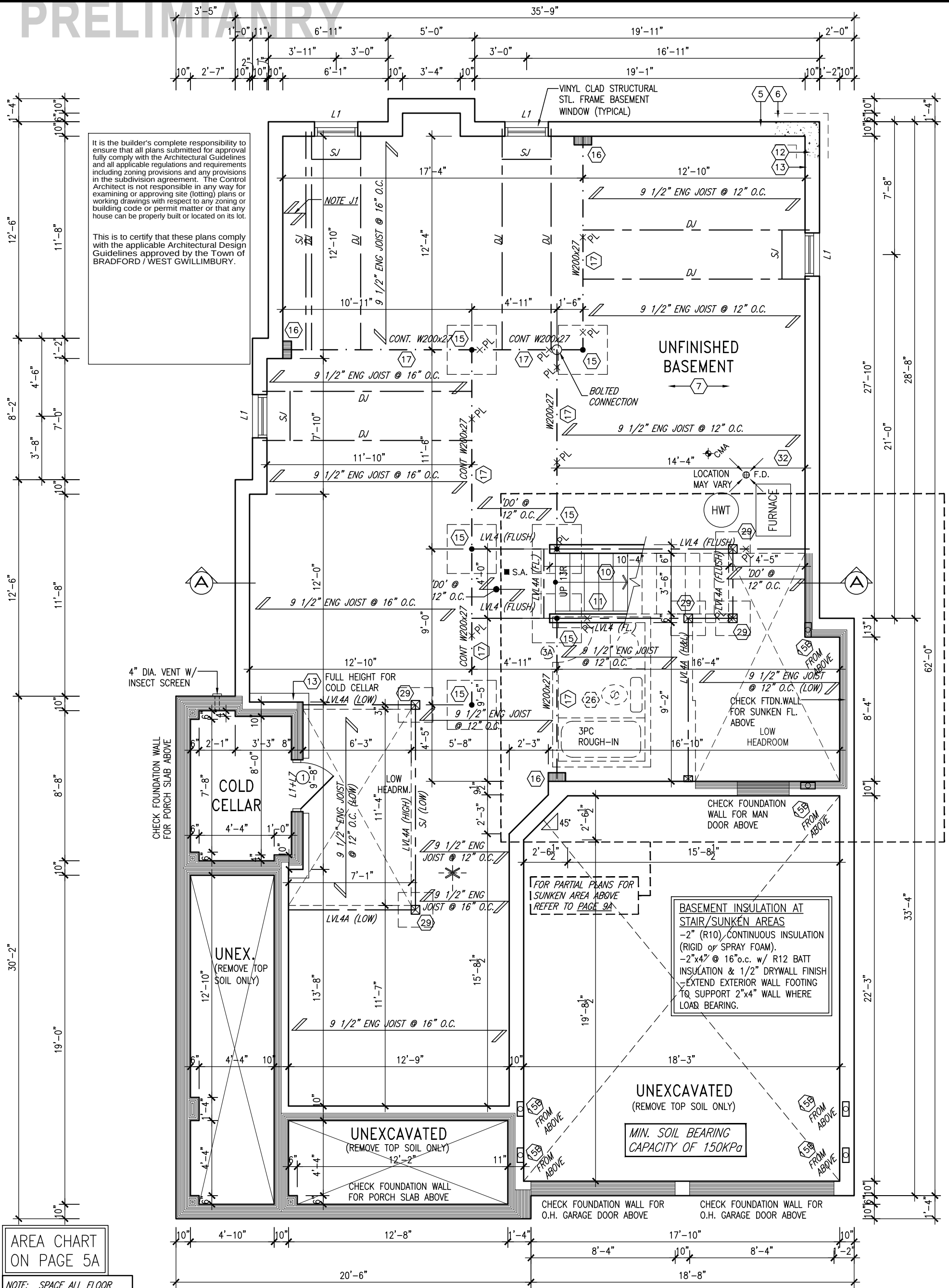


PRELIMINARY



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AREA CHART
ON PAGE 5A

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

BASEMENT PLAN 'A'

10' GROUND

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
4	10' GROUND FLOOR	JUL 06-21	KL
3	ADDED OPT. 9' BASEMENT	JUL 06-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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BAYVIEW WELLINGTON

S42-8C
RIDEAU 8

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	MARCH 2017	drawn by	SB	checked by	scale
					3/16" = 1'-0"
					16023-S42-8C-10GRND
					1A

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NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

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8"x8" FIBREGLASS COLUMN BY ROMAN COLUMNS W/ 1/2" THICK HDPE TOP LOADING PLATE ANCHORED TO 16"x16" MASONRY PIER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC. DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

GROUND FLOOR PLAN 'A'
(10'-0" GROUND)

10' GROUND

9.	.	.	.
8.	.	.	.
7.	.	.	.
6.	.	.	.
5.	.	.	.
4.	10' GROUND FLOOR	JUL 06-21	KL
3.	ADDED OPT. 9' BASEMENT	JUL 06-21	KL
2.	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1.	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

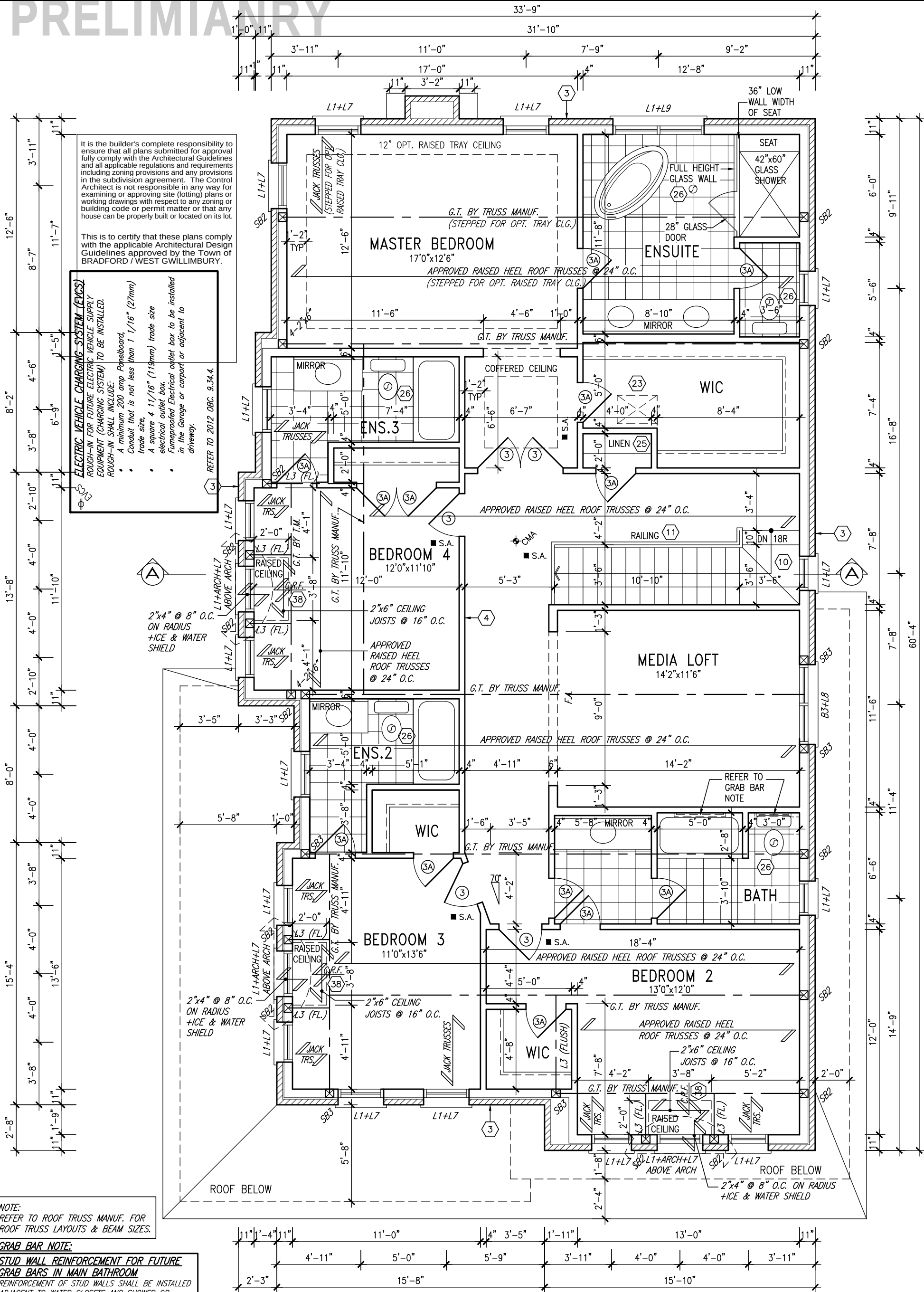
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BAYVIEW WELLINGTON		S42-8C RIDEAU 8	
project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023	drawing no. 2A
date MARCH 2017	checked by SB	scale 3/16" = 1'-0"	file name 16023-S42-8C-10GRND
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PRELIMINARY



SECOND FLOOR PLAN 'A'
4 BEDROOM + MEDIA LOFT

10' GROUND

NOTE:
REFER TO ROOF TRUSS MANUF. FOR
ROOF TRUSS LAYOUTS & BEAM SIZES.

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED.

GB-NOTE-2020.dwg

9.	.	.	.
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6.	.	.	.
5.	.	.	.
4.	10' GROUND FLOOR	JUL 06-21	KL
3.	ADDED OPT. 9' BASEMENT	JUL 06-21	KL
2.	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
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no.	description	date	by

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BAYVIEW WELLINGTON

S42-8C
RIDEAU 8

project name
GREEN VALLEY EAST

municipality
BRADFORD

project no.
16023

date
MARCH 2017

drawn by
SB

checked by
.

scale
3/16" = 1'-0"

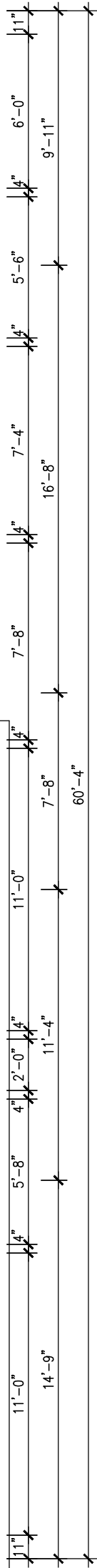
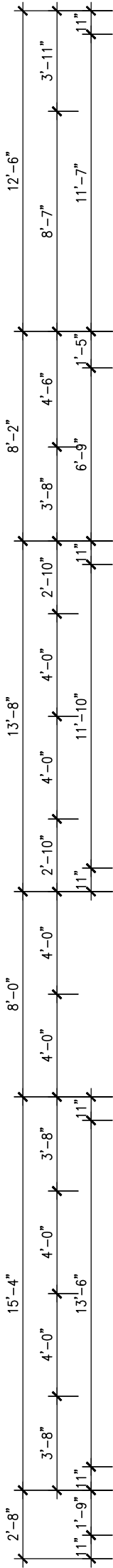
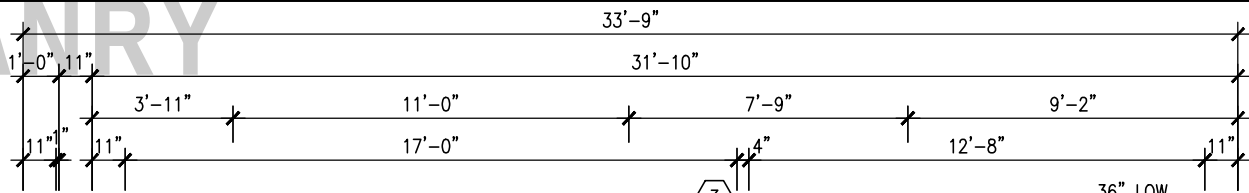
SECOND FLOOR PLAN ELEVATION 'A'

file name
16023-S42-8C-10GRND

drawing no.
3A

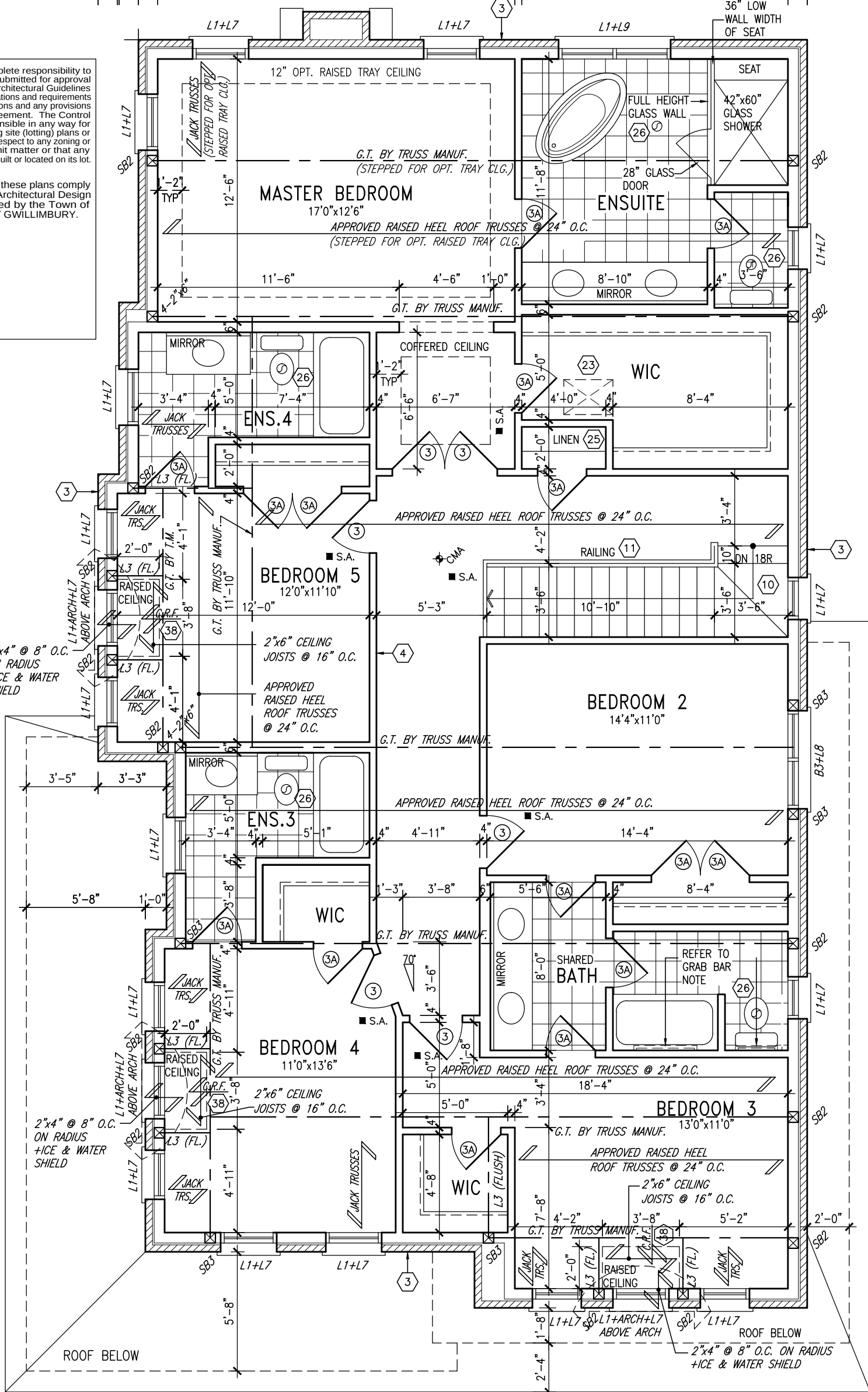
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PRELIMINARY



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NOTE:
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ROOF TRUSS LAYOUTS & BEAM SIZES.

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

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OPT. SECOND FLOOR PLAN 'A'
5 BEDROOM W/ FOUR BATH

10' GROUND

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
4	10' GROUND FLOOR	JUL 06-21	KL
3	ADDED OPT. 9' BASEMENT	JUL 06-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
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RIDEAU 8

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	MARCH 2017	scale	3/16" = 1'-0"	file name	16023-S42-8C-10GRND
drawn by	SB	checked by	.	drawing no.	4A
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ROOF PLAN
ELEV. 'A'

AREA CALCULATIONS	
	ELEV. A
GROUND FLOOR AREA	1558.2 SF
SECOND FLOOR AREA	1895.8 SF
SUBTOTAL	3454.1 SF
DEDUCT ALL OPENINGS	0 SF
TOTAL NET AREA	3454 SF
	320.9 m2
FINISHED BSMT AREA	0 SF
TOTAL NET AREA	3454 SF
W/ FIN BSMT	320.9 m2
COVERAGE W/O PORCH	2004.2 SF
	186.2 m2
COVERAGE W/PORCH	2259.6 SF
	209.9 m2

10⁹ GROUND



FRONT ELEVATION 'A'

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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BAYVIEW WELLINGTON

S42-8C

project name	municipality	project no.
BRUNNEN	BRUNNEN	40007
BRUNNEN	BRUNNEN	40008
BRUNNEN	BRUNNEN	40009
BRUNNEN	BRUNNEN	40010
BRUNNEN	BRUNNEN	40011
BRUNNEN	BRUNNEN	40012
BRUNNEN	BRUNNEN	40013
BRUNNEN	BRUNNEN	40014
BRUNNEN	BRUNNEN	40015
BRUNNEN	BRUNNEN	40016
BRUNNEN	BRUNNEN	40017
BRUNNEN	BRUNNEN	40018
BRUNNEN	BRUNNEN	40019
BRUNNEN	BRUNNEN	40020
BRUNNEN	BRUNNEN	40021
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BRUNNEN	BRUNNEN	40100

16023

wing no.

FRONT ELEVATION 'A'

FRONT ELEVATION A	file name
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16023-S42-8C-10GRND

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3A

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specifications, related documents and c

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9	.	.	.
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7	.	.	.
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5	.	.	.
4	10' GROUND FLOOR	JUL 06-21	KL
3	ADDED OPT. 9' BASEMENT	JUL 06-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

PRELIMINARY

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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FLANKAGE ELEVATION 'A'

10' GROUND

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PRELIMINARY

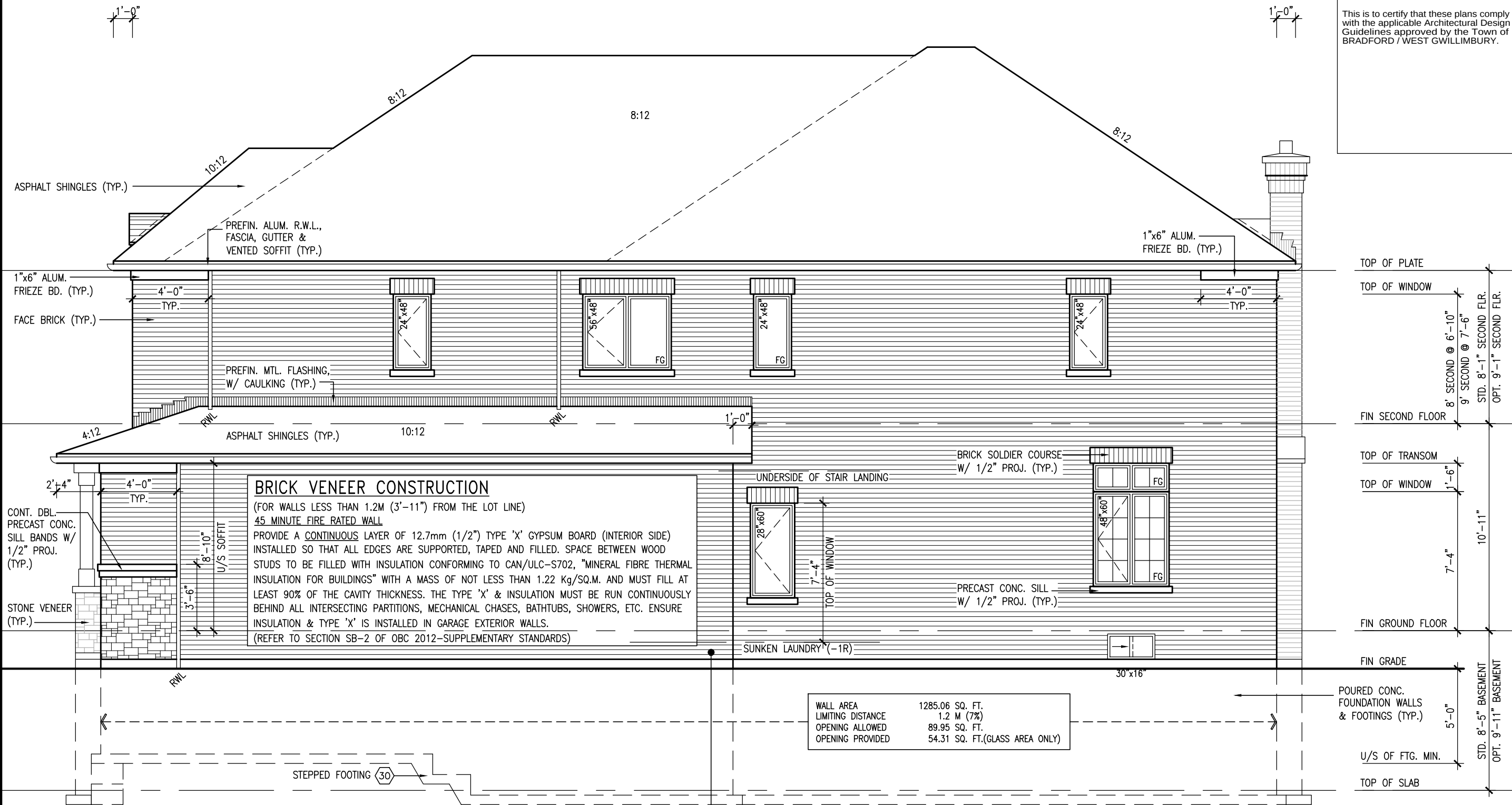
REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

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AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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RIGHT SIDE ELEVATION 'A'

9

8

7

6

5

4

3

2

1

10' GROUND FLOOR

ADDED OPT. 9' BASEMENT

REVISED AS PER ENG'S COMMENTS

ISSUED FOR CLIENT REVIEW

no. description

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

KL

KL

RC

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JUL 06-21

JUL 06-21

FEB 01-18

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PROJECT NO.

PROJECT NAME

DATE

DRAWN BY

CHECKED BY

SCALE

DRAWING NO.

16023

GREEN VALLEY EAST

MARCH 2017

SB

SB

3/16" = 1'-0"

7A

MUNICIPALITY

PROJECT NO.

PROJECT NAME

DATE

DRAWN BY

CHECKED BY

SCALE

DRAWING NO.

BRADFORD

16023

GREEN VALLEY EAST

MARCH 2017

SB

SB

3/16" = 1'-0"

7A

S42-8C

RIDEAU 8

BAYVIEW WELLINGTON

GREEN VALLEY EAST

RIGHT SIDE ELEVATION 'A'

16023-S42-8C-10GRND

10' GROUND FLOOR

ADDED OPT. 9' BASEMENT

REVISED AS PER ENG'S COMMENTS

ISSUED FOR CLIENT REVIEW

no. description

DATE

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JUL 06-21

JUL 06-21

FEB 01-18

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MUNICIPALITY

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PROJECT NAME

DATE

DRAWN BY

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DRAWING NO.

BRADFORD

16023

GREEN VALLEY EAST

MARCH 2017

SB

SB

3/16" = 1'-0"

7A

S42-8C

RIDEAU 8

BAYVIEW WELLINGTON

GREEN VALLEY EAST

RIGHT SIDE ELEVATION 'A'

16023-S42-8C-10GRND

10' GROUND FLOOR

ADDED OPT. 9' BASEMENT

REVISED AS PER ENG'S COMMENTS

ISSUED FOR CLIENT REVIEW

no. description

DATE

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JUL 06-21

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BRADFORD

16023

GREEN VALLEY EAST

MARCH 2017

SB

SB

3/16" = 1'-0"

7A

S42-8C

RIDEAU 8

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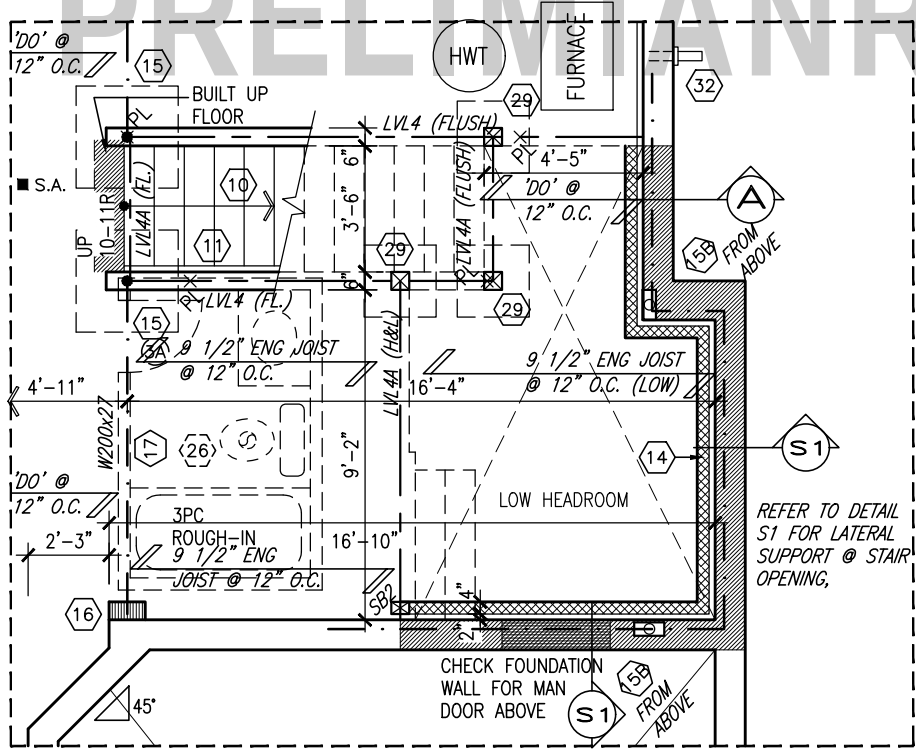
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RIGHT SIDE ELEVATION 'A'

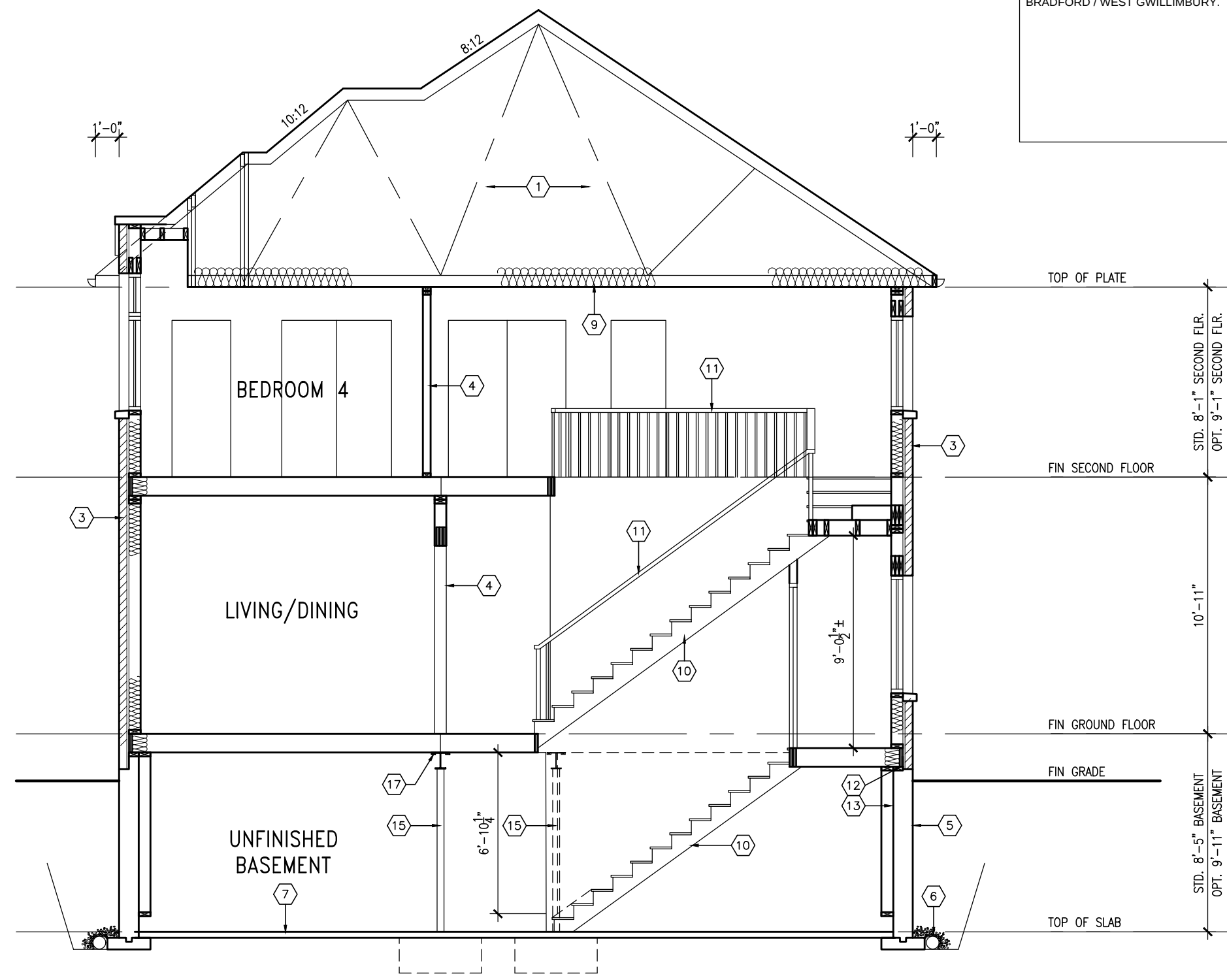
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PRELIMINARY



PART. BASEMENT PLAN W/ SUNKEN LAUNDRY (-2R to -3R COND.)



CROSS SECTION 'A-A'

10' GROUND

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

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project no. 13045		drawing no. 9A	
project name GREEN VALLEY ESTATES		municipality BRADFORD, ON	
date SEPTEMBER 2014		checked by N.HUR	
drawn by N.HUR		scale 3/16" = 1'-0"	
file name 16023-S42-8C-10GRND		date 16023-S42-8C-10GRND.dwg - Thu - Jul 29 2021 - 10:32 AM	
contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		no. description	
9.			
8.			
7.			
6.			
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4.	10' GROUND FLOOR	JUL 06-21	KL
3.	ADDED OPT. 9' BASEMENT	JUL 06-21	KL
2.	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1.	ISSUED FOR CLIENT REVIEW	14-09-12	.

VA3 DESIGN

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Toronto, ON M2J 1P4
t 416.630.2255 f 416.630.4782
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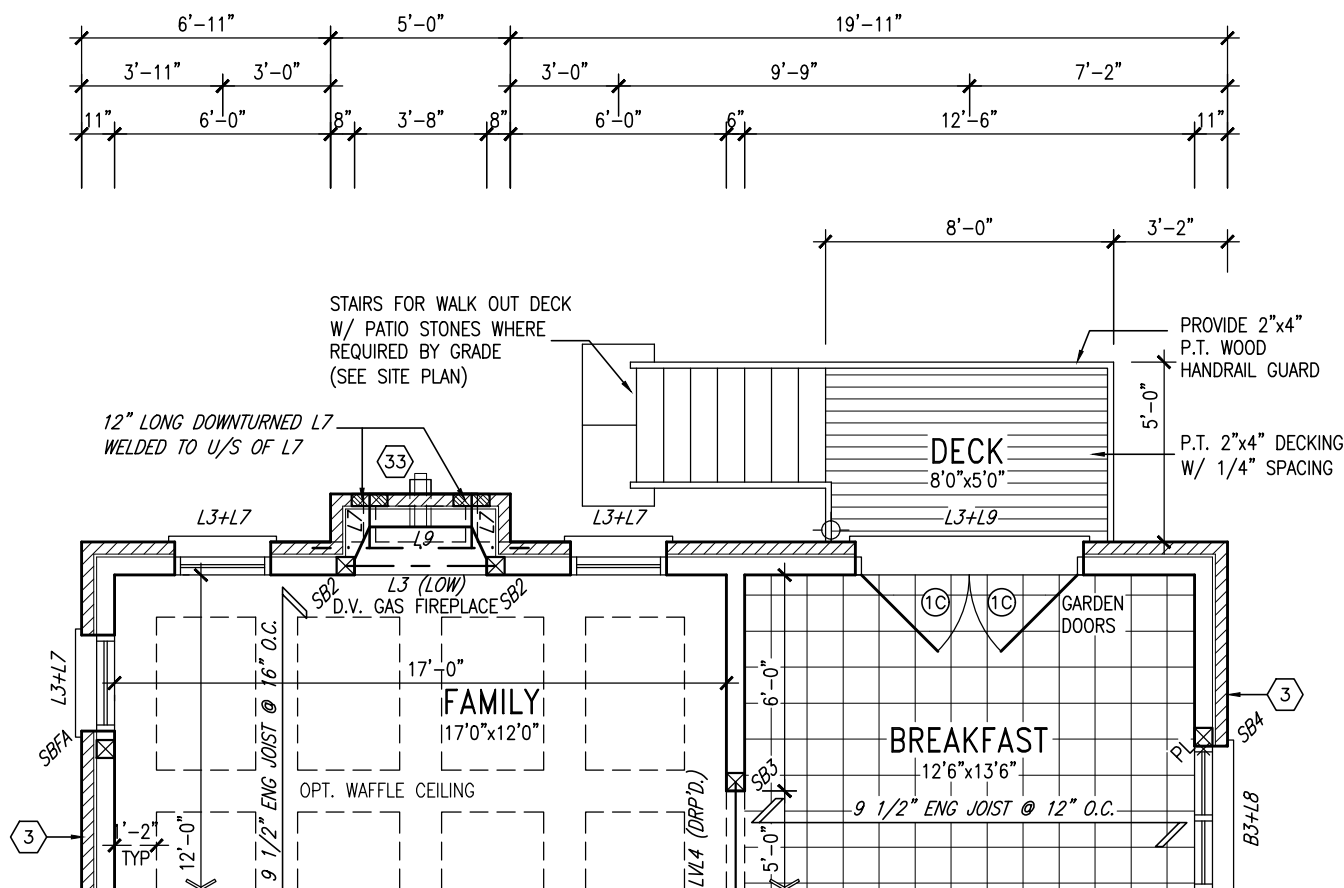
RIDEAU 8

BAYVIEW WELLINGTON

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

PROPERTY LINE

NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.



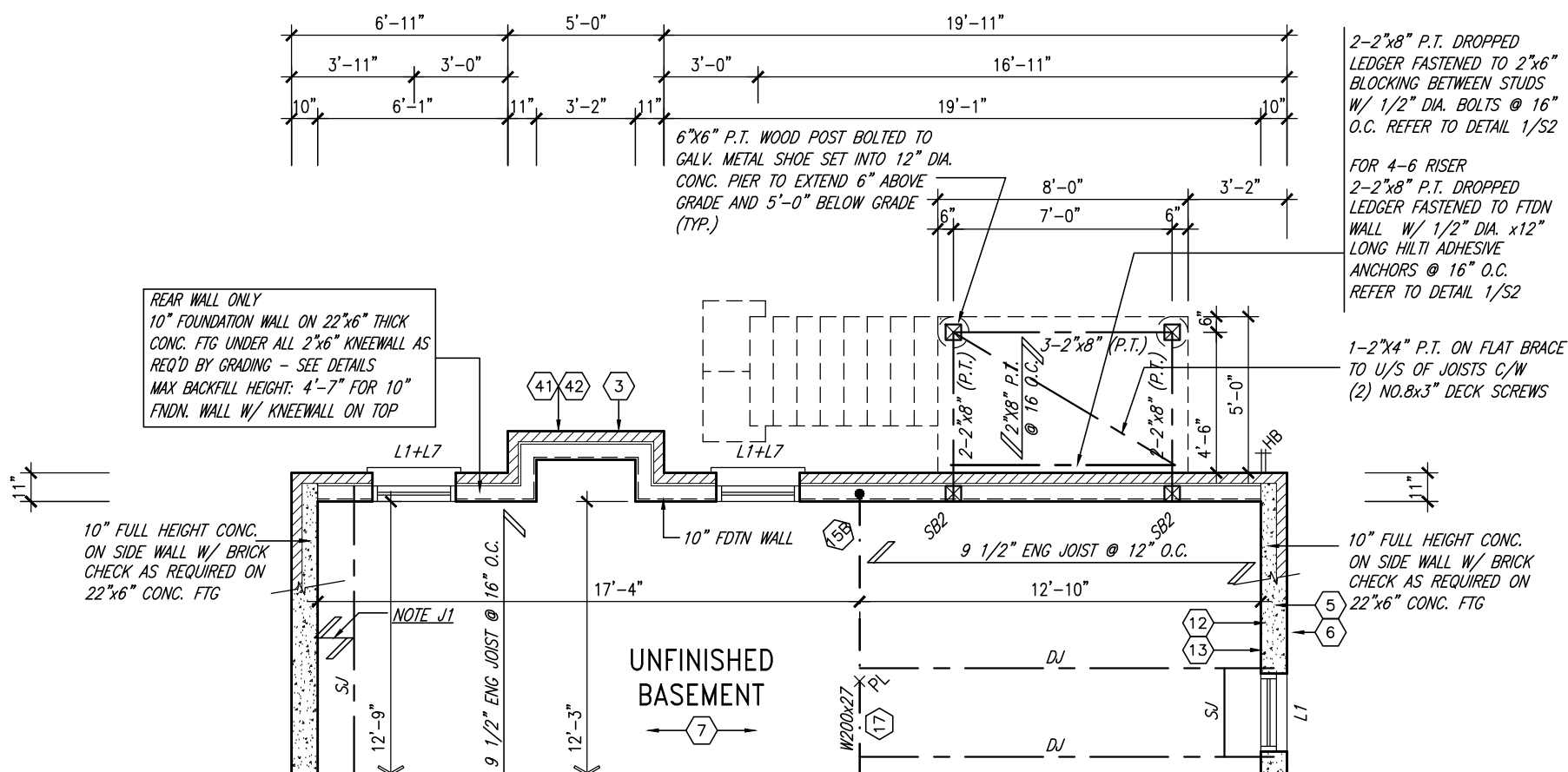
OUTDOOR AIR INTAKE SEPARATION

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A
MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION
PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

PART. GROUND FLOOR PLAN 'A' – W.O.D. 9R OR MORE COND.



PART. BASEMENT PLAN 'A' - W.O.D. 9R OR MORE
COND.

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED;

BASEMENT INSULATION AT STAIR/SUNKEN AREAS

-2" (R10) CONTINUOUS INSULATION (RIGID
or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION
& 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD BEARING.

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

10' GROUND

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
4	10' GROUND FLOOR	JUL 06-21	KL
3	ADDED OPT. 9' BASEMENT	JUL 06-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

The logo for VA3 DESIGN. It features the letters 'VA3' in a large, bold, serif font. The '3' is stylized with a thick, rounded shape. Below 'VA3' is a horizontal line, and underneath that line, the word 'DESIGN' is written in a bold, sans-serif, all-caps font.

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Toronto ON M2J 1R4
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va3design.com

BAYVIEW WELLINGTON

S42-8C
RIDEAU 8

project name GREEN VALLEY EAST		municipality BRADFORD		project no. 16023	
date MARCH 2017		PARTIAL PLANS ELEVATION 'A' 9R WOD			
drawing no. 10A		drawing no.			
drawn by SB		checked by		scale 3/16" = 1'-0"	
file name 16023-S42-8C-10GRND		file name			
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-8C-10GRND.dwg - Thu Jul 29 2021 - 10:32 AM					

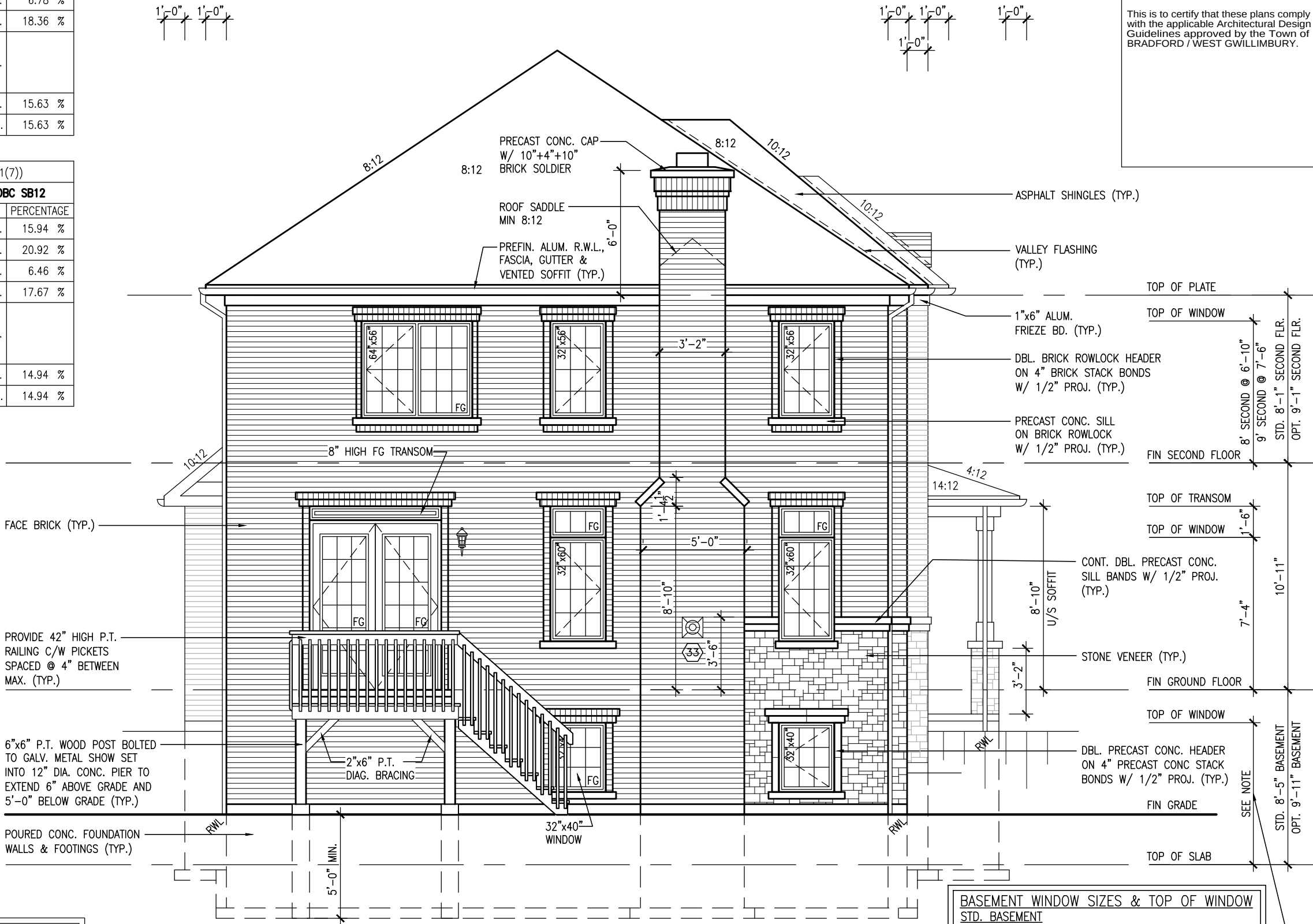
10A

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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-8C ELA WOD W/ 8' SECOND	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	732.06 S.F.	122.09 S.F.	16.68 %
LEFT SIDE	1242.11 S.F.	272.46 S.F.	21.94 %
RIGHT SIDE	1234.78 S.F.	83.67 S.F.	6.78 %
REAR	861.42 S.F.	158.17 S.F.	18.36 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4070.37 S.F.	636.39 S.F.	15.63 %
TOTAL SQ. M.	378.15 S.M.	59.12 S.M.	15.63 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-8C ELA WOD W/ 9' SECOND	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	765.81 S.F.	122.09 S.F.	15.94 %
LEFT SIDE	1302.44 S.F.	272.46 S.F.	20.92 %
RIGHT SIDE	1295.11 S.F.	83.67 S.F.	6.46 %
REAR	895.17 S.F.	158.17 S.F.	17.67 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4258.53 S.F.	636.39 S.F.	14.94 %
TOTAL SQ. M.	395.63 S.M.	59.12 S.M.	14.94 %

10' GROUND



BASEMENT WINDOW SIZES & TOP OF WINDOW	
STD. BASEMENT	
- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS	
OPT. 9'-0" BASEMENT	
- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP OF WINDOW	
- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @ 6'-10" TOP OF WINDOW	

REFER TO FRONT ELEVATION FOR TYPICAL NOTES

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

S42-8C

RIDEAU 8

BAYVIEW WELLINGTON

GREEN VALLEY EAST

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REFER TO MANUFACTURERS TEMPLATE FOR DIMENSION

CHECK FOUNDATION WALL FOR PORCH SLAB ABOVE

COLD CELLAR

FULL HEIGHT FOR COLD CELLAR

LOW HEADROOM

UNFINISHED BASEMENT

FURNACE

HWT

UNEXCAVATED
(REMOVE TOP SOIL ONLY)

MIN. SOIL BEARING
CAPACITY OF 150KPa

BASEMENT INSULATION AT
STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION
(RIGID or SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
EXTEND EXTERIOR WALL FOOTING
TO SUPPORT 2"x4" WALL WHERE
LOAD BEARING.

FOR PARTIAL PLANS FOR
SUNKEN AREA ABOVE
REFER TO PAGE 9B

AREA CHART
ON PAGE 5B

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
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NOTE J1: PROVIDE SOLID BLOCKING
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PARALLEL TO FOUNDATION WALL (TYP.)

BASEMENT PLAN 'B'

10' GROUND

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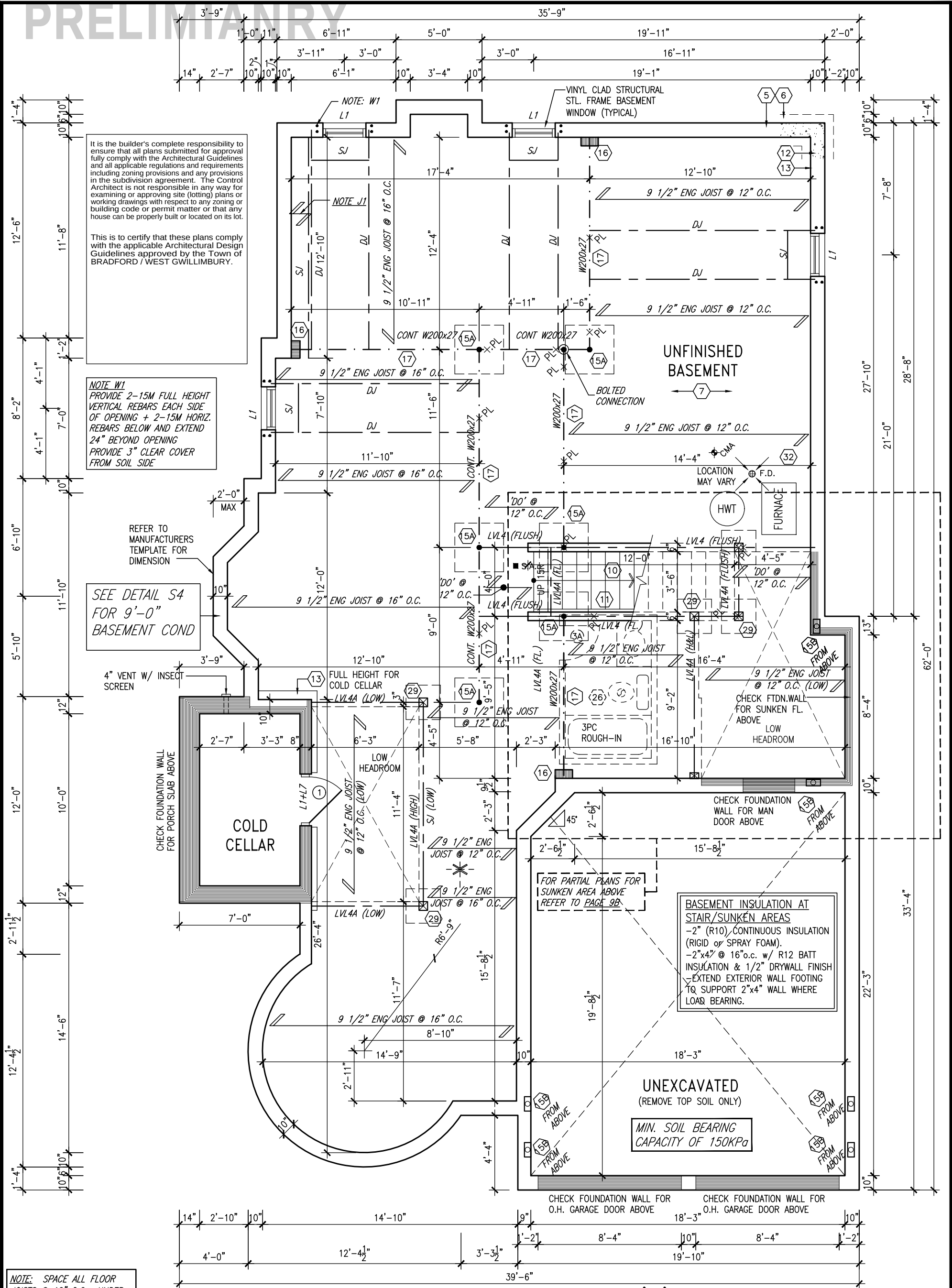
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BAYVIEW WELLINGTON

S42-8C
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project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	MARCH 2017	checked by	scale	BASEMENT PLAN ELEVATION 'B'	drawing no.
SB			3/16" = 1'-0"	16023-S42-8C-10GRND	1B
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					16023-S42-8C-10GRND
					file name
					16023-S42-8C-10GRND.dwg
					Thru - Jul 29 2021 - 10:32 AM

BASEMENT PLAN ELEVATION 'B'

drawing no.

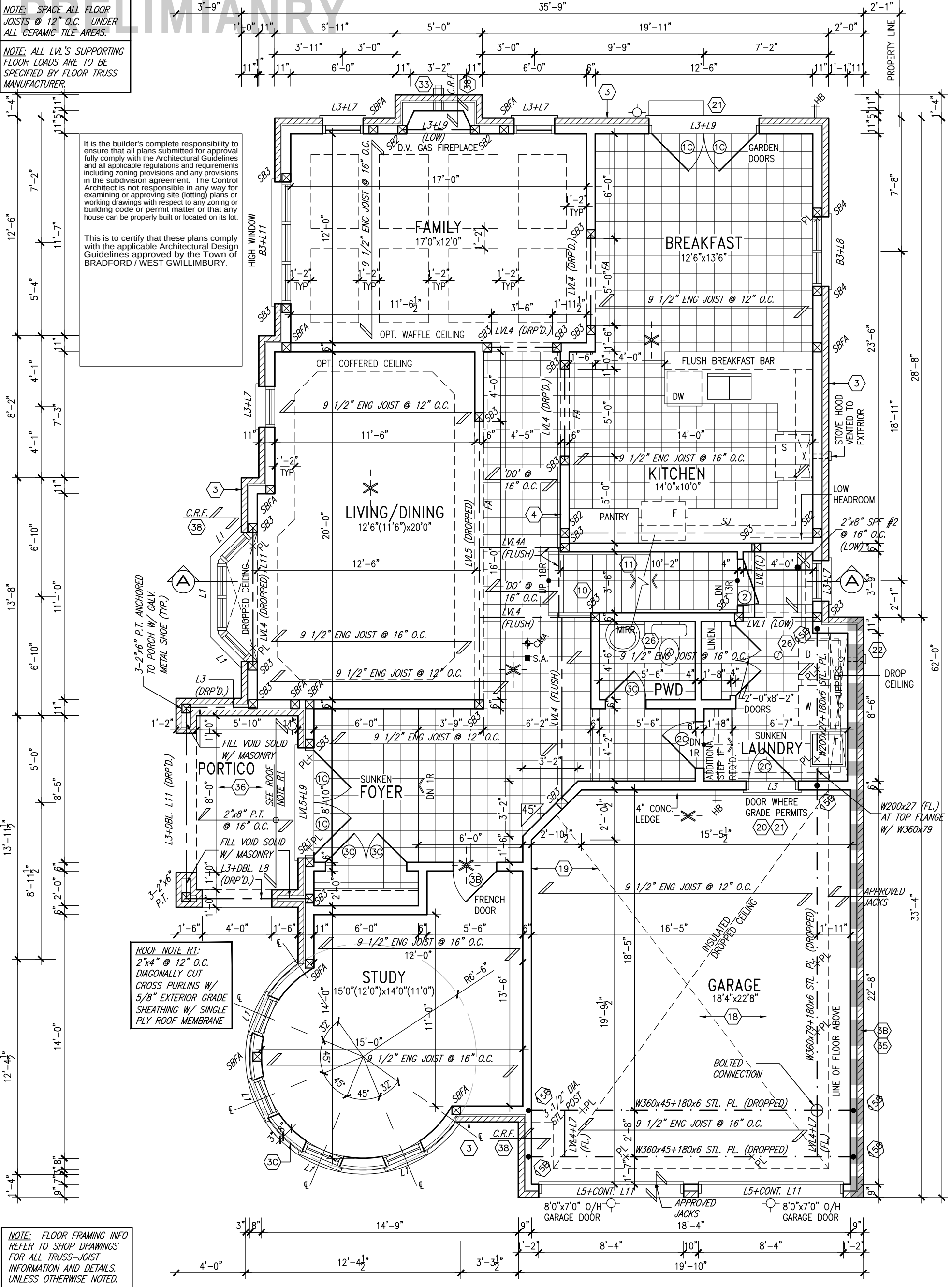
1B

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

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NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST. 3.0m
• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m
KIT-EX-NOTE-2020.dwg

GROUND FLOOR PLAN 'B' (10'-0" GROUND)

10' GROUND

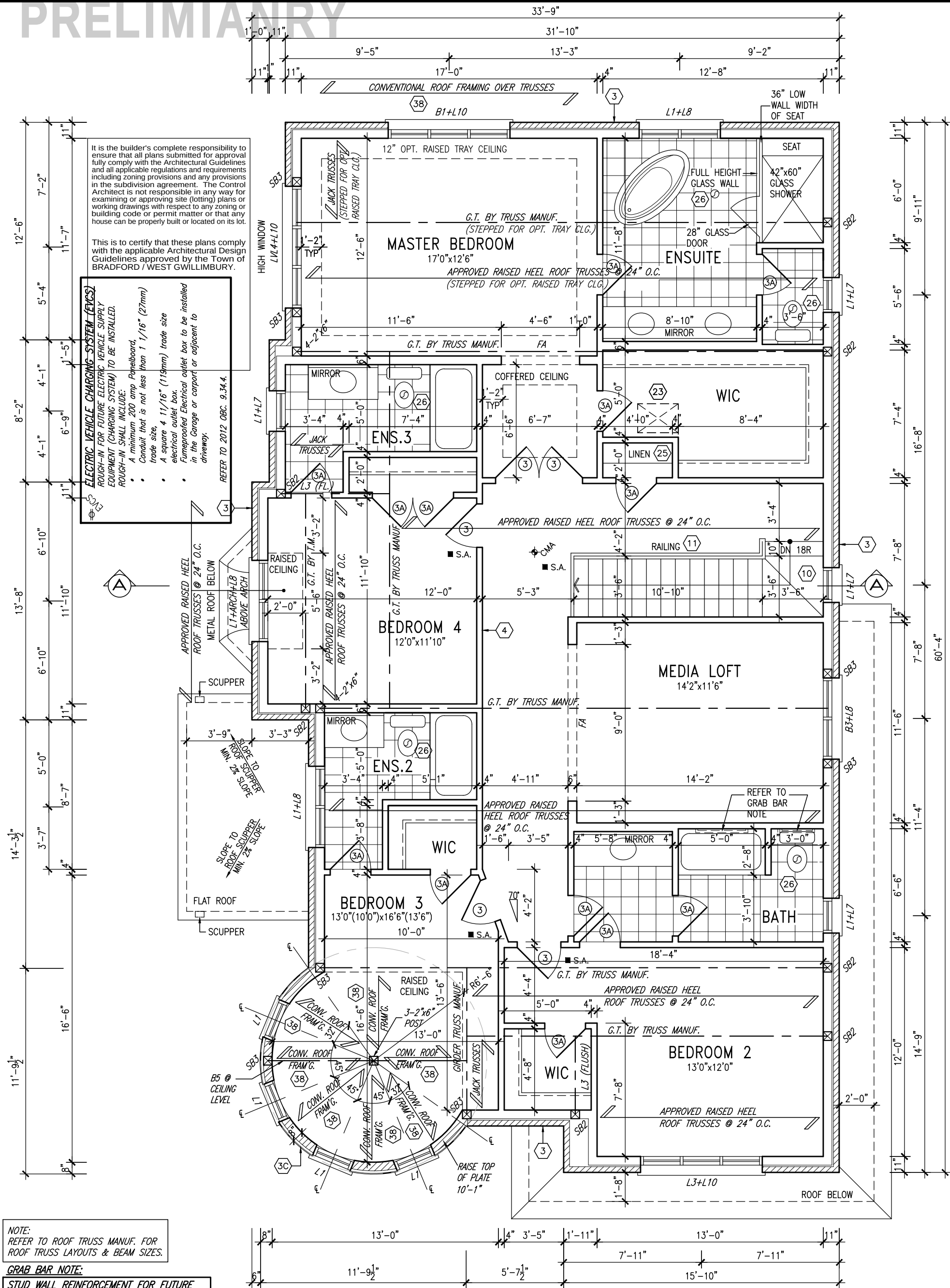
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4	10' GROUND FLOOR	JUL 06-21	KL
3	ADDED OPT. 9' BASEMENT	JUL 06-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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BAYVIEW WELLINGTON		S42-8C RIDEAU 8	
project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023	
date MARCH 2017	scale 3/16" = 1'-0"	file name 16023-S42-8C-10GRND	drawing no. 2B
drawn by SB	checked by .	RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-8C-10GRND.dwg - Thu - Jul 29 2021 - 10:32 AM	

PRELIMINARY



NOTE:
REFER TO ROOF TRUSS MANUF. FOR
ROOF TRUSS LAYOUTS & BEAM SIZES.

GRAB BAR NOTE:

**STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM**

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED.

GB-NOTE-2020.dwg

SECOND FLOOR PLAN 'B' 4 BEDROOM + MEDIA LOFT

10' GROUND

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5	.	.	.
4	10' GROUND FLOOR	JUL 06-21	KL
3	ADDED OPT. 9' BASEMENT	JUL 06-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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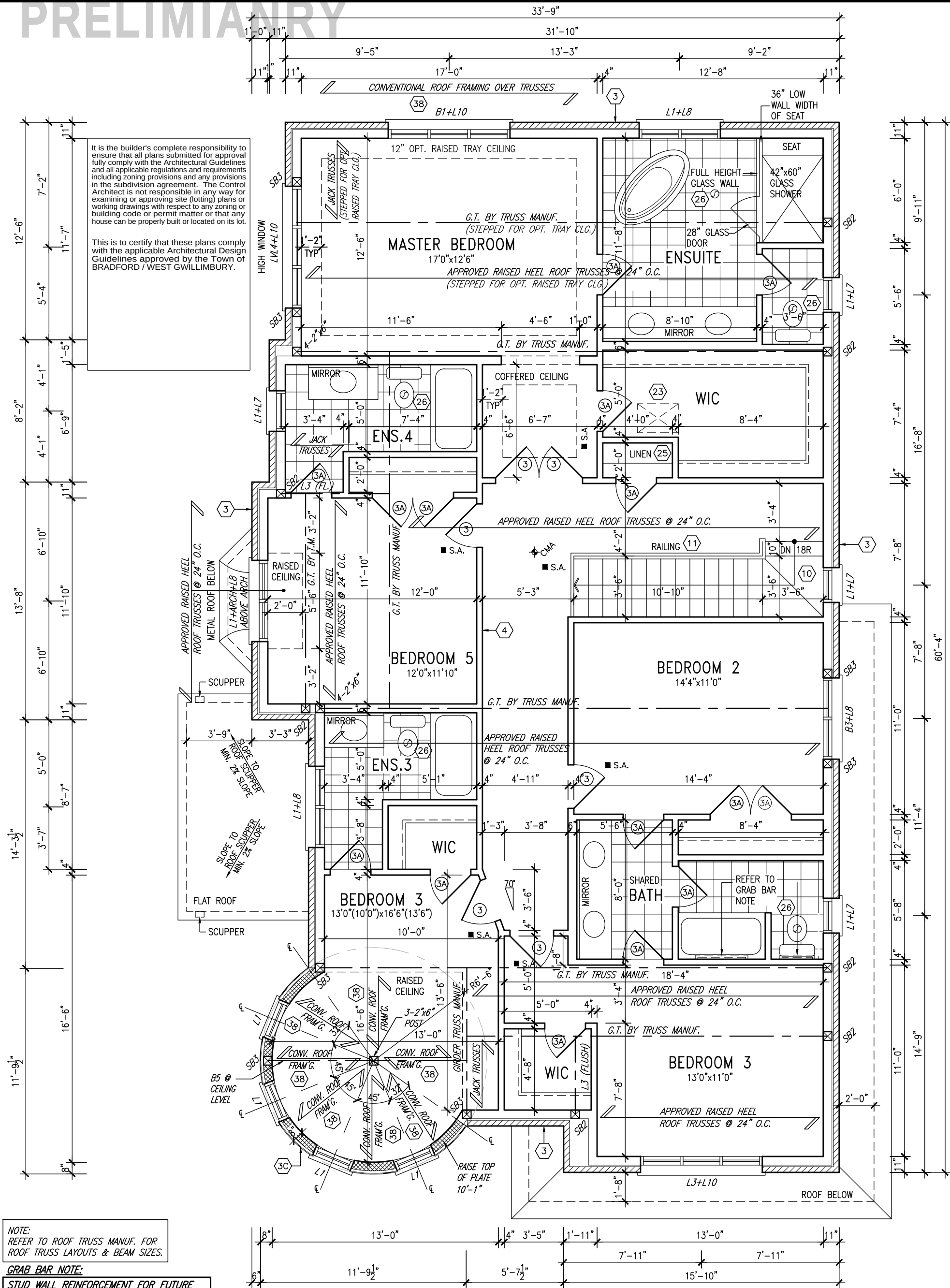
BAYVIEW WELLINGTON

S42-8C
RIDEAU 8

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	MARCH 2017	drawn by	SB	checked by	scale
					3/16" = 1'-0"
					16023-S42-8C-10GRND
					file name
					16023-S42-8C-10GRND
					drawing no.
					3B

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PRELIMINARY



OPT. SECOND FLOOR PLAN 'B'
5 BEDROOM W/ FOUR BATH

10' GROUND

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4	10' GROUND FLOOR	JUL 06-21	KL
3	ADDED OPT. 9' BASEMENT	JUL 06-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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S42-8C
RIDEAU 8

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	MARCH 2017	drawn by	SB	checked by	scale
					3/16" = 1'-0"
					16023-S42-8C-10GRND
					file name
					16023-S42-8C-10GRND.dwg
					Thru - Jul 29 2021 - 10:32 AM

drawing no.

4B

ROOF PLAN
ELEV. 'B'

AREA CALCULATIONS	
	ELEV. B
GROUND FLOOR AREA	1599.8 SF
SECOND FLOOR AREA	1920.1 SF
SUBTOTAL	3519.9 SF
DEDUCT ALL OPENINGS	0 SF
TOTAL NET AREA	3520 SF
	327.0 m2
FINISHED BSMT AREA	0 SF
TOTAL NET AREA	3520 SF
W/ FIN BSMT	327.0 m2
COVERAGE W/O PORCH	2045.7 SF
	190.1 m2
COVERAGE W/PORCH	2126.5 SF
	197.6 m2

10⁹ GROUND



FRONT ELEVATION 'B'

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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RIDEAU 8

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4	10' GROUND FLOOR	JUL 06-21	KL
3	ADDED OPT. 9' BASEMENT	JUL 06-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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$$1' - 0''$$

1' - 0"

1' - 0"

1'-0"

$$\begin{array}{c} 1' - 0' \\ \hline \end{array}$$

1'

0'' 1' -C

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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1

ATION 'B'

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BAYVIEW WELLINGTON

VALLEY EAST BFF

7

checked by	scale
	7 / 4 0" = 4' 0"

. 3/16 = 1-0
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Publications, related documents

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of the Designer which must be returned at the completion of the work.
Drawings are not to be scaled.

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4	10'	GROUND FLOOR	JUL 06-21 KL
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3	ADDED OPT. 9' BASEMENT	JUL 06-21	KL
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2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW		

no.	description	date	by
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FLANKAGE ELEVATION 'B'

10⁹ GROUND

PRELIMIANRY

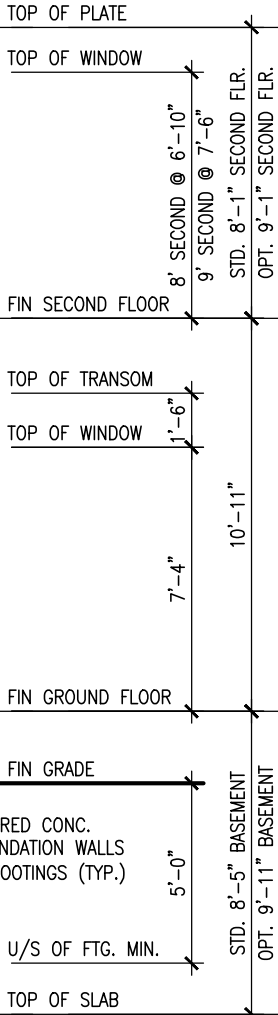
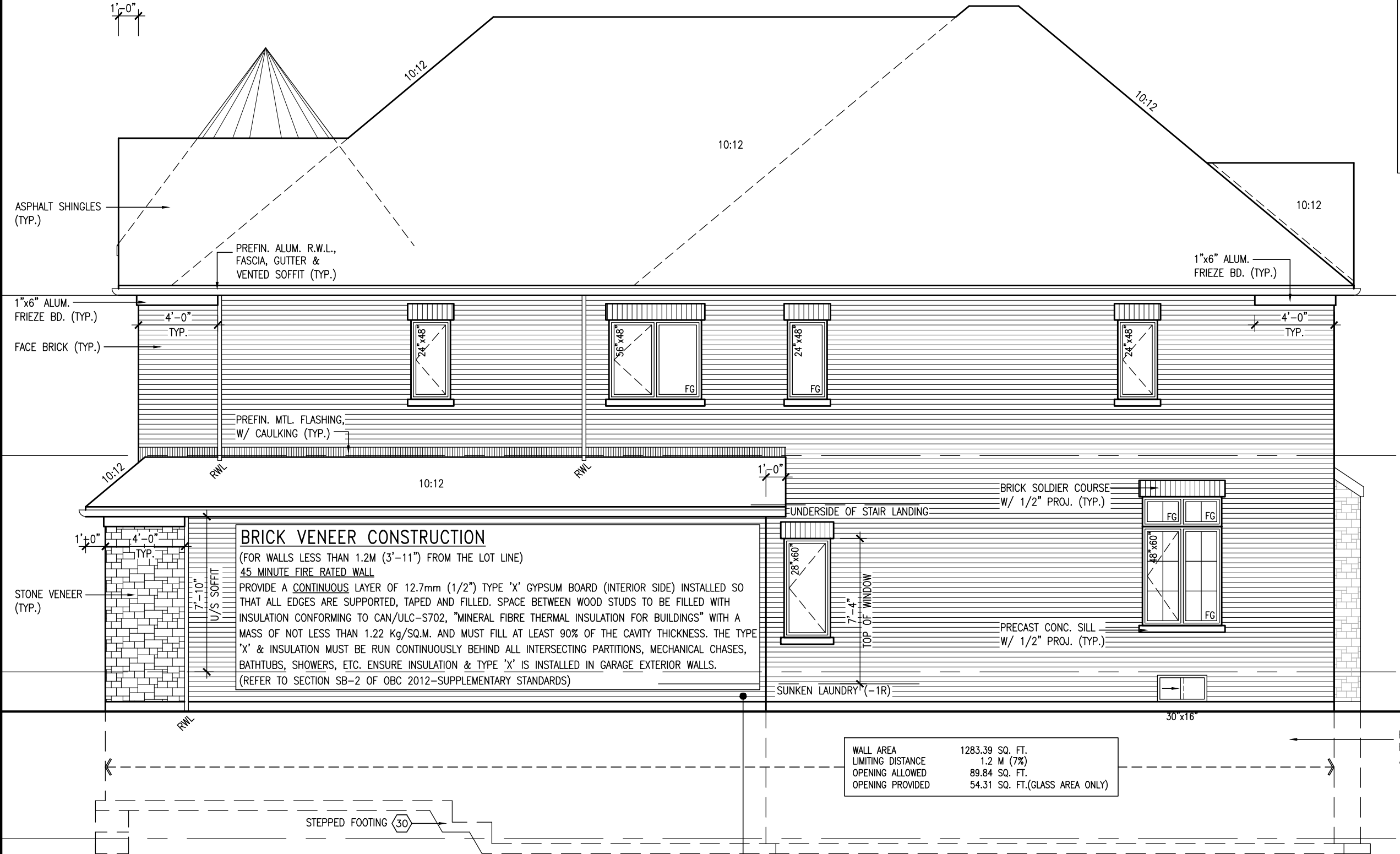
REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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WALL AREA	1283.39 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	89.84 SQ. FT.
OPENING PROVIDED	54.31 SQ. FT.(GLASS AREA ONLY)

HEADER/RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

RIGHT SIDE ELEVATION 'B'

project no.		project name		municipality		date		drawn by		checked by		scale		file name	
16023		GREEN VALLEY EAST		BRADFORD		MARCH 2017		SB		SB		3/16" = 1'-0"		16023-S42-8C-10CRND	
drawing no.		S42-8C		BAYVIEW WELLINGTON		RIGHT SIDE ELEVATION 'B'		16023-S42-8C-10CRND		16023-S42-8C-10CRND.dwg		Thu - Jul 29 2021 - 10:33 AM		7B	
no.		description		date		by		date		by		date		by	
9		10' GROUND FLOOR		JUL 06-21		KL									
8		ADDED OPT. 9' BASEMENT		JUL 06-21		KL									
7		REVISED AS PER ENG'S COMMENTS		FEB 01-18		RC									
6		ISSUED FOR CLIENT REVIEW													
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Architectural floor plan of a mechanical room. The plan shows the layout of a furnace, HWT (Hot Water Tank), and various structural elements. Key features include:

- Equipment:** A large furnace is located on the right side. An HWT is located at the top center.
- Structural Details:**
 - Floors:** A "BUILT UP FLOOR" is indicated in the upper left.
 - Joists:** "1 1/2\" ENG JOIST @ 12\" O.C." and "9 1/2\" ENG JOIST @ 12\" O.C. (LOW)" are shown.
 - Beams:** "LVL 4 (FL.)" and "LVL 4 (H&L)" are indicated.
 - Walls:** A "ROUGH-IN 9 1/2\" ENG JOIST @ 12\" O.C." is shown near the bottom left.
 - Foundation:** A note at the bottom center says "CHECK FOUNDATION WALL FOR MAN DOOR ABOVE".
- Dimensions:** Various dimensions are provided, such as "4'-11\"", "9'-2\"", "16'-4\"", "16'-10\"", "3'-6\"", "6\"", "4'-5\"", "2'-3\"", and "12\" O.C.".
- Annotations:**
 - "S.A." (Structural Annotation) is present in the upper left.
 - "UP" and "DOWN" arrows indicate directions.
 - "LOW HEADROOM" is noted in the lower right area.
 - "REFER TO DETAIL S1 FOR LATERAL SUPPORT @ STAIR OPENING," is noted on the right side.
 - "CHECK FOUNDATION WALL FOR MAN DOOR ABOVE" is noted at the bottom center.
- Callouts:** Several callouts are present, including "A", "S1", and "FROM ABOVE" (twice).

10⁹ GROUND

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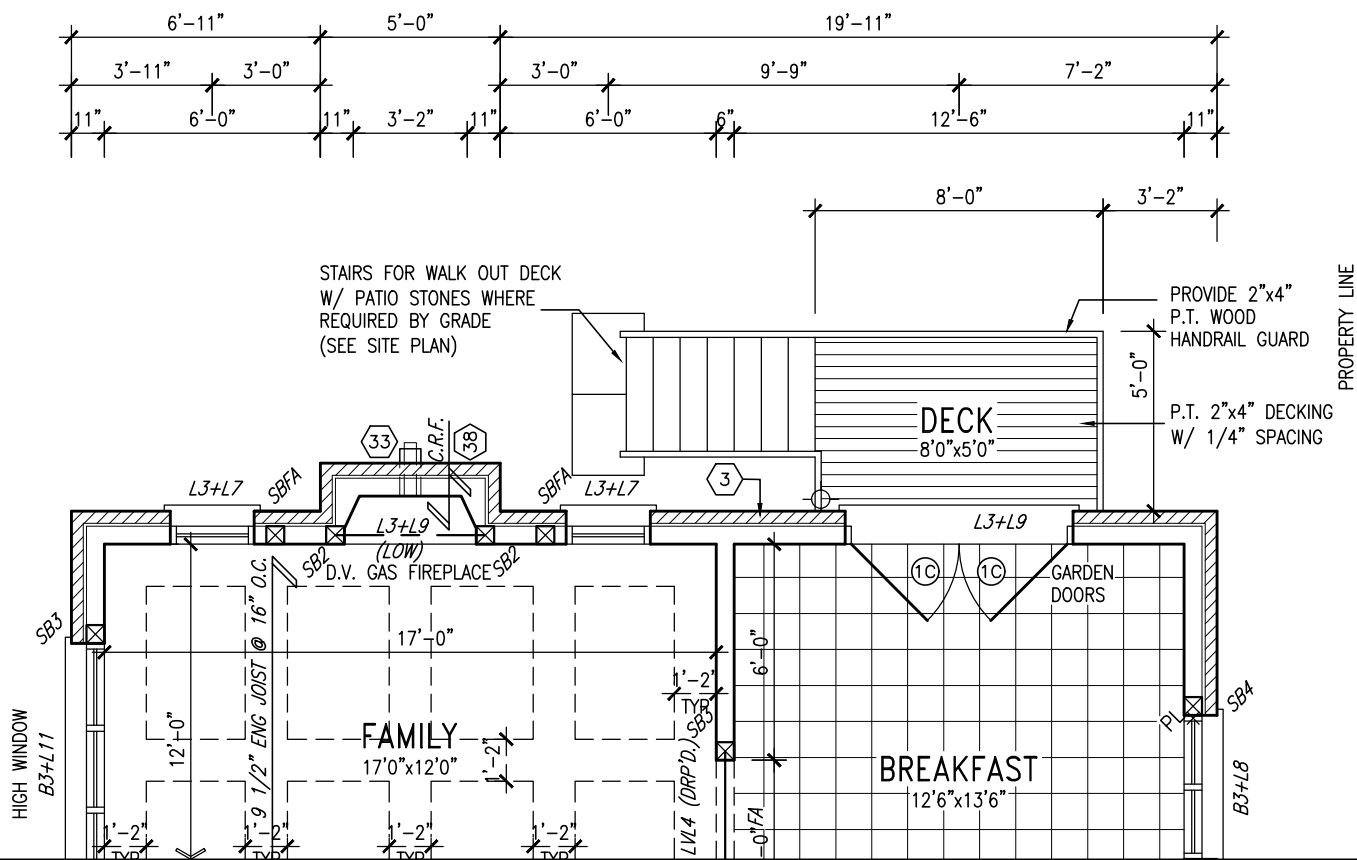
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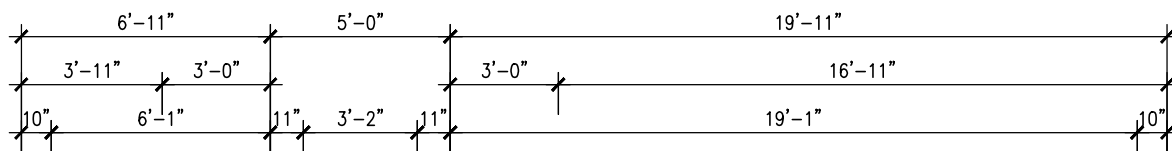
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NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.

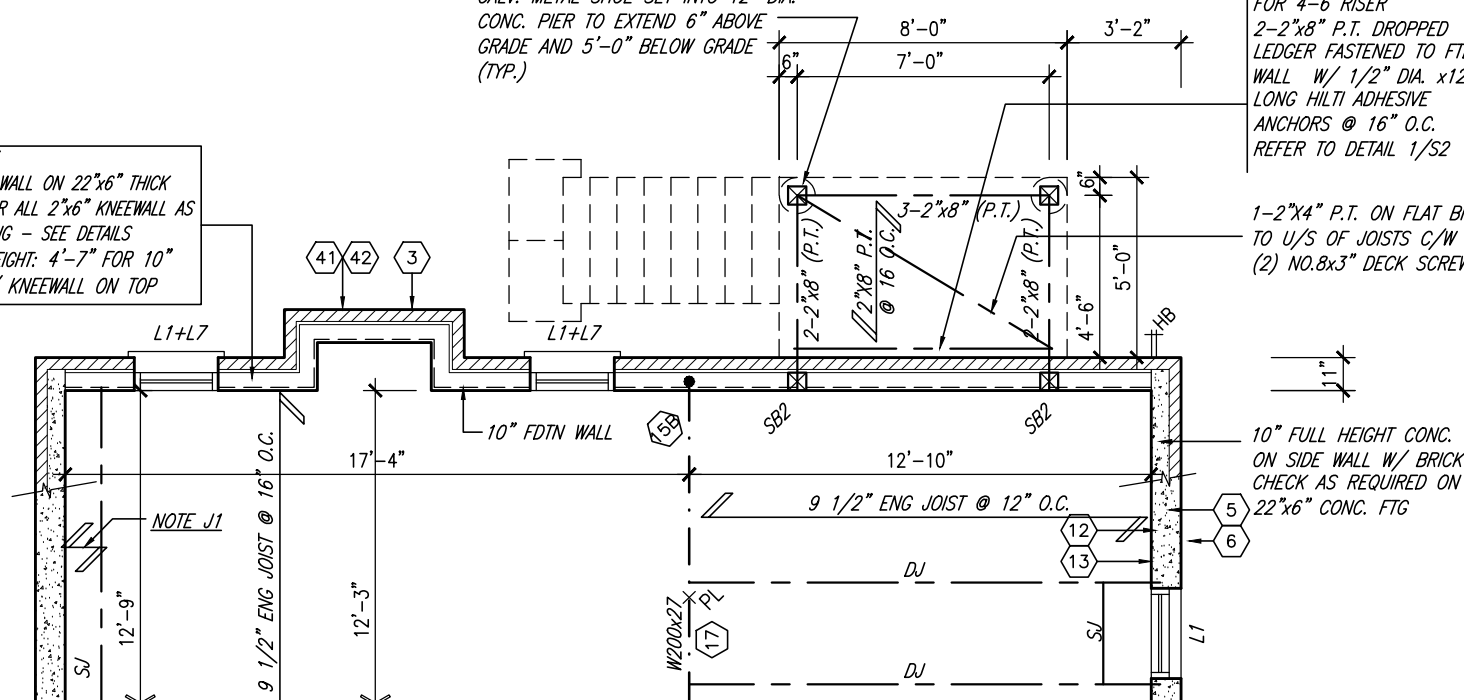


PART. GROUND FLOOR PLAN 'B' - W.O.D. 9R OR
MORE COND.

KIT-EX-NOTE-2020.dwg



1-2"x4" P.T. ON FLAT BRACE
- TO U/S OF JOISTS C/W
(2) NO.8x3" DECK SCREWS



PART. BASEMENT PLAN 'B' - W.O.D. 9R OR MORE
COND.

10⁹ GROUND

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BAYVIEW WELLINGTON

S42-8C
RIDEAU 8

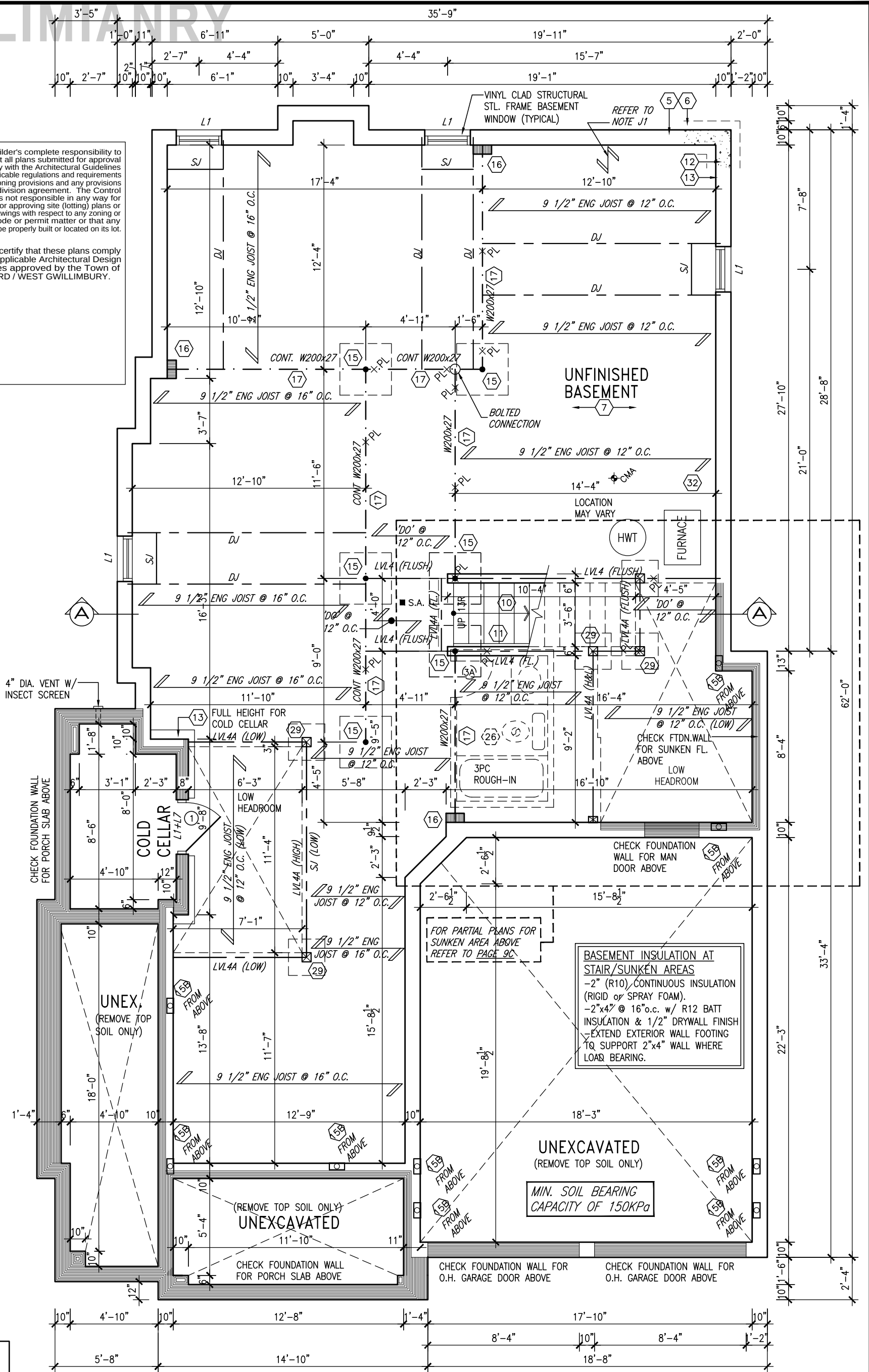
project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023
date MARCH 2017		drawing no. 10B
PARTIAL PLANS ELEVATION 'B' 9R WOD CONDITION		
drawn by SB	checked by .	scale 3/16" = 1'-0"
file name 16023-S42-8C-10GRND		
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10⁹ GROUND

9	.	.	.
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4	10' GROUND FLOOR	JUL 06-21	KL
3	ADDED OPT. 9' BASEMENT	JUL 06-21	KL
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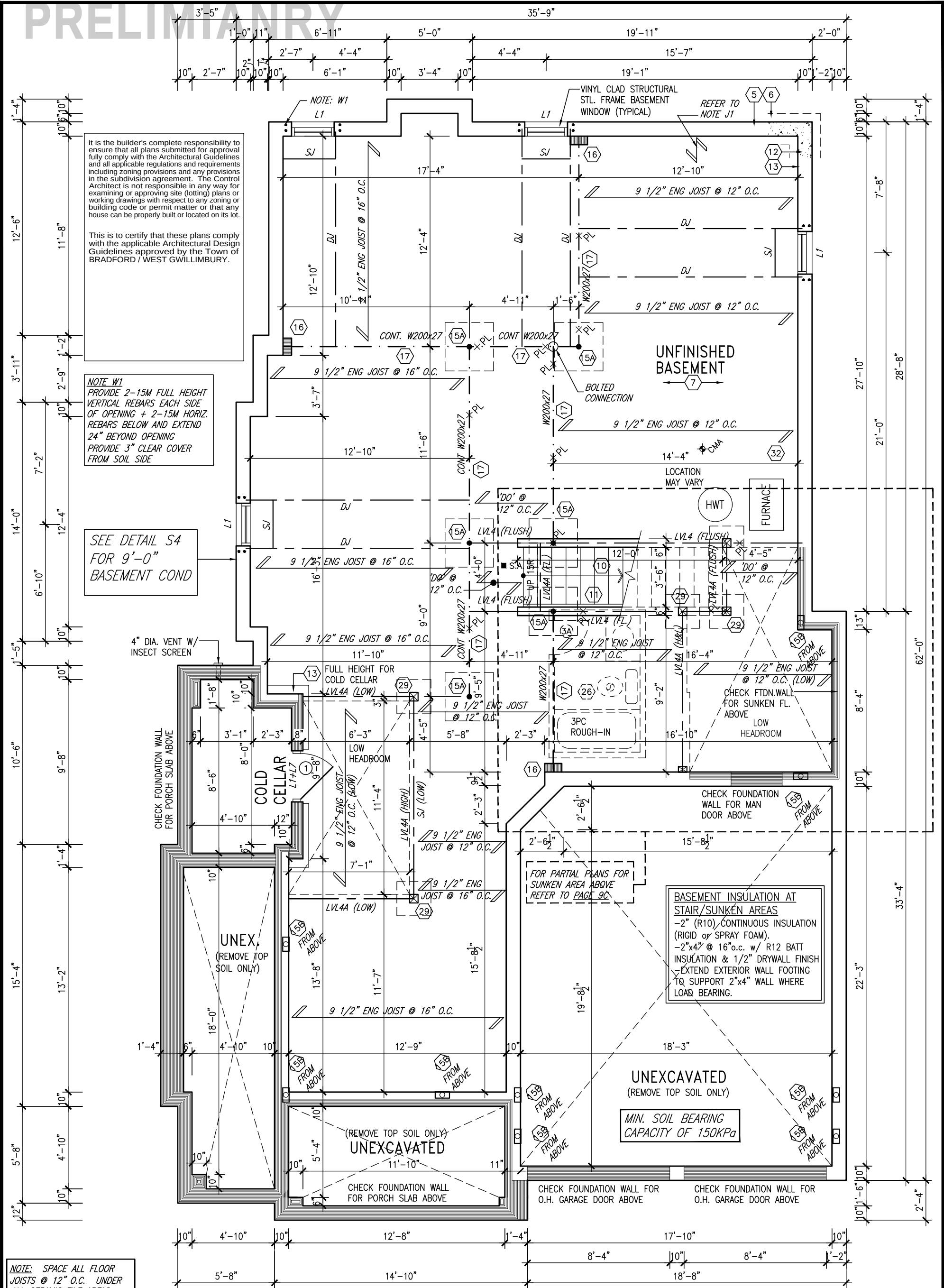


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S42-8C
RIDEAU 8

project name GREEN VALLEY EAST		municipality BRADFORD		project no. 16023	
date MARCH 2017		BASEMENT PLAN ELEVATION 'C'			
drawing no. 1C		drawing no.			
drawn by SB		checked by 3/16" = 1'-0"		file name 16023-S42-8C-10GRND	
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4	10' GROUND FLOOR	JUL 06-21	KL	.	.	.	.
3	ADDED OPT. 9' BASEMENT	JUL 06-21	KL	.	.	.	.
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC	.	.	.	.
1	ISSUED FOR CLIENT REVIEW	.	.	.	.	.	.
no.	description	date	by	.	.	.	.

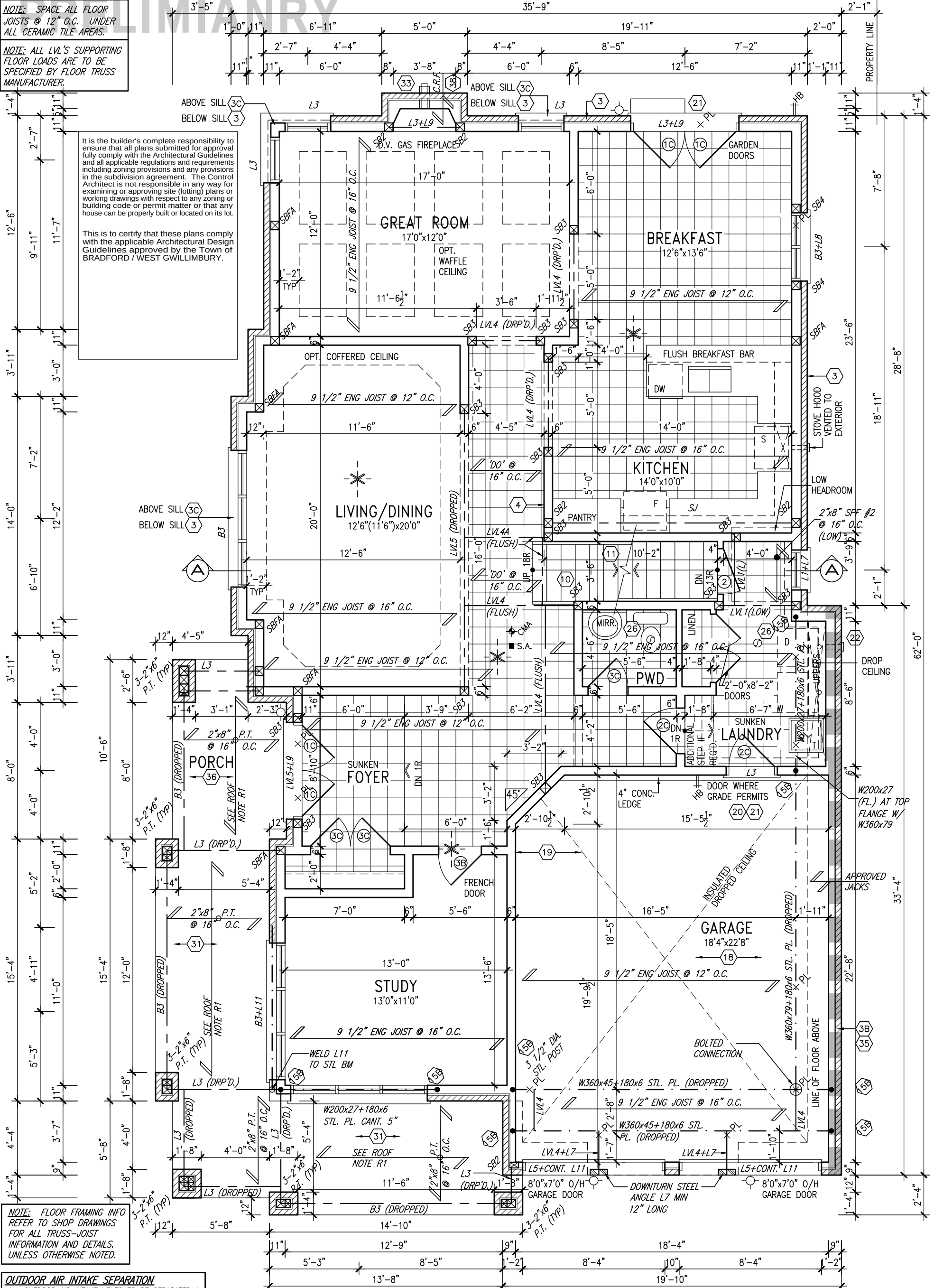
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• KITCHEN EXHAUST. 3.0m
• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

GROUND FLR. PLAN 'C' (10'-0" GROUND)

10' GROUND

INDICATES REDUCED SIDE YARD

9.	.	.	.
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4.	10' GROUND FLOOR	JUL 06-21	KL
3.	ADDED OPT. 9' BASEMENT	JUL 06-21	KL
2.	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
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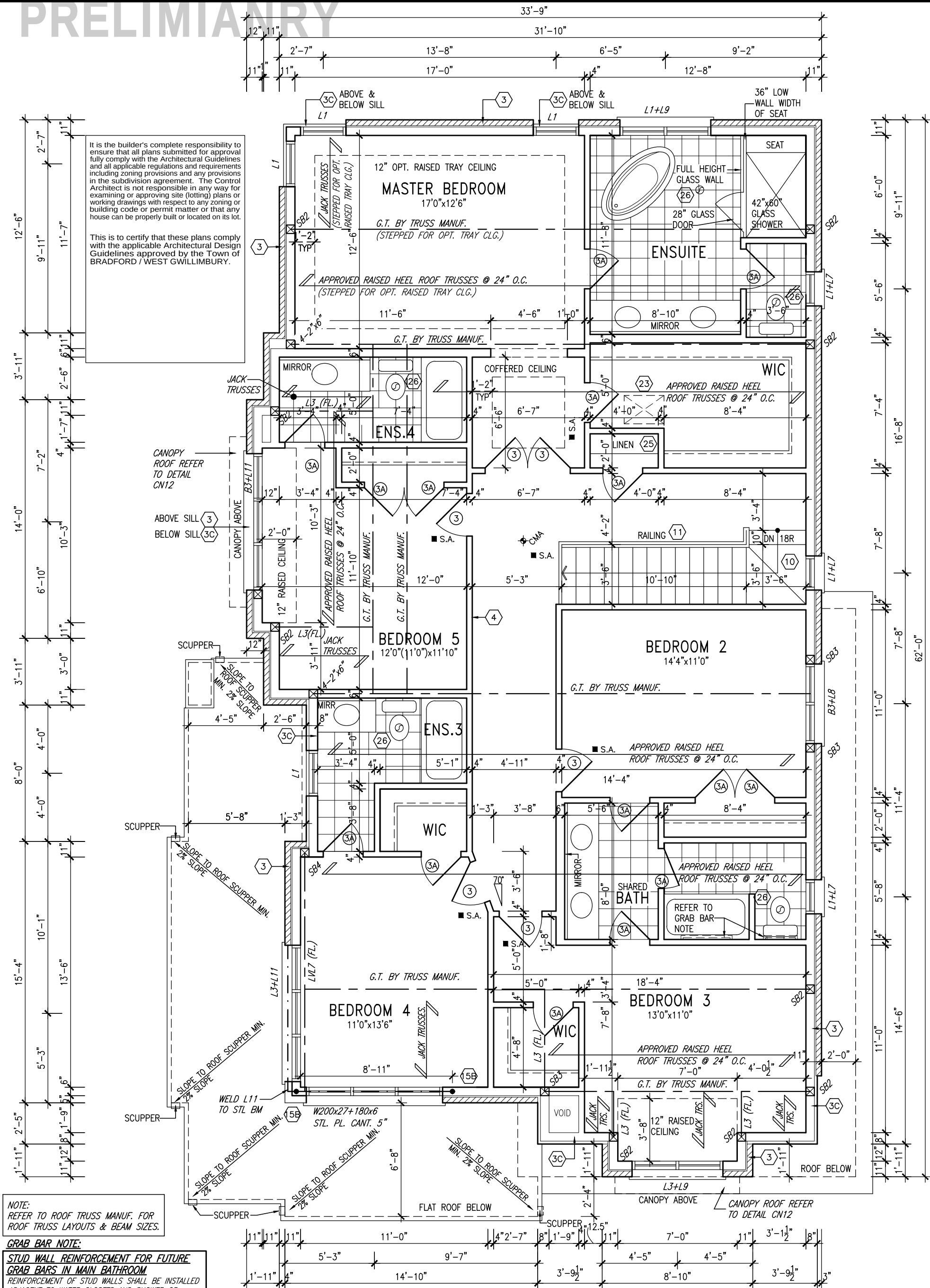
S42-8C
RIDEAU 8

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	MARCH 2017	scale	3/16" = 1'-0"	file name	16023-S42-8C-10GRND
drawn by	SB	checked by	RICHARD	drawing no.	2C
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PRELIMINARY



OPT. SECOND FLOOR PLAN 'C'
5 BEDROOM W/ FOUR BATH

10' GROUND

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
4	10' GROUND FLOOR	JUL 06-21	KL
3	ADDED OPT. 9' BASEMENT	JUL 06-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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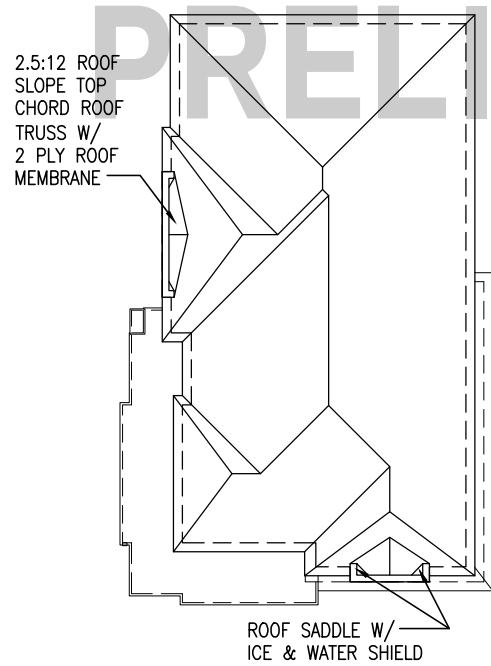


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BAYVIEW WELLINGTON

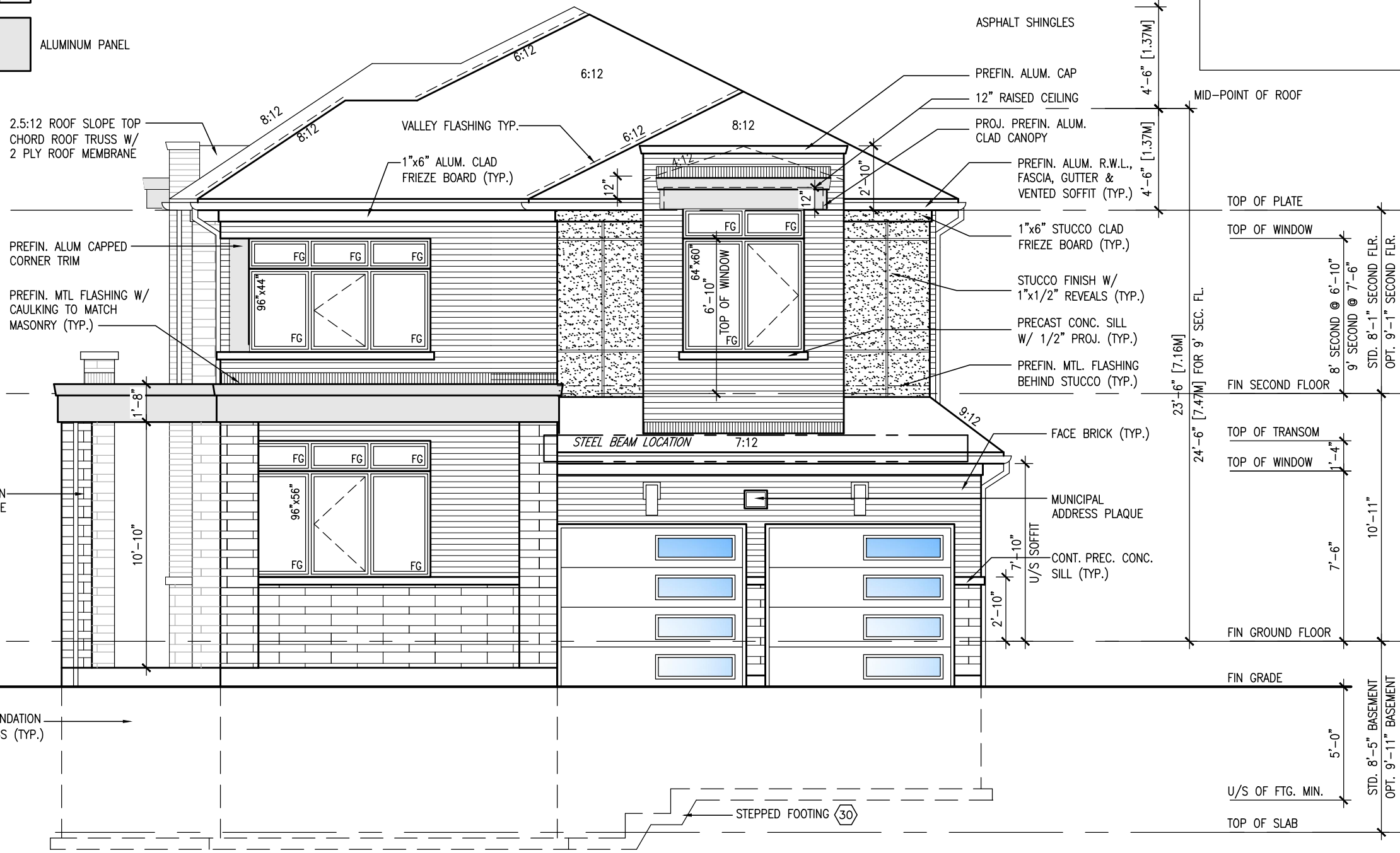
S42-8C
RIDEAU 8

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	MARCH 2017	scale	3/16" = 1'-0"	file name	16023-S42-8C-10GRND
drawn by	SB	checked by	.	drawing no.	4C
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ROOF PLAN
ELEV. 'C'

- FACE BRICK
- STUCCO FINISH
- RENAISSANCE STONE
- ALUMINUM PANEL



AREA CALCULATIONS	
	ELEV. C
GROUND FLOOR AREA	1558.6 SF
SECOND FLOOR AREA	##### SF
SUBTOTAL	1558.6 SF
DEDUCT ALL OPENINGS	0 SF
TOTAL NET AREA	1559 SF
	144.8 m2
FINISHED BSMT AREA	0 SF
TOTAL NET AREA	1559 SF
W/ FIN BSMT	144.8 m2
COVERAGE W/O PORCH	2004.6 SF
	186.2 m2
COVERAGE W/PORCH	2297.1 SF
	213.4 m2

10' GROUND

FRONT ELEVATION 'C'

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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S42-8C

RIDEAU 8

BAYVIEW WELLINGTON

GREEN VALLEY EAST

project no.

16023

drawing no.

5C

project name

BAYVIEW WELLINGTON

municipality

BRADFORD

date

MARCH 2017

checked by

SB

drawn by

SB

scale

3/16" = 1'-0"

file name

16023-S42-8C-10GRND

drawn on

16023-S42-8C-10GRND.dwg

drawn at

Thu - Jul 29 2021 - 10:33 AM

9

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no.

description

date

by

10' GROUND FLOOR

JUL 06-21

KL

ADDED OPT. 9' BASEMENT

JUL 06-21

KL

REVISED AS PER ENG'S COMMENTS

FEB 01-18

RC

ISSUED FOR CLIENT REVIEW

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PRELIMINARY

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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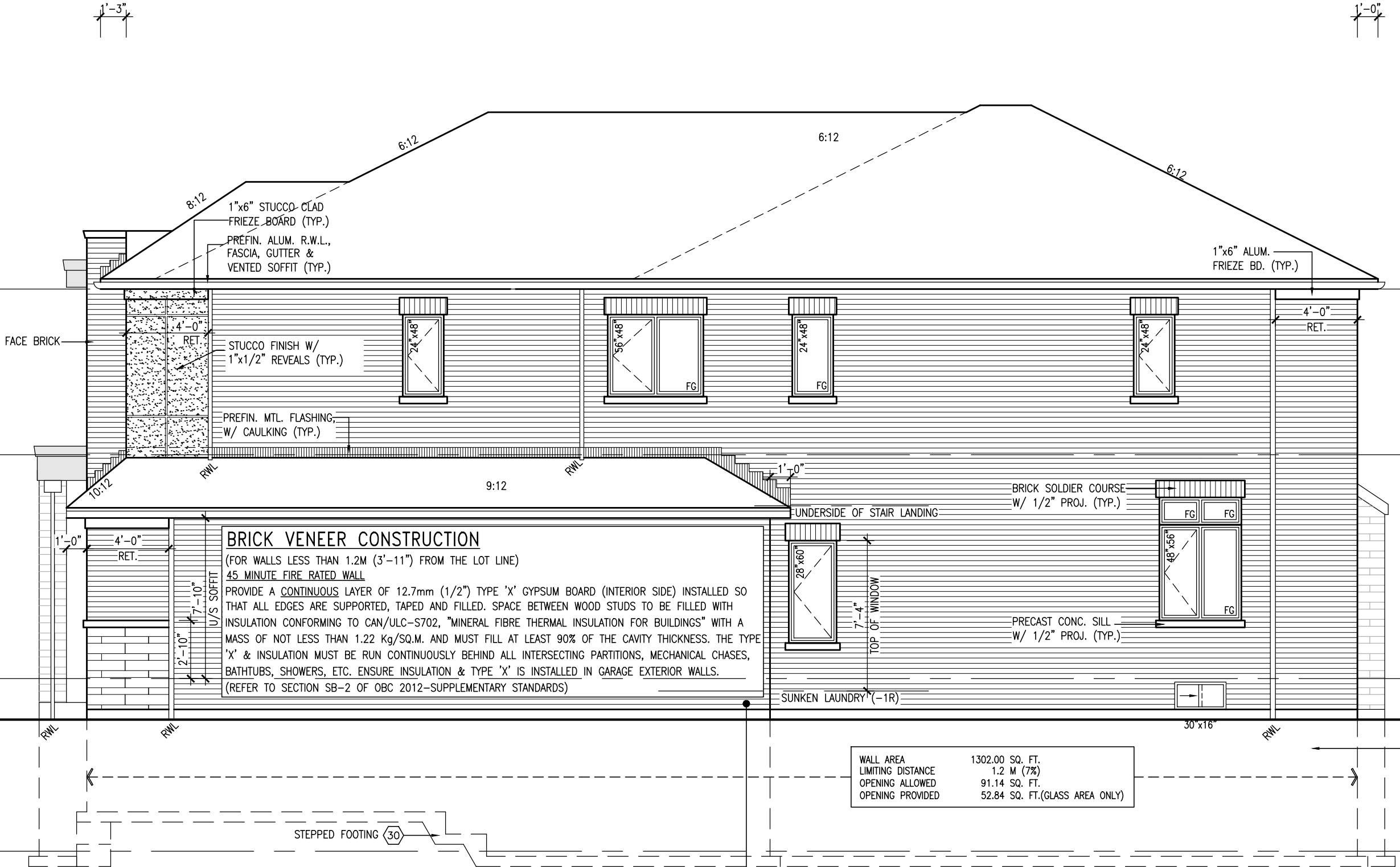
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project no.	S42-8C	
	RIDEAU 8	
drawing no.	16023	
	7C	
project name	BAYVIEW WELLINGTON	
	GREEN VALLEY EAST	
municipality	BRADFORD	
	RIGHT SIDE ELEVATION 'C'	
date	MARCH 2017	
	SB	
checked by	3/16" = 1'-0"	
	16023-S42-8C-10GRND	
drawn by	RICHARD - H:\ARCHIVE WORKING\2016\16023-S42-8C-10GRND.dwg - Thu - Jul 29 2021 - 10:33 AM	

project no.	120	
	255 Consumers Rd Suite 104	
drawing no.	164	
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checked by	VA3 DESIGN	
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no.	description	date	by
9			
8			
7			
6			
5			
4	10' GROUND FLOOR	JUL 06-21	KL
3	ADDED OPT. 9' BASEMENT	JUL 06-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW		

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BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.

(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)

45 MINUTE FIRE RATING @ HEADER

PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

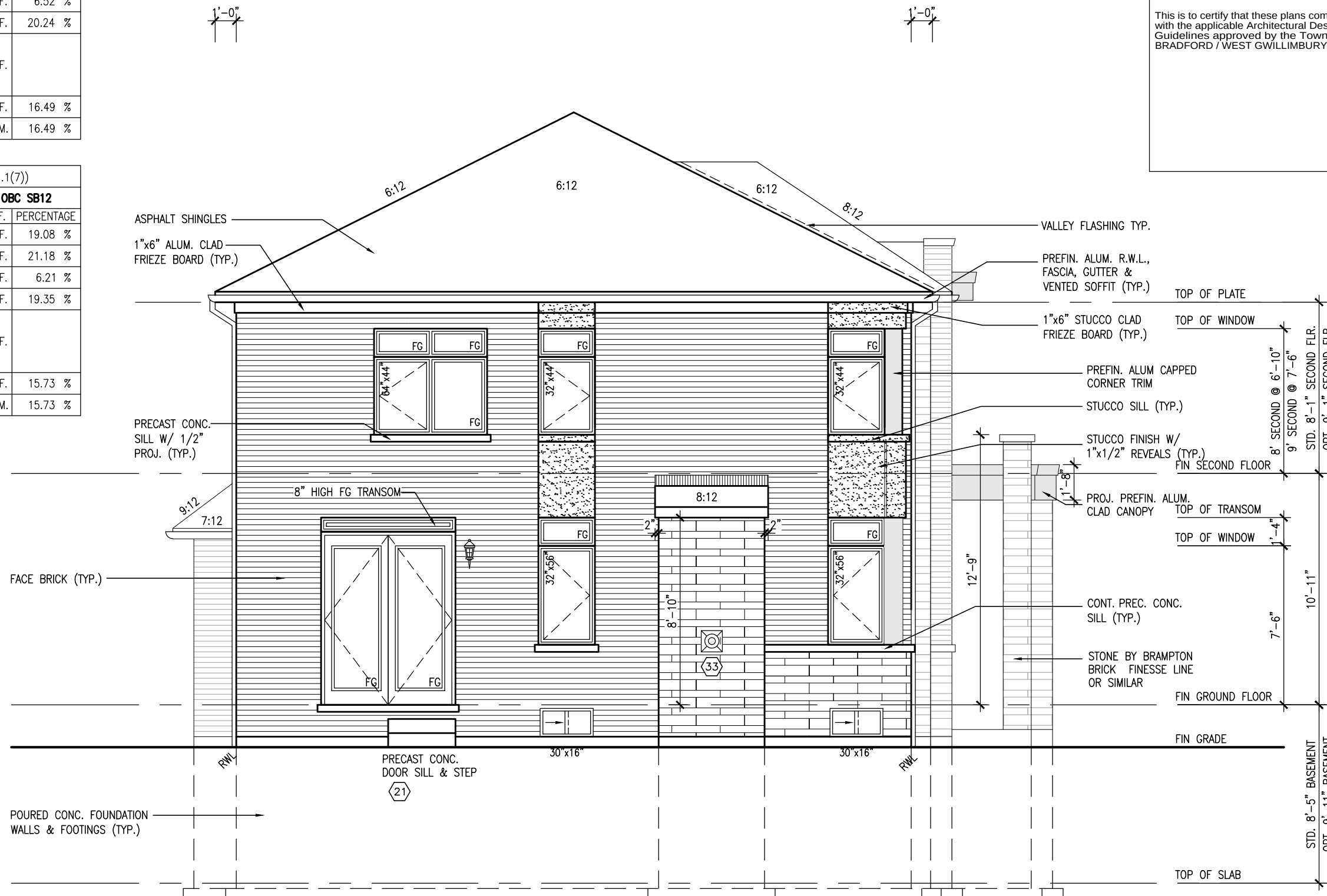
WALL AREA	1302.00 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	91.14 SQ. FT.
OPENING PROVIDED	52.84 SQ. FT.(GLASS AREA ONLY)

RIGHT SIDE ELEVATION 'C'

10' GROUND

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-8C ELC W/ 8' SECOND	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	732.96 S.F.	146.28 S.F.	19.96 %
LEFT SIDE	1259.89 S.F.	279.94 S.F.	22.22 %
RIGHT SIDE	1253.31 S.F.	81.67 S.F.	6.52 %
REAR	730.87 S.F.	147.94 S.F.	20.24 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3977.03 S.F.	655.83 S.F.	16.49 %
TOTAL SQ. M.	369.48 S.M.	60.93 S.M.	16.49 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-8C ELC W/ 9' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	766.71 S.F.	146.28 S.F.	19.08 %
LEFT SIDE	1321.89 S.F.	279.94 S.F.	21.18 %
RIGHT SIDE	1315.31 S.F.	81.67 S.F.	6.21 %
REAR	764.62 S.F.	147.94 S.F.	19.35 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4168.53 S.F.	655.83 S.F.	15.73 %
TOTAL SQ. M.	387.27 S.M.	60.93 S.M.	15.73 %



10⁹ GROUND

REAR ELEVATION 'C'

REFER TO FRONT ELEVATION FOR TYPICAL NOTES	R.W.L. AS REQUIRED & AS PER MUNICIPALITY	SEE DETAIL S4 FOR 9'-0" BASEMENT COND	It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions	project no. 16023 drawing no. 3C
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no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	 255 Consumers Rd, Suite 120 Toronto, ON M2J 1P4 t 416.630.2255 f 416.630.4782 vo3design.com	BAYVIEW WELLINGTON project name GREEN VALLEY EAST manipulated by BRADFORD project no. 16023	S42-8C RIDEAU 8
9	.	.	.				
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5	.	.	.				
4	10' GROUND FLOOR	JUL 06-21	KL				
3	ADDED OPT. 9' BASEMENT	JUL 06-21	KL				
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC				
1	ISSUED FOR CLIENT REVIEW	.	.				
no.	description	date	by				

[illegible]

Architectural cross-section drawing of a house, showing the first floor, second floor, and unfinished basement. The drawing includes room labels (BEDROOM 4, LIVING/DINING, UNFINISHED BASEMENT), structural details (stairs, walls, roof), and dimensions (1'-0", 8'-1", 9'-1", 10'-11", 6'-10 1/4", 9'-0 1/2"). Callouts 1 through 17 indicate specific construction details.

Rooms and Levels:

- Second Floor:** BEDROOM 4
- First Floor:** LIVING/DINING
- Basement:** UNFINISHED BASEMENT

Structural Details and Callouts:

- 1:** Roof truss/rafter detail.
- 2:** Roof truss/rafter detail.
- 3:** Wall/ceiling joint detail.
- 4:** Interior wall detail.
- 5:** Foundation/wall joint detail.
- 6:** Foundation/wall joint detail.
- 7:** Foundation/wall joint detail.
- 8:** Foundation/wall joint detail.
- 9:** Ceiling detail.
- 10:** Staircase detail.
- 11:** Staircase detail.
- 12:** Foundation/wall joint detail.
- 13:** Foundation/wall joint detail.
- 14:** Foundation/wall joint detail.
- 15:** Foundation/wall joint detail.
- 16:** Foundation/wall joint detail.
- 17:** Foundation/wall joint detail.

Dimensions:

- 1'-0":** Horizontal dimension at the top of the roof.
- 8'-1":** Vertical dimension from the top of the plate to the top of the second floor.
- 9'-1":** Vertical dimension from the top of the second floor to the top of the first floor.
- 10'-11":** Vertical dimension from the top of the first floor to the top of the basement.
- 6'-10 1/4":** Vertical dimension from the top of the basement to the top of the first floor.
- 9'-0 1/2":** Vertical dimension from the top of the basement to the top of the first floor.

Other Labels:

- TOP OF PLATE:** Horizontal line at the top of the second floor.
- FIN SECOND FLOOR:** Horizontal line at the top of the second floor.
- FIN GROUND FLOOR:** Horizontal line at the top of the first floor.
- FIN GRADE:** Horizontal line at the top of the basement.
- TOP OF SLAB:** Horizontal line at the top of the basement.

10⁹ GROUND

CROSS SECTION 'A-A'

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S42-8C
RIDEAU 8

BAYVIEW WELLINGTON

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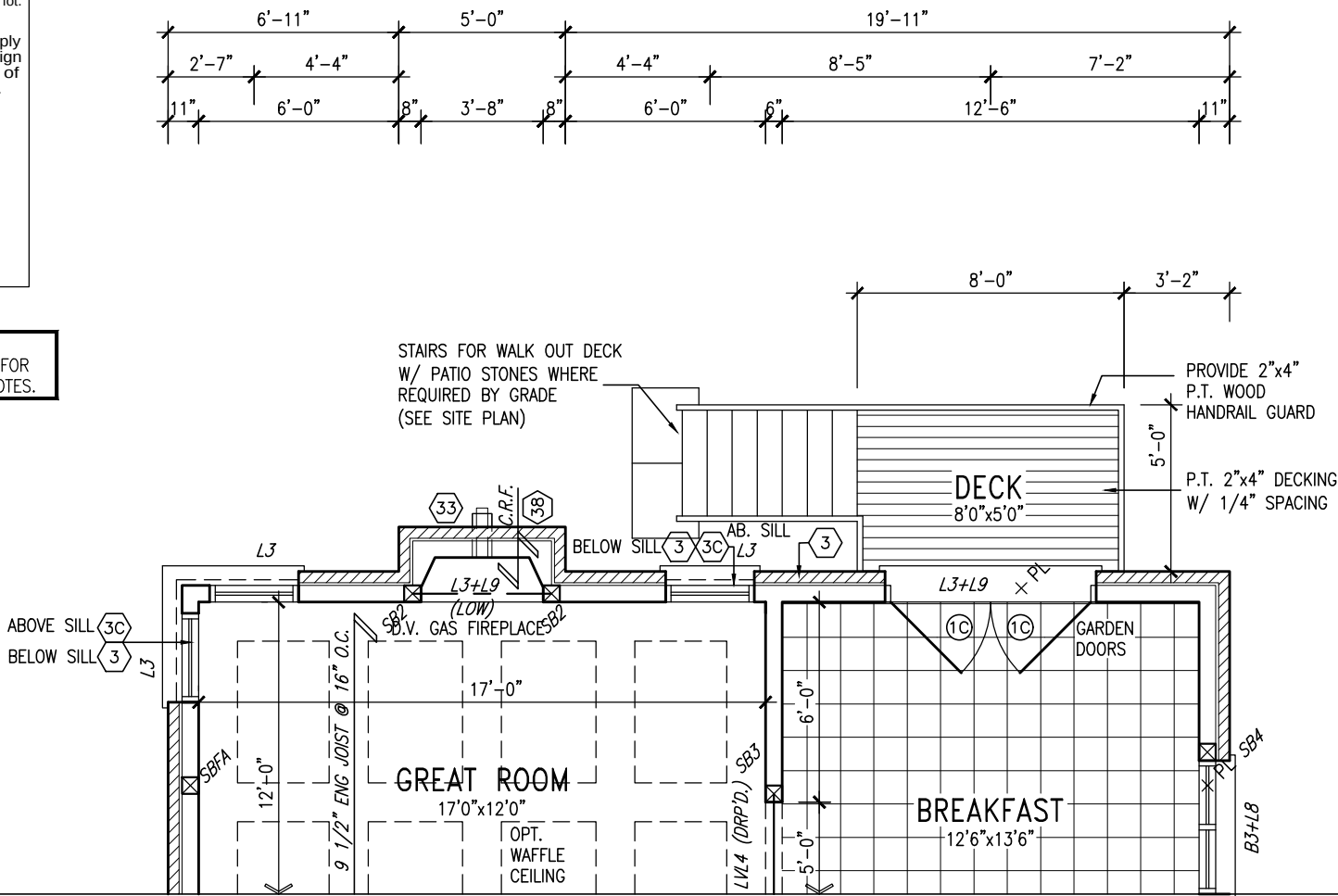
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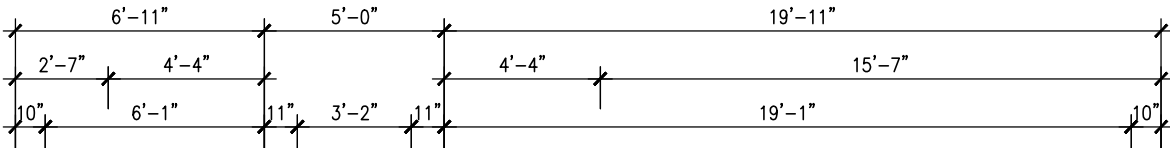
NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.



OUTDOOR AIR INTAKE SEPARATION

ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST. 3.0m
• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m
KIT-EX-NOTE-2020.dwg

PART. GROUND FLOOR PLAN 'C' - W.O.D. 9R OR MORE COND.



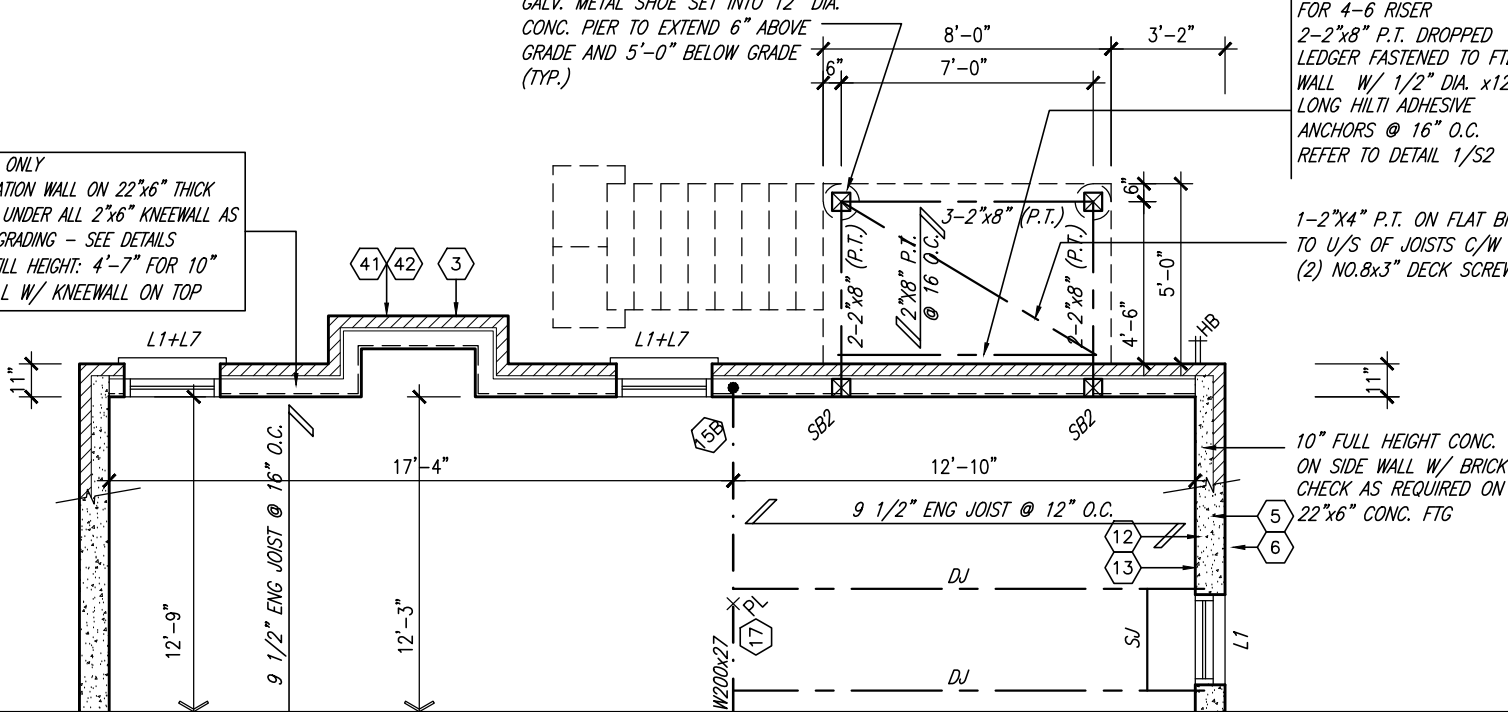
6"x6" P.T. WOOD POST BOLTED TO GALV. METAL SHOE SET INTO 12" DIA. CONC. PIER TO EXTEND 6" ABOVE GRADE AND 5'-0" BELOW GRADE (TYP.)

2-2"x8" P.T. DROPPED LEDGER FASTENED TO 2"x6" BLOCKING BETWEEN STUDS W/ 1/2" DIA. BOLTS @ 16" O.C. REFER TO DETAIL 1/S2

FOR 4-6 RISER
2-2"x8" P.T. DROPPED LEDGER FASTENED TO FTDN WALL W/ 1/2" DIA. x12" LONG HILTI ADHESIVE ANCHORS @ 16" O.C. REFER TO DETAIL 1/S2

1-2"x4" P.T. ON FLAT BRACE TO U/S OF JOISTS C/W (2) NO.8x3" DECK SCREWS

REAR WALL ONLY
10" FOUNDATION WALL ON 22"x6" THICK CONC. FTG UNDER ALL 2"x6" KNEEWALL AS REQ'D BY GRADING - SEE DETAILS
MAX BACKFILL HEIGHT: 4'-7" FOR 10" FNDN. WALL W/ KNEEWALL ON TOP



PART. BASEMENT PLAN 'C' - W.O.D. 9R OR MORE COND.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

10' GROUND

9.	.	.	.
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7.	.	.	.
6.	.	.	.
5.	.	.	.
4.	10' GROUND FLOOR	JUL 06-21	KL
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BAYVIEW WELLINGTON

S42-8C
RIDEAU 8

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	MARCH 2017	drawn by	SB	checked by	.
scale	3/16" = 1'-0"	file name	16023-S42-8C-10GRND	drawing no.	10C
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