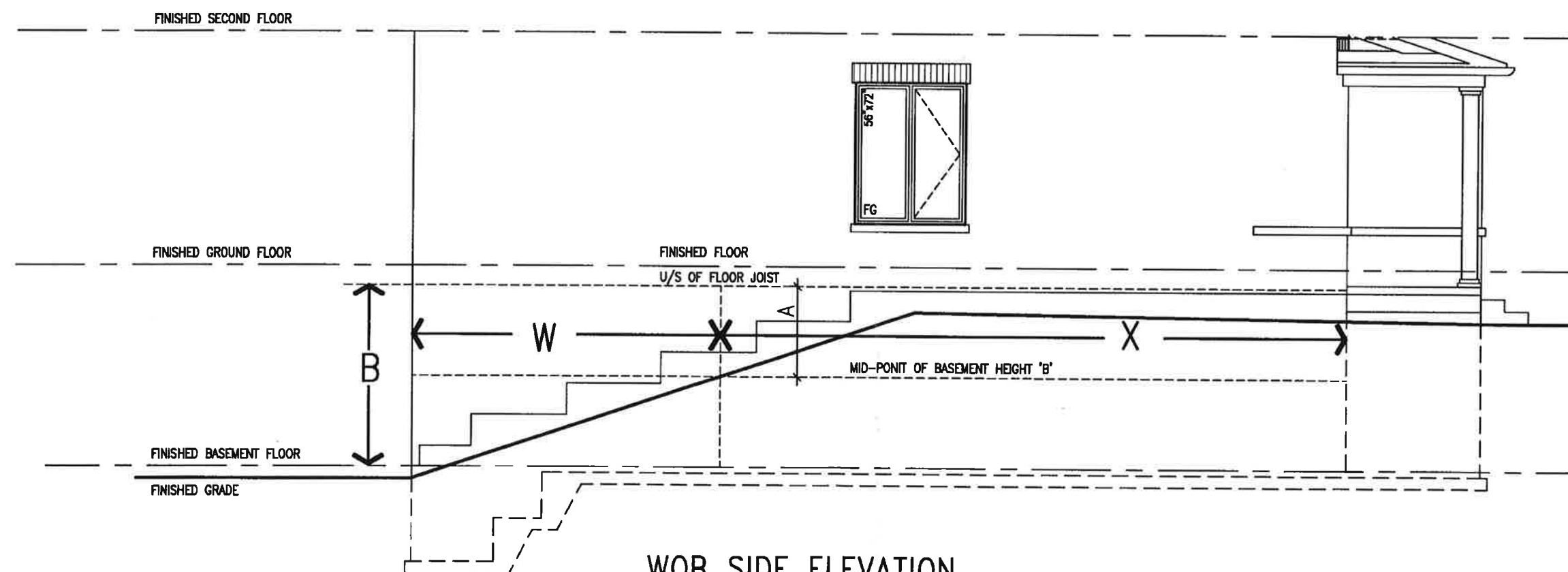
 VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2L 1Y4 t 416.630.2295 / 416.630.4782 waddesign.com	BAYVIEW WELLINGTON	CONST NOTE
project name ALCONA	responsible party INNISFIL, ON.	project file # 13049
date MAY 2016	described by -	scale 3/16" = 1'-0"
drawn by RC	checked by -	the owner 13049-CR-A1
REMARKS - H:\ARCHIVE\WORKING\2013\13049 BAY VINTAGE CH INNSISFIL-13049-CR-A1.dwg - Plt - Aug 4 2017 - 9:15 AM		drawing no. CN7

07/03/2018 3:05:31 PM koervais


 A circular seal for a Professional Engineer in Ontario. The outer ring contains the text "PROFESSIONAL ENGINEER" at the top and "ONTARIO" at the bottom. The inner circle contains the name "A. T. Quaitie" in a stylized script, and below it, the date "17-08-04".



WOB PLAN



WOB SIDE ELEVATION

WHEN EXPOSED WALL "A" IS LESS THAN 50%
OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "X"
IS NOT LESS THAN BASEMENT WALL AS
REQUIRED BY TABLE 2.1.1.2A

	9	*	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
	8	*		
	7	*	qualification information	
	6	*	Waillington Jno-Baptiste	25591
	5	*	design registration information	DEN
	4	*	VAS Design Inc.	42853
	3	*		
	2	*	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.	
	AUG 04-17 RC			
	date			
	NO. 10			
	description			

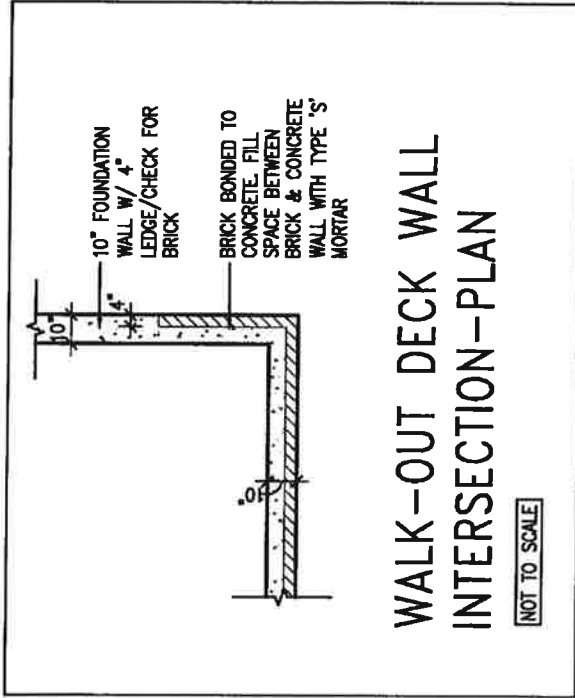
VAD
DESIGN
255 Consumers Rd Suite 1
Toronto ON M2J 1R4
416.630.2255 / 416.630.4141

BAYVIEW WELLINGTON		CONST	
project name	ALCONA	residential	INNSFILON.
code	MAY 2016	CONSTRUCTION NOTES	
drawn by	RC	checked by	RC
scale	3/16" = 1'-0"	file name	13049-CN-A1

BAYVIEW WELLINGTON	CONST NOTE
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CN8
Cresting, MA.

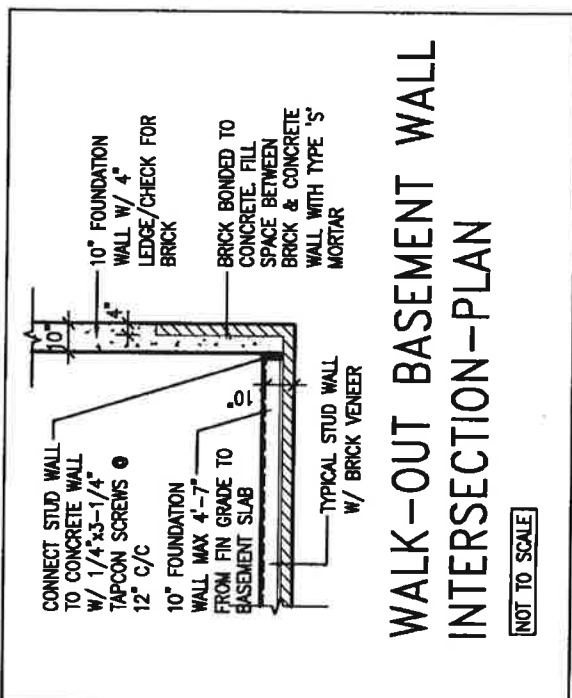
www.vocdesign.com
 RICHARD - H:\ARCHIVE\WORKING\2013\13049 BW\UNITS\CN Notes\13049-CN-A1.dwg - Fri - Aug 4 2017 - 8:47 AM



WALK-OUT DECK WALL
INTERSECTION-PLAN

NOT TO SCALE

(10" FOUNDATION WALL)



WALK-OUT BASEMENT WALL
INTERSECTION-PLAN

NOT TO SCALE

(10" FOUNDATION WALL)

9.	•	The undersigned has reviewed and takes responsibility for this design.
8.	•	The undersigned has reviewed and takes responsibility for this design.
7.	•	Ontario Building Code to be a Disadvantage.
6.	•	qualification information
5.	•	Wellington Jno-Borjatta
4.	•	name
3.	•	registration information
2.	•	VAS Design Inc.
1.	•	Contractor must supply all dimensions on the job and report any discrepancy to the architect.
no.	description	date
1	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC

VA3
DESIGN
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Toronto ON M2J 1R4
416.630.2255 / 416.630.
va3design.com

BAYVIEW WELLINGTON		CONST NOTE	
project name ALCONA	municipality INNISFIL, ON.	project no. 13049	
date MAY 2018		CONSTRUCTION NOTES	
drawn by RC	checked by -	scale 3/16" = 1'-0"	file name 13049-CN-11

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