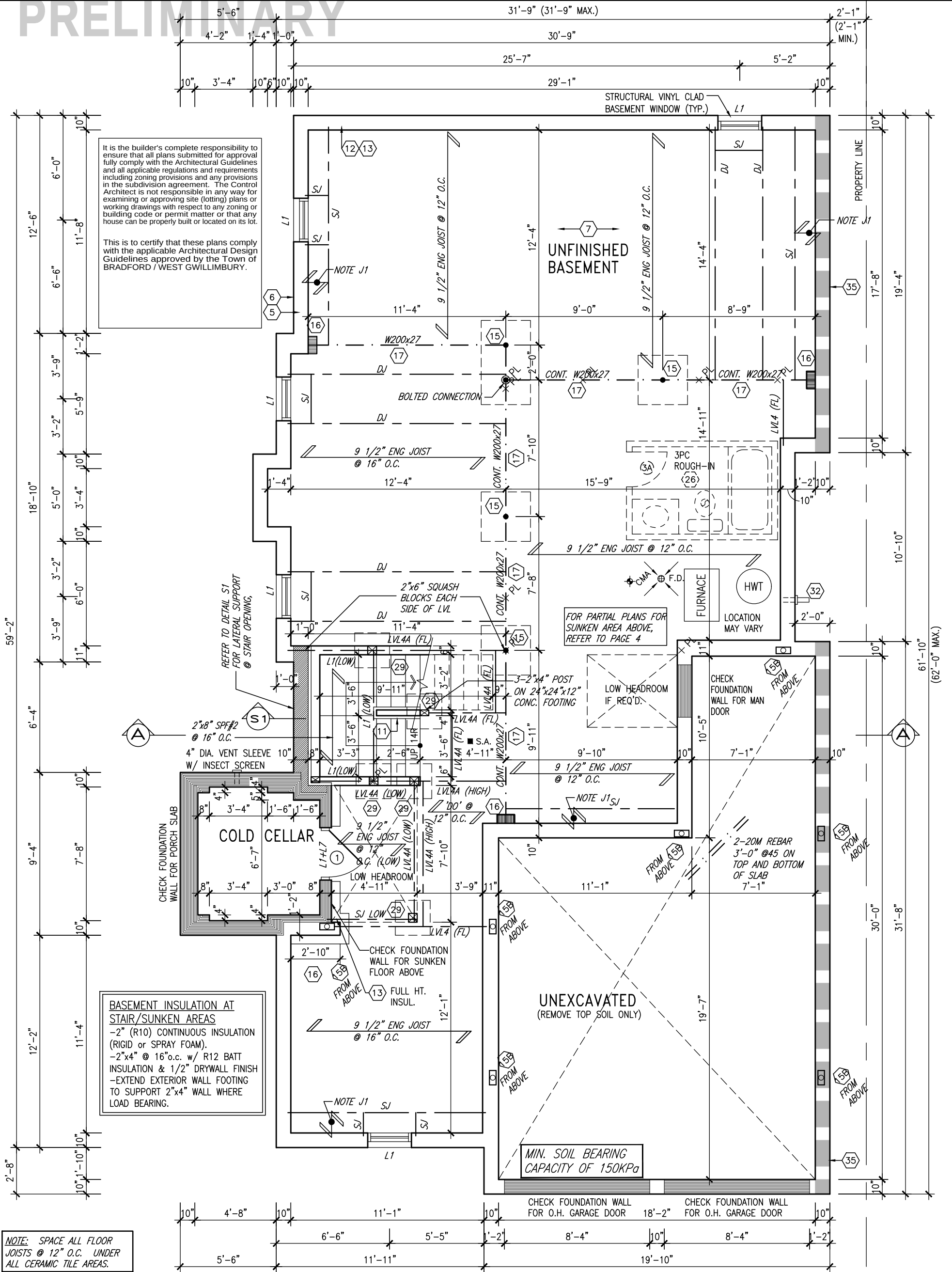


PRELIMINARY



NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

BASEMENT PLAN 'A'

10' GROUND

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
4	10' GROUND FLOOR	JUN 02-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 02-21	KL
2	REVISED AS PER ENG'S COMMENTNS	JAN 11-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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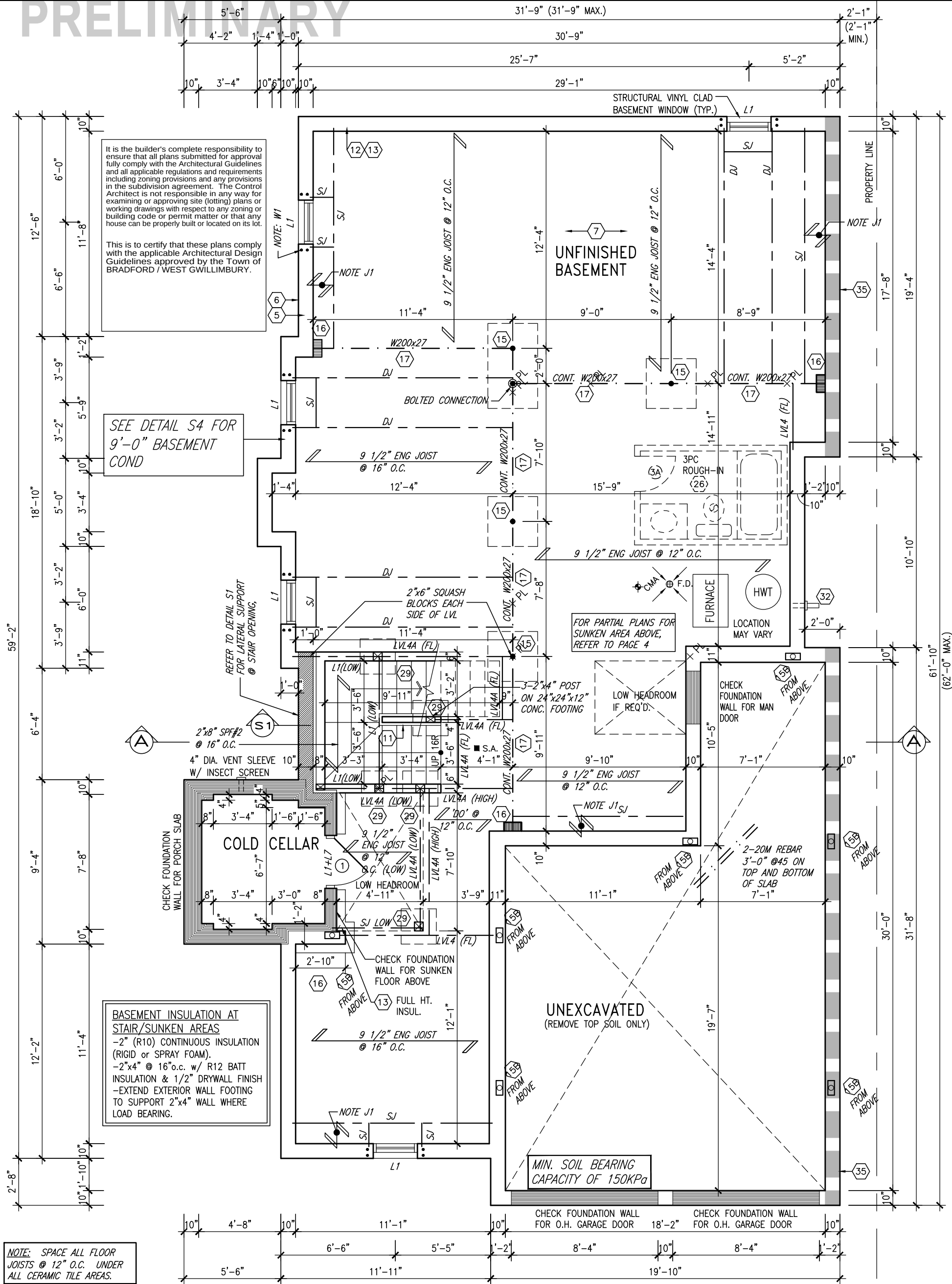
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BAYVIEW WELLINGTON

S38-7C
BAROSSA 7

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	JANUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	file name	16023-S38-7C-10GRND	drawing no.	1
BASEMENT PLAN ELEV. 'A'					
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PRELIMINARY



NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE W1 PROVIDE 2-15M FULL HEIGHT VERTICAL REBARS EACH SIDE OF OPENING + 2-15M HORIZ. REBARS BELOW AND EXTEND 24" BEYOND OPENING PROVIDE 3" CLEAR COVER FROM SOIL SIDE

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

BASEMENT PLAN 'A' (9'-0" BASEMENT)

10' GROUND

9.	.	.
8.	.	.
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6.	.	.
5.	.	.
4.	10' GROUND FLOOR	JUN 02-21 KL
3.	ADDED OPT. 9' BASEMENT	JUN 02-21 KL
2.	REVISED AS PER ENG'S COMMENTNS	JAN 11-18 RC
1.	ISSUED FOR CLIENT REVIEW	.
no.	description	date by

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BAYVIEW WELLINGTON

S38-7C
BAROSSA 7

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	JANUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	file name	16023-S38-7C-10GRND	drawing no.	1A
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10⁹ GROUND

NOTE:
REFER TO ROOF TRUSS MANUF. FOR
ROOF TRUSS LAYOUTS & BEAM SIZES.

 INDICATES REDUCED SIDE YARD

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8	.	.	.
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5	.	.	.
4	10' GROUND FLOOR	JUN 02-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 02-21	KL
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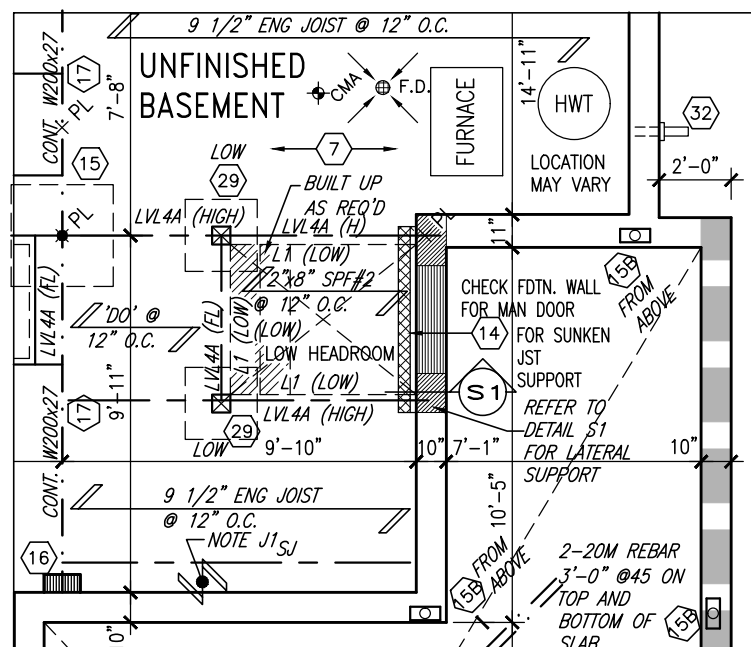
S38-7C
BAROSSA 7

project name GREEN VALLEY EAST		municipality BRADFORD, ONT.		project no. 16023	
date JANUARY, 2017		SECOND FLOOR PLAN ELEV. 'A'			
drawing no.		drawing no.			
drawn by WT		checked by RC		scale 3/16" = 1'-0"	
				file name 16023-S38-7C-10GRND	
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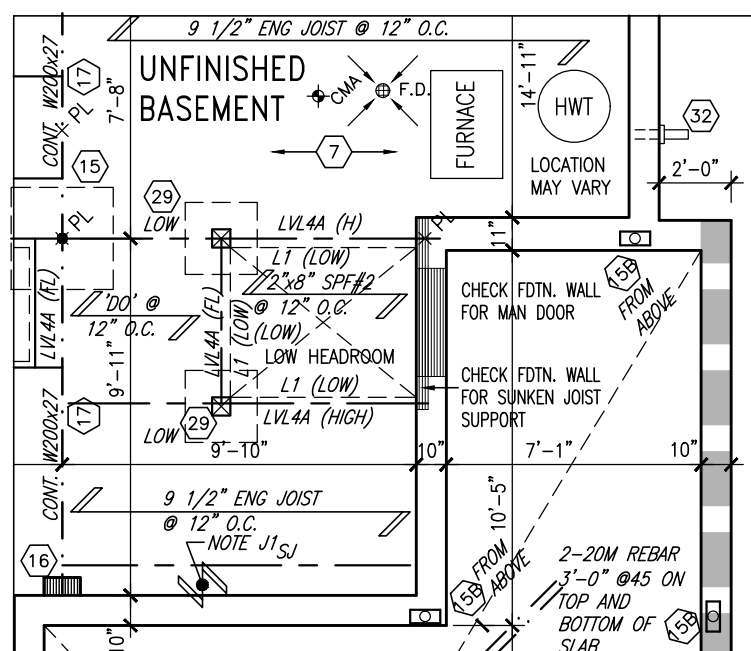
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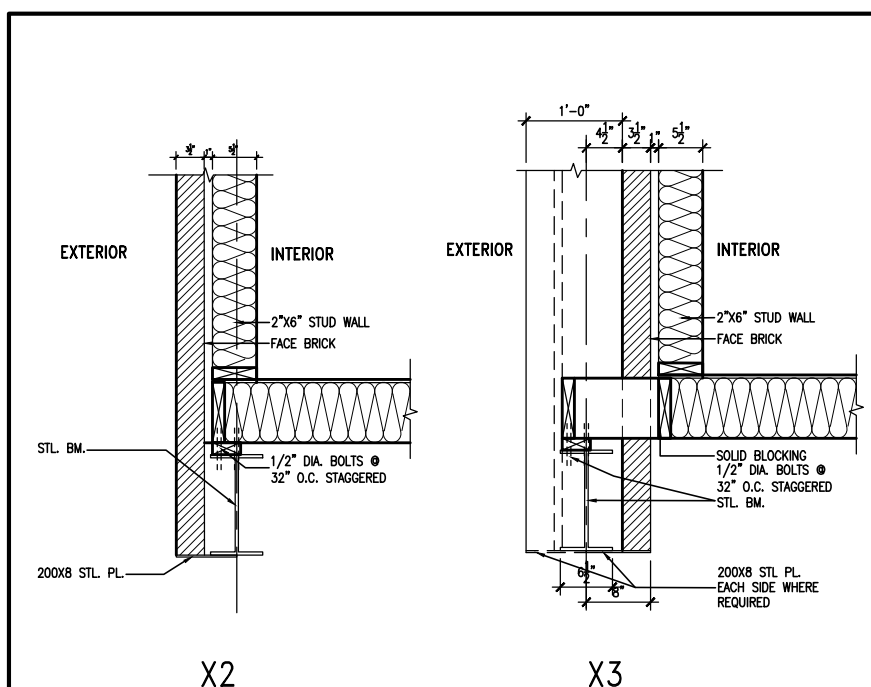
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MUDROOM SUNKEN > 1R



MUDROOM SUNKEN 1R



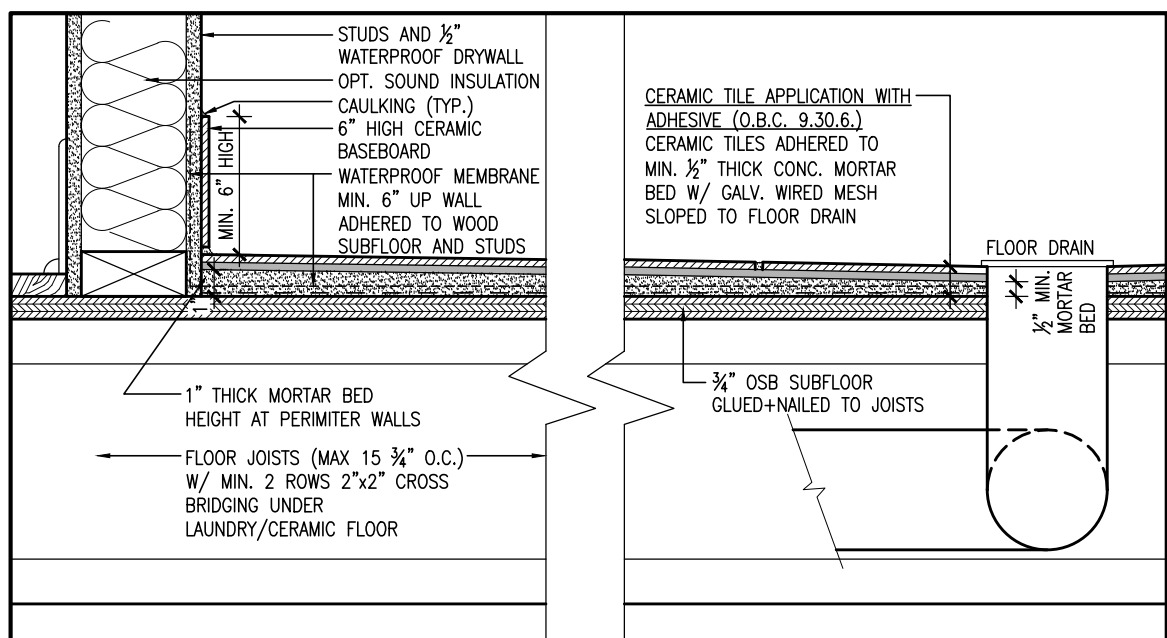
ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)

ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED. ROUGH-IN SHALL INCLUDE:

- A minimum 200 amp Panelboard,
- Conduit that is not less than 1/16" (27mm) trade size,
- A square 4 1/16" (119mm) trade size electrical outlet box.
- Flameproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.

REFER TO 2008 OBC, 9.34.4.

AREA CALCULATIONS			
	ELEV. A	ELEV. B	ELEV. C
GROUND FLOOR AREA	1399.8 SF	1399.8 SF	1399.8 SF
SECOND FLOOR AREA	1545.3 SF	1545.3 SF	1542.7 SF
SUBTOTAL	2945.1 SF	2945.1 SF	2942.5 SF
DEDUCT ALL OPENINGS	14.6 SF	14.6 SF	14.6 SF
TOTAL NET AREA	2931 SF	2931 SF	2928 SF
	272.3 m2	272.3 m2	272.0 m2
FINISHED BSMT AREA	0 SF	0 SF	0 SF
TOTAL NET AREA	2931 SF	2931 SF	2928 SF
W/ FIN BSMT	272.3 m2	272.3 m2	272.0 m2
COVERAGE W/O PORCH	1879.6 SF	1879.6 SF	1879.6 SF
	174.6 m2	174.6 m2	174.6 m2
COVERAGE W/PORCH	1948.9 SF	1941.3 SF	1948.9 SF
	181.1 m2	180.3 m2	181.1 m2



DETAIL THRU SLOPED CERAMIC FLOOR IN LAUNDRY

10⁹ GROUND

9	.	.	.		VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 vo3design.com	BAYVIEW WELLINGTON		S38-7C BAROSSA 7
8	.	.	.			project name	municipality	project no.
7	.	.	.			GREEN VALLEY EAST	BRADFORD, ONT.	16023
6	.	.	.			date	PART. SUNKEN MUD FLOOR PLANS	
5	.	.	.			JANUARY, 2017	drawing no.	
4	10" GROUND FLOOR	JUN 02-21	KL			drawn by	checked by	scale
3	ADDED OPT. 9' BASEMENT	JUN 02-21	KL		RC	3/16" = 1'-0"		
2	REVISED AS PER ENG'S COMMETNS	JAN 11-18	RC			file name		
1	ISSUED FOR CLIENT REVIEW	.	.			16023-S38-7C-10GRND		
no.	description	date	by	RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-7C-10GRND.dwg - Tue - Jun 22 2021 - 11:19 AM				

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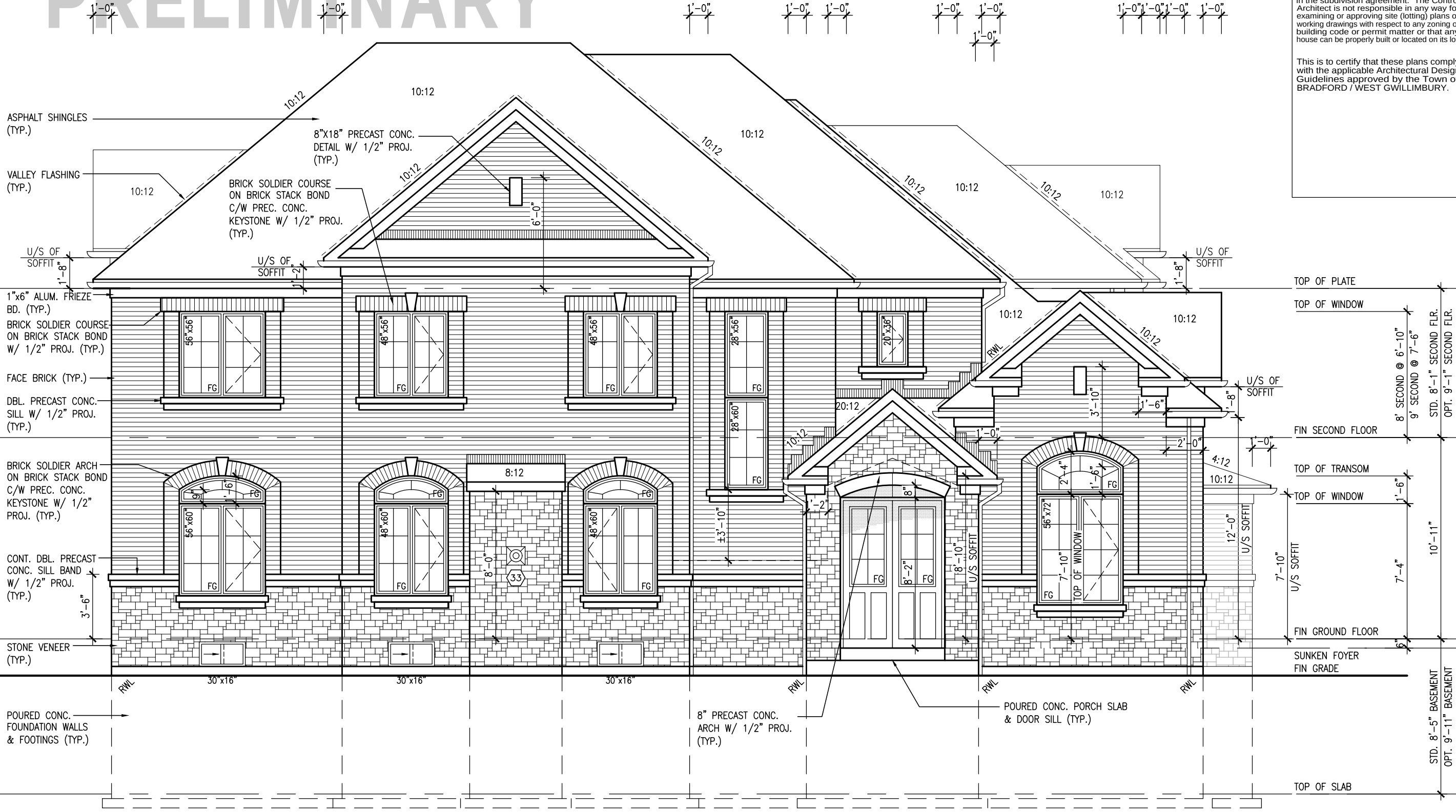
PRELIMINARY

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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FLANKAGE ELEVATION 'A'

10' GROUND

9

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no.

description

date

by

10' GROUND FLOOR

ADDED OPT. 9' BASEMENT

REVISED AS PER ENG'S COMMENTS

ISSUED FOR CLIENT REVIEW

JUN 02-21

JUN 02-21

JAN 11-18

KL

KL

RC

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project name

GREEN VALLEY EAST

project no.

16023

date

JANUARY, 2017

drawn by

WT

checked by

RC

scale

3/16" = 1'-0"

drawn by

WT

checked by

RC

project no.

16023

drawing no.

6

project name

S38-7C BAROSSA 7

project no.

16023

drawing no.

6

project name

BAYVIEW WELLINGTON

project no.

16023

drawing no.

6

project name

FLANKAGE ELEVATION 'A'

project no.

16023

drawing no.

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FLANKAGE ELEVATION 'A'

project no.

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drawing no.

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project name

FLANKAGE ELEVATION 'A'

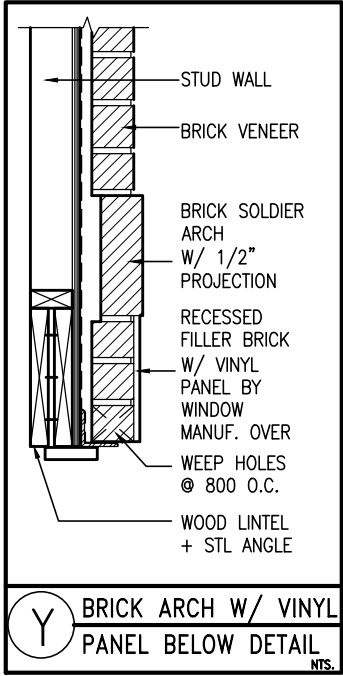
project no.

16023

drawing no.

6

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-7C EL-A W/ 8' SECOND			
ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	666.75 S.F.	67.77 S.F.	10.16 %
LEFT SIDE	1219.17 S.F.	260.00 S.F.	21.33 %
RIGHT SIDE	1219.17 S.F.	81.28 S.F.	6.67 %
REAR	666.75 S.F.	171.49 S.F.	25.72 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3771.84 S.F.	580.54 S.F.	15.39 %
TOTAL SQ. M.	350.41S.M.	53.93 S.M.	15.39 %



REAR ELEVATION 'A'

10' GROUND

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

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S38-7C

BAROSSA 7

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD, ONT.

project no. 16023

project name BAROSSA 7

date JANUARY, 2017

checked by RC

drawn by WT

scale 3/16" = 1'-0"

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drawn on Jun 22 2021 11:19 AM

10' GROUND FLOOR

3 ADDED OPT. 9' BASEMENT

2 REVISED AS PER ENG'S COMMENTS

1 ISSUED FOR CLIENT REVIEW

no. description

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4 JUN 02-21 KL

3 JUN 02-21 KL

2 JAN 11-18 RC

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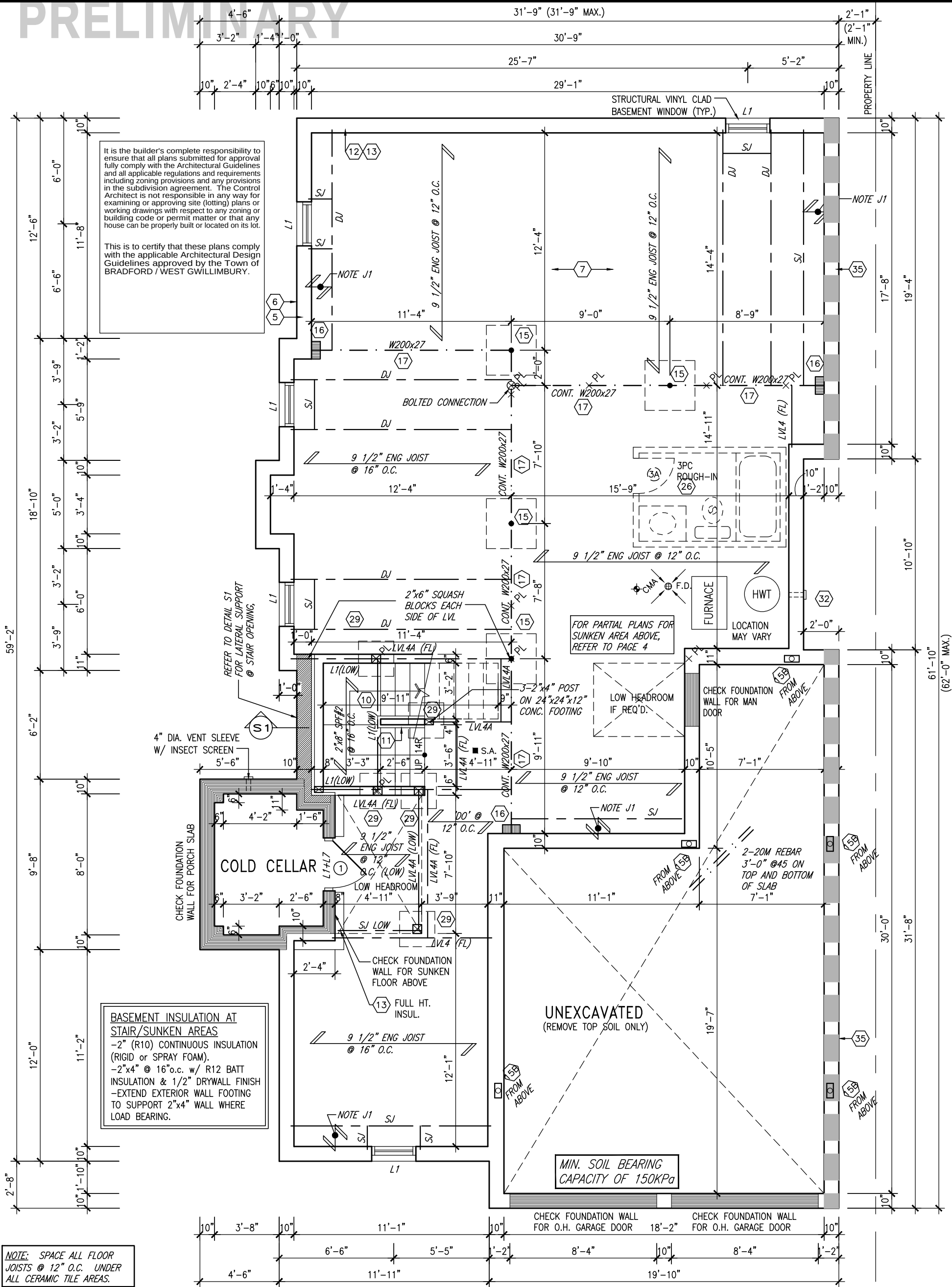
scale 3/16" = 1'-0"

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PRELIMINARY



BASEMENT PLAN 'B'

10' GROUND

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

9	.	.	.
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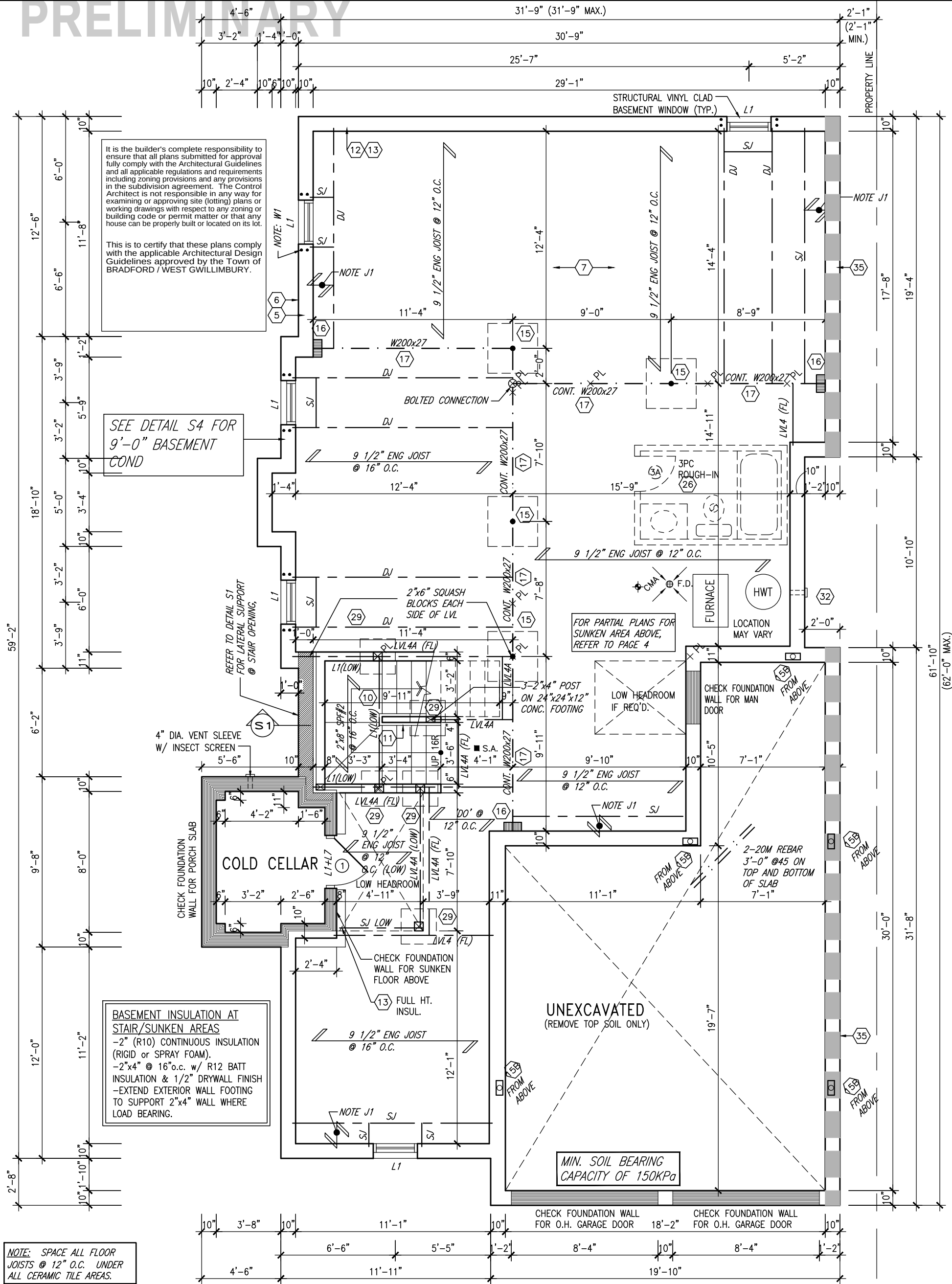
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project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.
date	JANUARY, 2017	checked by	RC
drawn by	WT	scale	3/16" = 1'-0"
BASEMENT PLAN ELEV. 'B'		file name	16023-S38-7C-10GRND
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		drawing no.	9

PRELIMINARY



BASEMENT PLAN 'B'
(9'-0" BASEMENT)

10' GROUND

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4	10' GROUND FLOOR	JUN 02-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 02-21	KL
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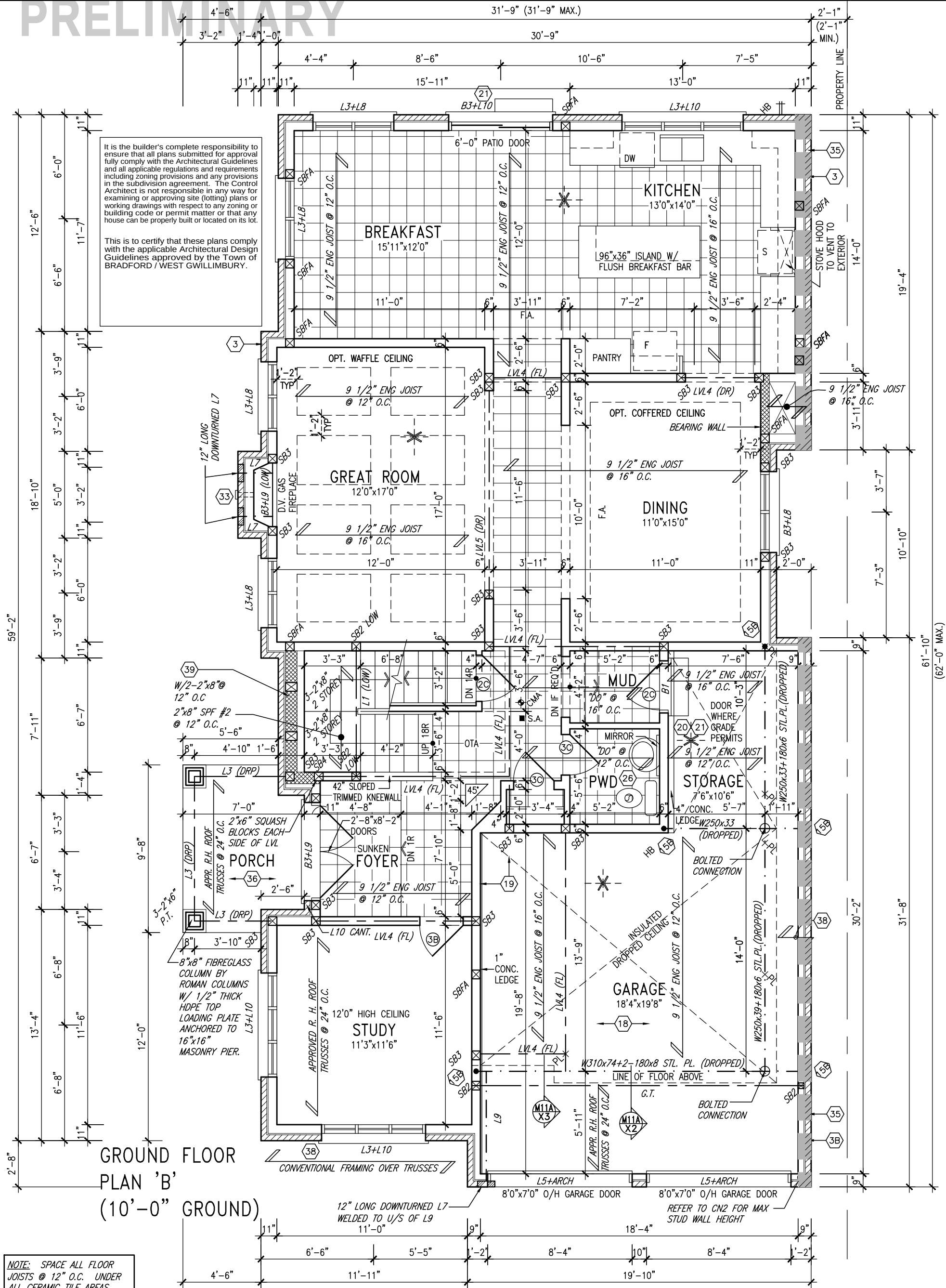
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S38-7C
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drawn by	WT	file name	16023-S38-7C-10GRND	drawing no.	9A
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PRELIMINARY



NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

OUTDOOR AIR INTAKE SEPARATION

ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

INDICATES REDUCED SIDE YARD

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

10' GROUND

9	.	.	.
8	.	.	.
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5	.	.	.
4	10' GROUND FLOOR	JUN 02-21	KL
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S38-7C
BAROSSA 7

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date	JANUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	scale	3/16" = 1'-0"	file name	16023-S38-7C-10GRND
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10

Floor Plan Details:

- Master Bedroom:** 13'0"x17'6". Features include "APPROVED RAISED HEEL ROOF TRUSSES @ 24\" O.C. (STEPPED FOR OPT. TRAY CLG)", "OPT. 12\" RAISED TRAY CEILING", "G.T. BY TRUSS MANUF. (STEPPED FOR OPT. TRAY CLG)", "WIC", and "MIRROR".
- Bedroom 2:** 11'0"x12'6". Features include "APPROVED RAISED HEEL ROOF TRUSSES @ 24\" O.C.", "G.T. BY TRUSS MANUF.", "WIC", and "S.A.". A note says "REFER TO GB NOTE BELOW".
- Bedroom 3:** 11'0"x12'6". Features include "APPROVED RAISED HEEL ROOF TRUSSES @ 24\" O.C.", "G.T. BY TRUSS MANUF.", "WIC", and "S.A.". A note says "REFER TO GB NOTE BELOW".
- Bedroom 4:** 12'10"x11'6". Features include "G.T. BY TRUSS MANUF.", "WIC", "MIRROR", and "S.A.". A note says "OPT. DROPPED COFFERED CEILING".
- Bathrooms:** Includes a "SHARED BATH" and an "ENSUITE" with a "JACK TRUSSES" area.
- Laundry Room:** Located between the Master Bedroom and Bedroom 4, featuring a washer/dryer area ("UPPERS") and a linen closet.
- Other Areas:** Includes a "LINEN" closet, "STORAGE", and various closets labeled "WIC" (Walk-In Closet).
- Structural Notes:** Multiple references to "APPROVED RAISED HEEL ROOF TRUSSES @ 24\" O.C." and "G.T. BY TRUSS MANUF." are present throughout the plan.
- Dimensions:** Extensive wall and room dimensions are provided, such as 13'-0", 17'-6", 11'-0", 12'-6", etc.

SECOND FLOOR PLAN 'B'

10⁹ GROUND

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

NOTE:
REFER TO ROOF TRUSS MANUF. FOR
ROOF TRUSS LAYOUTS & BEAM SIZES.

INDICATES REDUCED SIDE YARD

9	.	.	.
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4	10' GROUND FLOOR	JUN 02-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 02-21	KL
2	REVISED AS PER ENG'S COMMENTNS	JAN 11-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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BAYVIEW WELLINGTON

S38-7C
BAROSSA 7

project name GREEN VALLEY EAST		municipality BRADFORD, ONT.		project no. 16023	
date JANUARY, 2017		SECOND FLOOR PLAN ELEVATION 'B'			drawing no. 11
drawn by WT	checked by RC	scale 3/16" = 1'-0"	file name 16023-S38-7C-10GRND		
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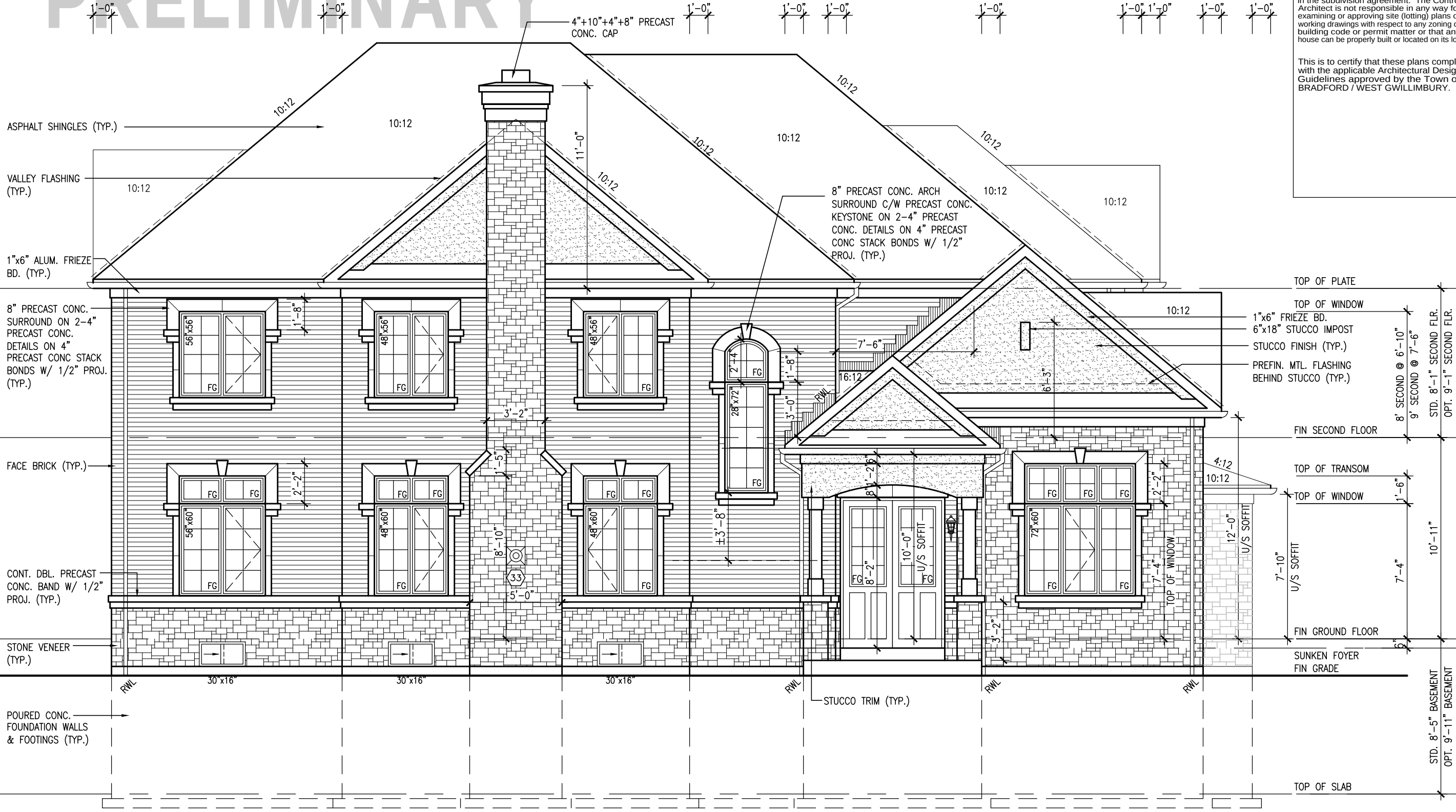
PRELIMINARY

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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FLANKAGE ELEVATION 'B'

10' GROUND

S38-7C
BAROSSA 7

BAYVIEW WELLINGTON

project no. 16023
municipality BRADFORD, ONT.
project name GREEN VALLEY EAST
date JANUARY, 2017
drawn by WT
checked by RC
scale 3/16" = 1'-0"

FLANKAGE ELEVATION 'B'

16023-S38-7C-10GRND

file name
16023-S38-7C-10GRND.dwg
date
Jun 22 2021
time
11:19 AM

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no.	description	date	by
9.			
8.			
7.			
6.			
5.			
4.	10' GROUND FLOOR	JUN 02-21	KL
3.	ADDED OPT. 9' BASEMENT	JUN 02-21	KL
2.	REVISED AS PER ENG'S COMMENTS	JAN 11-18	RC
1.	ISSUED FOR CLIENT REVIEW		

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BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)

45 MINUTE FIRE RATED WALL

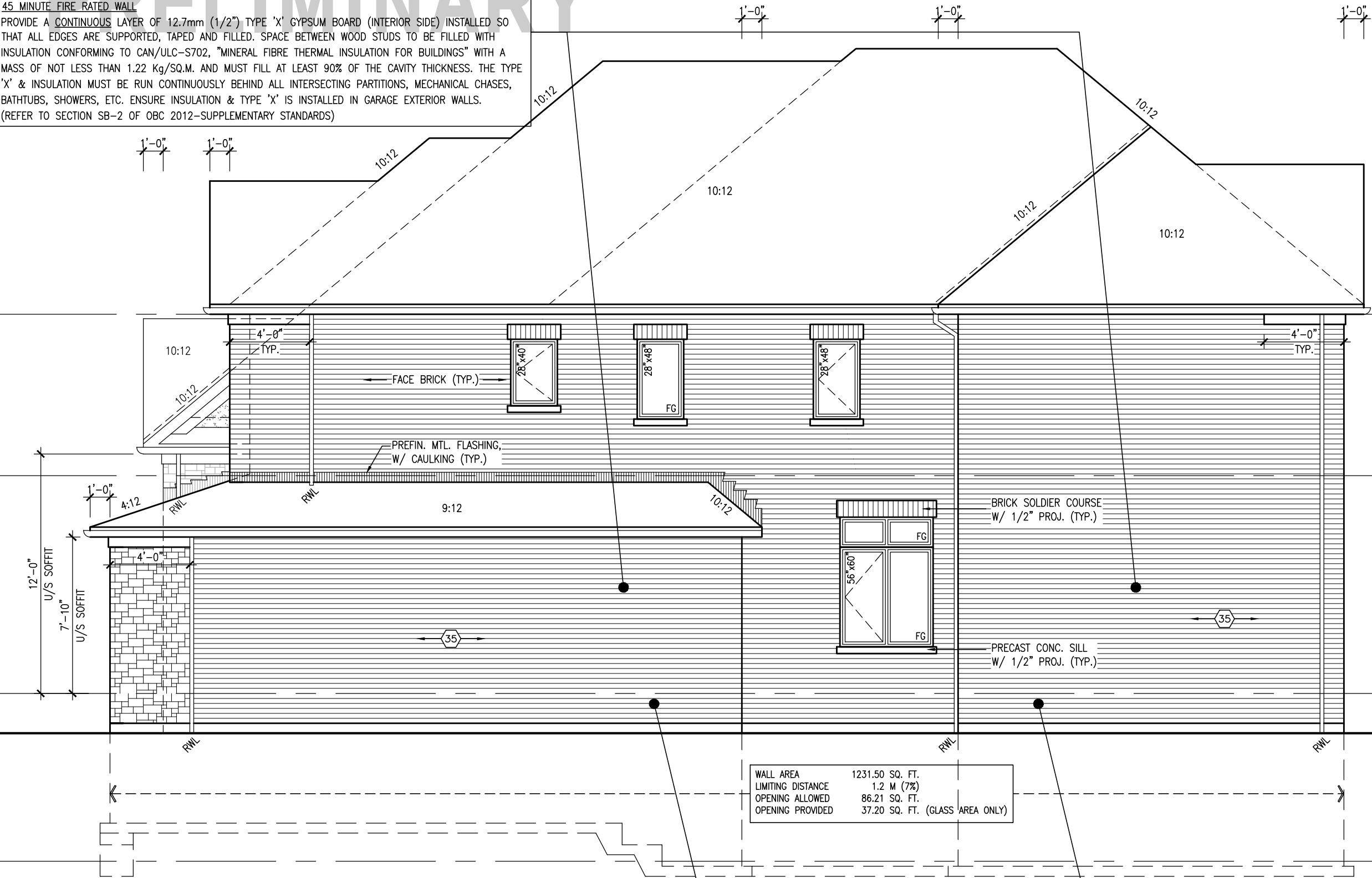
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS. (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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TOP OF PLATE
TOP OF WINDOW
FIN SECOND FLOOR
TOP OF TRANSOM
TOP OF WINDOW
FIN GROUND FLOOR
FIN GRADE
U/S OF FTG. MIN.
TOP OF SLAB

8' SECOND @ 6'-10"
9' SECOND @ 7'-6"
STD. 8'-1" SECOND FLR.
OPT. 9'-1" SECOND FLR.

1'-6"
7'-4"
10'-11"

5'-0" MIN.
STD. 8'-5" BASEMENT
OPT. 9'-11" BASEMENT

WALL AREA	1231.50 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	86.21 SQ. FT.
OPENING PROVIDED	37.20 SQ. FT. (GLASS AREA ONLY)

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE) 45 MINUTE FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

BAYVIEW WELLINGTON

S38-7C
BAROSSA 7

project name
GREEN VALLEY EAST
municipality
BRADFORD, ONT.
project no.
16023
drawing no.
14

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no.	description	date	by
9			
8			
7			
6			
5			
4	10' GROUND FLOOR	JUN 02-21 KL	
3	ADDED OPT. 9' BASEMENT	JUN 02-21 KL	
2	REVISED AS PER ENG'S COMMENTS	JAN 11-18 RC	
1	ISSUED FOR CLIENT REVIEW		

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	666.75 S.F.	74.33 S.F.	11.15 %
LEFT SIDE	1219.17 S.F.	256.60 S.F.	21.05 %
RIGHT SIDE	1219.17 S.F.	81.28 S.F.	6.67 %
REAR	666.75 S.F.	172.78 S.F.	25.91 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3771.84 S.F.	584.99 S.F.	15.51 %
TOTAL SQ. M.	350.41 S.M.	54.35 S.M.	15.51 %

STUCCO FINISH (TYP.)
PREFIN. MTL. FLASHING
BEHIND STUCCO (TYP.)
1"x6" ALUM. FRIEZE
BD. (TYP.)

8" PRECAST CONC.
SURROUND ON 2-4"
PRECAST CONC. DETAILS
ON 4" PRECAST CONC
STACK BONDS W/ 1/2"
PROJ. (TYP.)

FACE BRICK (TYP.)

POURED CONC. FOUNDATION
WALLS & FOOTINGS (TYP.)



REAR ELEVATION 'B'

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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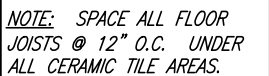
TOP OF PLATE	
TOP OF WINDOW	
FIN SECOND FLOOR	8' SECOND @ 6'-10"
TOP OF TRANSOM	9' SECOND @ 7'-6"
TOP OF WINDOW	STD. 8'-1" SECOND FLR.
	OPT. 9'-1" SECOND FLR.
FIN GROUND FLOOR	
FIN GRADE	
TOP OF SLAB	

S38-7C BAROSSA 7		BAYVIEW WELLINGTON		GREEN VALLEY EAST		BRADFORD, ONT.		REAR ELEVATION 'B'	
project no.	16023	project name	GREEN VALLEY EAST	date	JANUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawing no.	15	municipality	BRADFORD, ONT.	drawn by	WT	checked by	RC	scale	3/16" = 1'-0"
10' GROUND FLOOR		JUN 02-21 KL		JUN 02-21 KL		JAN 11-18 RC		JAN 11-18 RC	
3 ADDED OPT. 9' BASEMENT		JUN 02-21 KL		JUN 02-21 KL		JAN 11-18 RC		JAN 11-18 RC	
2 REVISED AS PER ENG'S COMMENTS		JUN 02-21 KL		JUN 02-21 KL		JAN 11-18 RC		JAN 11-18 RC	
1 ISSUED FOR CLIENT REVIEW		JUN 02-21 KL		JUN 02-21 KL		JAN 11-18 RC		JAN 11-18 RC	
no. description		date		date		date		date	

10' GROUND

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST WILLIMBURY.



NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

BASEMENT PLAN 'C'

10' GROUND

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
4	10' GROUND FLOOR	JUN 02-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 02-21	KL
2	REVISED AS PER ENG'S COMMITMS	JAN 11-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
	no. description	date	by

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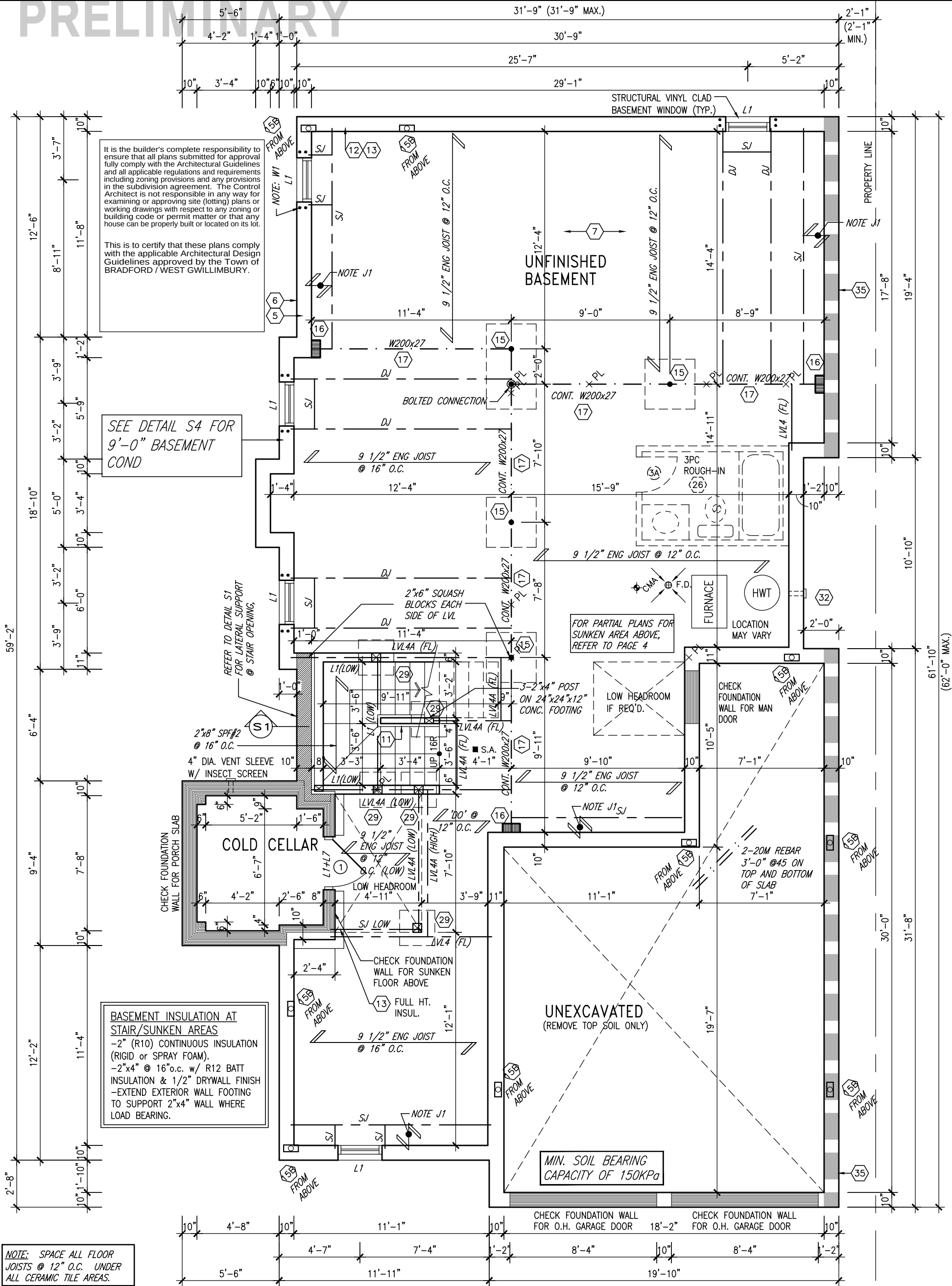
BAYVIEW WELLINGTON

S38-7C
BAROSSA 7

project name	municipality		project no.
GREEN VALLEY EAST	BRADFORD, ONT.		16023
date	BASEMENT PLAN ELEV. 'C'		drawing no.
JANUARY, 2017			
drawn by	checked by	scale	file name
WT	RC	3/16" = 1'-0"	16023-S38-7C-10GRND
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PRELIMINARY



NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE W1: PROVIDE 2-15M FULL HEIGHT VERTICAL REBARS EACH SIDE OF OPENING + 2-15M HORIZ. REBARS BELOW AND EXTEND 24" BEYOND OPENING PROVIDE 3" CLEAR COVER FROM SOIL SIDE

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

BASEMENT PLAN 'C'
(9'-0" BASEMENT)

10' GROUND

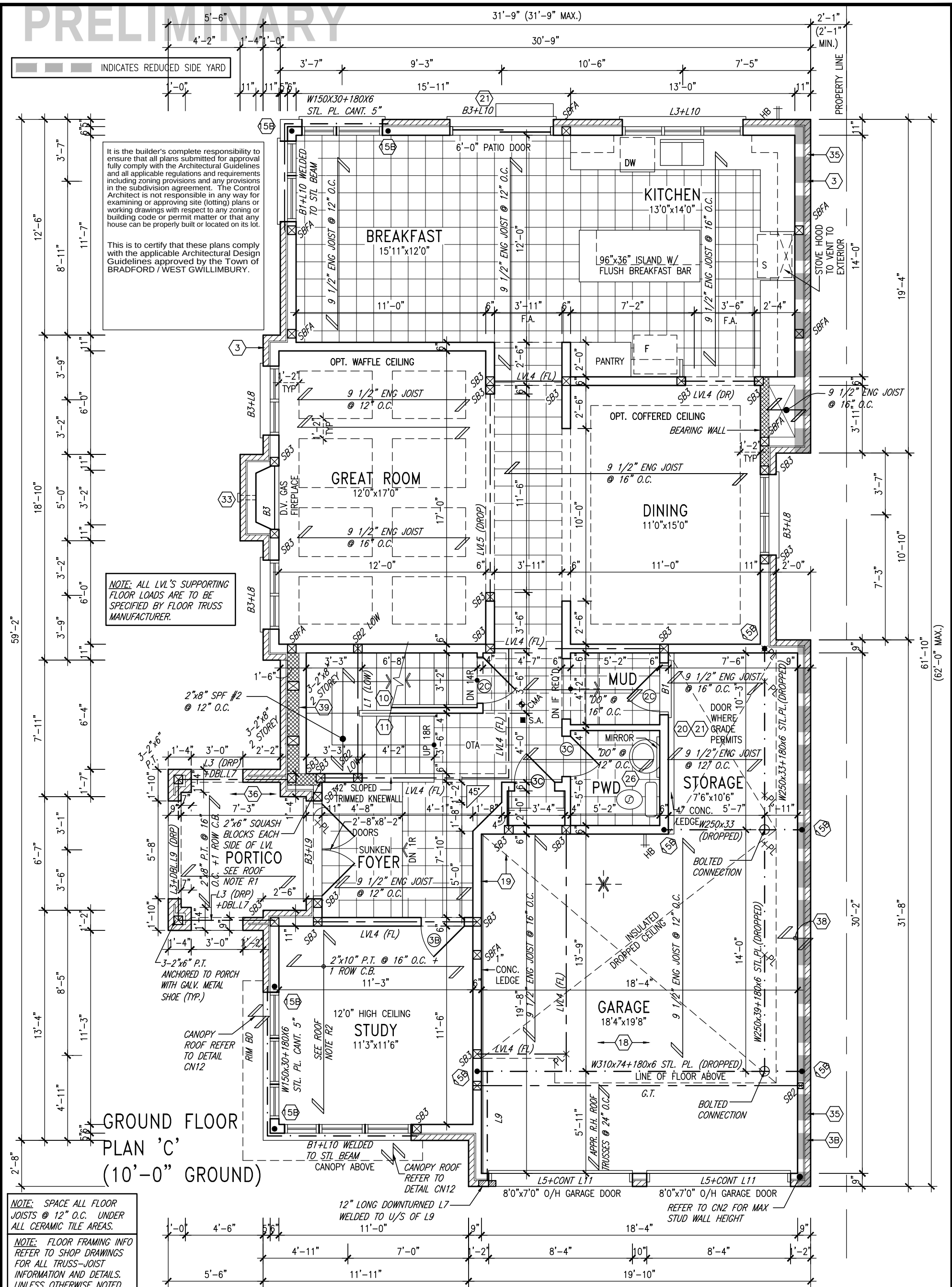
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4	10' GROUND FLOOR	JUN 02-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 02-21	KL
2	REVISED AS PER ENG'S COMMENTNS	JAN 11-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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BAYVIEW WELLINGTON		S38-7C BAROSSA 7	
project name GREEN VALLEY EAST	municipality BRADFORD, ONT.	project no. 16023	drawing no. 16A
date JANUARY, 2017	BASEMENT PLAN ELEV. 'C'		
drawn by WT	checked by RC	scale 3/16" = 1'-0"	file name 16023-S38-7C-10GRND
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NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST. 3.0m
• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m
KIT-EX-NOTE-2020.dwg

ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x4" @ 12" O.C. DIAGONALLY CUT CROSS PURLINS W/ 5/8" EXTERIOR GRADE SHEATHING W/ SINGLE PLY ROOF MEMBRANE

FLAT ROOF OVER LIVING SPACE- R2
2 PLY WATERPROOFING MEMBRANE ON 5/8" EXT. GRADE PLYWD. ON 2"x4" CROSS PURLINS (CUT DIAGONALLY @ 12" O.C. ON 2"x10" JOISTS @ 12" O.C. FLAT ROOF TO BE INSULATED W/ SPRAY INSULATION (RSI 5.46 (R31)) MIN SLOPE 1:12

10' GROUND

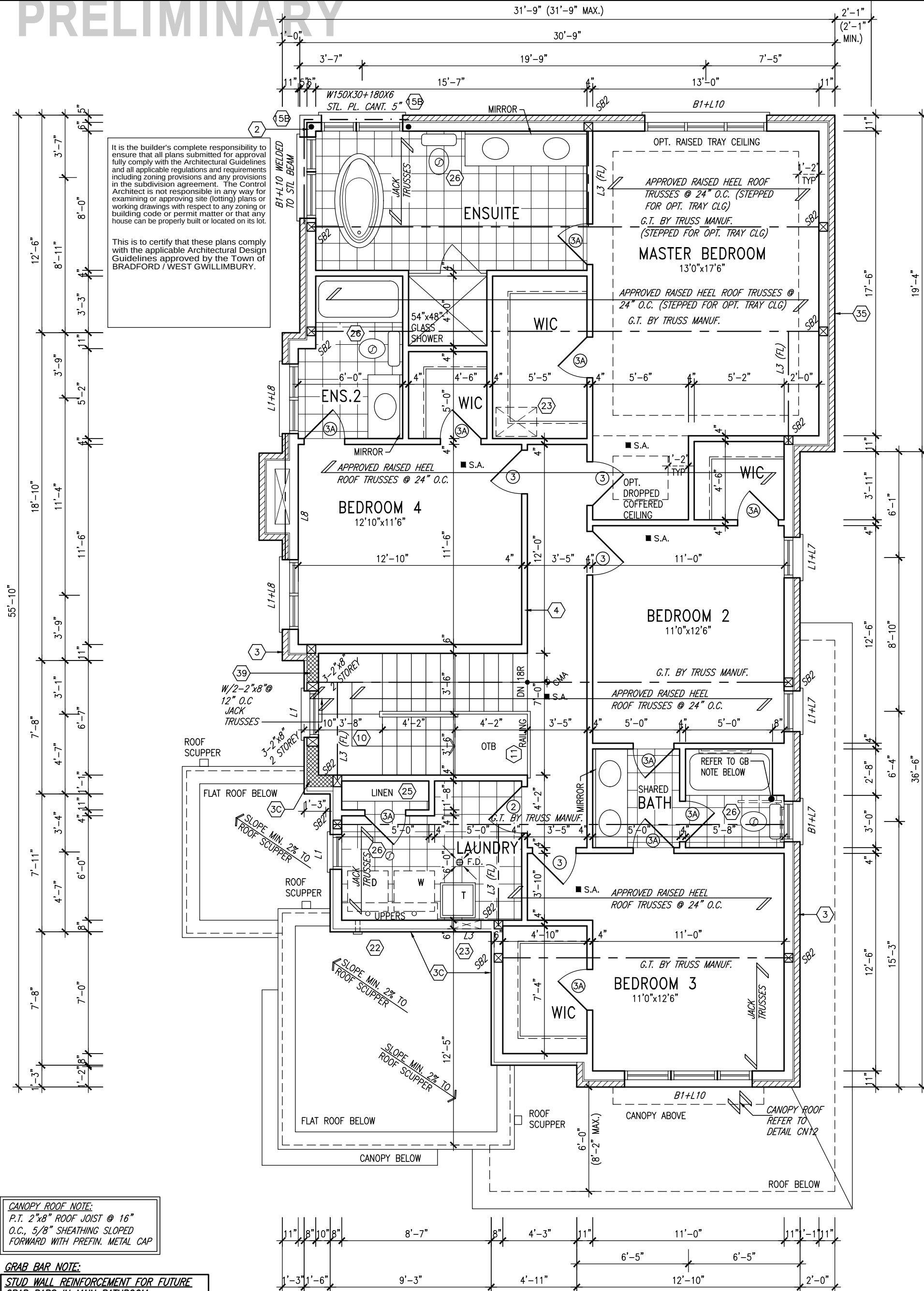
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5	.	.	.
4	10' GROUND FLOOR	JUN 02-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 02-21	KL
2	REVISED AS PER ENG'S COMMENTNS	JAN 11-18	RC
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BAYVIEW WELLINGTON		S38-7C BAROSSA 7	
project name GREEN VALLEY EAST	municipality BRADFORD, ONT.	project no. 16023	drawing no. 17
date JANUARY, 2017	GROUND FLOOR PLAN ELEV. 'C'		
drawn by WT	checked by RC	scale 3/16" = 1'-0"	file name 16023-S38-7C-10GRND
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PRELIMINARY



SECOND FLOOR PLAN 'C'

10' GROUND

CANOPY ROOF NOTE:
P.T. 2"x8" ROOF JOIST @ 16"
O.C., 5/8" SHEATHING SLOPED
FORWARD WITH PREFIN. METAL CAP

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(a). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED. GB-NOTE-2020.dwg

NOTE:
REFER TO ROOF TRUSS MANUF. FOR
ROOF TRUSS LAYOUTS & BEAM SIZES.

INDICATES REDUCED SIDE YARD

9	.	.	.
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5	.	.	.
4	10' GROUND FLOOR	JUN 02-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 02-21	KL
2	REVISED AS PER ENG'S COMMITMENTS	JAN 11-18	RC
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BAYVIEW WELLINGTON

S38-7C
BAROSSA 7

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	JANUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT	scale	3/16" = 1'-0"	file name	16023-S38-7C-10GRND
SECOND FLOOR PLAN ELEV. 'C'					drawing no.
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ROOF PLAN 'C'

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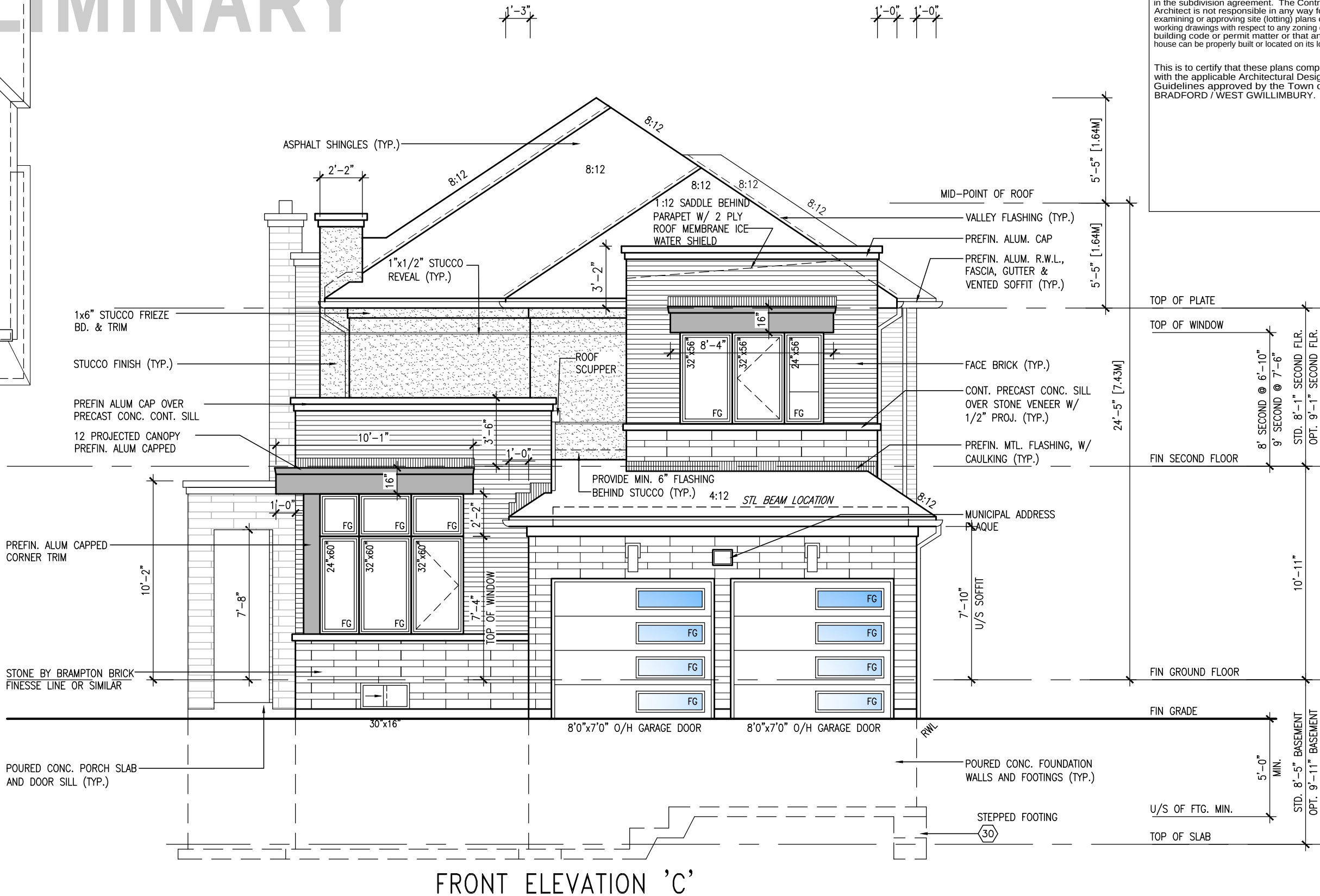
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5	.	.	.
4	10' GROUND FLOOR	JUN 02-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 02-21	KL
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10⁹ GROUND

PRELIMINARY

REFER TO FRONT
ELEVATION FOR TYPICAL
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SEE DETAIL S4 FOR 9'-0"
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FLANKAGE ELEVATION 'C'

10' GROUND

BAYVIEW WELLINGTON

S38-7C
BAROSSA 7

project name
GREEN VALLEY EAST
municipality
BRADFORD, ONT.
project no.
16023
drawing no.
20

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no.	description	date	by
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6			
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1	ISSUED FOR CLIENT REVIEW		

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BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)

45 MINUTE FIRE RATED WALL

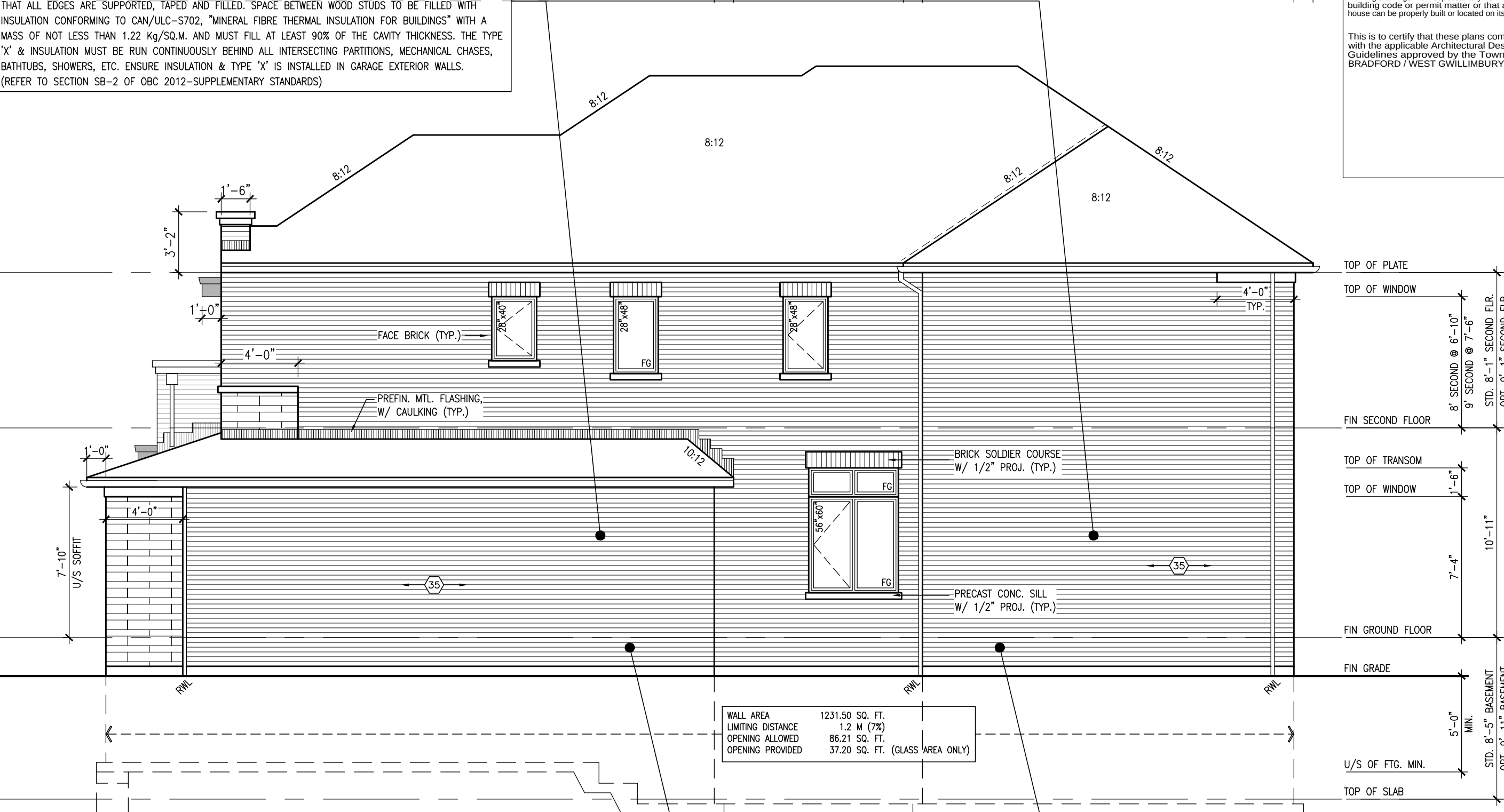
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS. (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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RIGHT SIDE ELEVATION 'C'

10' GROUND

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE) 45 MINUTE FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

9

8

7

6

5

4

3

2

1

10' GROUND FLOOR

OPT. 9' BASEMENT

REVISED AS PER ENG'S COMMENTS

ISSUED FOR CLIENT REVIEW

no.

description

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

BY

BY

BY

BY

BY

BY

BY

BY

BY

PROJECT NO.

16023

MUNICIPALITY

BRADFORD, ONT.

PROJECT NAME

BAYVIEW WELLINGTON

PROJECT NO.

16023

PROJECT NAME

GREEN VALLEY EAST

DATE

JANUARY, 2017

CHECKED BY

RC

DRAWN BY

WT

SCALE

3/16" = 1'-0"

FILE NAME

16023-S38-7C-10GRND

DRAWING NO.

21

S38-7C

BAROSSA 7

BAYVIEW WELLINGTON

GREEN VALLEY EAST

RIGHT SIDE ELEVATION 'C'

DESIGN

255 Consumers Rd Suite 120

Toronto, ON M2J 1P4

t 416.630.2255 f 416.630.4782

vo3design.com

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3

DESIGN

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UNINSULATED OPENINGS (PER OBC, SB-12,3.1.1(7))			
S38-7C EL.C W/ 8' SECOND			
ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	666.75 S.F.	90.11 S.F.	13.51 %
LEFT SIDE	1219.17 S.F.	287.17 S.F.	23.55 %
RIGHT SIDE	1219.17 S.F.	81.28 S.F.	6.67 %
REAR	666.75 S.F.	172.70 S.F.	25.90 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3771.84 S.F.	631.26 S.F.	16.74 %
TOTAL SQ. M.	350.41 S.M.	58.65 S.M.	16.74 %



REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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1"x6" ALUM. FRIEZE
BD. (TYP.)

PRECAST CONC. SILL
W/ 1/2" PROJ. (TYP.)

FACE BRICK (TYP.)

POURED CONC. FOUNDATION
WALLS & FOOTINGS (TYP.)

RWL

30' x 16'

PRECAST CONC.
DOOR SILL & STEP

21

8:12

8:12

4'-10"

PREFIN. ALUM CAPPED
CORNER TRIM

ROOF SCUPPER

7'-8"

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN GROUND FLOOR

FIN GRADE

TOP OF SLAB

8' SECOND @ 6'-10"
9' SECOND @ 7'-6"
STD. 8'-1" SECOND FLR.
OPT. 9'-1" SECOND FLR.

STD. 8'-5" BASEMENT
OPT. 9'-11" BASEMENT

REAR ELEVATION 'C'

10' GROUND

BAYVIEW WELLINGTON

S38-7C
BAROSSA 7

project name
GREEN VALLEY EAST

municipality
BRADFORD, ONT.

project no.
16023

drawing no.
22

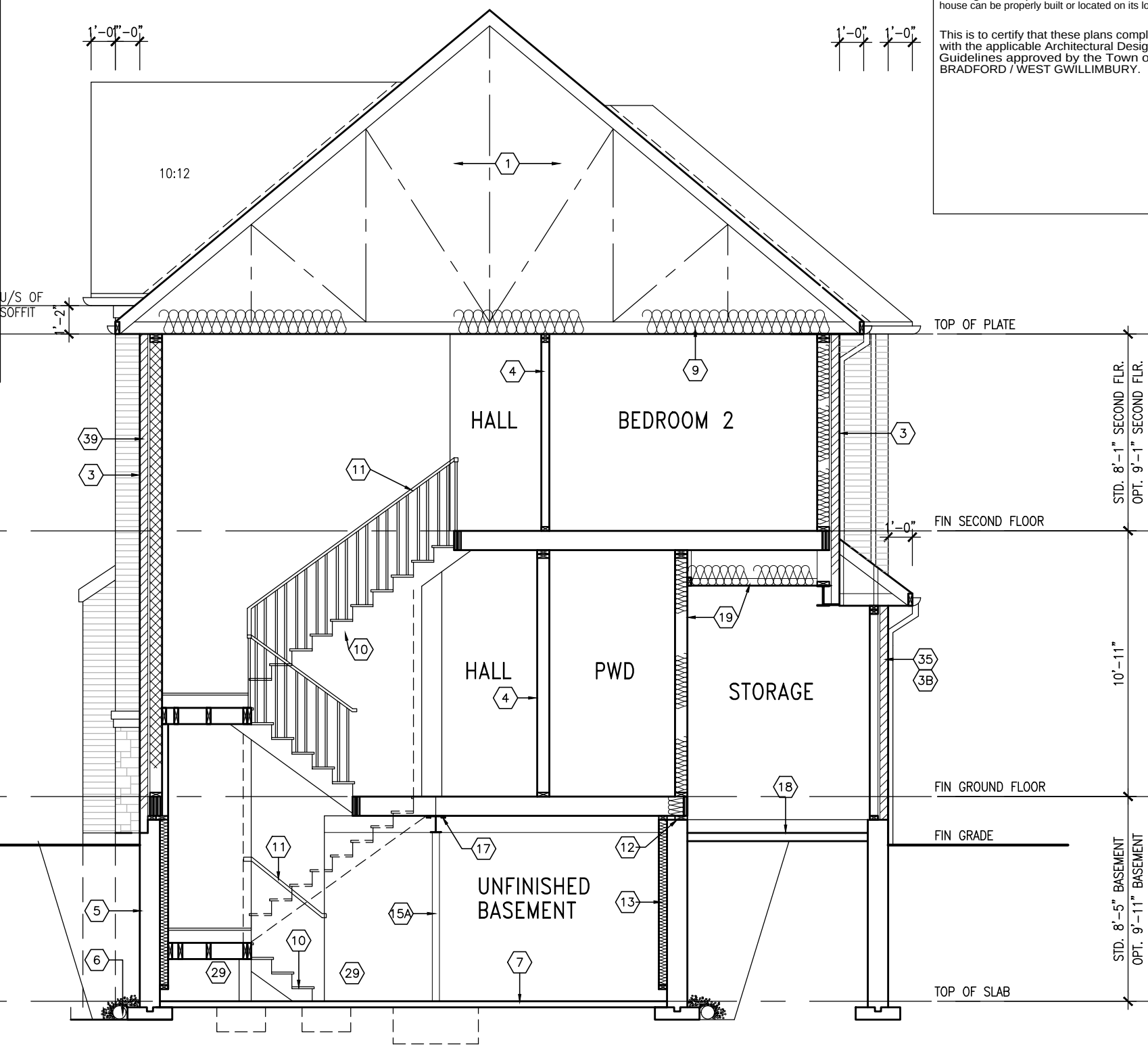
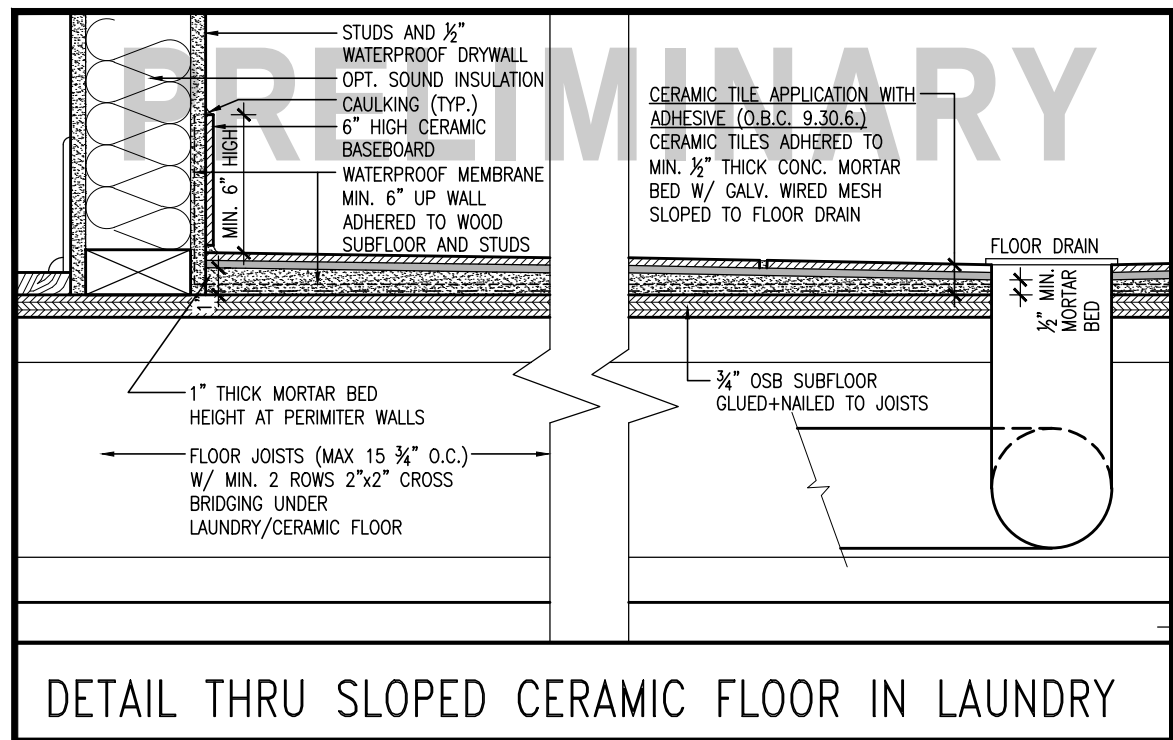
VA3
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no.	description	date	by
9			
8			
7			
6			
5			
4	10' GROUND FLOOR	JUN 02-21 KL	
3	ADDED OPT. 9' BASEMENT	JUN 02-21 KL	
2	REVISED AS PER ENG'S COMMENTS	JAN 11-18 RC	
1	ISSUED FOR CLIENT REVIEW		

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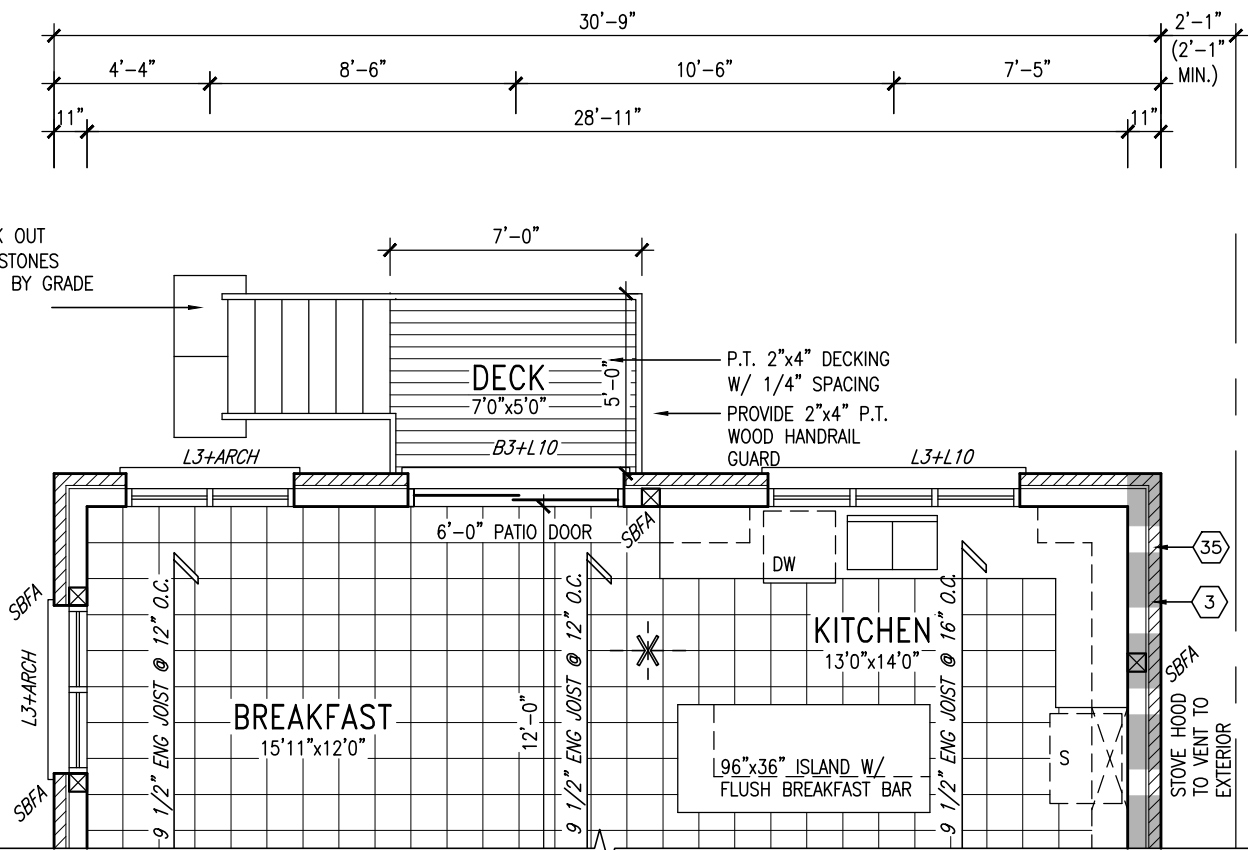
10⁹ GROUND

[illegible]

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STAIRS FOR WALK OUT DECK W/ PATIO STONES WHERE REQUIRED BY GRADE (SEE SITE PLAN)



OUTDOOR AIR INTAKE SEPARATION

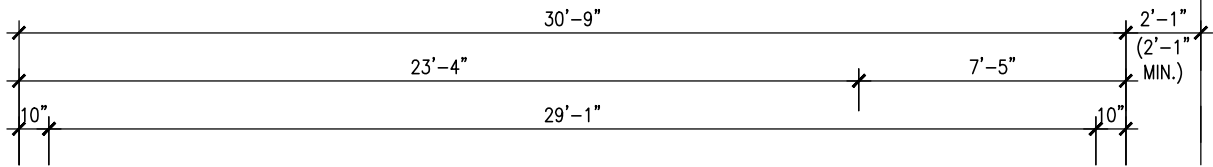
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

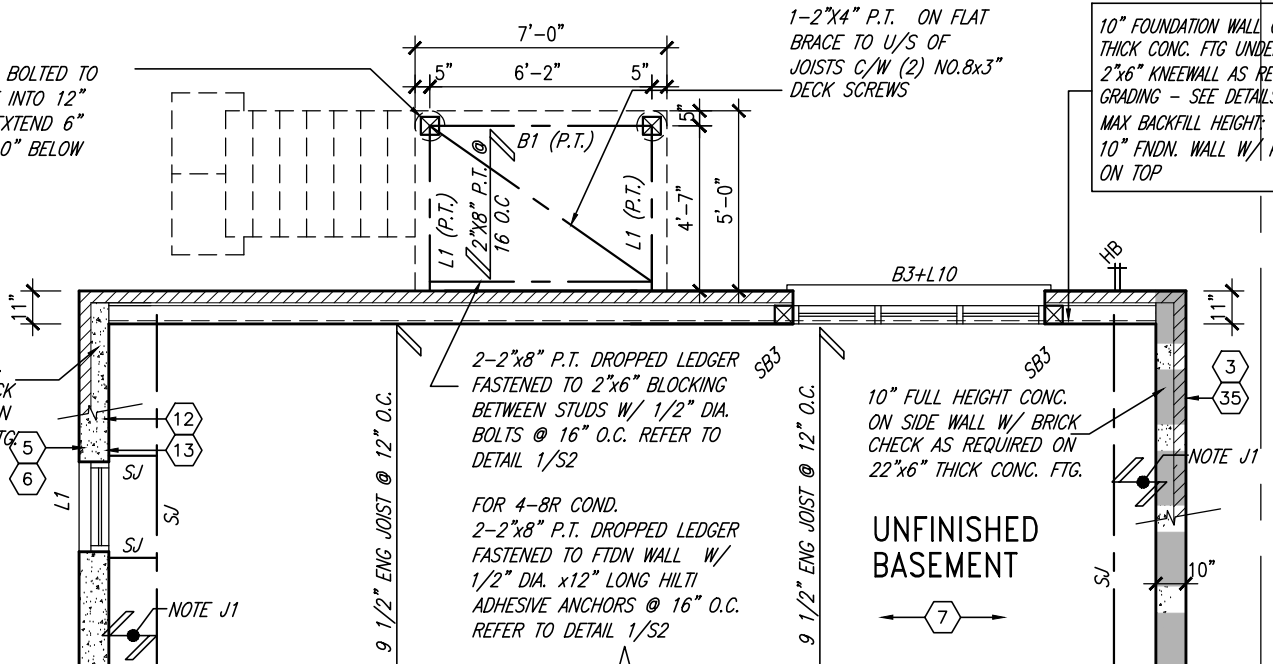
GROUND FLOOR PLAN 'A' - W.O.D. CONDITION

ELEV. 'B' & 'C' SIMILAR



6"x6" P.T. WOOD POST BOLTED TO GALV. METAL SHOE SET INTO 12" DIA. CONC. PIER TO EXTEND 6" ABOVE GRADE AND 5'-0" BELOW GRADE. (TYP.)

10" FULL HEIGHT CONC. ON SIDE WALL W/ BRICK CHECK AS REQUIRED ON 22"x6" THICK CONC. FTG.



1-2"x4" P.T. ON FLAT BRACE TO U/S OF JOISTS C/W (2) NO.8x3" DECK SCREWS

10" FOUNDATION WALL ON 22"x6" THICK CONC. FTG UNDER ALL 2"x6" KNEEWALL AS REQ'D BY GRADING - SEE DETAILS MAX BACKFILL HEIGHT: 4'-7" FOR 10" FNDN. WALL W/ KNEEWALL ON TOP

BASEMENT PLAN 'A' - W.O.D. CONDITION

ELEV. 'B' & 'C' SIMILAR

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

INDICATES REDUCED SIDE YARD

10' GROUND

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
4	10' GROUND FLOOR	JUN 02-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 02-21	KL
2	REVISED AS PER ENG'S COMMENTNS	JAN 11-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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BAYVIEW WELLINGTON

S38-7C
BAROSSA 7

project name
GREEN VALLEY EAST

municipality
BRADFORD, ONT.

project no.
16023

date
JANUARY, 2017

drawn by
WT

checked by
RC

scale
3/16" = 1'-0"

PART. PLANS W.O.D COND.

file name
16023-S38-7C-10GRND

drawing no.
24

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UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
ENERGY EFFICIENCY – OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	666.75 S.F.	74.33 S.F.	11.15 %
LEFT SIDE	1219.17 S.F.	256.60 S.F.	21.05 %
RIGHT SIDE	1219.17 S.F.	81.28 S.F.	6.67 %
REAR	789.75 S.F.	192.78 S.F.	24.41 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3894.84 S.F.	604.99 S.F.	15.53 %
TOTAL SQ. M.	361.84 S.M.	56.20 S.M.	15.53 %

STUCCO FINISH (TYP.)
PREFIN. MTL. FLASHING
BEHIND STUCCO (TYP.)
1"x6" ALUM. FRIEZE
BD. (TYP.)

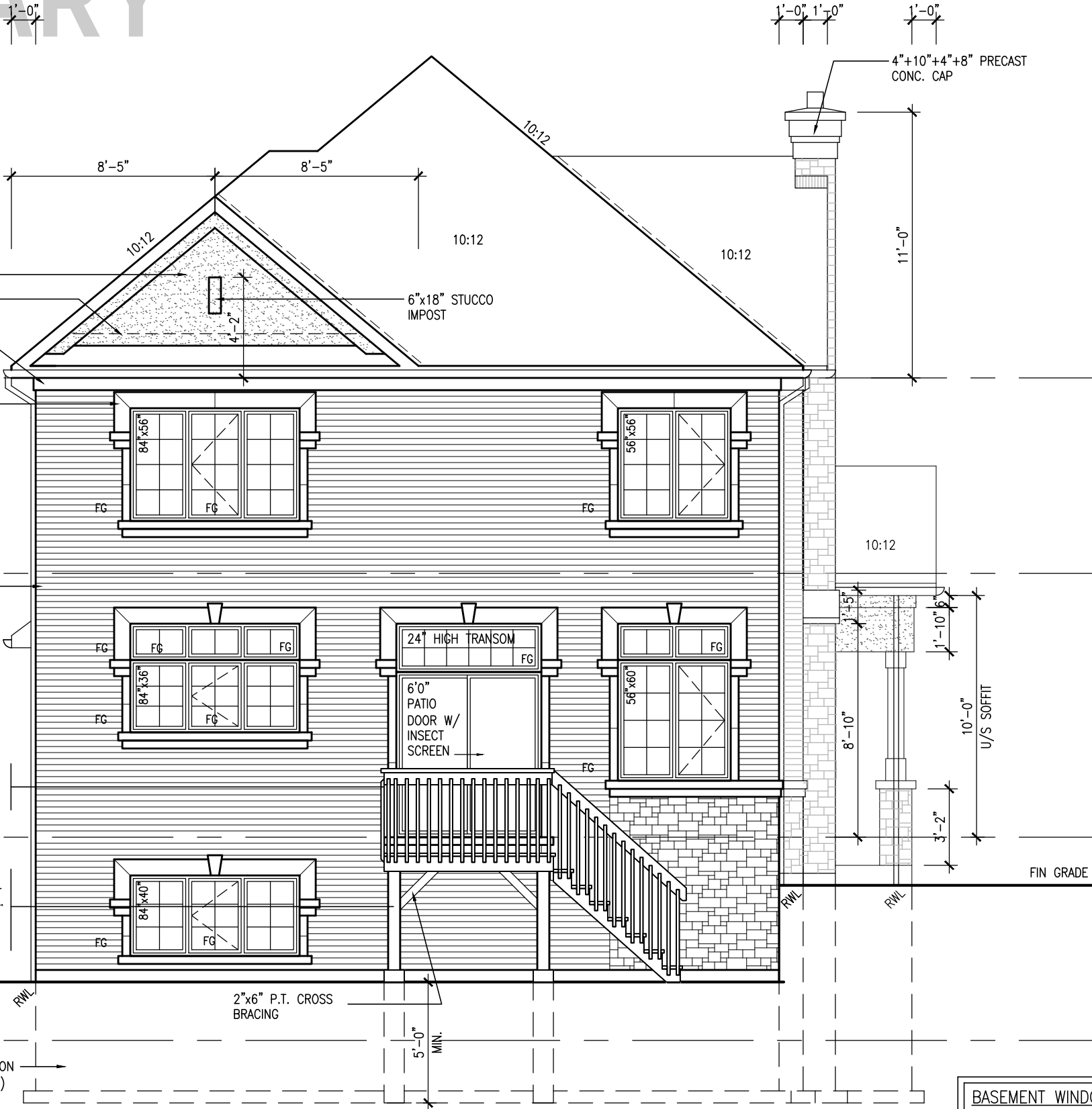
8" PRECAST CONC.
SURROUND ON 2-4"
PRECAST CONC. DETAILS
ON 4" PRECAST CONC
STACK BONDS W/ 1/2"
PROJ. (TYP.)

FACE BRICK (TYP.)

42" HIGH P.T. RAILING
W/ PICKETS @ 4" O.C.
W/ 4"x4" MIDPOST @
5'0" O.C. MAX. (TYP.)

6"x6" P.T. WOOD POST
BOLTED TO GALV. METAL
SHOE SET INTO 12" DIA.
CONC. PIER TO EXTEND
6" ABOVE GRADE AND
5'-0" BELOW GRADE
(TYP.)

POURED CONC. FOUNDATION
WALLS & FOOTINGS (TYP.)



REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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TOP OF PLATE	
TOP OF WINDOW	
8' SECOND @ 6'-10"	
9' SECOND @ 7'-6"	
STD. 8'-1" SECOND FLR.	
OPT. 9'-1" SECOND FLR.	
FIN SECOND FLOOR	
TOP OF TRANSOM	
TOP OF WINDOW	
7'-4"	
10'-11"	
FIN GROUND FLOOR	
TOP OF WINDOW	
SEE NOTE	
STD. 8'-5" BASEMENT	
OPT. 9'-11" BASEMENT	
TOP OF SLAB	

BASEMENT WINDOW SIZES & TOP OF WINDOW	
STD. BASEMENT	
- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS	
OPT. 9'-0" BASEMENT	
- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP OF WINDOW	
- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @ 6'-10" TOP OF WINDOW	

BAYVIEW WELLINGTON		S38-7C	
GREEN VALLEY EAST		BAROSSA 7	
BRADFORD, ONT.		BRADFORD, ONT.	
W.O.D. REAR ELEVATION 'B'		W.O.D. REAR ELEVATION 'B'	
JANUARY, 2017		JANUARY, 2017	
RC		RC	
3/16" = 1'-0"		3/16" = 1'-0"	
RC		RC	
16023-S38-7C-10GRND		16023-S38-7C-10GRND	
16023		16023	
26		26	
JUN 02-21 KL		JUN 02-21 KL	
JUN 02-21 KL		JUN 02-21 KL	
JAN 11-18 RC		JAN 11-18 RC	
ISSUED FOR CLIENT REVIEW		ISSUED FOR CLIENT REVIEW	
no. description		no. description	

10⁹ GROUND

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