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10' GROUND

PART. PLAN FOR  
SUNKEN MUD RM.  
SEE PAGE 5

2"x8" S.P.F. #2  
@ 12" O.C.

2"x8" S.P.F. #2  
@ 12" O.C.

**BASEMENT INSULATION AT  
STAIR/SUNKEN AREAS**  
-2" (R10) CONTINUOUS INSULATION  
(RIGID or SPRAY FOAM).  
-2"x4" @ 16"o.c. w/ R12 BATT  
INSULATION & 1/2" DRYWALL FINISH  
-EXTEND EXTERIOR WALL FOOTING TO  
SUPPORT 2"x4" WALL WHERE LOAD  
BEARING.

**NOTE:** ALL LVL'S SUPPORTING  
FLOOR LOADS ARE TO BE  
SPECIFIED BY FLOOR TRUSS  
MANUFACTURER.

**NOTE:** SPACE ALL FLOOR  
JOISTS @ 12" O.C. UNDER  
ALL CERAMIC TILE AREAS.

**NOTE:** FLOOR FRAMING INFO  
REFER TO SHOP DRAWINGS  
FOR ALL TRUSS-JOIST  
INFORMATION AND DETAILS.  
UNLESS OTHERWISE NOTED.

**NOTE J1:** PROVIDE SOLID BLOCKING  
@ 24" O.C. WHERE FLOOR JOISTS ARE  
PARALLEL TO FOUNDATION WALL (TYP.)

AREA CHART  
ON PAGE 7

BASEMENT PLAN 'A'

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	10' GROUND FLOOR	MAY 26-21	KL
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC
3	ADD OPT. 9' BASEMENT	APR 06-21	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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vo3design.com

**BAYVIEW WELLINGTON**

**S38-6**  
BAROSSA 6

project name  
**GREEN VALLEY EAST**

municipality  
**BRADFORD, ONT.**

project no.  
**16023**

date  
**JANUARY, 2017**

BASEMENT PLAN ELEV. 'A'

drawing no.

drawn by  
**WT**

checked by  
**RC**

scale  
**3/16" = 1'-0"**

file name  
**16023-S38-6-10GRND**

**1**

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10' GROUND

PART. PLAN FOR  
SUNKEN MUD RM.  
SEE PAGE 5

2"x8" S.P.F. #2  
@ 12" O.C.

2"x8" S.P.F. #2  
@ 12" O.C.

#### BASEMENT INSULATION AT STAIR/SUNKEN AREAS

-2" (R10) CONTINUOUS INSULATION  
(RIGID or SPRAY FOAM).  
-2"x4" @ 16"o.c. w/ R12 BATT  
INSULATION & 1/2" DRYWALL FINISH  
-EXTEND EXTERIOR WALL FOOTING TO  
SUPPORT 2"x4" WALL WHERE LOAD  
BEARING.

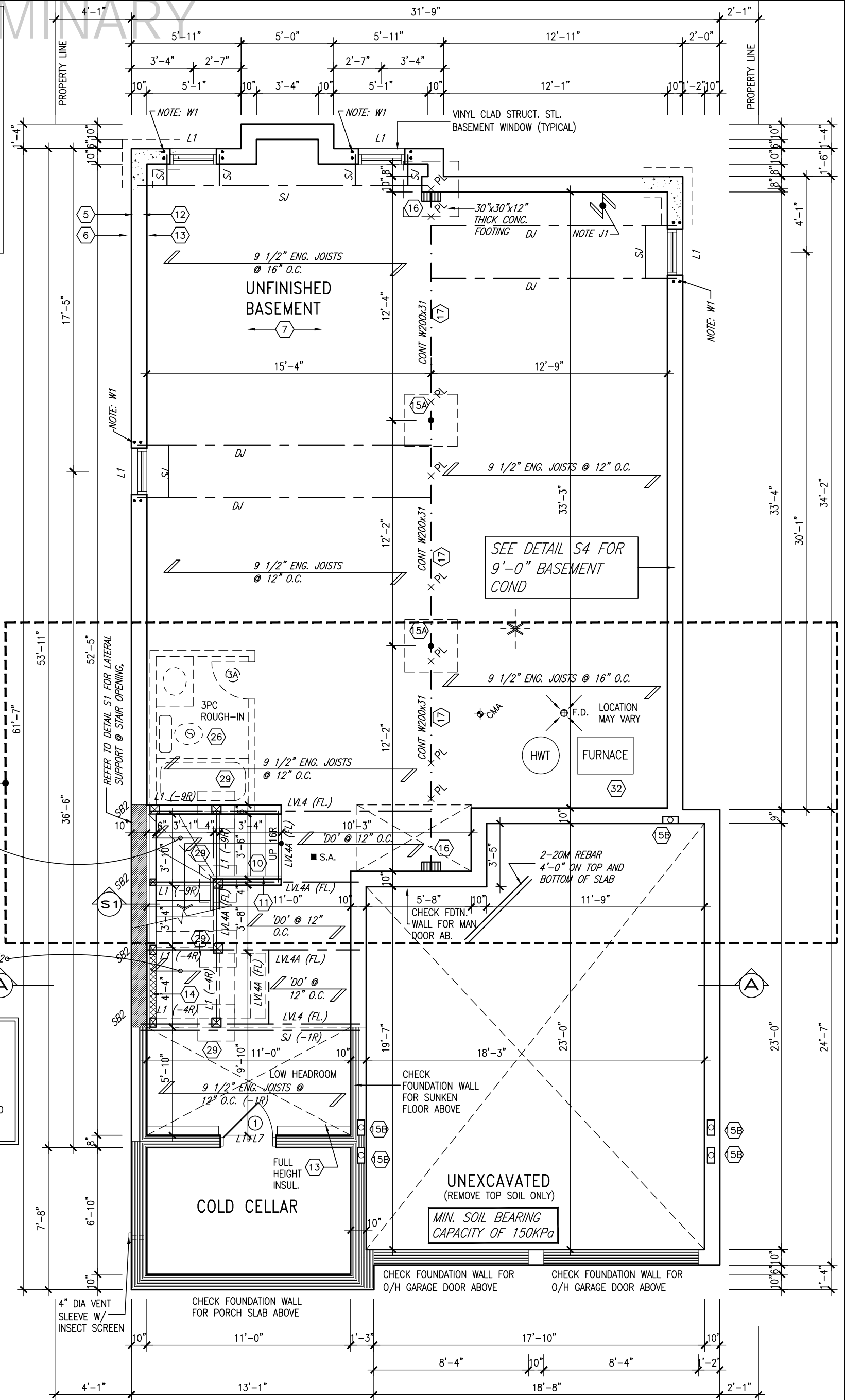
**NOTE W1**  
PROVIDE 2-15M FULL HEIGHT  
VERTICAL REBARS EACH SIDE  
OF OPENING + 2-15M  
HORIZ. REBARS BELOW AND  
EXTEND 24" BEYOND OPENING  
PROVIDE 3" CLEAR COVER  
FROM SOIL SIDE

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MANUFACTURER.

**NOTE:** SPACE ALL FLOOR  
JOISTS @ 12" O.C. UNDER  
ALL CERAMIC TILE AREAS.

**NOTE:** FLOOR FRAMING INFO  
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INFORMATION AND DETAILS.  
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@ 24" O.C. WHERE FLOOR JOISTS ARE  
PARALLEL TO FOUNDATION WALL (TYP.)



BASEMENT PLAN 'A' (9'0" BASEMENT)

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6	.	.	.
5	10' GROUND FLOOR	MAY 26-21	KL
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC
3	ADD OPT. 9' BASEMENT	APR 06-21	RC
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**BAYVIEW WELLINGTON**

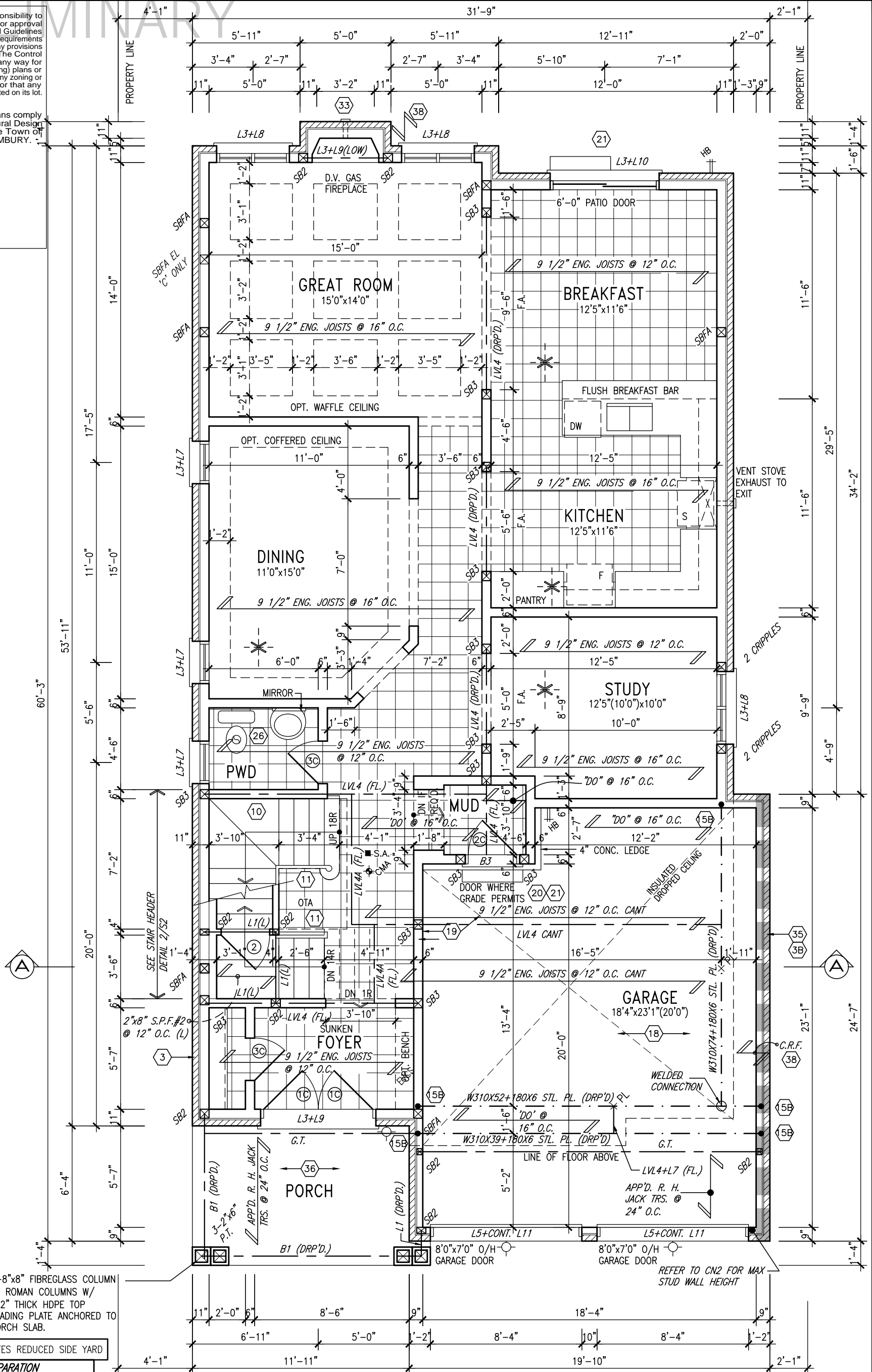
**S38-6**  
BAROSSA 6

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	JANUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	file name	16023-S38-6-10GRND	drawing no.	1A
BASEMENT PLAN ELEV. 'A'					

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10' GROUND



GROUND FLOOR PLAN 'A'  
(10'-0" GROUND)

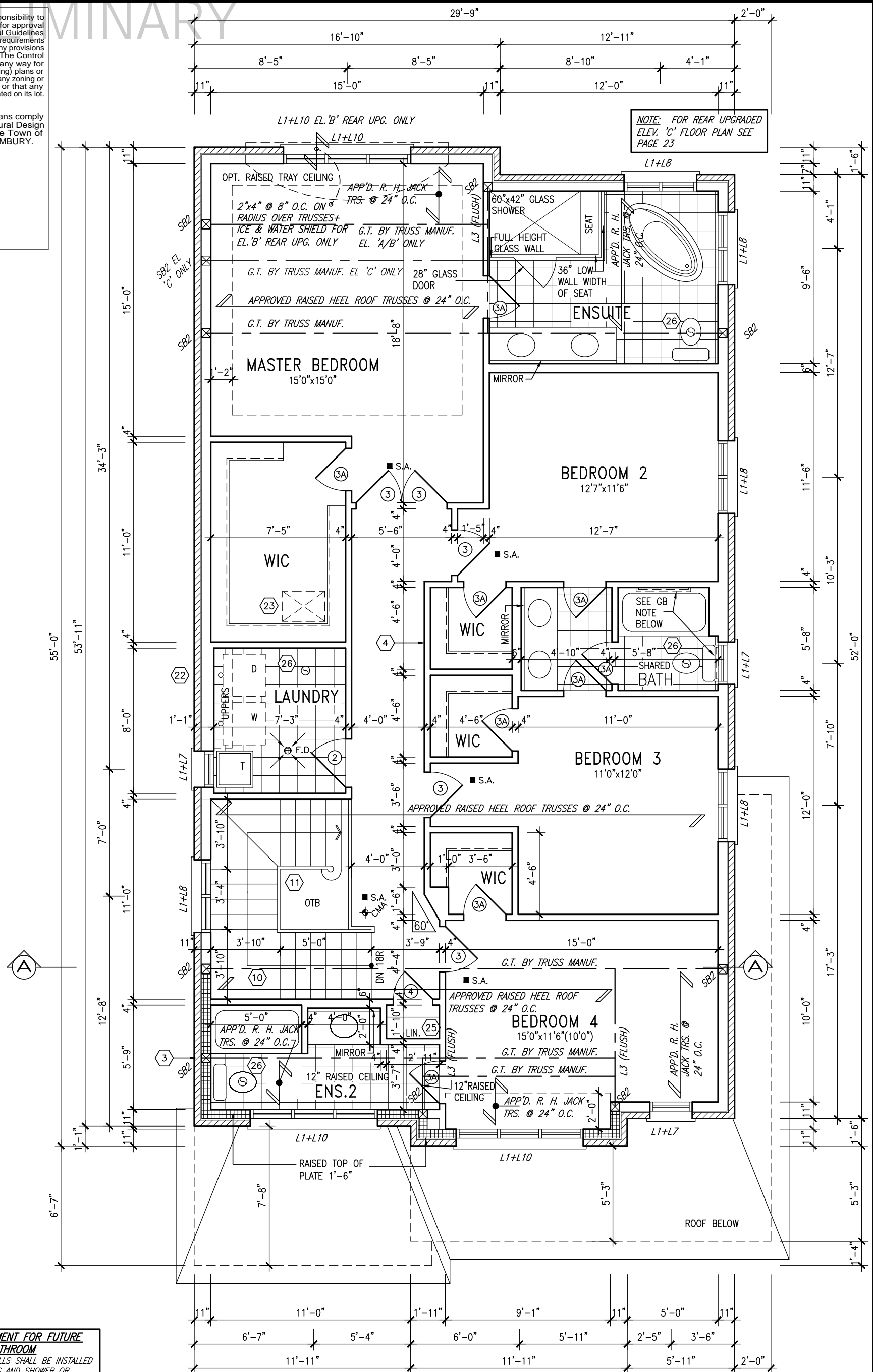
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5	10' GROUND FLOOR	MAY 26-21	KL
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC
3	ADD OPT. 9' BASEMENT	APR 06-21	RC
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<b>BAYVIEW WELLINGTON</b>		<b>S38-6</b> BAROSSA 6	
project name <b>GREEN VALLEY EAST</b>	municipality <b>BRADFORD, ONT.</b>	project no. <b>16023</b>	
date <b>JANUARY, 2017</b>	checked by <b>RC</b>	scale <b>3/16" = 1'-0"</b>	file name <b>16023-S38-6-10GRND</b>
drawing no. <b>2</b>		drawing no. <b>2</b>	

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## SECOND FLOOR PLAN 'A'

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c) SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED. GB-NOTE-2020.dwg

NOTE:  
ROOF TRUSS INFORMATION REFER TO ROOF  
TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING  
INFORMATION UNLESS OTHERWISE NOTED.

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# BAYVIEW WELLINGTON

**S38-6**  
BAROSSA 6

project name <b>GREEN VALLEY EAST</b>		municipality <b>BRADFORD, ONT.</b>		project no. <b>16023</b>
date <b>JANUARY, 2017</b>		drawing no. <b>3</b>		
drawn by <b>WT</b>		checked by <b>RC</b>		scale <b>3/16" = 1'-0"</b>
		file name <b>16023-S38-6-10GRND</b>		
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10' GROUND

3-2"x6" P.T. BUILT-UP POST  
ANCHORED AT TOP & BOTTOM  
W/ GALV. MTL. SHOE (TYP.)

ROOF NOTE R1  
2"x8" @ 16" O.C. P.T. W/ 2"x4"  
@ 12" O.C. DIAGONALLY CUT  
CROSS PURLINS W/ 5/8"  
EXTERIOR GRADE SHEATHING W/  
SINGLE PLY ROOF MEMBRANE

NOTE:  
REFER TO STANDARD FLOOR PLANS  
FOR ADDITIONAL INFORMATION.

BASEMENT INSULATION AT  
STAIR/SUNKEN AREAS  
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(RIGID or SPRAY FOAM).  
-2"x4" @ 16" o.c. w/ R12 BATT  
INSULATION & 1/2" DRYWALL FINISH  
-EXTEND EXTERIOR WALL FOOTING TO  
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NOTE: ALL LVL'S SUPPORTING  
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SPECIFIED BY FLOOR TRUSS  
MANUFACTURER.

NOTE: SPACE ALL FLOOR  
JOISTS @ 12" O.C. UNDER  
ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO  
REFER TO SHOP DRAWINGS  
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INFORMATION AND DETAILS.  
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NOTE J1: PROVIDE SOLID BLOCKING  
@ 24" O.C. WHERE FLOOR JOISTS ARE  
PARALLEL TO FOUNDATION WALL (TYP.)

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5	10' GROUND FLOOR	MAY 26-21	KL
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S38-6  
BAROSSA 6

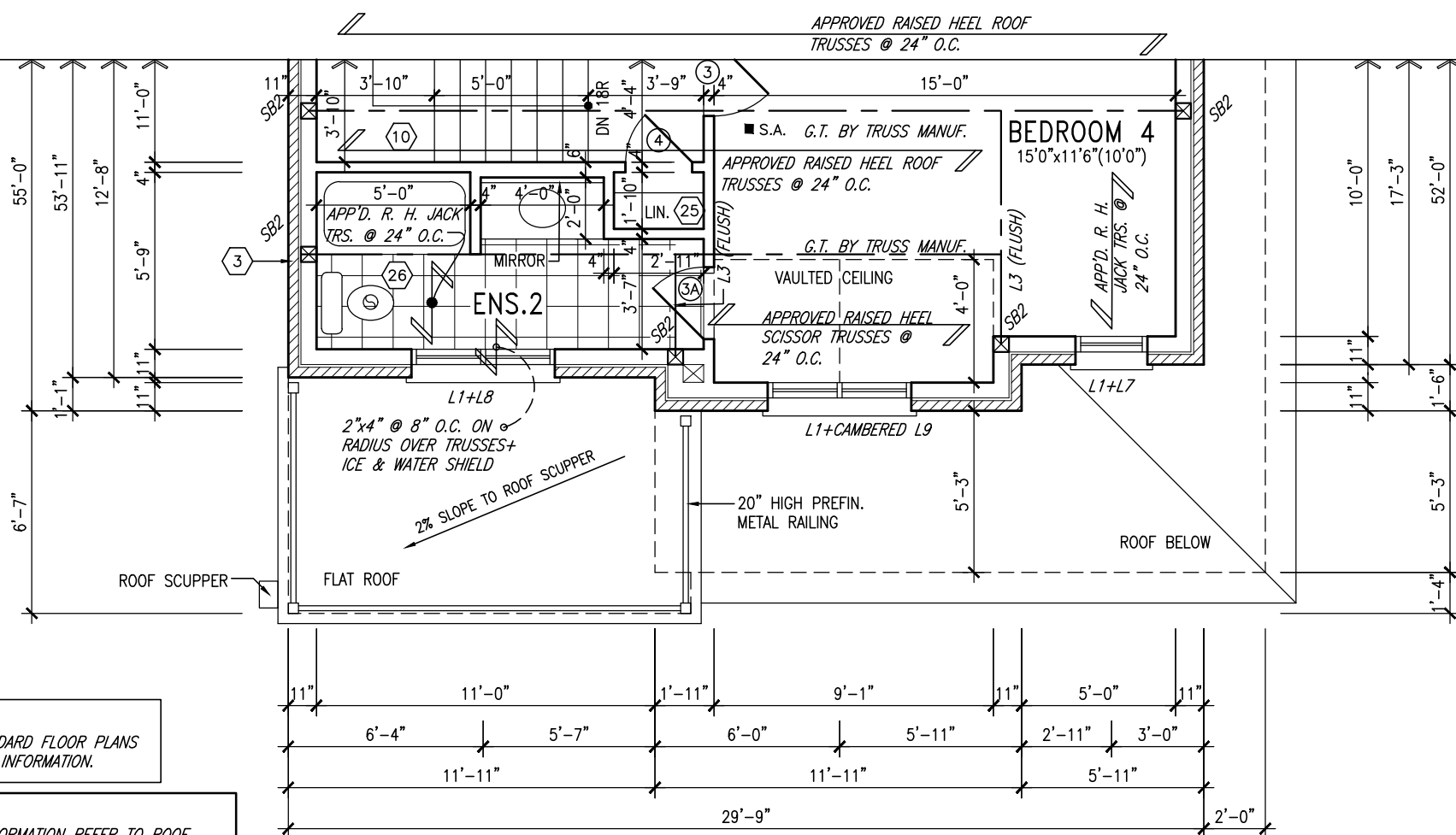
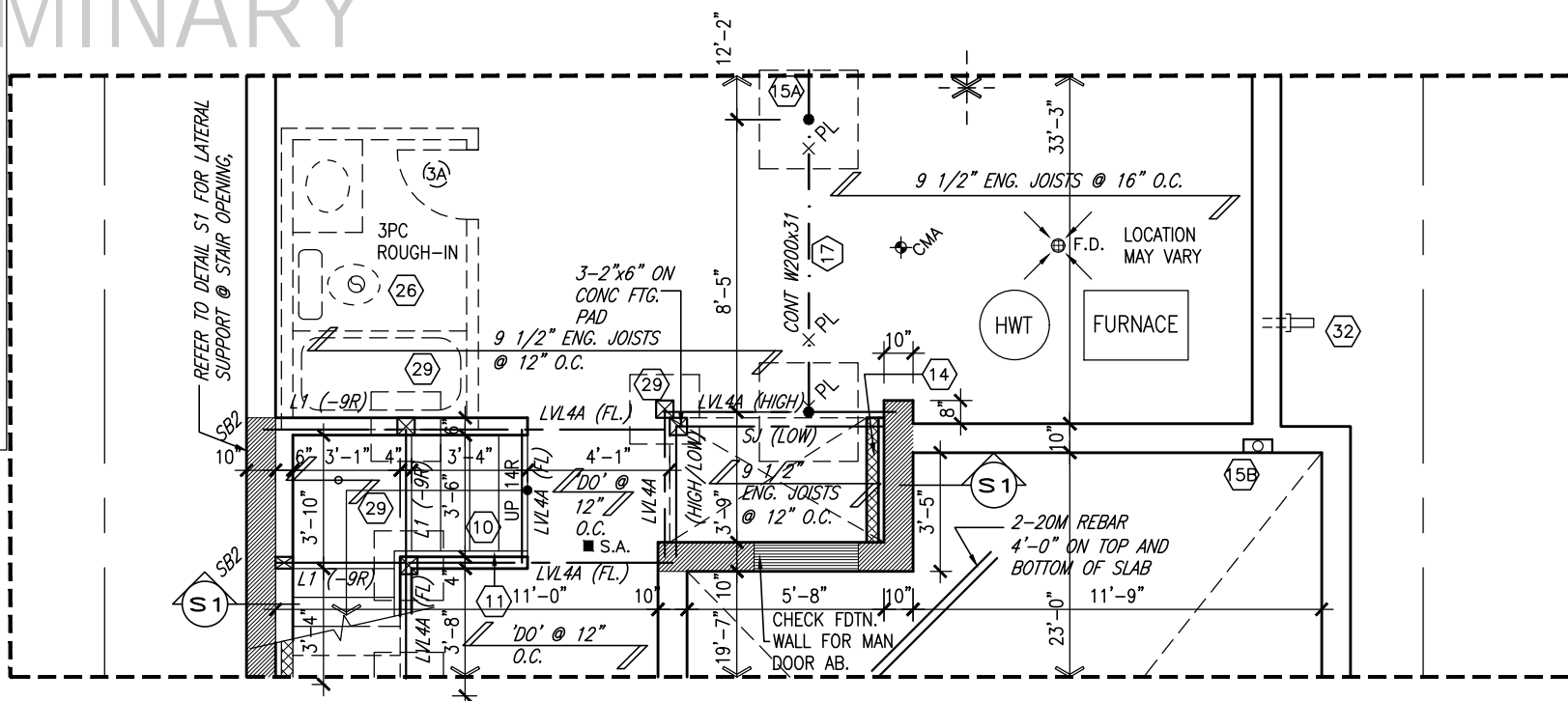
project name  
GREEN VALLEY EAST  
municipality  
BRADFORD, ONT.

project no.  
16023

date  
JANUARY, 2017  
drawn by  
WT  
checked by  
RC  
scale  
3/16" = 1'-0"  
file name  
16023-S38-6-10GRND  
drawing no.  
4

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NOTE:  
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NOTE:  
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# BAYVIEW WELLINGTON

**S38-6**  
BAROSSA 6

project name	municipality
<b>GREEN VALLEY EAST</b>	<b>BRADFORD, ONT.</b>

project no.  
16023

date **JANUARY, 2017** PART. SECOND FLOOR PLAN ELEV. 'B'  
 drawn by **WT** checked by **RC** scale **3/16" = 1'-0"** file name **16023-S38-6-10GRND**  
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drawing no.

**5**

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ROOF NOTE R1  
2"x8" @ 16" O.C. P.T. W/  
2"x4" @ 12" O.C. DIAGONALLY  
CUT CROSS PURLINS W/ 5/8"  
EXTERIOR GRADE SHEATHING W/  
SINGLE PLY ROOF MEMBRANE

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BASEMENT INSULATION AT  
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NOTE: SPACE ALL FLOOR  
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**NOTE:** FLOOR FRAMING INFO  
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PARALLEL TO FOUNDATION WALL (TYP.)

PROPERTY LINE

PROPERTY LINE

INDICATES REDUCED SIDE YARD

PARTIAL GROUND FLOOR PLAN 'C'  
(10'-0" GROUND)

PARTIAL BASEMENT FLOOR PLAN 'C'

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	10' GROUND FLOOR	MAY 26-21	KL
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# BAYVIEW WELLINGTON

**S38-6**  
BAROSSA 6

project name	municipality
GREEN VALLEY EAST	BRADFORD, ONT.

project no.  
16023

date JANUARY, 2017		PART. BASEMENT & GROUND FLOOR PLANS ELEV. 'C'	
drawn by WT	checked by RC	scale 3/16" = 1'-0"	file name 16023-S38-6-10GRND

drawing no.  
**6**

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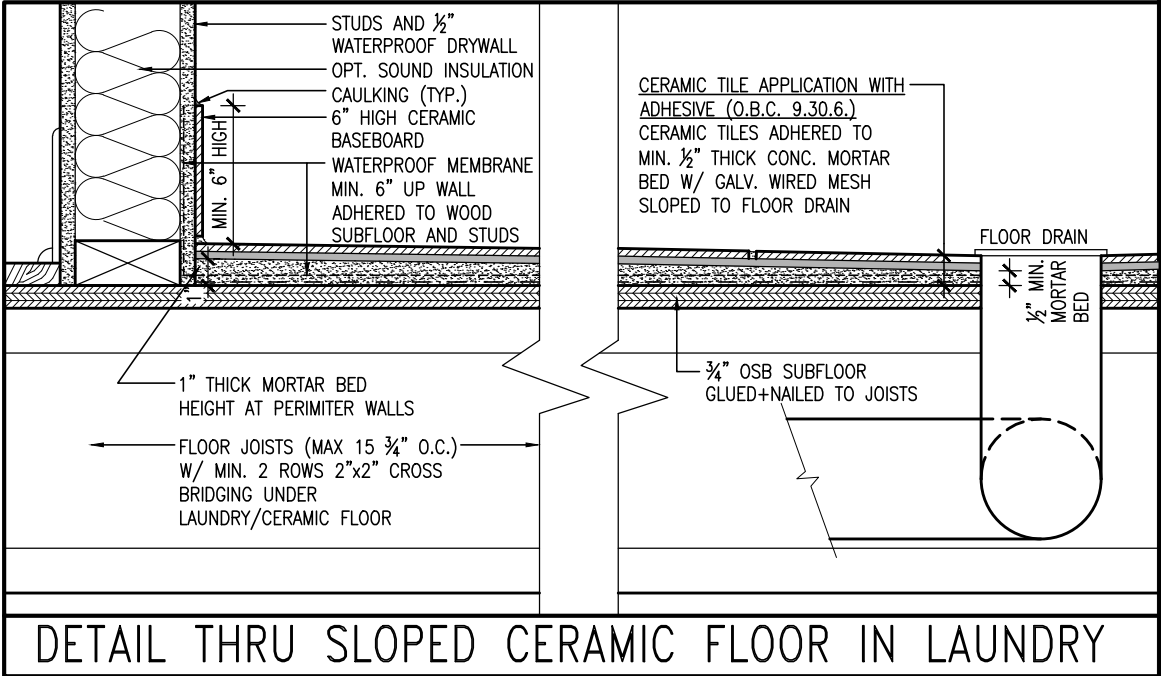
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AREA CALCULATIONS

	ELEV. A	ELEV. B	ELEV. C
GROUND FLOOR AREA	1311.4 SF	1311.4 SF	1311.4 SF
SECOND FLOOR AREA	1595.1 SF	1595.1 SF	1591.6 SF
SUBTOTAL	2906.5 SF	2906.5 SF	2903.0 SF
DEDUCT ALL OPENINGS	13.5 SF	13.5 SF	13.5 SF
TOTAL NET AREA	2893 SF	2893 SF	2889 SF
	268.8 m2	268.8 m2	268.4 m2
FINISHED BSMT AREA	0 SF	0 SF	0 SF
TOTAL NET AREA	2893 SF	2893 SF	2889 SF
W/ FIN BSMT	268.8 m2	268.8 m2	268.4 m2
COVERAGE W/O PORCH	1753.4 SF	1753.4 SF	1753.4 SF
	162.9 m2	162.9 m2	162.9 m2
COVERAGE W/PORCH	1846.3 SF	1846.3 SF	1850.3 SF
	171.5 m2	171.5 m2	171.9 m2

10' GROUND



FLAT ROOF OVER LIVING SPACE: R2  
2 PLY WATERPROOFING MEMBRANE  
ON 5/8" EXT. GRADE PLYWD. ON  
2"x4" CROSS PURLINS (CUT  
DIAGONALLY @ 12" O.C. ON 2"x10"  
JOISTS @ 12" o.c. FLAT ROOF TO  
BE INSULATED W/ SPRAY  
INSULATION (RSI 5.46 (R31)) MIN  
SLOPE 1:12

CANOPY ROOF NOTE:  
P.T. 2"x8" ROOF JOIST @ 16"  
O.C., 5/8" SHEATHING SLOPED  
FORWARD WITH PREFIN. METAL CAP

NOTE:  
ROOF TRUSS INFORMATION REFER TO ROOF  
TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING  
INFORMATION UNLESS OTHERWISE NOTED.

PARTIAL SECOND FLOOR PLAN 'C'

NOTE:  
REFER TO STANDARD FLOOR PLANS  
FOR ADDITIONAL INFORMATION.

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	10' GROUND FLOOR	MAY 26-21	KL
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC
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BAYVIEW WELLINGTON

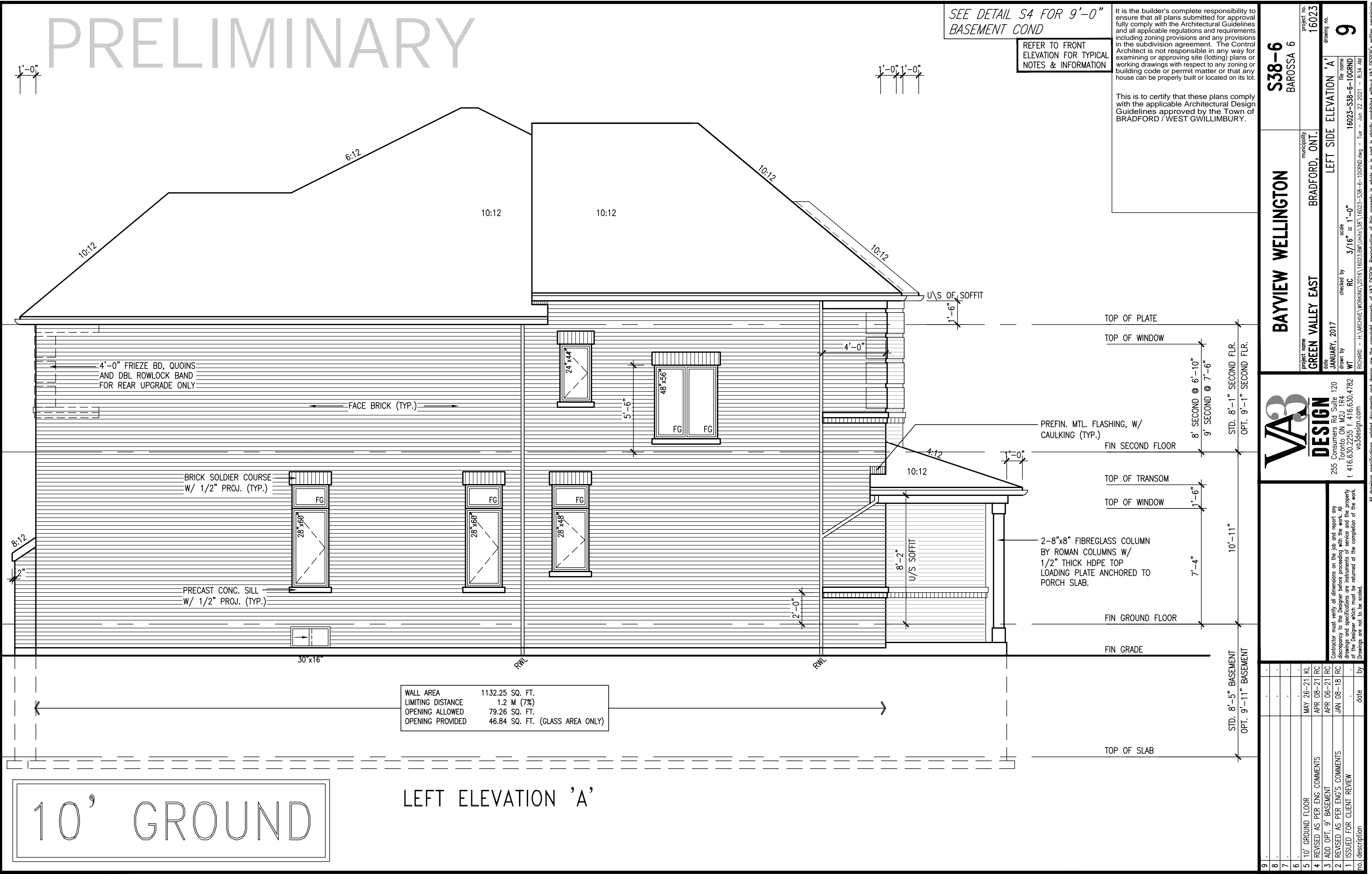
**S38-6**  
BAROSSA 6

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	JANUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	file name	16023-S38-6-10GRND	drawing no.	7
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PRELIMINARY



SEE DETAIL S4 FOR 9'-0" BASEMENT COND

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

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BAYVIEW WELLINGTON		S38-6	
GREEN VALLEY EAST		BAROSSA 6	
municipality		16023	
BRADFORD, ONT.		drawing no.	
date		16023-S38-6-10GRND.dwg	
JANUARY, 2017		9	
checked by		file name	
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scale		3/16" = 1'-0"	
drawn by		date	
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4		REVISED AS PER ENG COMMENTS	
5		10' GROUND FLOOR	
6		MAY 26-21 KL	
7		APR 08-21 RC	
8		APR 08-21 RC	
9		MAY 26-21 KL	

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)  
45 MINUTE FIRE RATED WALL  
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.  
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

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10' GROUND

RIGHT SIDE ELEVATION 'A'

project name		project no.	
BAYVIEW WELLINGTON		S38-6	
GREEN VALLEY EAST		BAROSSA 6	
municipality		BRADFORD, ONT.	
date		drawing no.	
JANUARY, 2017		16023	
checked by		drawn by	
RC		WT	
scale		file name	
3/16" = 1'-0"		16023-S38-6-10GRND.dwg	
drawn by		date	
RC		JAN 08-18	
checked by		no. description	
RC		1 ISSUED FOR CLIENT REVIEW	
checked by		2 REVISED AS PER ENG'S COMMENTS	
RC		3 ADD OPT. 9' BASEMENT	
checked by		4 REVISED AS PER ENG COMMENTS	
RC		5 10' GROUND FLOOR	
checked by		6	
RC		7	
checked by		8	
RC		9	

10<sup>9</sup> GROUND

REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

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**VAD3**  
**DESIGN**  
255 Consumers Rd Suite  
Toronto, ON M2J 1R4  
t 416.630.2255 f 416.630.  
vad3design.com

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

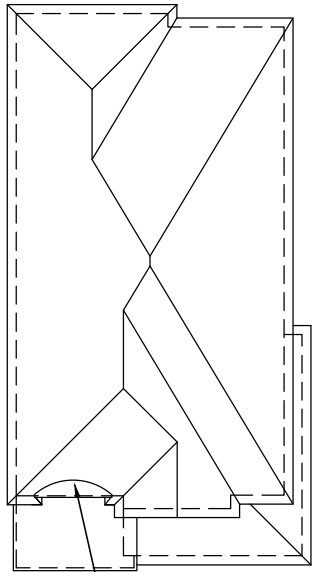
All drawn

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REAR ELEVATION 'A'  
ELEV. 'B' & 'C' SIMILAR

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	10' GROUND FLOOR	MAY 26-21	KL
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC
3	ADD OPT. 9' BASEMENT	APR 06-21	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-6 EL.B W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	632.94 S.F.	136.66 S.F.	21.59 %
LEFT SIDE	1141.91 S.F.	72.51 S.F.	6.35 %
RIGHT SIDE	1141.91 S.F.	84.91 S.F.	7.44 %
REAR	624.75 S.F.	155.57 S.F.	24.90 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3541.51 S.F.	449.65 S.F.	12.70 %
TOTAL SQ. M.	329.01 S.M.	41.77 S.M.	12.70 %



ROOF PLAN B



FRONT ELEVATION 'B'

10' GROUND

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

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S38-6

BAROSSA 6

BAYVIEW WELLINGTON

GREEN VALLEY EAST

project no.

16023

drawing no.

12

project name

GREEN VALLEY EAST

municipality

BRADFORD, ONT.

date

JANUARY, 2017

checked by

RC

drawn by

WT

scale

3/16" = 1'-0"

file name

16023-S38-6-10GRND.dwg

date

Jun 22 2021

time

8:34 AM

9

8

7

6

5

4

3

2

1

no.

description

date

10' GROUND FLOOR

MAY 26-21 KL

4 REVISED AS PER ENG COMMENTS

APR 08-21 RC

3 ADD OPT. 9' BASEMENT

APR 06-21 RC

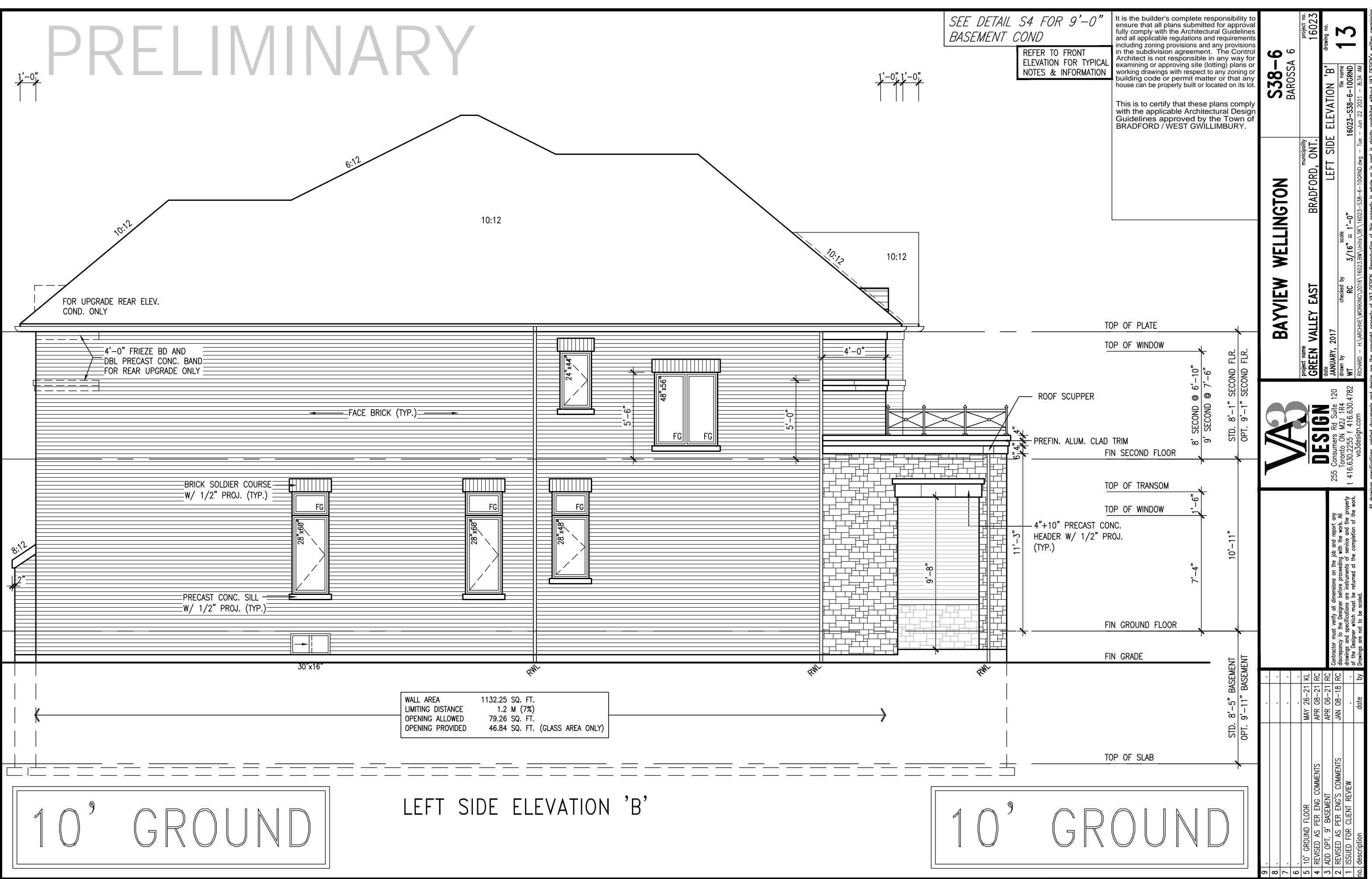
2 REVISED AS PER ENG'S COMMENTS

JAN 08-18 RC

1 ISSUED FOR CLIENT REVIEW

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SEE DETAIL S4 FOR 9'-0" BASEMENT COND

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

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WALL AREA	1132.25 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	79.26 SQ. FT.
OPENING PROVIDED	46.84 SQ. FT. (GLASS AREA ONLY)

9

8

7

6

5

4

3

2

1

10' GROUND FLOOR

REVISED AS PER ENG COMMENTS

ADD OPT. 9' BASEMENT

REVISED AS PER ENG'S COMMENTS

ISSUED FOR CLIENT REVIEW

no.

description

date

by

10' GROUND FLOOR

REVISED AS PER ENG COMMENTS

ADD OPT. 9' BASEMENT

REVISED AS PER ENG'S COMMENTS

ISSUED FOR CLIENT REVIEW

no.

description

date

by

project name

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 PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.  
 (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

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RIGHT SIDE ELEVATION 'B'

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	10' GROUND FLOOR	MAY 26-21	KL
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC
3	ADD OPT. 9' BASEMENT	APR 06-21	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC
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16023-S38-6-10GRND

3/16" = 1'-0"

RC

checked by

scale

date

drawn by

project name

project no.

14

drawing no.

16023-S38-6-10GRND

3/16" = 1'-0"

RC

checked by

scale

date

drawn by

project name

project no.

14

drawing no.

16023-S38-6-10GRND

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drawing no.

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drawn by

project name

project no.

14

drawing no.

16023-S38-6-10GRND

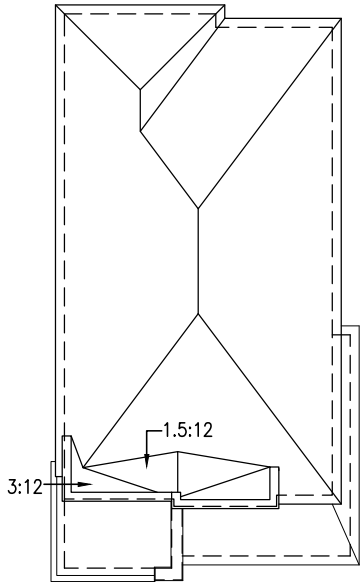
3/16" = 1'-0"

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-6 EL.C W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	646.33 S.F.	168.94 S.F.	26.14 %
LEFT SIDE	1139.68 S.F.	72.51 S.F.	6.36 %
RIGHT SIDE	1139.68 S.F.	84.91 S.F.	7.45 %
REAR	624.75 S.F.	155.57 S.F.	24.90 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3550.44 S.F.	481.93 S.F.	13.57 %
TOTAL SQ. M.	329.84 S.M.	44.77 S.M.	13.57 %

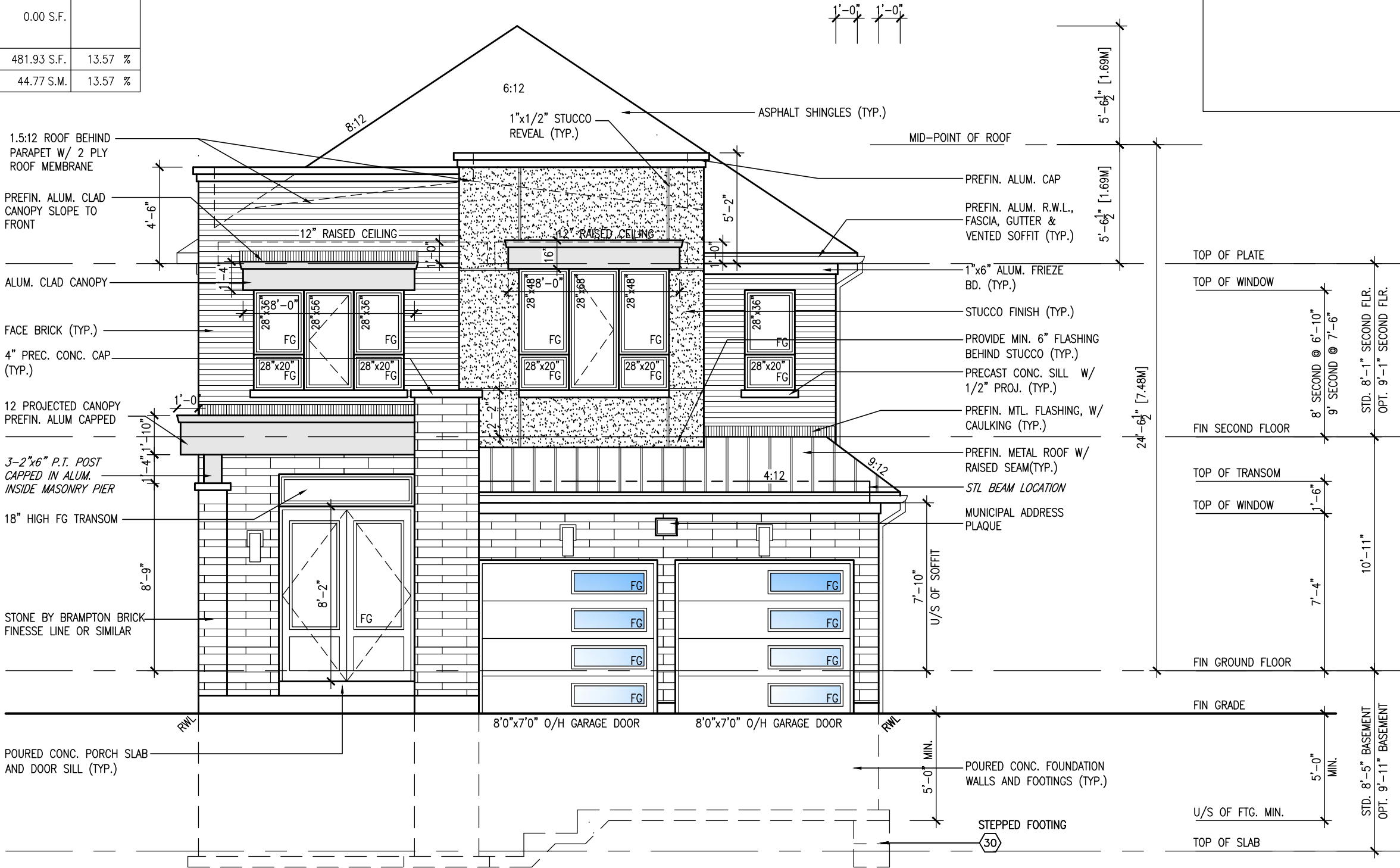
SEE DETAIL S4 FOR 9'-0" BASEMENT COND

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ROOF PLAN C



FRONT ELEVATION 'C'

10' GROUND

project no.		project name		municipality		date		checked by		drawn by		scale		drawing no.	
16023		S38-6 BAROSSA 6		BAYVIEW WELLINGTON		JANUARY, 2017		RC		WT		3/16" = 1'-0"		15	
drawing no.		file name		front elevation 'c'		16023-S38-6-10GRND.dwg		Tue - Jun 22 2021 - 8:34 AM							
no.		description		date		by									
9		10' GROUND FLOOR		MAY 26-21 KL											
8		4 REVISED AS PER ENG COMMENTS		APR 08-21 RC											
7		3 ADD OPT. 9' BASEMENT		APR 06-21 RC											
6		2 REVISED AS PER ENG'S COMMENTS		JAN 08-18 RC											
5		1 ISSUED FOR CLIENT REVIEW													
4															
3															
2															
1															
0															

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1'-0"

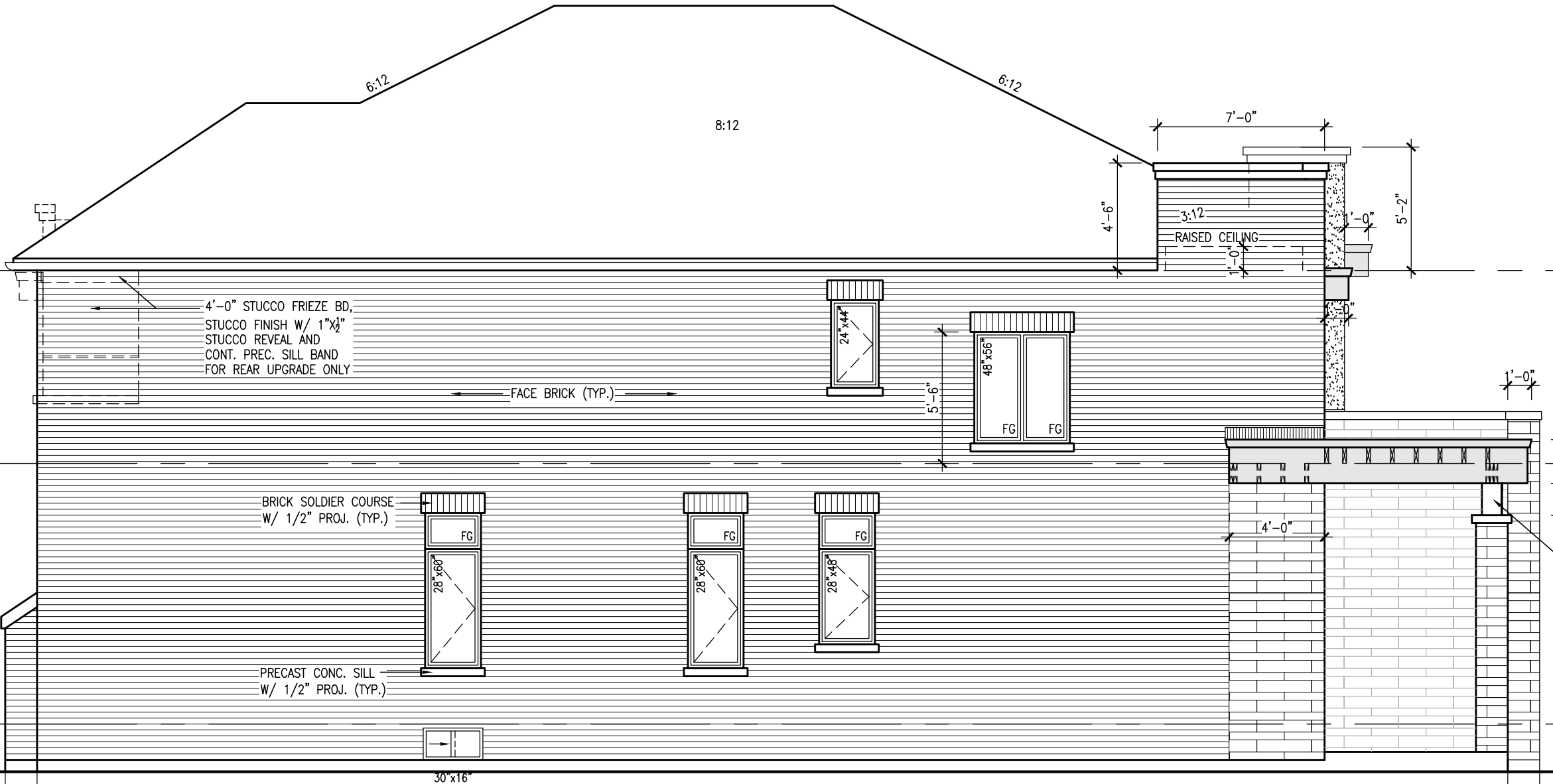
PRELIMINARY

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

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WALL AREA	1132.25 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	79.26 SQ. FT.
OPENING PROVIDED	46.84 SQ. FT. (GLASS AREA ONLY)

10' GROUND

LEFT SIDE ELEVATION 'C'

TOP OF PLATE  
TOP OF WINDOW  
FIN SECOND FLOOR  
TOP OF TRANSOM  
TOP OF WINDOW  
FIN GROUND FLOOR  
FIN GRADE  
TOP OF SLAB

8'-10" @ 6'-10"  
9" SECOND @ 7'-6"  
STD. 8'-1" SECOND FLR.  
OPT. 9'-1" SECOND FLR.  
10'-11"  
STD. 8'-5" BASEMENT  
OPT. 9'-11" BASEMENT

1'-0"  
1'-4"  
1'-10"  
1'-6"  
7'-4"  
8'-9"  
14'-0"

4'-0" STUCCO FRIEZE BD, STUCCO FINISH W/ 1"x1/2" STUCCO REVEAL AND CONT. PREC. SILL BAND FOR REAR UPGRADE ONLY  
FACE BRICK (TYP.)  
BRICK SOLDIER COURSE W/ 1/2" PROJ. (TYP.)  
PRECAST CONC. SILL W/ 1/2" PROJ. (TYP.)  
24'x44'  
48'x56'  
28'x60'  
28'x48'  
FG  
FG  
FG  
FG  
FG  
30'x16"

3-2"x6" P.T. POST CAPPED IN ALUM. INSIDE MASONRY PIER

project no.		project name		municipality		project no.	
16023		GREEN VALLEY EAST		BRADFORD, ONT.		16023	
drawing no.		date		checked by		drawing no.	
16		JANUARY, 2017		RC		16	
file name		scale		drawn by		file name	
16023-S38-6-10GRND		3/16" = 1'-0"		WT		16023-S38-6-10GRND	
RICHARD - H:\ARCHIVE\WORKING\2016\16023-S38-6-10GRND.dwg - Tue - Jun 22 2021 - 6:35 AM							
no.		description		date		no.	
9							
8							
7							
6							
5		10' GROUND FLOOR		MAY 26-21 KL			
4		REVISED AS PER ENG COMMENTS		APR 08-21 RC			
3		ADD OPT. 9' BASEMENT		APR 06-21 RC			
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1		ISSUED FOR CLIENT REVIEW					

BRICK VENEER CONSTRUCTION

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PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.  
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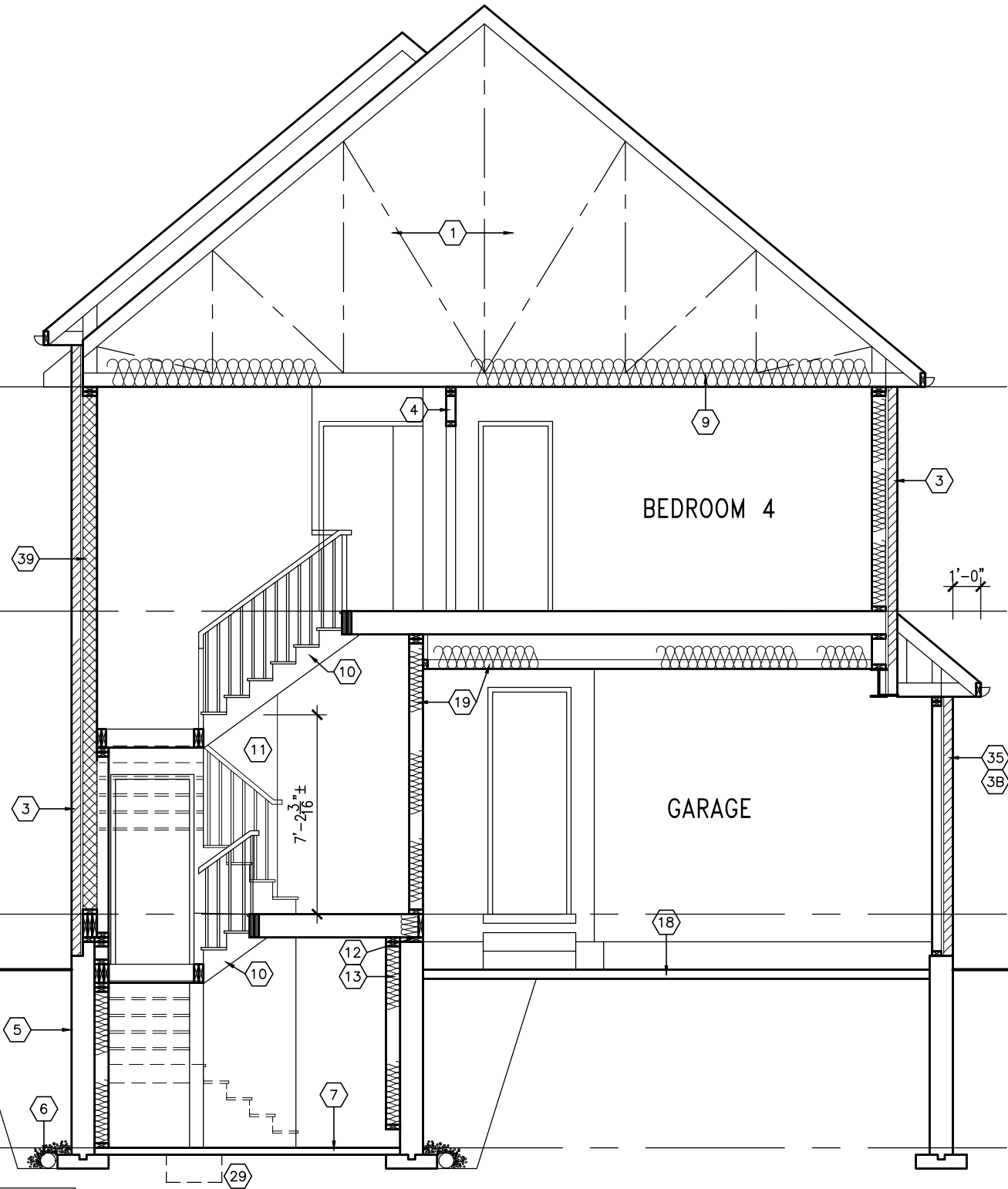


					
		255 Consumers Rd, Suite 120 Toronto, ON M2J 1Y4 t 416.630.2235 f 416.630.4782 v3design.com			
		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			

PRELIMINARY

1'-0"

1'-0"



TOP OF PLATE

FIN SECOND FLOOR

FIN GROUND FLOOR

FIN GRADE

TOP OF SLAB

STD. 8'-1" SECOND FLR.  
OPT. 9'-1" SECOND FLR.

10'-11"

STD. 8'-5" BASEMENT  
OPT. 9'-11" BASEMENT

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**V3**  
DESIGN

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Toronto, ON M2J 1R4  
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v3design.com

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no.	description	date	by
9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	10' GROUND FLOOR	MAY 26-21 KL	.
4	REVISED AS PER ENG COMMENTS	APR 08-21 RC	.
3	ADD OPT. 9' BASEMENT	APR 06-21 RC	.
2	REVISED AS PER ENG'S COMMENTS	JAN 08-18 RC	.
1	ISSUED FOR CLIENT REVIEW	.	.

**BAYVIEW WELLINGTON**

**S38-6**  
BAROSSA 6

project name  
GREEN VALLEY EAST

municipality  
BRADFORD, ONT.

project no.  
16023

date  
JANUARY, 2017

checked by  
RC

drawing no.  
18

SECTION A-A

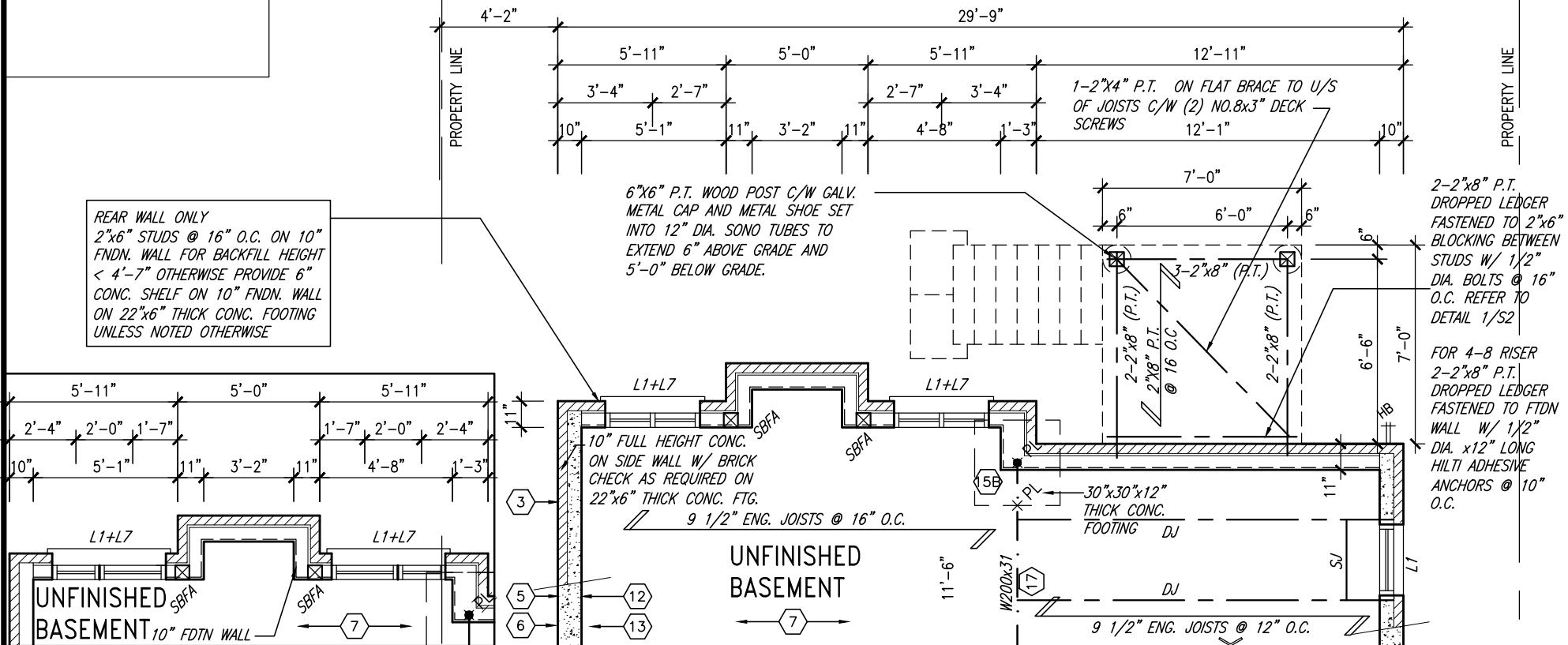
file name  
16023-S38-6-10GRND

date  
16023-S38-6-10GRND.dwg - Tue - Jun 22 2021 - 6:35 AM

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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-6 EL.A WOD W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	646.75 S.F.	160.83 S.F.	24.87 %
LEFT SIDE	1141.91 S.F.	72.51 S.F.	6.35 %
RIGHT SIDE	1141.91 S.F.	84.91 S.F.	7.44 %
REAR	743.75 S.F.	171.22 S.F.	23.02 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3674.32 S.F.	489.47 S.F.	13.32 %
TOTAL SQ. M.	341.35 S.M.	45.47 S.M.	13.32 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-6 EL.B WOD W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	632.94 S.F.	136.66 S.F.	21.59 %
LEFT SIDE	1141.91 S.F.	72.51 S.F.	6.35 %
RIGHT SIDE	1141.91 S.F.	84.91 S.F.	7.44 %
REAR	743.75 S.F.	171.22 S.F.	23.02 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3660.51 S.F.	465.30 S.F.	12.71 %
TOTAL SQ. M.	340.07 S.M.	43.23 S.M.	12.71 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-6 EL.C WOD W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	646.33 S.F.	168.94 S.F.	26.14 %
LEFT SIDE	1139.68 S.F.	72.51 S.F.	6.36 %
RIGHT SIDE	1139.68 S.F.	84.91 S.F.	7.45 %
REAR	743.75 S.F.	171.22 S.F.	23.02 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3669.44 S.F.	497.58 S.F.	13.56 %
TOTAL SQ. M.	340.90 S.M.	46.23 S.M.	13.56 %

10' GROUND



SEE DETAIL S4 FOR 9'-0" BASEMENT COND

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

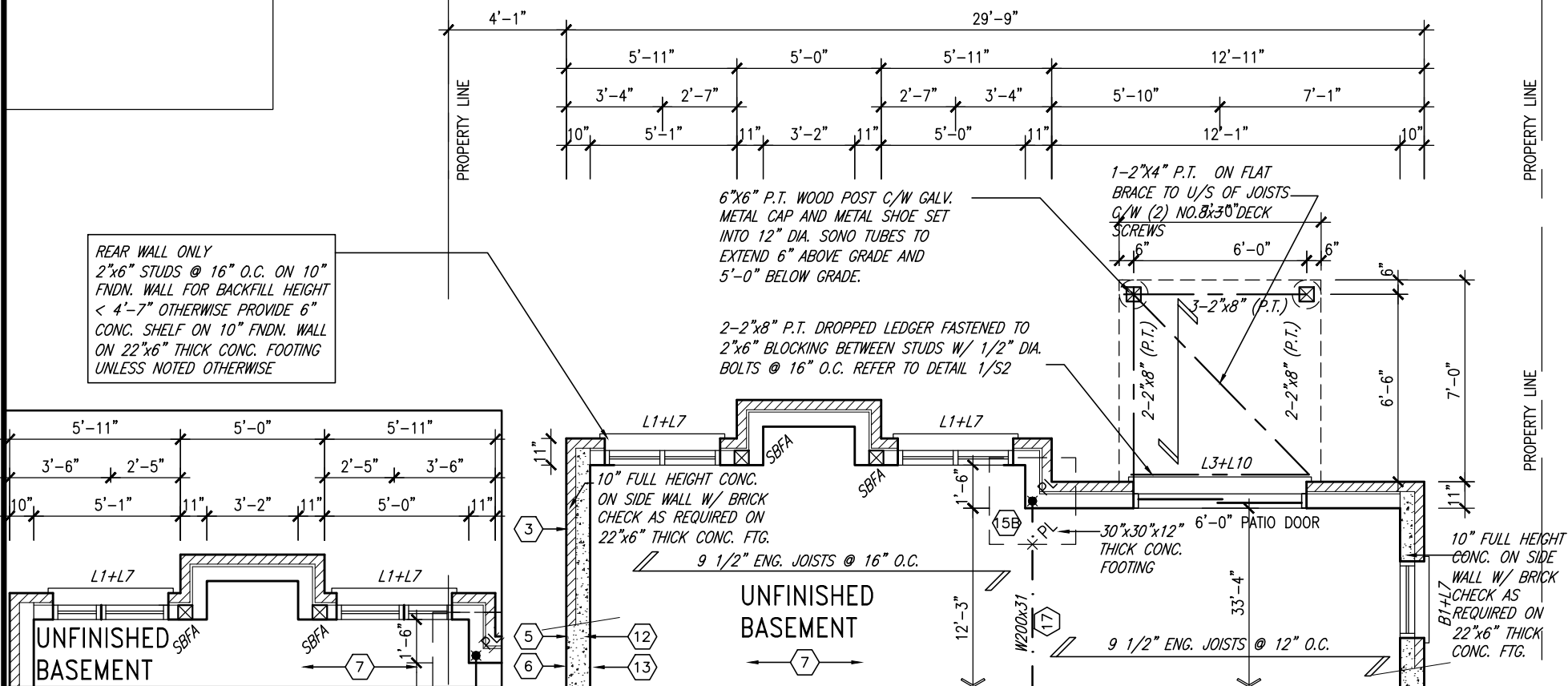
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BAYVIEW WELLINGTON		S38-6 BAROSSA 6	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.
project no.	16023	drawing no.	20
date	JANUARY, 2017	scale	3/16" = 1'-0"
checked by	RC	drawn by	WT
RICHARD - H:\ARCHIVE\WORKING\2016\16023-S38-6-10GRND.dwg - Tue - Jun 22 2021 - 6:35 AM			
V3 DESIGN		V3 DESIGN	
255 Consumers Rd, Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 vo3design.com		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
no.	description	date	by
9			
8			
7			
6			
5	10' GROUND FLOOR	MAY 26-21 KL	
4	REVISED AS PER ENG COMMENTS	APR 08-21 RC	
3	ADD OPT. 9' BASEMENT	APR 06-21 RC	
2	REVISED AS PER ENG'S COMMENTS	JAN 08-18 RC	
1	ISSUED FOR CLIENT REVIEW		

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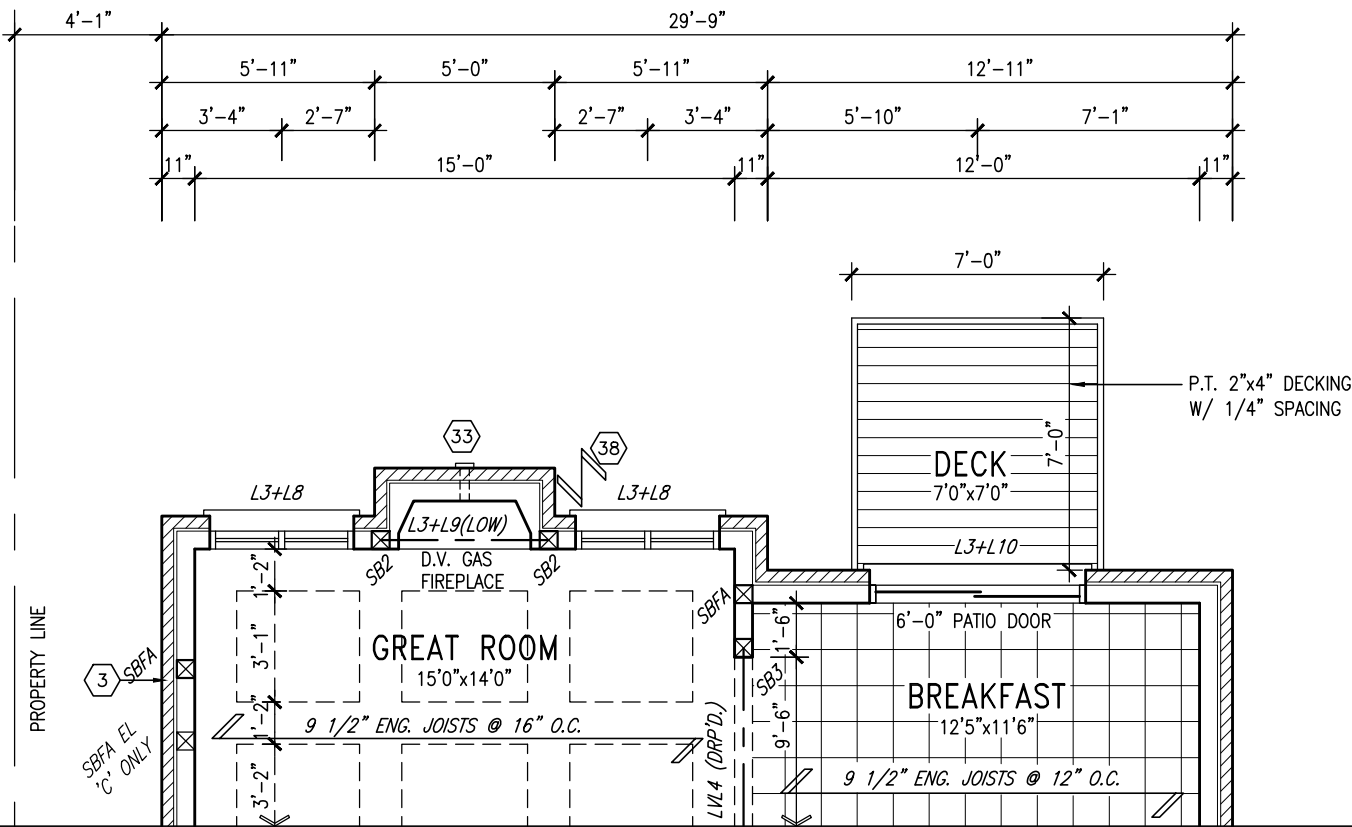
PART BSMT PLAN 'C'  
WOB UPG CONDITION  
ONLY

BASEMENT PLAN 'A' – W.O.B. CONDITION  
ELEV. 'B' & 'C' SIMILAR

NOTE:  
REFER TO STANDARD FLOOR PLANS  
FOR ADDITIONAL INFORMATION.

NOTE:  
SPACE ALL FLOOR JOISTS @ 12" O.C.  
UNDER ALL CERAMIC TILE AREAS.

NOTE:  
FLOOR TRUSS INFORMATION REFER TO FLOOR  
TRUSS SHOP DRAWINGS FOR ALL FLOOR  
FRAMING INFORMATION UNLESS OTHERWISE  
NOTED.



GROUND FLOOR PLAN 'A' – W.O.B. CONDITION  
ELEV. 'B' & 'C' SIMILAR

10' GROUND

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	10' GROUND FLOOR	MAY 26-21	KL
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC
3	ADD OPT. 9' BASEMENT	APR 06-21	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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va3design.com

**BAYVIEW WELLINGTON**

**S38-6**  
BAROSSA 6

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	JANUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	file name	16023-S38-6-10GRND	drawing no.	21
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CANOPY ROOF NOTE:  
P.T. 2"x8" ROOF JOIST @ 16"  
O.C., 5/8" SHEATHING SLOPED  
FORWARD WITH PREFIN. METAL CAP

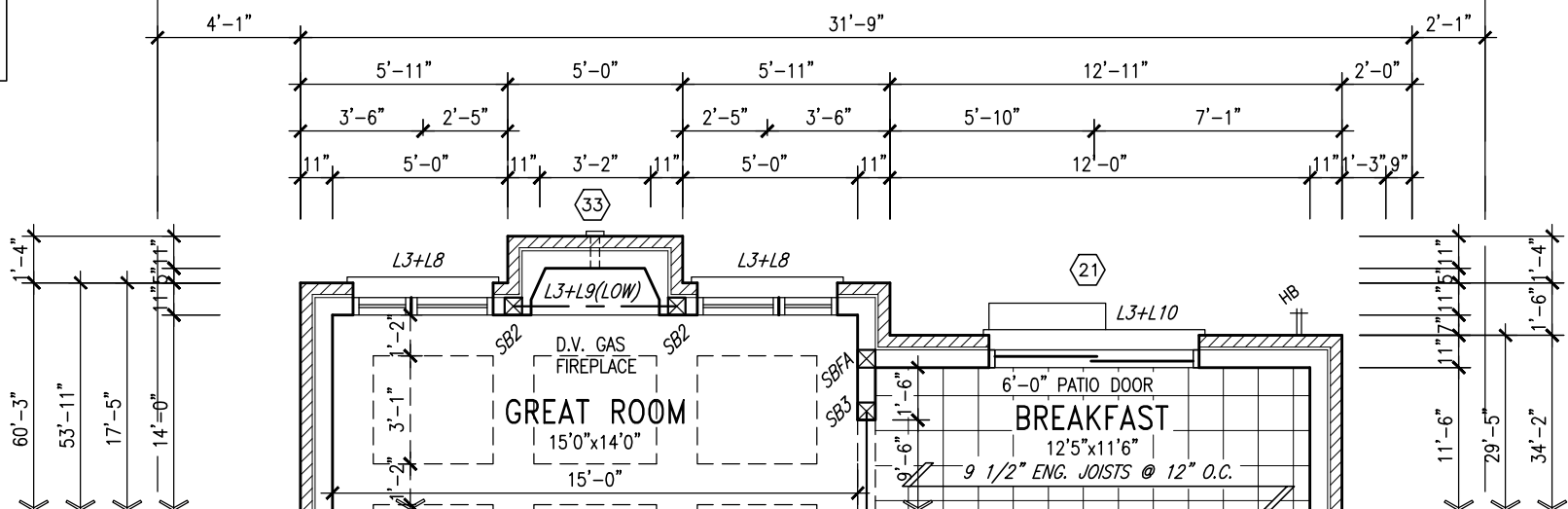
NOTE:  
REFER TO STANDARD FLOOR PLANS  
FOR ADDITIONAL INFORMATION.

NOTE: SPACE ALL FLOOR  
JOISTS @ 12" O.C. UNDER  
ALL CERAMIC TILE AREAS.

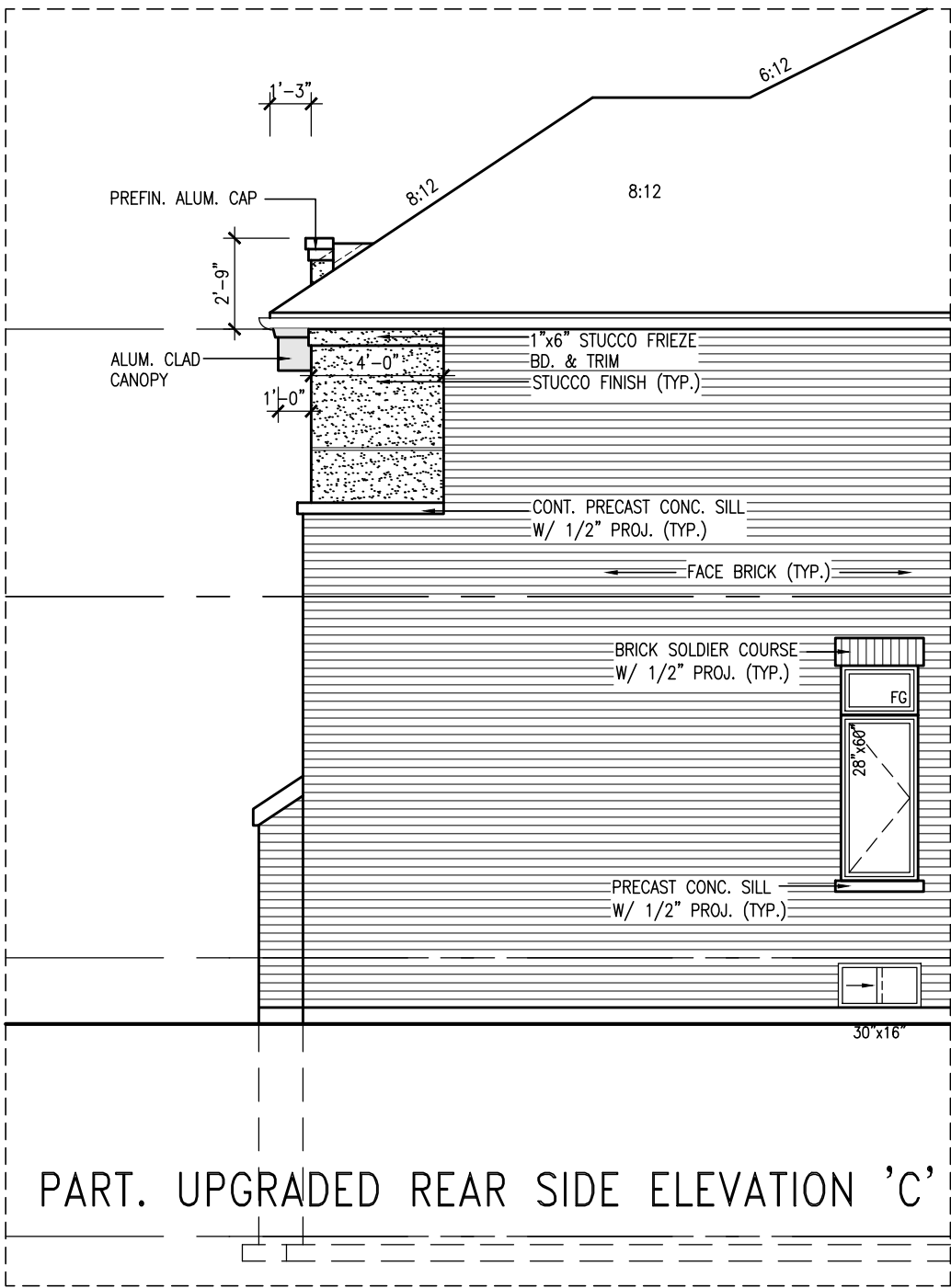
NOTE: ALL LVL'S SUPPORTING  
FLOOR LOADS ARE TO BE  
SPECIFIED BY FLOOR TRUSS  
MANUFACTURER.

NOTE: FLOOR FRAMING INFO  
REFER TO SHOP DRAWINGS  
FOR ALL TRUSS-JOIST  
INFORMATION AND DETAILS.  
UNLESS OTHERWISE NOTED.

## PARTIAL SECOND FLOOR PLAN 'C' REAR UPGRADE



## PARTIAL GROUND FLOOR PLAN 'C' REAR UPGRADE



10' GROUND

## PART. UPGRADED REAR SIDE ELEVATION 'C'

9.	.	.
8.	.	.
7.	.	.
6.	.	.
5	10' GROUND FLOOR	MAY 26-21 KL
4	REVISED AS PER ENG COMMENTS	APR 08-21 RC
3	ADD OPT. 9' BASEMENT	APR 06-21 RC
2	REVISED AS PER ENG'S COMMENTS	JAN 08-18 RC
1	ISSUED FOR CLIENT REVIEW	.
no.	description	date by

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va3design.com

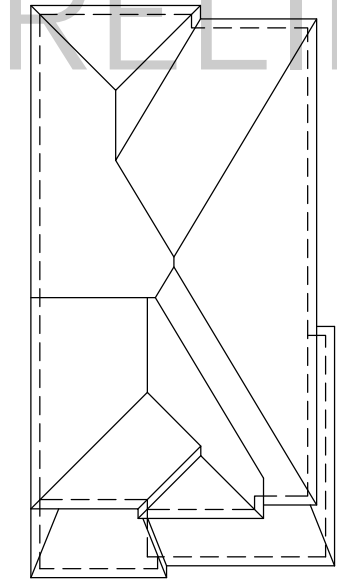
**BAYVIEW WELLINGTON**

**S38-6**  
BAROSSA 6

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	JANUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	file name	16023-S38-6-10GRND	drawing no.	23
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PRELIMINARY



ROOF PLAN 'A'  
(UPGRADE REAR)

RETURN FRIEZE BOARD AND  
BANDING 4'-0" ALONG SIDES  
(TYP.)

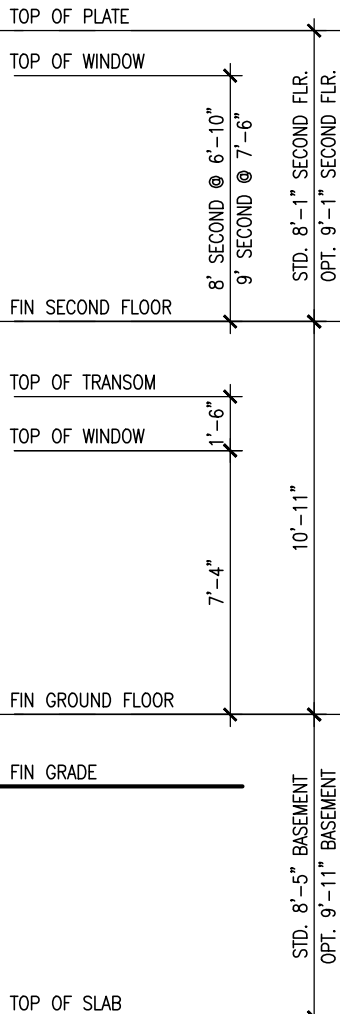


SEE DETAIL S4 FOR 9'-0"  
BASEMENT COND

REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION


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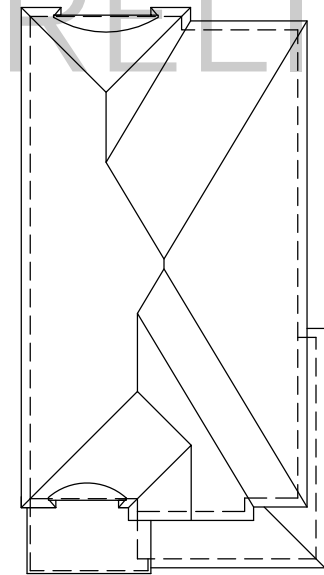


UPGRADED REAR ELEVATION 'A'

10' GROUND

					
		255 Consumers Rd. Suite 120 Toronto, ON M2J 1Y4 t 416.630.2235 f 416.630.4782 v3design.com			
		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			

PRELIMINARY



ROOF PLAN 'B'  
(UPGRADE REAR)

RETURN FRIEZE BOARD  
4'-0" ALONG SIDES (TYP.)  
CONT. DBL PRECAST BAND  
4'-0" ALONG SIDES (TYP.)



UPGRADED REAR ELEVATION 'B'

10' GROUND

SEE DETAIL S4 FOR 9'-0"  
BASEMENT COND

REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

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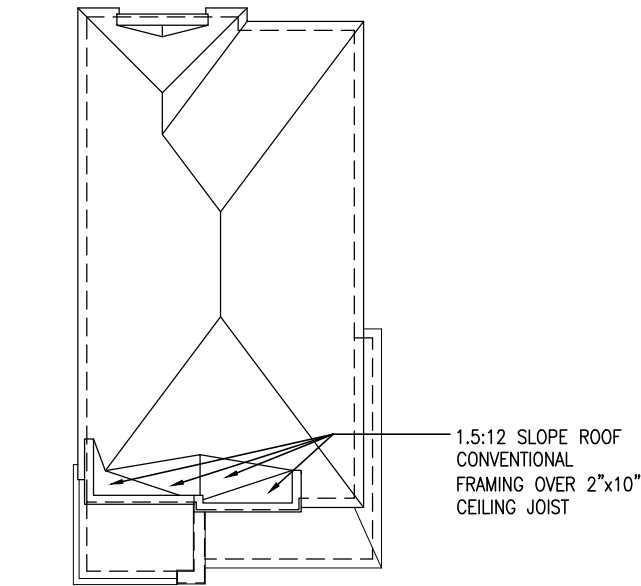
project name		project no.	
BAYVIEW WELLINGTON		S38-6	
GREEN VALLEY EAST		BAROSSA 6	
municipality		BRADFORD, ONT.	
date		drawing no.	
JANUARY, 2017		16023	
checked by		file name	
RC		16023-S38-6-10GRND.dwg	
scale		drawing no.	
3/16" = 1'-0"		25	
drawn by		date	
WT		JAN 08-18	
checked by		no. description	
RC		1 ISSUED FOR CLIENT REVIEW	
checked by		2 REVISED AS PER ENG'S COMMENTS	
RC		3 ADD OPT. 9' BASEMENT	
checked by		4 REVISED AS PER ENG COMMENTS	
RC		5 10' GROUND FLOOR	
checked by		6	
RC		7	
checked by		8	
RC		9	

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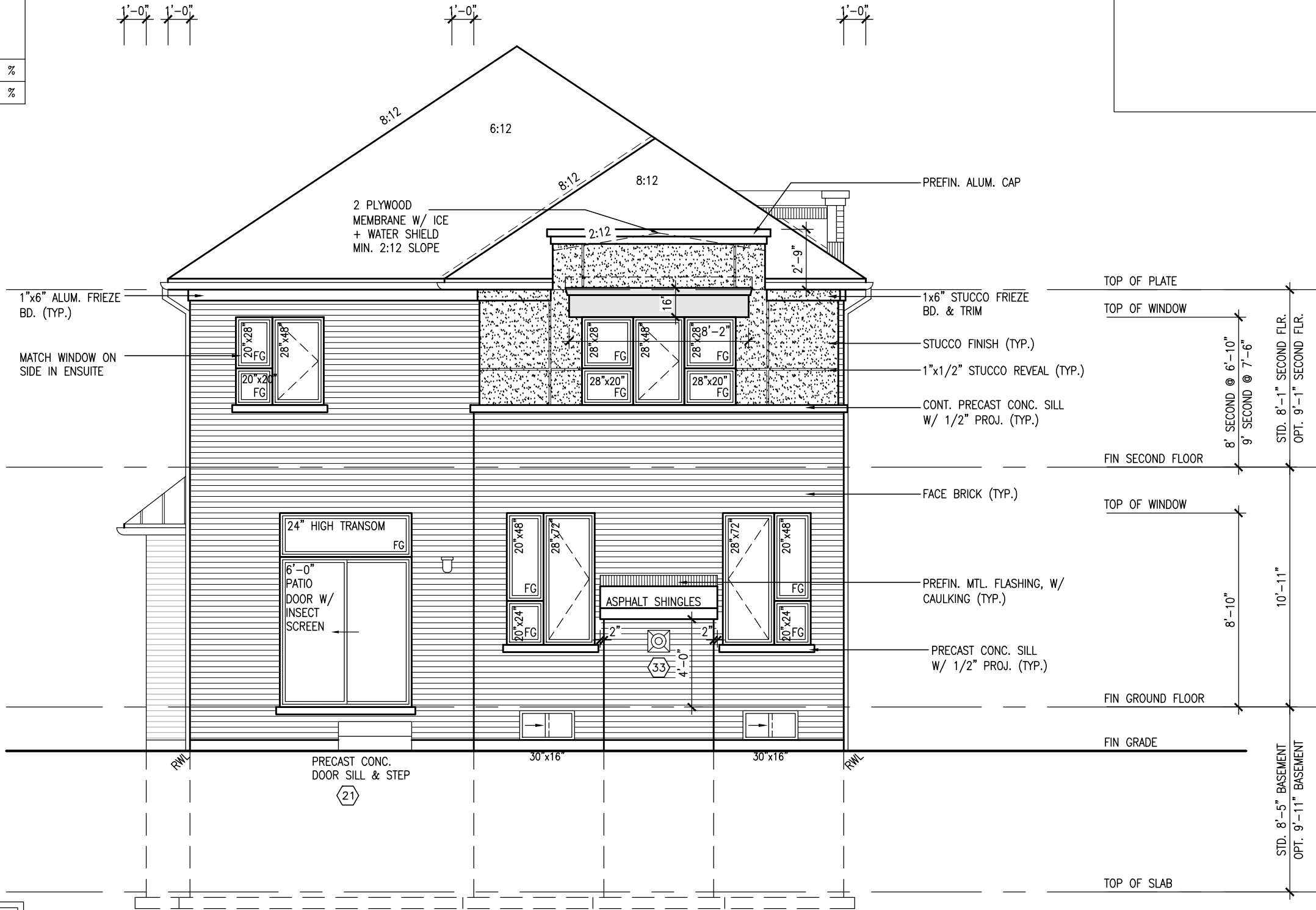
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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-6 E.L.C W/ 8' 2ND & REAR UPG	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	646.33 S.F.	168.94 S.F.	26.14 %
LEFT SIDE	1139.68 S.F.	72.51 S.F.	6.36 %
RIGHT SIDE	1139.68 S.F.	84.91 S.F.	7.45 %
REAR	624.75 S.F.	151.57 S.F.	24.26 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3550.44 S.F.	477.93 S.F.	13.46 %
TOTAL SQ. M.	329.84 S.M.	44.40 S.M.	13.46 %



ROOF PLAN 'C'  
(UPGRADE REAR)

10' GROUND



UPGRADED REAR ELEVATION 'C'

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

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project name		project no.	
BAYVIEW WELLINGTON		16023	
GREEN VALLEY EAST		drawing no.	
BRADFORD, ONT.		26	
municipality		UPGRADED REAR ELEVATION 'C'	
date		file name	
JANUARY, 2017		16023-S38-6-10GRND	
checked by		scale	
RC		3/16" = 1'-0"	
drawn by		date	
WT		JAN 08-18	
checked by		no. description	
RC		1 ISSUED FOR CLIENT REVIEW	
checked by		2 REVISED AS PER ENG'S COMMENTS	
RC		3 ADD OPT. 9' BASEMENT	
checked by		4 REVISED AS PER ENG COMMENTS	
RC		5 10' GROUND FLOOR	
checked by		6	
RC		7	
checked by		8	
RC		9	

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10<sup>9</sup> GROUND

SEE DETAIL S4 FOR 9'-0"  
BASEMENT COND

REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

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**BAYVIEW WELLINGTON**

**VA3**  
**DESIGN**  
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Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.  
va3design.com

<b>BAYVIEW WELLINGTON</b>	<b>S38-6</b> BAROSSA 6
project name	project no
	municipality

date		checked by		scale		file name	
JANUARY, 2017		RC		3/16" = 1'-0"		16023-S38-6-10GRND	
drawn by		drawing no.					
WT		27					
GREEN VALLEY EAST BRADFORD, ONT.		UPGRADED REAR ELEVATION 'A' - W.O.D. COND.					

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9.	.	.
8.	.	.
7.	.	.
6.	.	.
5	10' GROUND FLOOR	MAY 26-21 KL
4	REVISED AS PER ENG COMMENTS	APR 08-21 RC
3	ADD OPT. 9' BASEMENT	APR 06-21 RC
2	REVISED AS PER ENG'S COMMENTS	JAN 08-18 RC
1	ISSUED FOR CLIENT REVIEW	.
no.	description	date
		bv

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REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

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**S38-6**  
BAROSSA 6

project no.  
16023

BRADFORD, ONT.

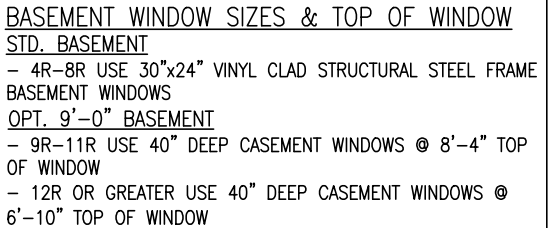
date JANUARY 2017

- W.O.D. COND.

oo

- Jun 22 2021 - 8:35 AM

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# 10<sup>9</sup> GROUND

UPGRADED REAR ELEVATION 'B'  
W.O.D. CONDITION

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	10' GROUND FLOOR	MAY 26-21	KL
4	REVISED AS PER ENG COMMENTS	APR 08-21	RC
3	ADD OPT. 9' BASEMENT	APR 06-21	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-6 'C' WOD W/8' 2ND & REAR UPG			
ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	646.33 S.F.	168.94 S.F.	26.14 %
LEFT SIDE	1139.68 S.F.	72.51 S.F.	6.36 %
RIGHT SIDE	1139.68 S.F.	84.91 S.F.	7.45 %
REAR	743.75 S.F.	171.67 S.F.	23.08 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3669.44 S.F.	498.03 S.F.	13.57 %
TOTAL SQ. M.	340.90 S.M.	46.27 S.M.	13.57 %

10' GROUND



UPGRADED REAR ELEVATION 'C'  
W.O.D. CONDITION

BASEMENT WINDOW SIZES & TOP OF WINDOW	
STD. BASEMENT	
- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS	
OPT. 9'-0" BASEMENT	
- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP OF WINDOW	
- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @ 6'-10" TOP OF WINDOW	

SEE DETAIL S4 FOR 9'-0"  
BASEMENT COND

REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

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		<div><div>V</div><div>A3</div></div> <div>DESIGN</div>			
		255 Consumers Rd Suite 120 Toronto, ON M2J 1N4 t 416.630.2255 f 416.630.4782 v3design.com			
		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			

# PRELIMINARY

SEE DETAIL S4 FOR 9'-0"  
BASEMENT COND

REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

**S38-6**  
BAROSSA 6

project no.	16023
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drawing no.  
30

without VA3 DESIGN's written permission

**BAYVIEW WELLINGTON**

**VALLEY EAST**

municipality  
**BRADFORD, ONT.**

date **JANUARY, 2017** **UPGRADED REAR ELEVATION 'A'**  
 drawn by **WT** checked by **RC** scale **3/16" = 1'-0"**  
 RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW Units 38' 16023-538-6-1-10RND.dwg - Tue

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s specifications, related documents and de

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All drawings

9.	.	.
8.	.	.
7.	.	.
6.	.	.
5	10' GROUND FLOOR	MAY 26-21 KL
4	REVISED AS PER ENG COMMENTS	APR 08-21 RC
3	ADD OPT. 9' BASEMENT	APR 06-21 RC
2	REVISED AS PER ENG'S COMMENTS	JAN 08-18 RC
1	ISSUED FOR CLIENT REVIEW	. . date by
no.	description	

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RETURN FRIEZE BOARD AND  
BANDING 4'-0" ALONG SIDES  
(TYP.)

PROVIDE 2"x4" P.T. WOOD \_\_\_\_\_  
HANDRAIL GUARD W/ 2"x2" P.T.  
WOOD PICKETS @ 4" MAX.

2"x6" P.T. CROSS BRACING

6"X6" P.T. WOOD POST  
C/W GALV. METAL CAP  
AND METAL SHOE SET INTO  
12" DIA. SONO TUBES TO  
EXTEND 6" ABOVE GRADE  
AND 5'-0" BELOW GRADE.

BRICK QUOINS (TYP.)  
— 5 BRICKS HIGH,  
1 1/2 BRICKS WIDE,  
1 BRICK BETWEEN,  
1/2" PROJECTION

—FACE BRICK (TYP.)

— BRICK SOLDIER w/  
KEYSTONE (1/2" PROJ.)  
(TYP.)

— PREFIN. MTL. FLASHING, W/  
CAULKING (TYP.)

— PRECAST CONC. SILL  
W/ 1/2" PROJ. (TYP.)

UPGRADED REAR ELEVATION 'A'  
W.O.B. CONDITION

# 10<sup>9</sup> GROUND

# PRELIMINARY

SEE DETAIL S4 FOR 9'-0"  
BASEMENT COND

REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

**S38-6**  
BAROSSA 6

project no.	16023
-------------	-------

COND.  
file name  
-6-10GRND  
21 - 8:35 AM

without VA3 DESIGN's written permission

**BAYVIEW WELLINGTON**

WALLEY EAST BRADFORD

2017 UPGRADED REAR ELEVATION  
checked by scale  
RC 3/16" = 1'-0"

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Specifications, related documents

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All dra

10'	GROUND FLOOR	MAY 26-21	KL
9	REVISED AS PER ENG COMMENTS	APR 08-21	RC
8			
7			
6			

3	ADD OPT. 9' BASEMENT	APR 06-21	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
0.	description	date	by

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# 10<sup>9</sup> GROUND

UPGRADED REAR ELEVATION 'B'  
W.O.B. CONDITION





UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S38-6 ELA W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	676.50 S.F.	160.83 S.F.	23.77 %
LEFT SIDE	1196.91 S.F.	72.51 S.F.	6.06 %
RIGHT SIDE	1196.91 S.F.	84.91 S.F.	7.09 %
REAR	654.50 S.F.	155.57 S.F.	23.77 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3724.82 S.F.	473.82 S.F.	12.72 %
TOTAL SQ. M.	346.04 S.M.	44.02 S.M.	12.72 %

## UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S38-6 EL.B W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	662.69 S.F.	136.66 S.F.	20.62 %
LEFT SIDE	1196.91 S.F.	72.51 S.F.	6.06 %
RIGHT SIDE	1196.91 S.F.	84.91 S.F.	7.09 %
REAR	654.50 S.F.	155.57 S.F.	23.77 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3711.01 S.F.	449.65 S.F.	12.12 %
TOTAL SQ. M.	344.76 S.M.	41.77 S.M.	12.12 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S38-6 E.L.C W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	676.08 S.F.	168.94 S.F.	24.99 %
LEFT SIDE	1194.43 S.F.	72.51 S.F.	6.07 %
RIGHT SIDE	1194.43 S.F.	84.91 S.F.	7.11 %
REAR	654.50 S.F.	155.57 S.F.	23.77 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3719.44 S.F.	481.93 S.F.	12.96 %
TOTAL SQ. M.	345.54 S.M.	44.77 S.M.	12.96 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S38-6 EL.C W/ 9' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	676.08 S.F.	168.94 S.F.	24.99 %
LEFT SIDE	1194.43 S.F.	72.51 S.F.	6.07 %
RIGHT SIDE	1194.43 S.F.	84.91 S.F.	7.11 %
REAR	654.50 S.F.	151.57 S.F.	23.16 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3719.44 S.F.	477.93 S.F.	12.85 %
TOTAL SQ. M.	345.54 S.M.	44.40 S.M.	12.85 %

## UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S38-6 ELA WOD W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	676.50 S.F.	160.83 S.F.	23.77 %
LEFT SIDE	1196.91 S.F.	72.51 S.F.	6.06 %
RIGHT SIDE	1196.91 S.F.	84.91 S.F.	7.09 %
REAR	773.50 S.F.	171.22 S.F.	22.14 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3843.82 S.F.	489.47 S.F.	12.73 %
TOTAL SQ. M.	357.10 S.M.	45.47 S.M.	12.73 %

## UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S38-6 EL.B WOD W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	662.69 S.F.	136.66 S.F.	20.62 %
LEFT SIDE	1196.91 S.F.	72.51 S.F.	6.06 %
RIGHT SIDE	1196.91 S.F.	84.91 S.F.	7.09 %
REAR	773.50 S.F.	171.22 S.F.	22.14 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3830.01 S.F.	465.30 S.F.	12.15 %
TOTAL SQ. M.	355.82 S.M.	43.23 S.M.	12.15 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S38-6 EL.C WOD W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	676.08 S.F.	168.94 S.F.	24.99 %
LEFT SIDE	1194.43 S.F.	72.51 S.F.	6.07 %
RIGHT SIDE	1194.43 S.F.	84.91 S.F.	7.11 %
REAR	773.50 S.F.	171.22 S.F.	22.14 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3838.44 S.F.	497.58 S.F.	12.96 %
TOTAL SQ. M.	356.60 S.M.	46.23 S.M.	12.96 %

## UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S38-6 'C' WOD W/9' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	676.08 S.F.	168.94 S.F.	24.99 %
LEFT SIDE	1194.43 S.F.	72.51 S.F.	6.07 %
RIGHT SIDE	1194.43 S.F.	84.91 S.F.	7.11 %
REAR	773.50 S.F.	171.67 S.F.	22.19 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3838.44 S.F.	498.03 S.F.	12.97 %
TOTAL SQ. M.	356.60 S.M.	46.27 S.M.	12.97 %

### UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S38-6 ELA WOB W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	676.50 S.F.	160.83 S.F.	23.77 %
LEFT SIDE	1196.91 S.F.	72.51 S.F.	6.06 %
RIGHT SIDE	1196.91 S.F.	84.91 S.F.	7.09 %
REAR	860.27 S.F.	230.00 S.F.	26.74 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3930.59 S.F.	548.25 S.F.	13.95 %
TOTAL SQ. M.	365.16 S.M.	50.93 S.M.	13.95 %

### UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S38-6 EL.B WOB W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	662.69 S.F.	136.66 S.F.	20.62 %
LEFT SIDE	1196.91 S.F.	72.51 S.F.	6.06 %
RIGHT SIDE	1196.91 S.F.	84.91 S.F.	7.09 %
REAR	860.27 S.F.	230.00 S.F.	26.74 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3916.78 S.F.	524.08 S.F.	13.38 %
TOTAL SQ. M.	363.88 S.M.	48.69 S.M.	13.38 %

### UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))










S38-6 EL.C WOB W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	676.08 S.F.	168.94 S.F.	24.99 %
LEFT SIDE	1194.43 S.F.	72.51 S.F.	6.07 %
RIGHT SIDE	1194.43 S.F.	84.91 S.F.	7.11 %
REAR	860.27 S.F.	230.00 S.F.	26.74 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3925.21 S.F.	556.36 S.F.	14.17 %
TOTAL SQ. M.	364.66 S.M.	51.69 S.M.	14.17 %

### UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S38-6 'C' WOB W/9' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	676.08 S.F.	168.94 S.F.	24.99 %
LEFT SIDE	1194.43 S.F.	72.51 S.F.	6.07 %
RIGHT SIDE	1194.43 S.F.	84.91 S.F.	7.11 %
REAR	860.27 S.F.	226.00 S.F.	26.27 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3925.21 S.F.	552.36 S.F.	14.07 %
TOTAL SQ. M.	364.66 S.M.	51.32 S.M.	14.07 %

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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S38-6 EL.A WOB W/ 9' BSMT+8' 2ND	ENERGY EFFICIENCY – OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	646.75 S.F.	160.83 S.F.	24.87 %	
LEFT SIDE	1141.91 S.F.	72.51 S.F.	6.35 %	
RIGHT SIDE	1141.91 S.F.	84.91 S.F.	7.44 %	
REAR	875.15 S.F.	230.00 S.F.	26.28 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		
TOTAL SQ. FT.	3805.72 S.F.	548.25 S.F.	14.41 %	
TOTAL SQ. M.	353.56 S.M.	50.93 S.M.	14.41 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S38-6 EL.B WOB W/ 9' BSMT+8' 2ND	ENERGY EFFICIENCY – OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	632.94 S.F.	136.66 S.F.	21.59 %	
LEFT SIDE	1141.91 S.F.	72.51 S.F.	6.35 %	
RIGHT SIDE	1141.91 S.F.	84.91 S.F.	7.44 %	
REAR	875.15 S.F.	230.00 S.F.	26.28 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		
TOTAL SQ. FT.	3791.91 S.F.	524.08 S.F.	13.82 %	
TOTAL SQ. M.	352.28 S.M.	48.69 S.M.	13.82 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S38-6 EL.C WOB W/ 9' BSMT+8' 2ND	ENERGY EFFICIENCY – OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	646.33 S.F.	168.94 S.F.	26.14 %	
LEFT SIDE	1139.68 S.F.	72.51 S.F.	6.36 %	
RIGHT SIDE	1139.68 S.F.	84.91 S.F.	7.45 %	
REAR	875.15 S.F.	230.00 S.F.	26.28 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		
TOTAL SQ. FT.	3800.84 S.F.	556.36 S.F.	14.64 %	
TOTAL SQ. M.	353.11S.M.	51.69 S.M.	14.64 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S38-6 EL.C WOB W/ 9' BSMT+8' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	646.33 S.F.	168.94 S.F.	26.14 %	
LEFT SIDE	1139.68 S.F.	72.51 S.F.	6.36 %	
RIGHT SIDE	1139.68 S.F.	84.91 S.F.	7.45 %	
REAR	875.15 S.F.	226.00 S.F.	25.82 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		
TOTAL SQ. FT.	3800.84 S.F.	552.36 S.F.	14.53 %	
TOTAL SQ. M.	353.11S.M.	51.32 S.M.	14.53 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S38-6 EL.A WOB W/ 9' BSMT+2ND	ENERGY EFFICIENCY – OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	676.50 S.F.	160.83 S.F.	23.77 %	
LEFT SIDE	1196.91 S.F.	72.51 S.F.	6.06 %	
RIGHT SIDE	1196.91 S.F.	84.91 S.F.	7.09 %	
REAR	904.90 S.F.	230.00 S.F.	25.42 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		
TOTAL SQ. FT.	3975.22 S.F.	548.25 S.F.	13.79 %	
TOTAL SQ. M.	369.31S.M.	50.93 S.M.	13.79 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S38-6 EL.B WOB W/ 9' BSMT+2ND	ENERGY EFFICIENCY – OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	662.69 S.F.	136.66 S.F.	20.62 %	
LEFT SIDE	1196.91 S.F.	72.51 S.F.	6.06 %	
RIGHT SIDE	1196.91 S.F.	84.91 S.F.	7.09 %	
REAR	904.90 S.F.	230.00 S.F.	25.42 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		
TOTAL SQ. FT.	3961.41 S.F.	524.08 S.F.	13.23 %	
TOTAL SQ. M.	368.02 S.M.	48.69 S.M.	13.23 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S38-6 EL.C WOB W/ 9' BSMT+2ND	ENERGY EFFICIENCY – OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	676.08 S.F.	168.94 S.F.	24.99 %	
LEFT SIDE	1194.43 S.F.	72.51 S.F.	6.07 %	
RIGHT SIDE	1194.43 S.F.	84.91 S.F.	7.11 %	
REAR	904.90 S.F.	230.00 S.F.	25.42 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		
TOTAL SQ. FT.	3969.84 S.F.	556.36 S.F.	14.01 %	
TOTAL SQ. M.	368.81S.M.	51.69 S.M.	14.01 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
38-6 EL.C WOB W/ 9' BSMT+2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	676.08 S.F.	168.94 S.F.	24.99 %	
LEFT SIDE	1194.43 S.F.	72.51 S.F.	6.07 %	
RIGHT SIDE	1194.43 S.F.	84.91 S.F.	7.11 %	
REAR	904.90 S.F.	226.00 S.F.	24.98 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		
TOTAL SQ. FT.	3969.84 S.F.	552.36 S.F.	13.91 %	
TOTAL SQ. M.	368.81S.M.	51.32 S.M.	13.91 %	

10' GROUND

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

S38-6

BAROSSA 6

BAYVIEW WELLINGTON

GREEN VALLEY EAST

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date JANUARY, 2017

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checked by RC

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MAY 26-21 KL

APR 08-21 RC

APR 06-21 RC

JAN 08-18 RC

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