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APR 14, 2022

4" DIA. VENT W/
INSECT SCREEN

CHECK FOUNDATION WALL
FOR PORCH SLAB ABOVE

UNEX.
(REMOVE TOP
SOIL ONLY)

UNEXCAVATED
(REMOVE TOP SOIL ONLY)

CHECK FOUNDATION WALL
FOR PORCH SLAB ABOVE

CHECK FOUNDATION WALL FOR
O.H. GARAGE DOOR ABOVE

CHECK FOUNDATION WALL FOR
O.H. GARAGE DOOR ABOVE

**BASEMENT INSULATION AT
STAIR/SUNKEN AREAS**
-2" (R10) CONTINUOUS INSULATION
(RIGID OR SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
EXTEND EXTERIOR WALL FOOTING
TO SUPPORT 2"x4" WALL WHERE
LOAD BEARING.

UNEXCAVATED
(REMOVE TOP SOIL ONLY)

MIN. SOIL BEARING
CAPACITY OF 150KPa

AREA CHART
ON PAGE 5A

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

BASEMENT PLAN 'A'

10' GROUND

9	.	.	.
8	.	.	.
7	.	.	.
6	REVISED AS PER ENG'S COMMENTS	APR 16-22	RC
5	REVISED AS PER FLOOR LAYOUT	APR 05-22	RC
4	10' GROUND FLOOR	JUL 06-21	KL
3	ADDED OPT. 9' BASEMENT	JUL 06-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information			
Wellington Jno-Baptiste		25591	
name	signature		BCIN
registration information			
VA3 Design Inc.		42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			

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BAYVIEW WELLINGTON		S42-8C RIDEAU 8	
project name	GREEN VALLEY EAST	municipality	BRADFORD
date	MARCH 2017	project no.	16023
drawn by	SB	checked by	scale
			3/16" = 1'-0"
BASEMENT PLAN ELEVATION 'A'		file name	16023-S42-8C-10GRND
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-8C-10GRND.dwg - Thu - Apr 14 2022 - 9:47 AM		drawing no.	1A

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

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DOOR HEIGHTS	
CEILING HEIGHT	DOOR HEIGHT
11'0" or greater	8'0" (96")
10'0"	8'0" (96")
9'0"	8'0" (80")
8'0" or lower	6'8" (80")

CONTRACTOR TO CONFIRM HEIGHTS WITH BUILDER

8"x8" FIBREGLASS COLUMN BY ROMAN COLUMNS W/ 1/2" THICK HDPE TOP LOADING PLATE ANCHORED TO 16"x16" MASONRY PIER.



APR 14, 2022

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

GROUND FLOOR PLAN 'A' (10'-0" GROUND)

INDICATES REDUCED SIDE YARD

10' GROUND

9	.	.	.
8	.	.	.
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Wellington Jno-Baptiste 25591
signature
name
registration information
VA3 Design Inc. 42658
BCIN

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BAYVIEW WELLINGTON

S42-8C
RIDEAU 8

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	MARCH 2017	checked by	scale	16023-S42-8C-10GRND	drawing no.
drawn by	SB	checked by	3/16" = 1'-0"	16023-S42-8C-10GRND	2A
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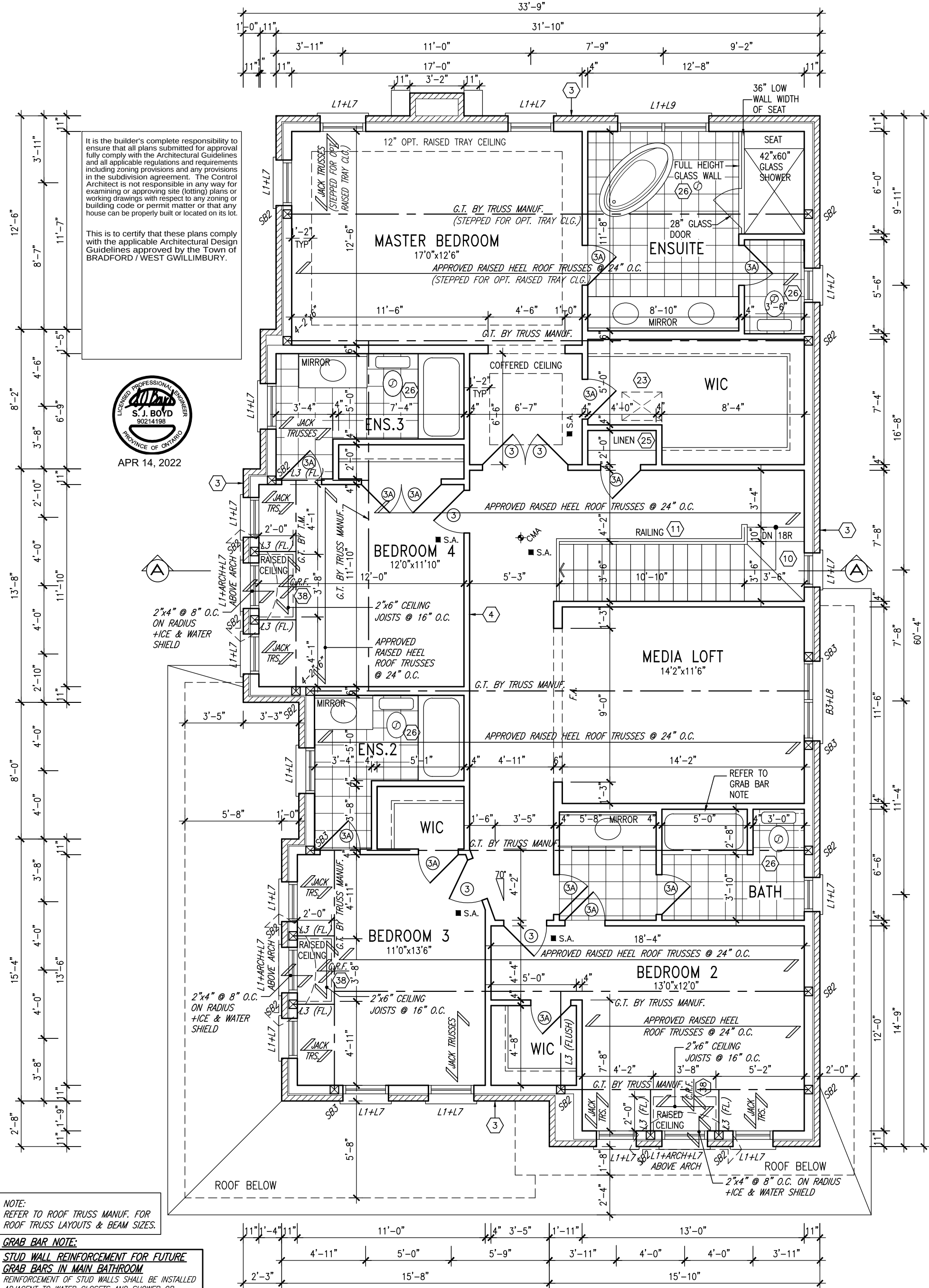
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APR 14, 2022

2"x4" @ 8" O.C.
ON RADIUS
+ICE & WATER
SHIELD



NOTE:
REFER TO ROOF TRUSS MANUF. FOR
ROOF TRUSS LAYOUTS & BEAM SIZES.

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED.

GB-NOTE-2020.dwg

SECOND FLOOR PLAN 'A'
4 BEDROOM + MEDIA LOFT

10' GROUND

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7	.	.	.
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BAYVIEW WELLINGTON

S42-8C
RIDEAU 8

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	MARCH 2017	scale	3/16" = 1'-0"	file name	16023-S42-8C-10GRND
drawn by	SB	checked by	.	drawing no.	3A
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APR 14, 2022

2"x4" @ 8" O.C.
ON RADIUS
+ICE & WATER
SHIELD

2"x4" @ 8" O.C.
ON RADIUS
+ICE & WATER
SHIELD

NOTE:
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ROOF TRUSS LAYOUTS & BEAM SIZES.

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GRAB BARS IN MAIN BATHROOM**

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BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3.
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SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED.

GB-NOTE-2020.dwg

OPT. SECOND FLOOR PLAN 'A'
5 BEDROOM W/ FOUR BATH

10' GROUND

9	.	.	.
8	.	.	.
7	.	.	.
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name
registration information BCIN
VA3 Design Inc. 42658

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**VA3
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BAYVIEW WELLINGTON

S42-8C
RIDEAU 8

project name
GREEN VALLEY EAST

municipality
BRADFORD

project no.

16023

date

MARCH 2017

drawn by

SB

OPTIONAL SECOND FLOOR PLAN ELEVATION 'A'

checked by
scale
3/16" = 1'-0"

file name
16023-S42-8C-10GRND

drawing no.

4A

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R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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APR 14, 2022

1'-0" 1'-0" 1'-0" 1'-0" 1'-0" 1'-0"

8:12 10:12 8:12 8:12 10:12 8:12

2"x4" @ 8" O.C. W/ 3/8" EXTERIOR GRADE PLYWOOD W/ ICE & WATER SHIELD UNDER ROLLED ROOF TO MATCH SHINGLES (TYP.)
 MID-POINT OF ROOF

5'-11" [1.79M] 5'-11" [1.79M]

ASPHALT SHINGLES (TYP.)
 PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)
 VALLEY FLASHING (TYP.)
 RAISED CEILING RADIUS=4'-5"
 DBL. BRICK ROWLOCK ARCH HEADER ON 4" BRICK STACK BOND W/ 1/2" PROJ. (TYP.)
 1"x6" ALUM. FRIEZE BD. (TYP.)
 DBL. BRICK ROWLOCK HEADER ON 4" BRICK STACK BONDS W/ 1/2" PROJ. (TYP.)
 FACE BRICK (TYP.)

8' SECOND @ 6'-10" 9' SECOND @ 7'-6" STD. 8'-1" SECOND FLR. OPT. 9'-1" SECOND FLR.

TOP OF PLATE
 TOP OF WINDOW
 FIN SECOND FLOOR

24'-11" [7.59M] 25'-11" [7.90M] FOR 9' SEC. FL.

8'-10" U/S SOFFIT
 3'-6" DBL. BRICK ROWLOCK HEADER W/ 1/2" PROJ. (TYP.)
 CONT. DBL. PRECAST CONC. SILL BANDS W/ 1/2" PROJ. (TYP.)
 STONE VENEER (TYP.)

1"x6" ALUM. FRIEZE BD. (TYP.)
 8"x8" FIBREGLOSS COLUMN BY ROMAN COLUMNS W/ 1/2" THICK HDPE TOP LOADING PLATE ANCHORED TO 16"x16" MASONRY PIER.
 PRECAST CONC. SILL W/ 1/2" PROJ. (TYP.)

1'-6" TOP OF TRANSOM
 1'-6" TOP OF WINDOW
 7'-4" 10'-11"

8'0"x7'0" O/H GARAGE DOOR 8'0"x7'0" O/H GARAGE DOOR

FIN GROUND FLOOR
 FIN GRADE

POURED CONC. FOUNDATION WALLS & FOOTINGS (TYP.)
 STEPPED FOOTING (30)

5'-0" U/S OF FTG. MIN. 5'-0"

TOP OF SLAB

8' SECOND @ 6'-10" 9' SECOND @ 7'-6" STD. 8'-1" SECOND FLR. OPT. 9'-1" SECOND FLR.

FRONT ELEVATION 'A'

10⁹ GROUND

AREA CALCULATIONS	
	ELEV. A
GROUND FLOOR AREA	1558.2 SF
SECOND FLOOR AREA	1895.8 SF
SUBTOTAL	3454.1 SF
DEDUCT ALL OPENINGS	0 SF
TOTAL NET AREA	3454 SF
	320.9 m2
FINISHED BSMT AREA	0 SF
TOTAL NET AREA	3454 SF
W/ FIN BSMT	320.9 m2
COVERAGE W/O PORCH	2004.2 SF
	186.2 m2
COVERAGE W/PORCH	2259.6 SF
	209.9 m2

[illegible]

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REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
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SEE DETAIL S4 FOR 9'-0"
BASEMENT COND



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FLANKAGE ELEVATION 'A'

10' GROUND

BAYVIEW WELLINGTON

S42-8C
RIDEAU 8

project name
GREEN VALLEY EAST
municipality
BRADFORD
project no.
16023
drawing no.
6A

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Wellington Jno-Baptiste 25591 BCN
name
VA3 Design Inc. 42658
registration information
JUL 06-21 KL
JUL 06-21 KL
FEB 01-18 RC
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no.	description	date	by
9			
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REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

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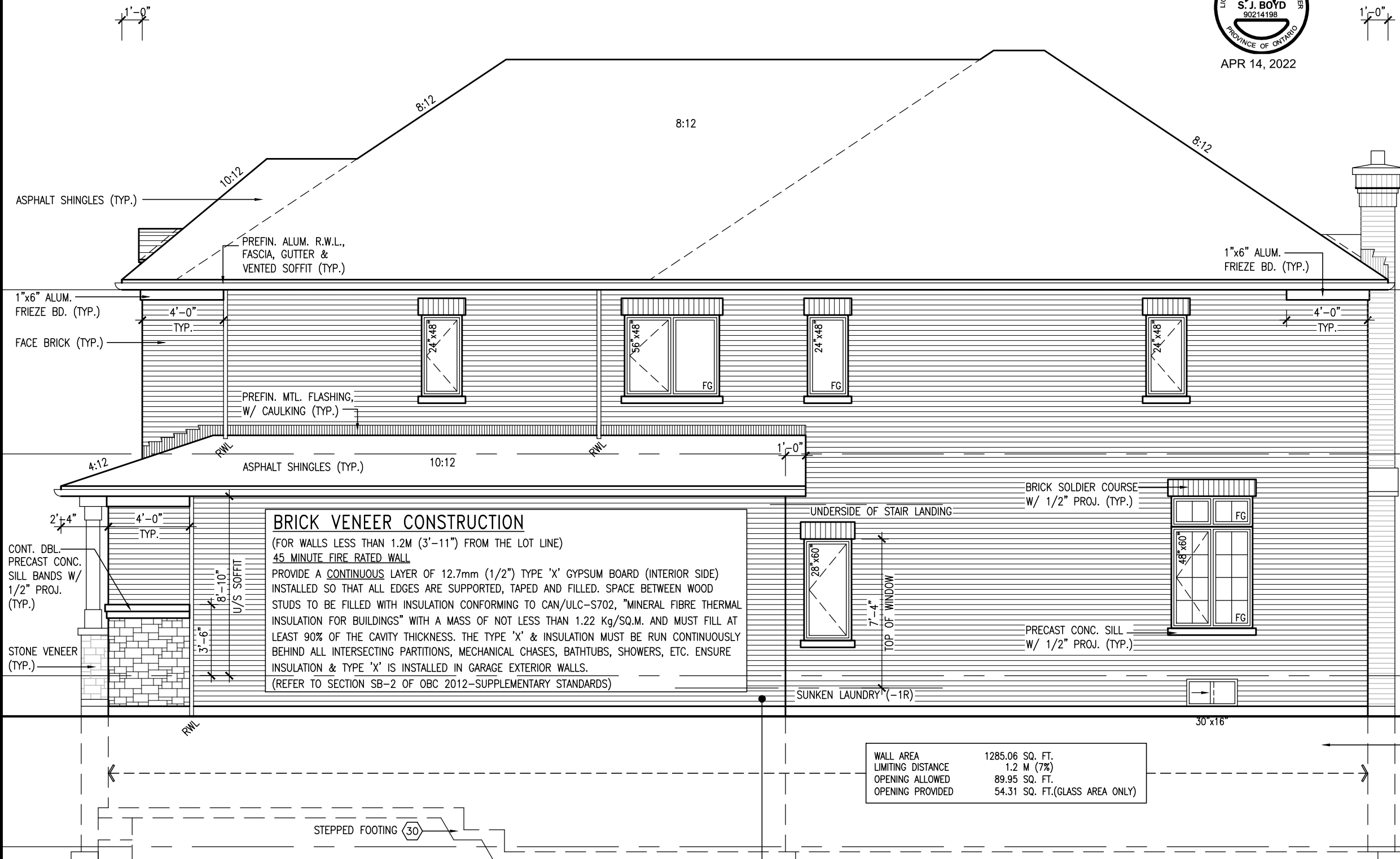
SEE DETAIL S4 FOR 9'-0"
BASEMENT COND



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BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

WALL AREA	1285.06 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	89.95 SQ. FT.
OPENING PROVIDED	54.31 SQ. FT.(GLASS AREA ONLY)

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

RIGHT SIDE ELEVATION 'A'

S42-8C
RIDEAU 8

BAYVIEW WELLINGTON

project name
GREEN VALLEY EAST

project no.
16023

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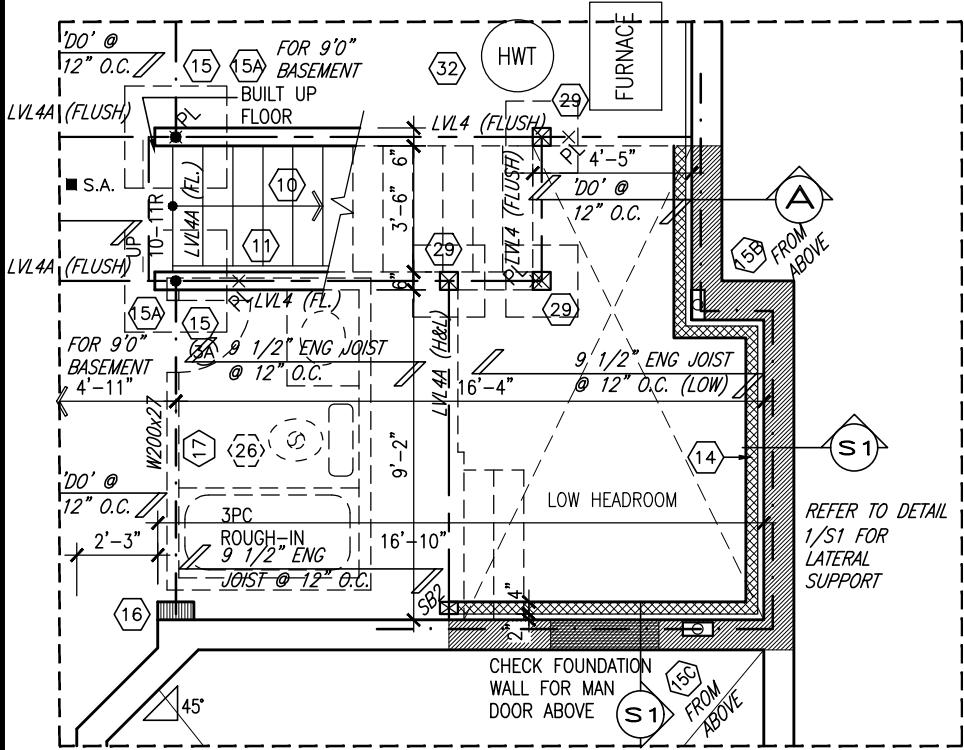
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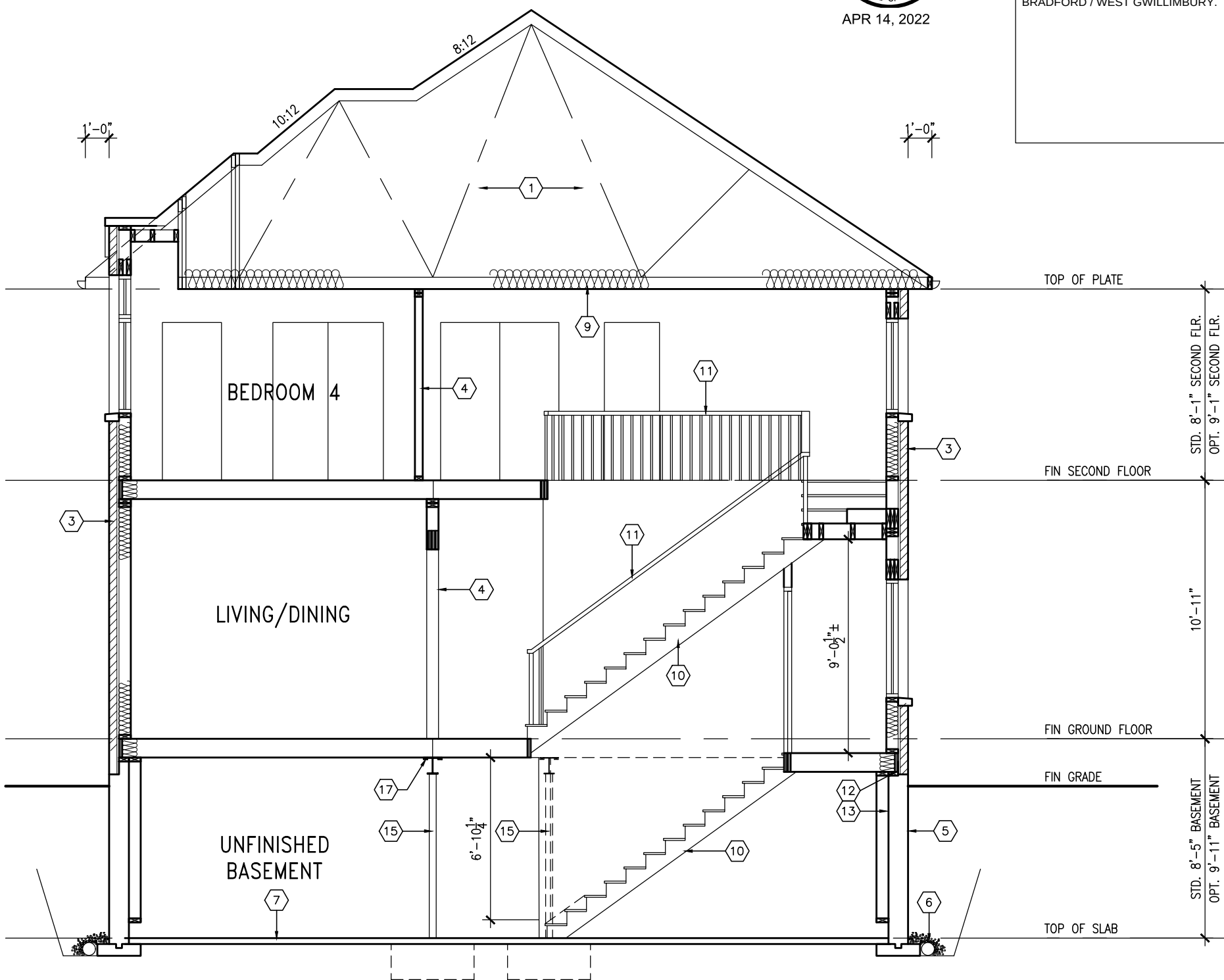
project no.
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project no.
16023

project no.
16023



PART. BASEMENT PLAN W/ SUNKEN LAUNDRY (-2R to -3R COND.)



CROSS SECTION 'A-A'

SEE DETAIL S4 FOR 9'-0" BASEMENT COND



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10' GROUND

S42-8C RIDEAU 8		BAYVIEW WELLINGTON BRADFORD, ON	
project no. 13045 drawing no. 9A		project name GREEN VALLEY ESTATES date SEPTEMBER 2014 checked by N.HOR scale 3/16" = 1'-0"	
CROSS SECTION & PART. FL. PLANS		file name 16023-S42-8C-10GRND.dwg date APR 14 2022 time 9:47 AM	
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Signature: <i>[Signature]</i> Name: Wellington Jno-Baptiste Registration Information: BCIN 25591 VAB Design Inc. 42658		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
6. REVISED AS PER ENG'S COMMENTS APR 16-22 RC 5. REVISED AS PER FLOOR LAYOUT APR 05-22 RC 4. 10' GROUND FLOOR JUL 06-21 KL 3. ADDED OPT. 9' BASEMENT JUL 06-21 KL 2. REVISED AS PER ENG'S COMMENTS FEB 01-18 RC 1. ISSUED FOR CLIENT REVIEW 14-09-12 .		no. description date by	

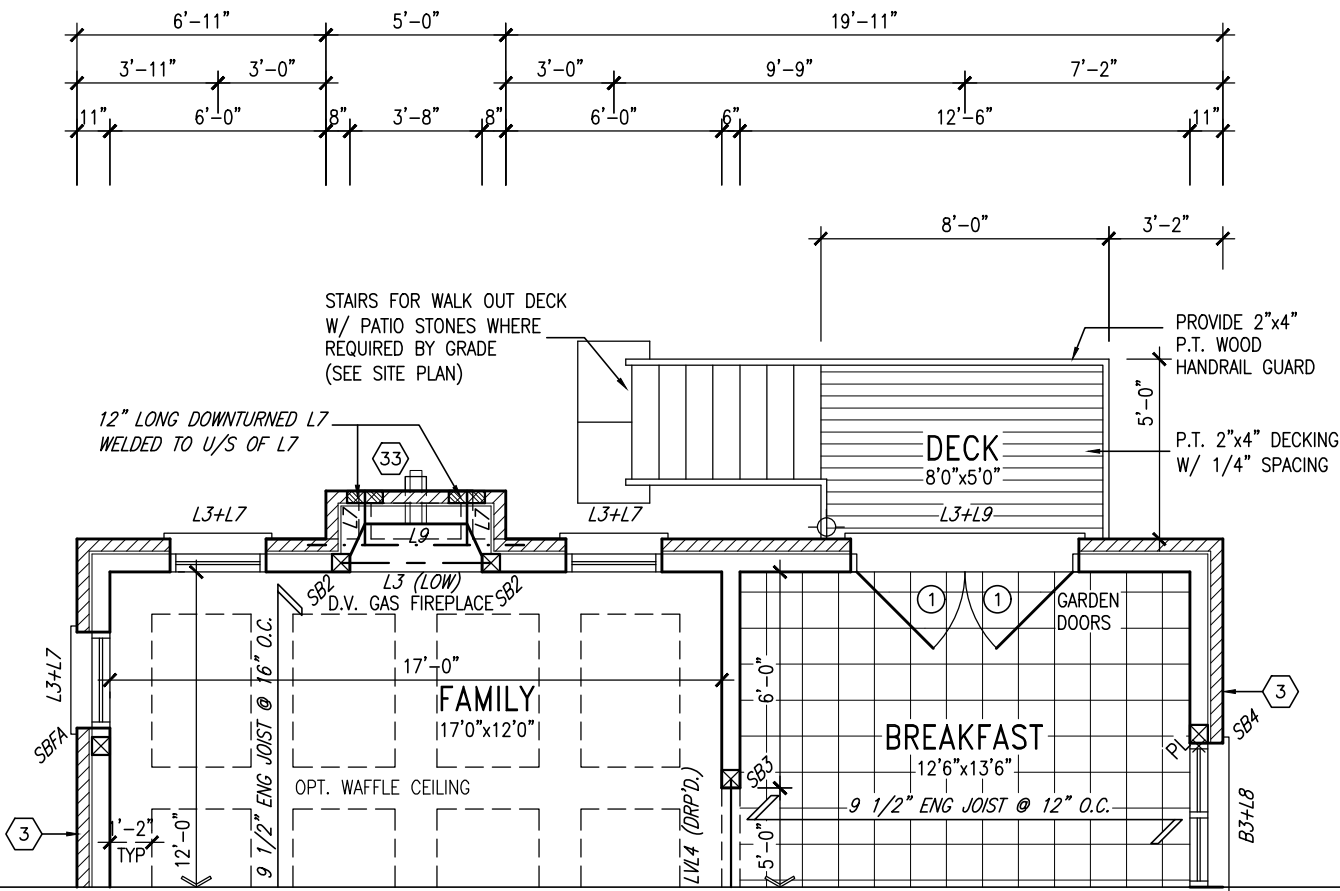
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NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.



APR 14, 2022



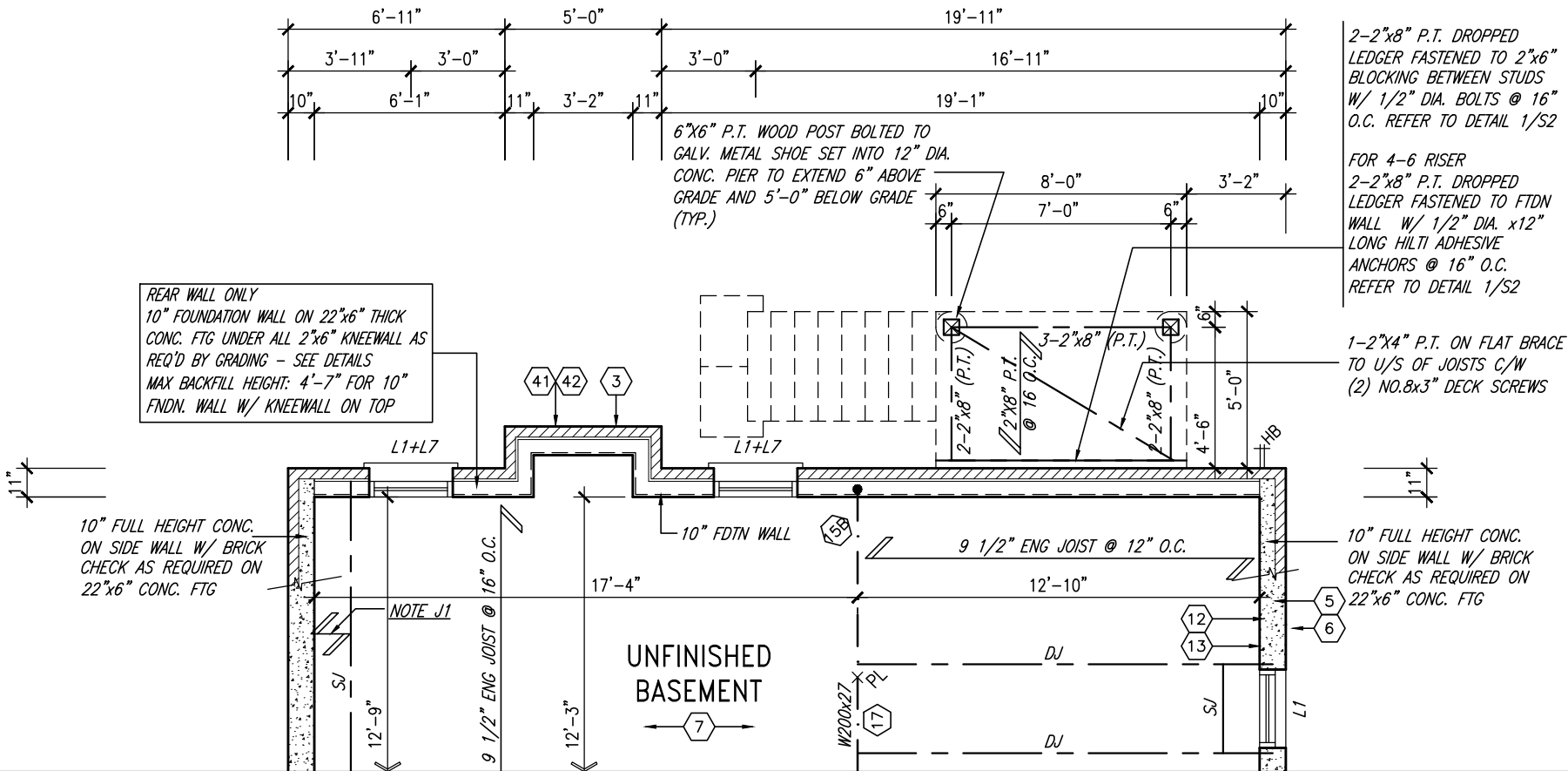
OUTDOOR AIR INTAKE SEPARATION

ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

PART. GROUND FLOOR PLAN 'A' - W.O.D. 9R OR MORE COND.



PART. BASEMENT PLAN 'A' - W.O.D. 9R OR MORE COND.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

BASEMENT INSULATION AT STAIR/SUNKEN AREAS

- 2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
- 2"x4" @ 16" o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
- EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

10' GROUND

9	.	.	.
8	.	.	.
7	.	.	.
6	REVISED AS PER ENG'S COMMENTS	APR 16-22	RC
5	REVISED AS PER FLOOR LAYOUT	APR 05-22	RC
4	10' GROUND FLOOR	JUL 06-21	KL
3	ADDED OPT. 9' BASEMENT	JUL 06-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information			
Wellington Jno-Baptiste	signature	25591	BCIN
name registration information			
VA3 Design Inc.		42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			



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va3design.com

BAYVIEW WELLINGTON

S42-8C
RIDEAU 8

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	MARCH 2017	scale	3/16" = 1'-0"	file name	16023-S42-8C-10GRND
drawn by	SB	checked by	.	drawing no.	10A
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-8C-10GRND.dwg - Thu - Apr 14 2022 - 9:47 AM					

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NOTE W1
PROVIDE 2-15M FULL HEIGHT VERTICAL REBARS EACH SIDE OF OPENING + 2-15M HORIZ. REBARS BELOW AND EXTEND 24" BEYOND OPENING
PROVIDE 3" CLEAR COVER FROM SOIL SIDE

REFER TO MANUFACTURERS TEMPLATE FOR DIMENSION

SEE DETAIL S4 FOR 9'-0" BASEMENT COND



NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

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8	.	.	.	qualification information
7	.	.	.	
6	REVISED AS PER ENG'S COMMENTS	APR 16-22	RC	Wellington Jno-Baptiste 25591
5	REVISED AS PER FLOOR LAYOUT	APR 05-22	RC	name registration information BCIN
4	10' GROUND FLOOR	JUL 06-21	KL	VA3 Design Inc. 42658
3	ADDED OPT. 9' BASEMENT	JUL 06-21	KL	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC	
1	ISSUED FOR CLIENT REVIEW	.	.	
no.	description	date	by	

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BAYVIEW WELLINGTON		S42-8C RIDEAU 8	
project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023	
date MARCH 2017	checked by SB	scale 3/16" = 1'-0"	drawing no. 1B
BASEMENT PLAN ELEVATION 'B'			
file name 16023-S42-8C-10GRND			
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APR 14, 2022

3-2"x6" P.T. ANCHORED TO PORCH W/ GALV. METAL SHOE (TYP.)

ROOF NOTE R1:
2"x4" @ 12" O.C. DIAGONALLY CUT CROSS PURLINS W/ 5/8" EXTERIOR GRADE SHEATHING W/ SINGLE PLY ROOF MEMBRANE

DOOR HEIGHTS	CEILING HEIGHT	DOOR HEIGHT
11'0" or greater	8'0" (96")	8'0" (96")
10'0"	8'0" (96")	8'0" (96")
9'0"	8'0" (96")	8'0" (96")
8'0" or lower	8'0" (96")	8'0" (96")
CONTRACTOR TO CONFIRM HEIGHTS WITH BUILDER		

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

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• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

GROUND FLOOR PLAN 'B' (10'-0" GROUND)

INDICATES REDUCED SIDE YARD

10' GROUND

9	.	.	.	.
8	.	.	.	.
7	.	.	.	.
6	REVISED AS PER ENG'S COMMENTS	APR 16-22	RC	.
5	REVISED AS PER FLOOR LAYOUT	APR 05-22	RC	.
4	10' GROUND FLOOR	JUL 06-21	KL	.
3	ADDED OPT. 9' BASEMENT	JUL 06-21	KL	.
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC	.
1	ISSUED FOR CLIENT REVIEW	.	.	.
no.	description	date	by	.

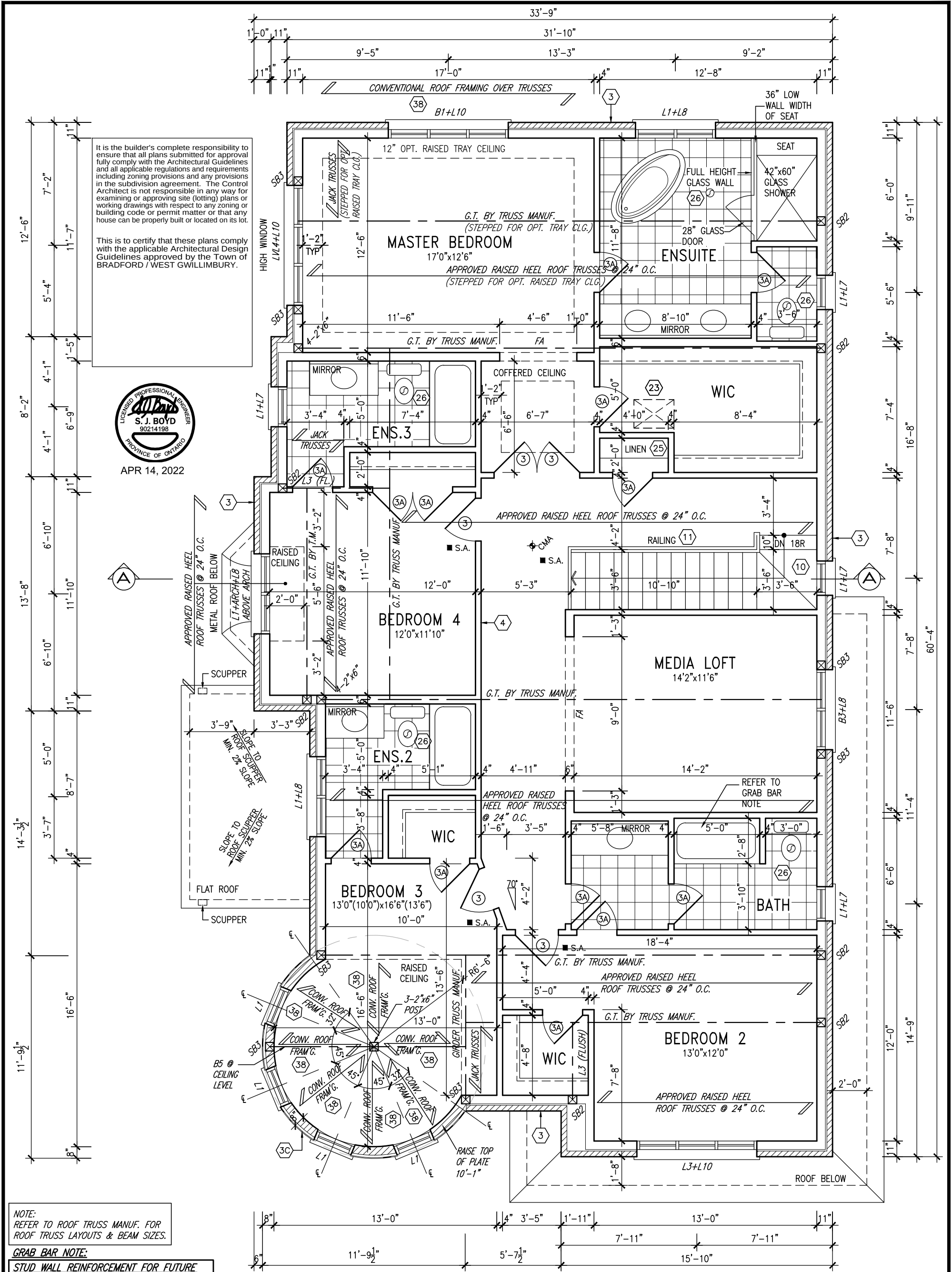
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qualification information
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name
registration information
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va3design.com

BAYVIEW WELLINGTON

S42-8C RIDEAU 8

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	MARCH 2017	scale	3/16" = 1'-0"	file name	16023-S42-8C-10GRND
drawn by	SB	checked by	.	drawing no.	2B
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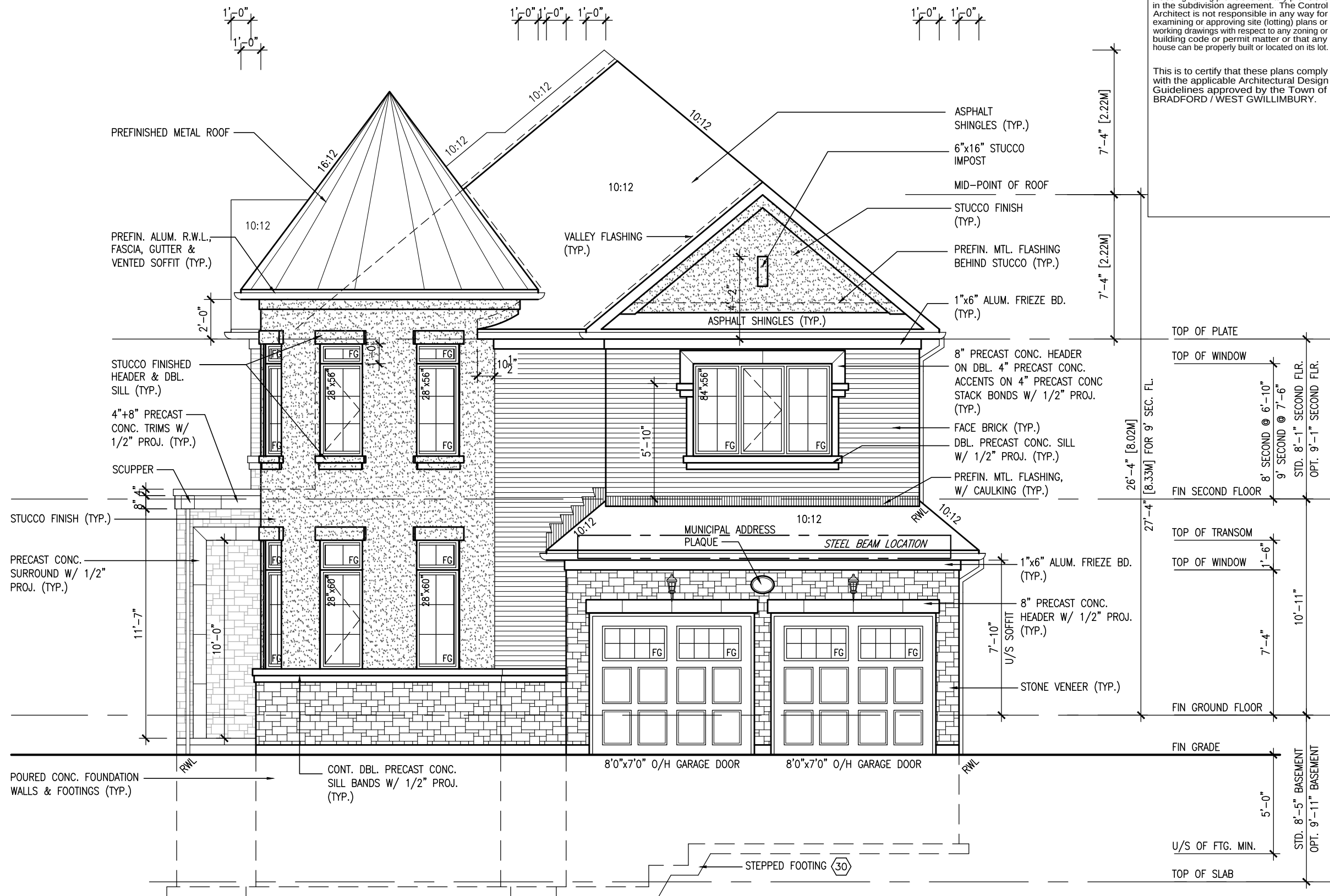
BAYVIEW WELLINGTON		S42-8C RIDEAU 8	
project name	GREEN VALLEY EAST	municipality	BRADFORD
date	MARCH 2017	project no.	16023
drawn by	SB	checked by	scale
3/16" = 1'-0"		16023-S42-8C-10GRND	file name
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APR 14, 2022

AREA CALCULATIONS	
	ELEV. B
GROUND FLOOR AREA	1599.8 SF
SECOND FLOOR AREA	1920.1 SF
SUBTOTAL	3519.9 SF
DEDUCT ALL OPENINGS	0 SF
TOTAL NET AREA	3520 SF
	327.0 m ²
FINISHED BSMT AREA	0 SF
TOTAL NET AREA	3520 SF
W/ FIN BSMT	327.0 m ²
COVERAGE W/O PORCH	2045.7 SF
	190.1 m ²
COVERAGE W/PORCH	2126.5 SF
	197.6 m ²

10⁹ GROUND



FRONT ELEVATION 'B'

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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S42-8C
RIDEAU 8

BAYVIEW WELLINGTON

project name
GREEN

VA3
DESIGN
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t 416.630.2255 f 416.630.4782
vo3design.com

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8	.	.	.
7	.	.	.
6	REVISED AS PER ENG'S COMMENTS	APR 16--22 RC	.
5	REVISED AS PER FLOOR LAYOUT	APR 05--22 RC	.
4	10' GROUND FLOOR	JUL 06--21 KL	.
3	ADDED OPT. 9' BASEMENT	JUL 06--21 KL	.
2	REVISED AS PER ENG'S COMMENTS	FEB 01--18 RC	.
1	ISSUED FOR CLIENT REVIEW	.	.
10.	description	date	by

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10⁹ GROUND



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qualification information

[illegible]

42658
registration information
VAB Design Inc.

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Drawings are not to be scaled.

All draw:

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8	*			*

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6	REVISED AS PER ENIC'S COMMENTS		APR 16-22	PC

6	REVISED AS PER ENG'S COMMENTS	APR 10-22	RC
5	REVISED AS PER FLOOR LAYOUT	APR 05-22	RC

4	10' GROUND FLOOR	JUL 06-21	KL
3	ADDED OPT 0' BASEMENT	III 06 21	VI

3	ADDED UFI: 9 BASEMENT	JUL 00-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC

1	ISSUED FOR CLIENT REVIEW	14-09-12	.
no.	description	date	by

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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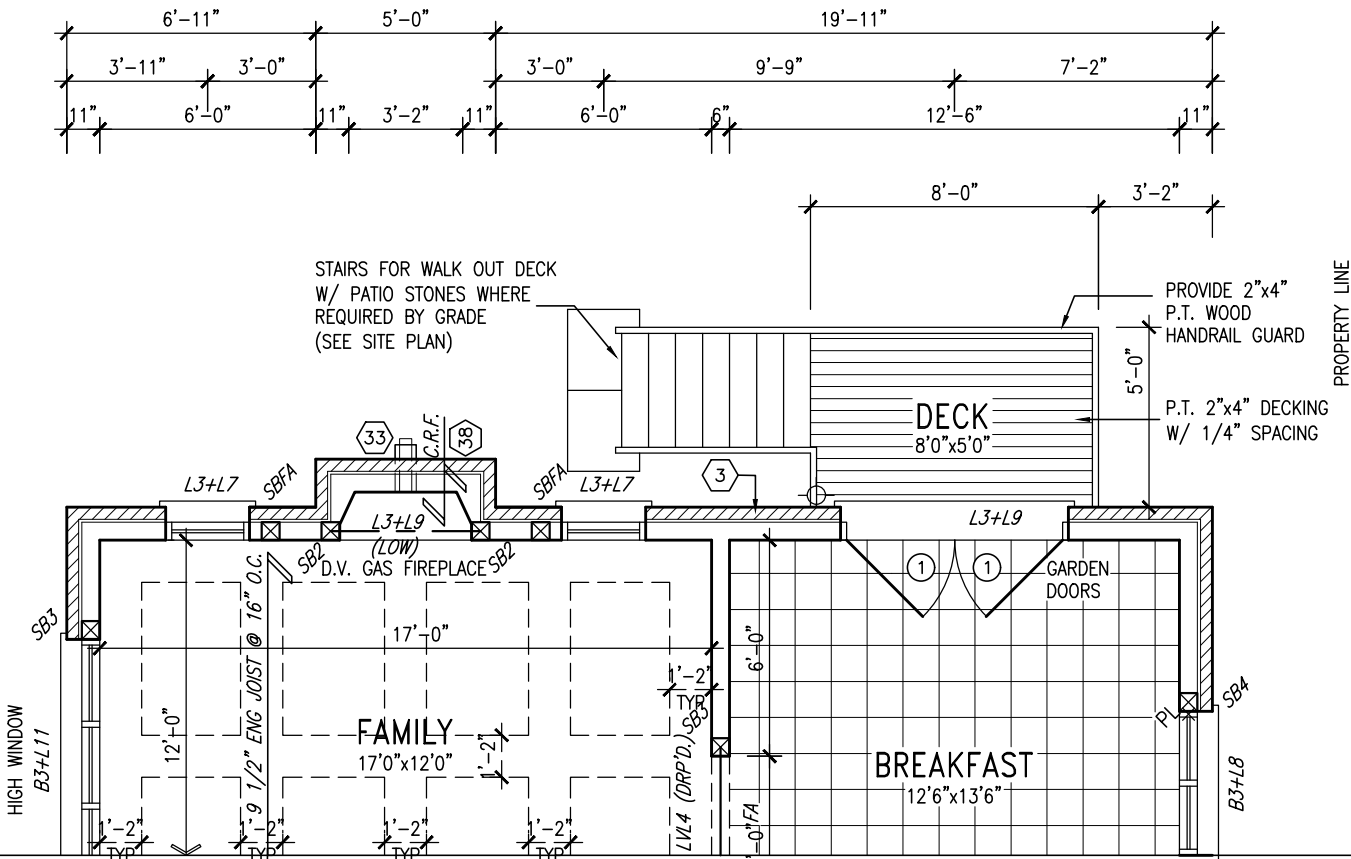
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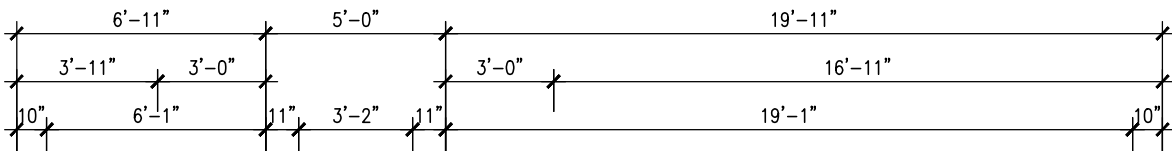
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PART. GROUND FLOOR PLAN 'B' - W.O.D. 9R OR MORE COND.

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KIT-EX-NOTE-2020.dwg



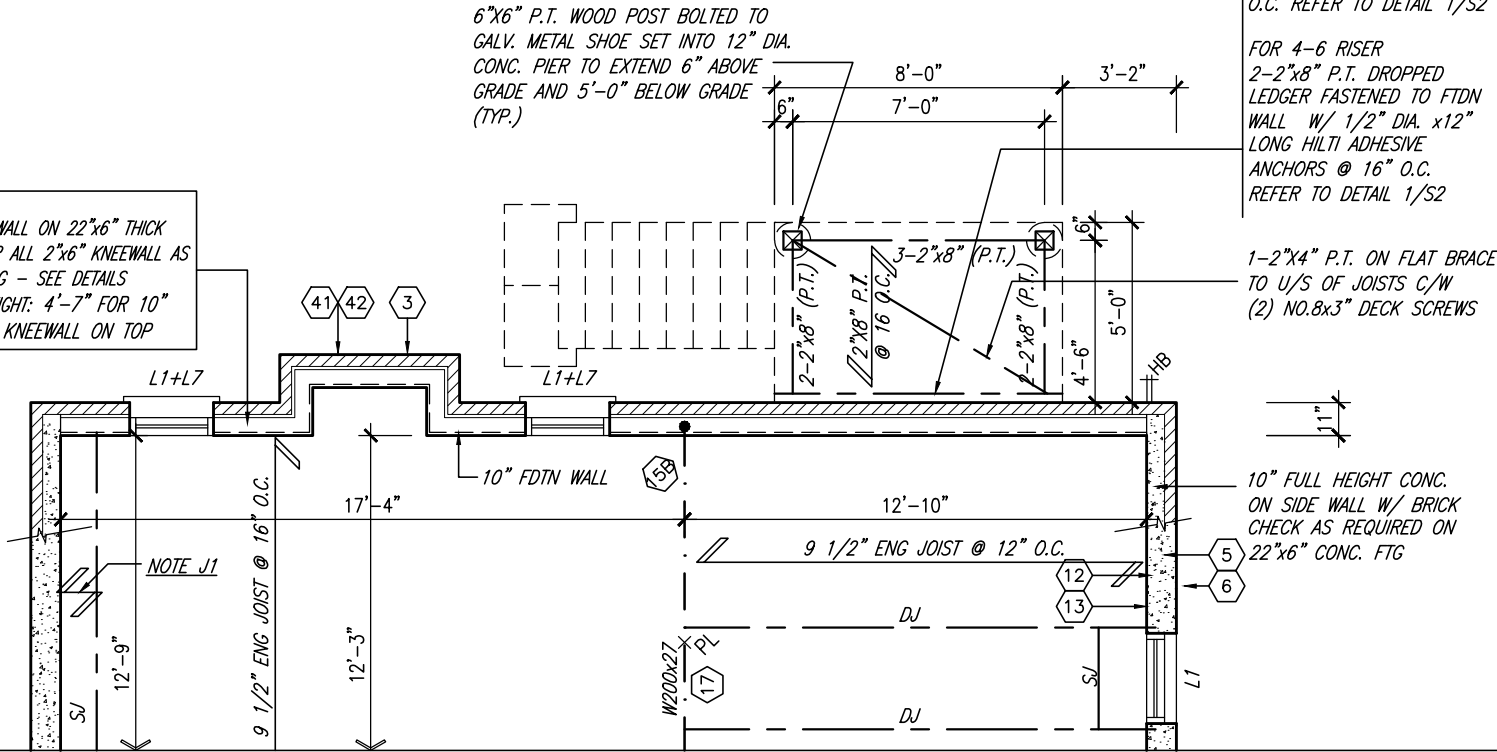
6"x6" P.T. WOOD POST BOLTED TO GALV. METAL SHOE SET INTO 12" DIA. CONC. PIER TO EXTEND 6" ABOVE GRADE AND 5'-0" BELOW GRADE (TYP.)

2-2"x8" P.T. DROPPED LEDGER FASTENED TO 2"x6" BLOCKING BETWEEN STUDS W/ 1/2" DIA. BOLTS @ 16" O.C. REFER TO DETAIL 1/S2

FOR 4-6 RISER
2-2"x8" P.T. DROPPED LEDGER FASTENED TO FTDN WALL W/ 1/2" DIA. x12" LONG HILTI ADHESIVE ANCHORS @ 16" O.C. REFER TO DETAIL 1/S2

1-2"x4" P.T. ON FLAT BRACE TO U/S OF JOISTS C/W (2) NO.8x3" DECK SCREWS

REAR WALL ONLY
10" FOUNDATION WALL ON 22"x6" THICK CONC. FTG UNDER ALL 2"x6" KNEEWALL AS REQ'D BY GRADING - SEE DETAILS
MAX BACKFILL HEIGHT: 4'-7" FOR 10" FNDN. WALL W/ KNEEWALL ON TOP



PART. BASEMENT PLAN 'B' - W.O.D. 9R OR MORE COND.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

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10' GROUND

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8	.	.	.
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name signature BCIN
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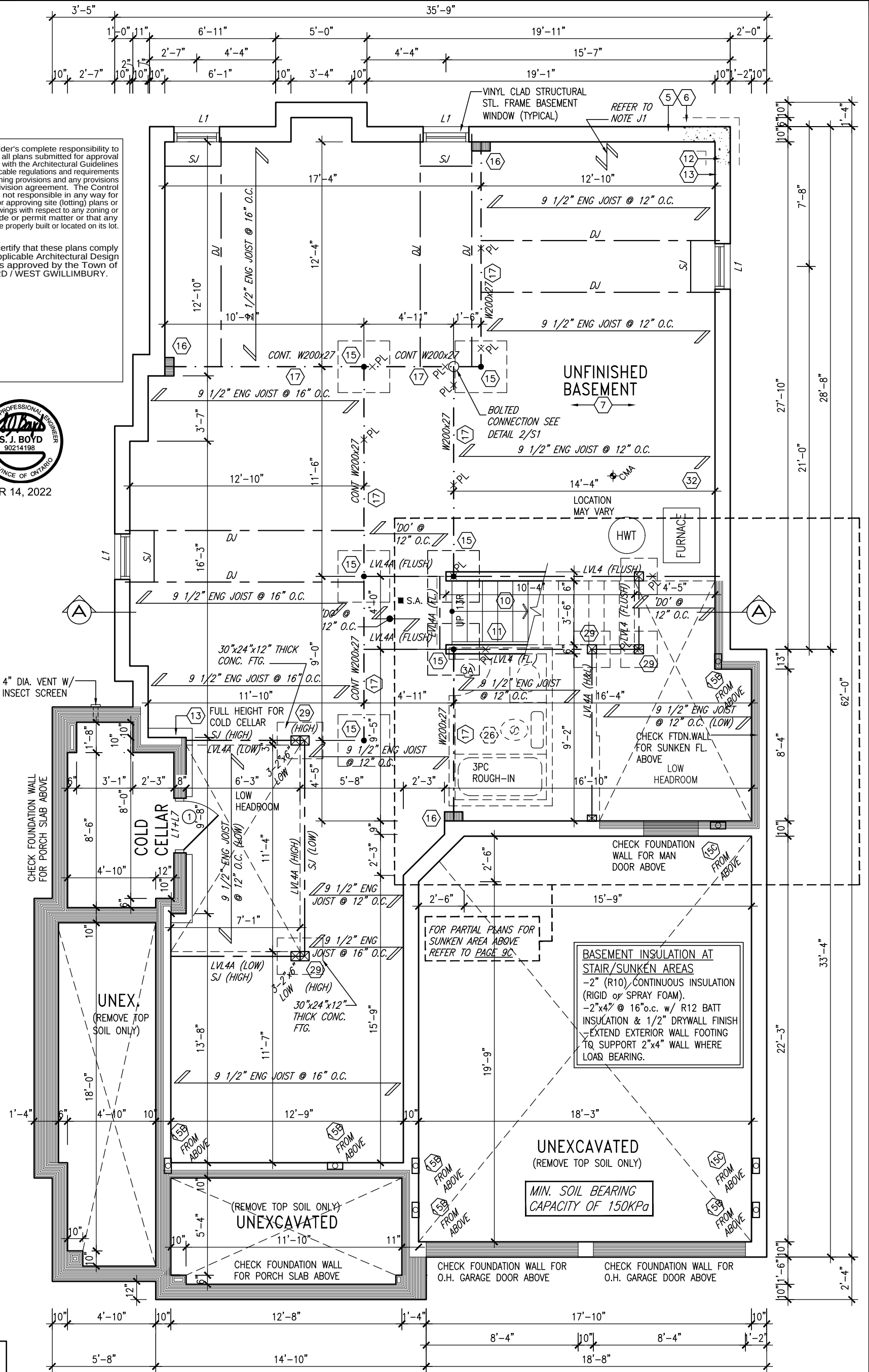
BAYVIEW WELLINGTON

S42-8C
RIDEAU 8

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	MARCH 2017	partial plans elevation 'B' 9R WOD CONDITION		drawing no.	10B
drawn by	SB	checked by	.	scale	3/16" = 1'-0"
file name	16023-S42-8C-10GRND				
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AREA CHART
ON PAGE 5C

NOTE: SPACE ALL FLOOR
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NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

BASEMENT PLAN 'C'

10' GROUND

9	.	.	.
8	.	.	.
7	.	.	.
6	REVISED AS PER ENG'S COMMENTS	APR 16-22	RC
5	REVISED AS PER FLOOR LAYOUT	APR 05-22	RC
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BAYVIEW WELLINGTON

S42-8C
RIDEAU 8

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	MARCH 2017	checked by	scale	BASEMENT PLAN ELEVATION 'C'	drawing no.
drawn by	SB	checked by	3/16" = 1'-0"	16023-S42-8C-10GRND	1C
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-8C-10GRND.dwg - Thu - Apr 14 2022 - 9:47 AM					

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NOTE W1
PROVIDE 2-15M FULL HEIGHT VERTICAL REBARS EACH SIDE OF OPENING + 2-15M HORIZ. REBARS BELOW AND EXTEND 24" BEYOND OPENING PROVIDE 3" CLEAR COVER FROM SOIL SIDE

SEE DETAIL S4 FOR 9'-0" BASEMENT COND



APR 14, 2022

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	
6	REVISED AS PER ENG'S COMMENTS	APR 16-22	RC	Wellington Jno-Baptiste 25591
5	REVISED AS PER FLOOR LAYOUT	APR 05-22	RC	name
4	10' GROUND FLOOR	JUL 06-21	KL	registration information
3	ADDED OPT. 9' BASEMENT	JUL 06-21	KL	VA3 Design Inc. 42658
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUED FOR CLIENT REVIEW	.	.	
no.	description	date	by	



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S42-8C
RIDEAU 8

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	MARCH 2017	checked by	scale	BASEMENT PLAN ELEVATION 'C'	drawing no.
drawn by	SB	3/16" = 1'-0"	16023-S42-8C-10GRND	file name	10
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-8C-10GRND.dwg - Thu - Apr 14 2022 - 9:47 AM					

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NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

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DOOR HEIGHTS	
CEILING HEIGHT	DOOR HEIGHT
11'0" or greater	8'0" (96")
10'0"	8'0" (96")
9'0"	6'8" (80")
8'0" or lower	6'8" (80")
CONTRACTOR TO CONFIRM HEIGHTS WITH BUILDER	

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

GROUND FLR. PLAN 'C' (10'-0" GROUND)

10' GROUND

9	.	.	.
8	.	.	.
7	.	.	.
6	REVISED AS PER ENG'S COMMENTS	APR 16-22	W
5	REVISED AS PER FLOOR LAYOUT	APR 05-22	W
4	10' GROUND FLOOR	JUL 06-21	W
3	ADDED OPT. 9' BASEMENT	JUL 06-21	W
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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qualification information
Jno-Baptiste
signature
25591
BCIN

qualification information
VA3 Design Inc.
42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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255 Consumers Rd Suite 120
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va3design.com

BAYVIEW WELLINGTON		S42-8C RIDEAU 8	
project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023	drawing no. 2C
date MARCH 2017	checked by SB	scale 3/16" = 1'-0"	file name 16023-S42-8C-10GRND
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-8C-10GRND.dwg - Thu - Apr 14 2022 - 9:47 AM			

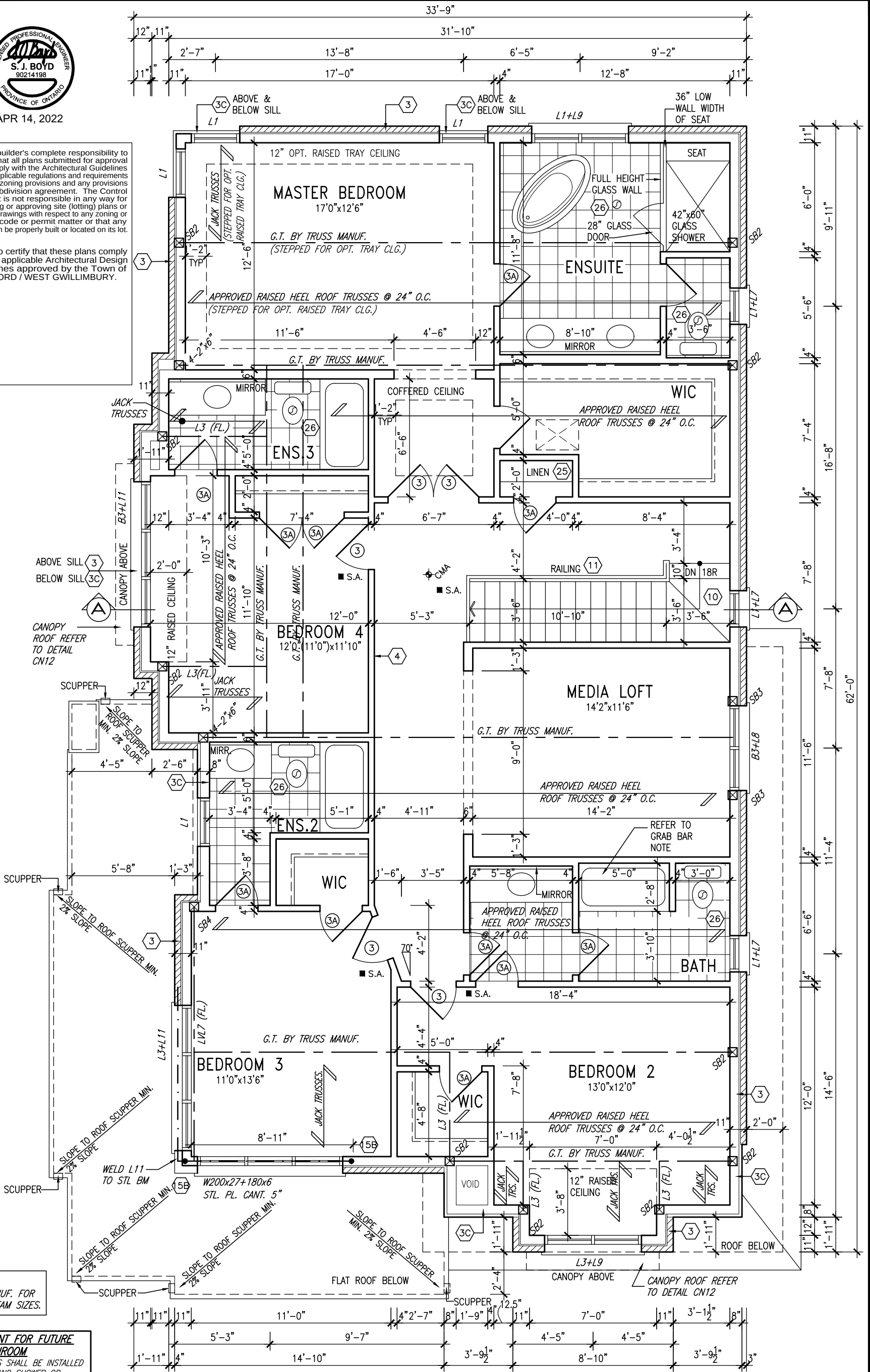
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SECOND FLOOR PLAN 'C' 4 BEDROOM + MEDIA LOFT

10' GROUND

NOTE:
REFER TO ROOF TRUSS MANUF. FOR
ROOF TRUSS LAYOUTS & BEAM SIZES.

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED.

GB-NOTE-2020.dwg

9	.	.	The undersigned has reviewed and takes responsibility for this design	
8	.	.	and has the qualifications and meets the requirements set out in the	
7	.	.	Ontario Building Code to be a Designer.	
6	REVISED AS PER ENG'S COMMENTS	APR 16 2022	VA3 Design Inc.	25591
5	REVISED AS PER FLOOR LAYOUT	APR 08 2022	VA3 Design Inc.	BCIN
4	10' GROUND FLOOR	JUL 06 2021	VA3 Design Inc.	42658
3	ADDED OPT. 9' BASEMENT	JUL 06 2021	VA3 Design Inc.	
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC	
1	ISSUED FOR CLIENT REVIEW			
no.	description	date	by	

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

BAYVIEW WELLINGTON

S42-8C
RIDEAU 8

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	MARCH 2017	scale	3/16" = 1'-0"	file name	16023-S42-8C-10GRND
drawn by	SB	checked by		drawing no.	3C
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-8C-10GRND.dwg - Thu - Apr 14 2022 - 9:47 AM					

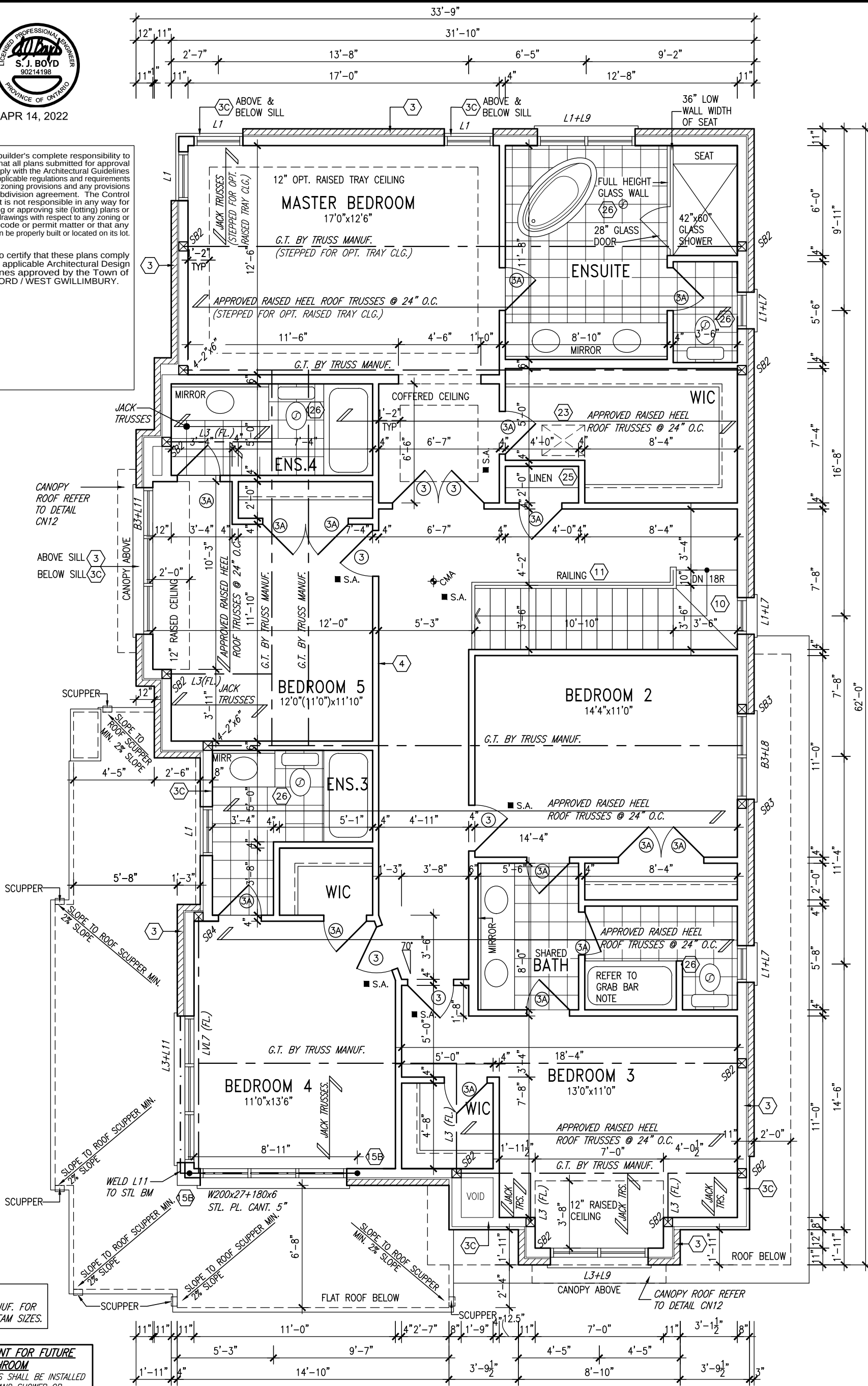
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OPT. SECOND FLOOR PLAN 'C' 5 BEDROOM W/ FOUR BATH

10' GROUND

NOTE:
REFER TO ROOF TRUSS MANUF. FOR
ROOF TRUSS LAYOUTS & BEAM SIZES.

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED.

GB-NOTE-2020.dwg

9	.	.	The undersigned has reviewed and takes responsibility for this design
8	.	.	and has the qualifications and meets the requirements set out in the
7	.	.	Ontario Building Code to be a Designer.
6	REVISED AS PER ENG'S COMMENTS	APR 16 2022	VA3 Design Inc. 25591
5	REVISED AS PER FLOOR LAYOUT	APR 08 2022	BCIN
4	10' GROUND FLOOR	JUL 06 2021	information
3	ADDED OPT. 9' BASEMENT	JUL 06 2021	VA3 Design Inc. 42658
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW	FEB 01-18	RC
no.	description	date	by

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Drawings are not to be scaled.



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t 416.630.2255 f 416.630.4782
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BAYVIEW WELLINGTON

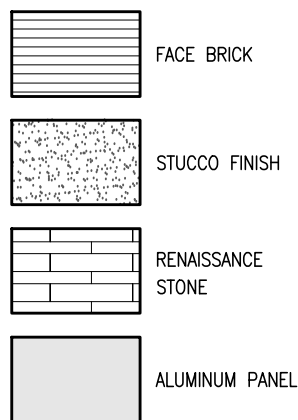
S42-8C RIDEAU 8

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	MARCH 2017	scale	3/16" = 1'-0"	file name	16023-S42-8C-10GRND
drawn by	SB	checked by	.	drawing no.	4C
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AREA CALCULATIONS	
	ELEV. C
GROUND FLOOR AREA	1558.6 SF
SECOND FLOOR AREA	##### SF
SUBTOTAL	1558.6 SF
DEDUCT ALL OPENINGS	0 SF
TOTAL NET AREA	1559 SF
	144.8 m2
FINISHED BSMT AREA	0 SF
TOTAL NET AREA	1559 SF
W/ FIN BSMT	144.8 m2
COVERAGE W/O PORCH	2004.6 SF
	186.2 m2
COVERAGE W/PORCH	2297.1 SF
	213.4 m2

10⁹ GROUND



ADD ICE+ WATER SHIELD ON TOP AND
INSIDE WALLS OF PARAPET WALLS

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

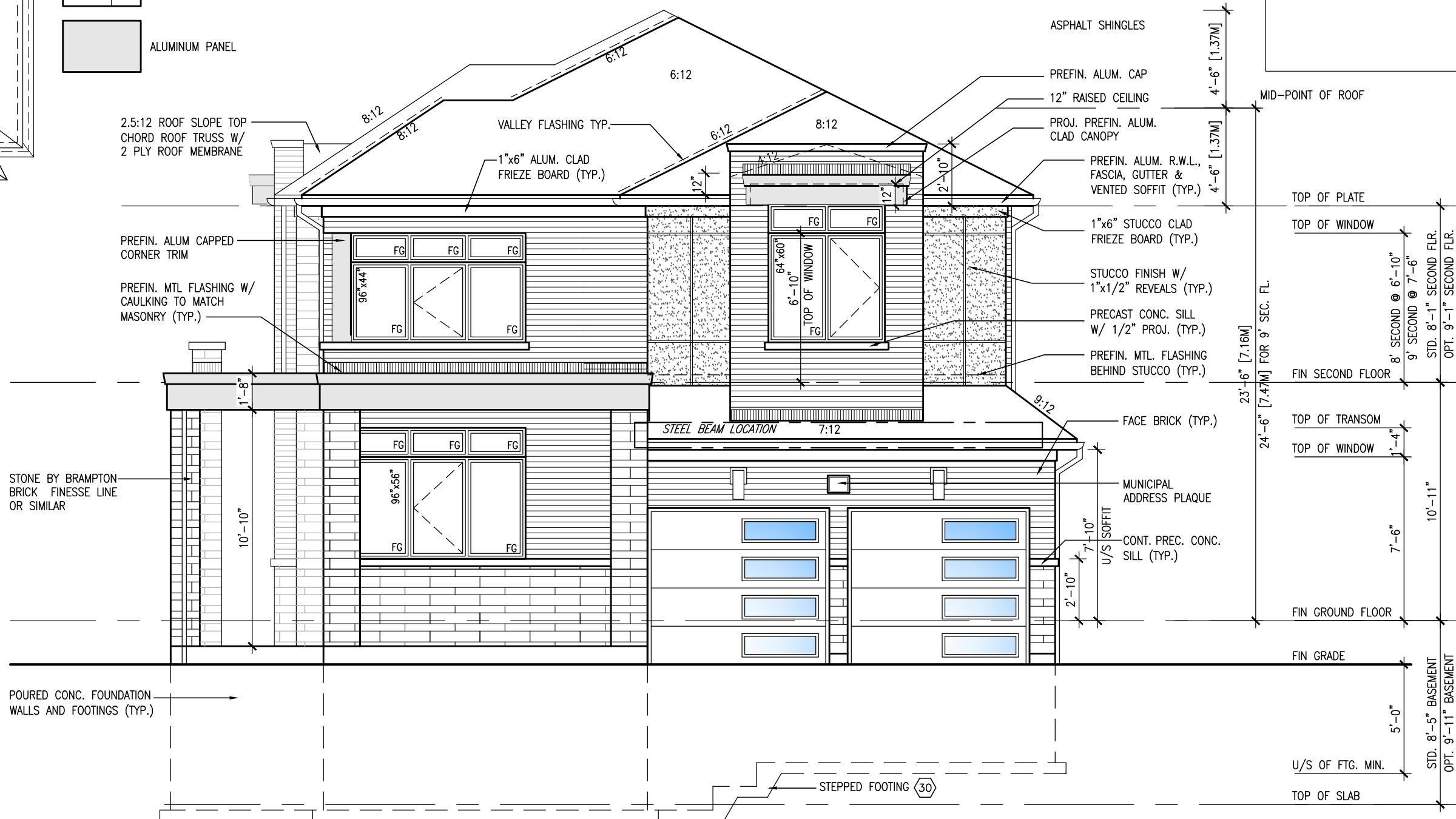
SEE DETAIL S4 FOR 9'-0"
BASEMENT COND



APR 14, 2022

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FRONT ELEVATION 'C'

BAYVIEW WELLINGTON

A3

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qualification information

Wellington Jno-Baptiste 25591

signature

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discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property

Drawings are not to be scaled.

All draw:

BAYVIEW WELLINGTON	S42-8C RIDEALL 8
--------------------	---------------------

project name	project no.
GREEN VALLEY EAST	16023
municipality	
BRADFORD	

drawing no.	50
date	MARCH 2017
drawn by	CS
checked by	3/16" = 1'-0"
file name	16073-S(2-8C-1)CNSD
FRONT ELEVATION 'C'	

30 3
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10023-S42-8C-10CRND

VA

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
† 416 630 2255 f 416 630 4782

va3design.com

9.	.	.	
8.	.	.	
7.	.	.	

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qualification information

[Signature]

6	REVISED AS PER ENG'S COMMENTS	APR 16-22	RC	Wellington Jno-Baptiste	signature	BCIN	2559
5	REVISED AS PER FLOOR LAYOUT	APR 05-22	RC				
4	10' GROUND FLOOR	JUL 06-21	KL				
				registration information			406555
				VA3 Design, Inc			

3	ADDED OPT. 9' BASEMENT	JUL 06-21	KL	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer.
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC	
1	ISSUED FOR CLIENT REVIEW			

no.	description	date	by
of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			

Diagram illustrating the vertical section of a building, showing floor levels and dimensions:

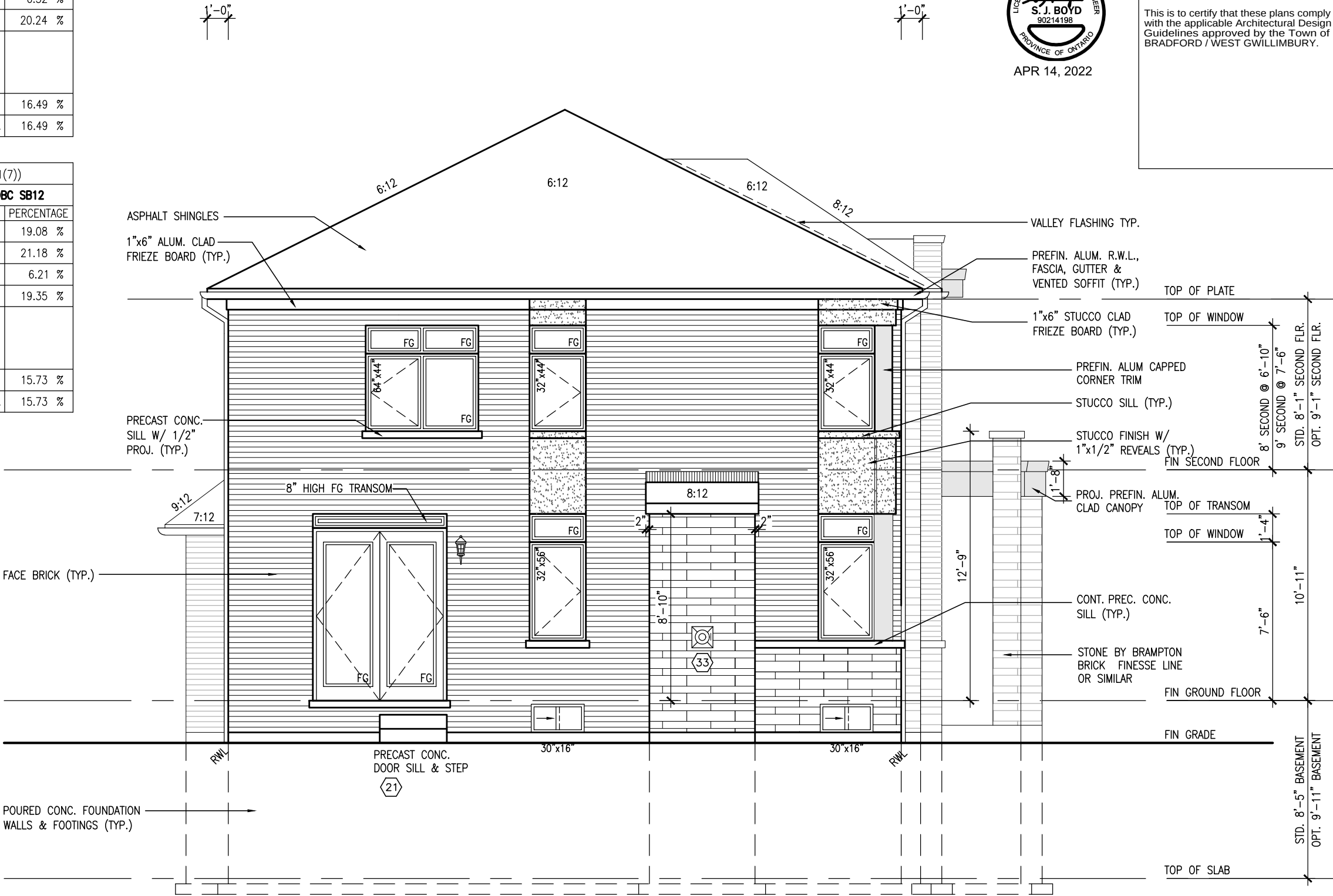
- TOP OF PLATE
- TOP OF WINDOW
- 8' SECOND @ 6'-10"
- 9' SECOND @ 7'-6"
- STD. 8'-1" SECOND FLR.
- OPT. 9'-1" SECOND FLR.
- FIN SECOND FLOOR
- TOP OF TRANSOM
- TOP OF WINDOW
- 1'-4"
- 7'-6"
- 10'-11"
- FIN GROUND FLOOR
- FIN GRADE
- 5'-0"
- STD. 8'-5" BASEMENT
- OPT. 9'-11" BASEMENT
- REINFORCED CONC. FOUNDATION WALLS FOOTINGS (TYP.)
- U/S OF FTG. MIN.
- TOP OF SLAB

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-8C E.L.C W/ 8' SECOND	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	732.96 S.F.	146.28 S.F.	19.96 %
LEFT SIDE	1259.89 S.F.	279.94 S.F.	22.22 %
RIGHT SIDE	1253.31 S.F.	81.67 S.F.	6.52 %
REAR	730.87 S.F.	147.94 S.F.	20.24 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3977.03 S.F.	655.83 S.F.	16.49 %
TOTAL SQ. M.	369.48 S.M.	60.93 S.M.	16.49 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-8C E.L.C W/ 9' SECOND	ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	766.71 S.F.	146.28 S.F.	19.08 %
LEFT SIDE	1321.89 S.F.	279.94 S.F.	21.18 %
RIGHT SIDE	1315.31 S.F.	81.67 S.F.	6.21 %
REAR	764.62 S.F.	147.94 S.F.	19.35 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4168.53 S.F.	655.83 S.F.	15.73 %
TOTAL SQ. M.	387.27 S.M.	60.93 S.M.	15.73 %

10' GROUND

ADD ICE+ WATER SHIELD ON TOP AND INSIDE WALLS OF PARAPET WALLS



REFER TO FRONT ELEVATION FOR TYPICAL NOTES

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

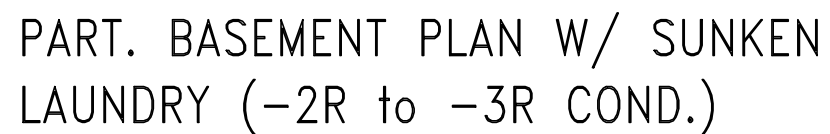


APR 14, 2022

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BAYVIEW WELLINGTON		S42-8C		RIDEAU 8	
GREEN VALLEY EAST		BRADFORD		16023	
project name		municipality		project no.	
date		checked by		drawing no.	
MARCH 2017		SB		8C	
drawn by		scale		file name	
RICHARD		3/16" = 1'-0"		16023-S42-8C-10GRND	
RICHARD - H:\ARCHIVE\WORKING\2016\16023-S42-8C-10GRND.dwg		Thu - Apr 14 2022 - 9:47 AM			
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		signature		signature	
Wellington Jno-Baptiste		25591		42658	
name		BCIN			
VAS Design Inc.		registration information			
APR 16-22 RC		APR 05-22 RC			
REVISED AS PER ENG'S COMMENTS		JUL 06-21 KL			
6		JUL 06-21 KL			
5		FEB 01-18 RC			
4					
3					
2					
1					
no.		description			



10⁹ GROUND



APR 14, 2022

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

[illegible]

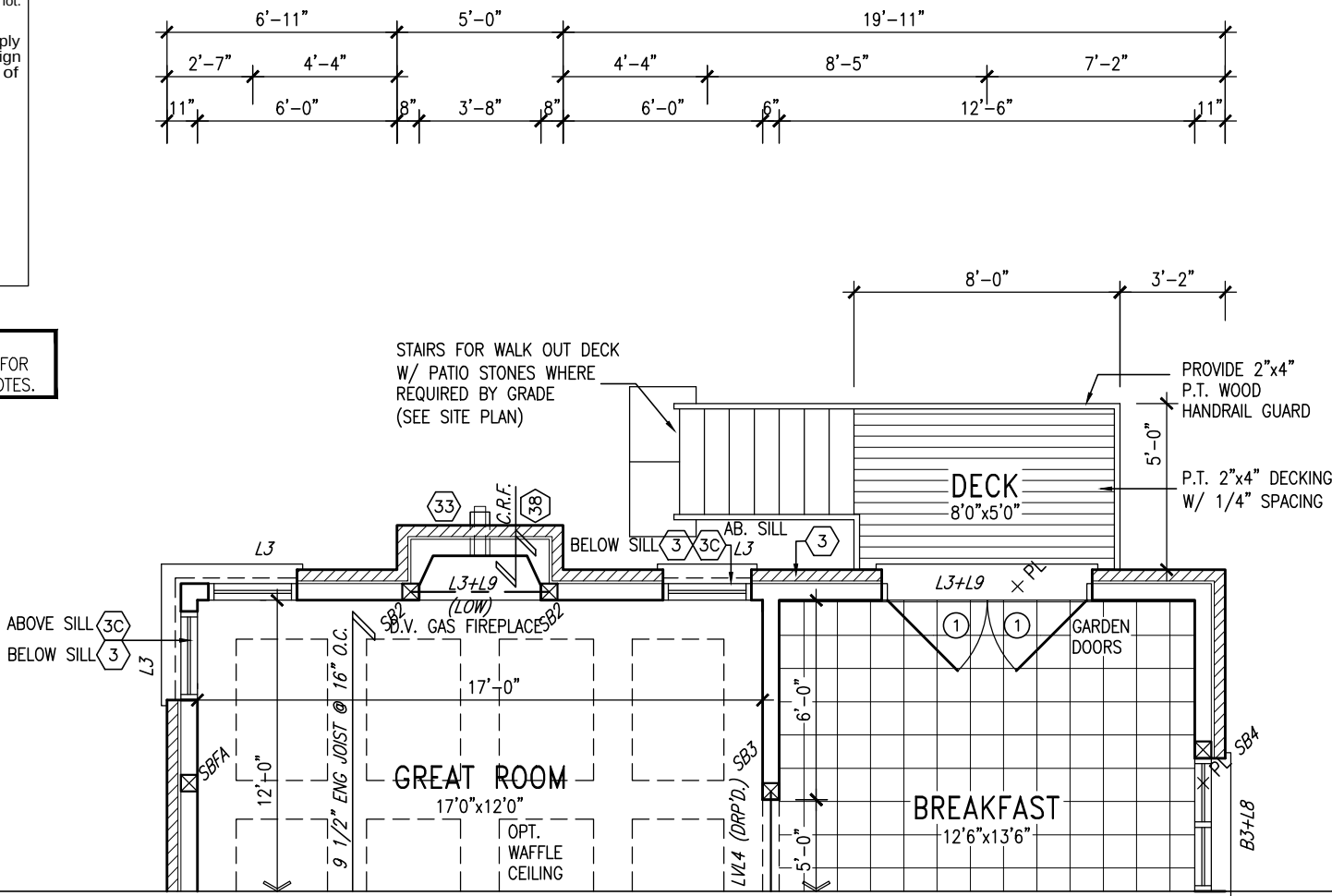
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NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.



APR 14, 2022



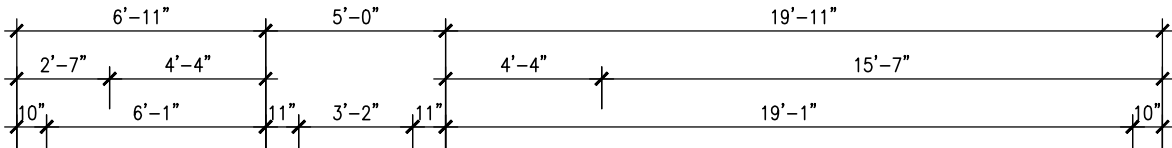
OUTDOOR AIR INTAKE SEPARATION

ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

PART. GROUND FLOOR PLAN 'C' - W.O.D. 9R OR MORE COND.



6"x6" P.T. WOOD POST BOLTED TO GALV. METAL SHOE SET INTO 12" DIA. CONC. PIER TO EXTEND 6" ABOVE GRADE AND 5'-0" BELOW GRADE (TYP.)

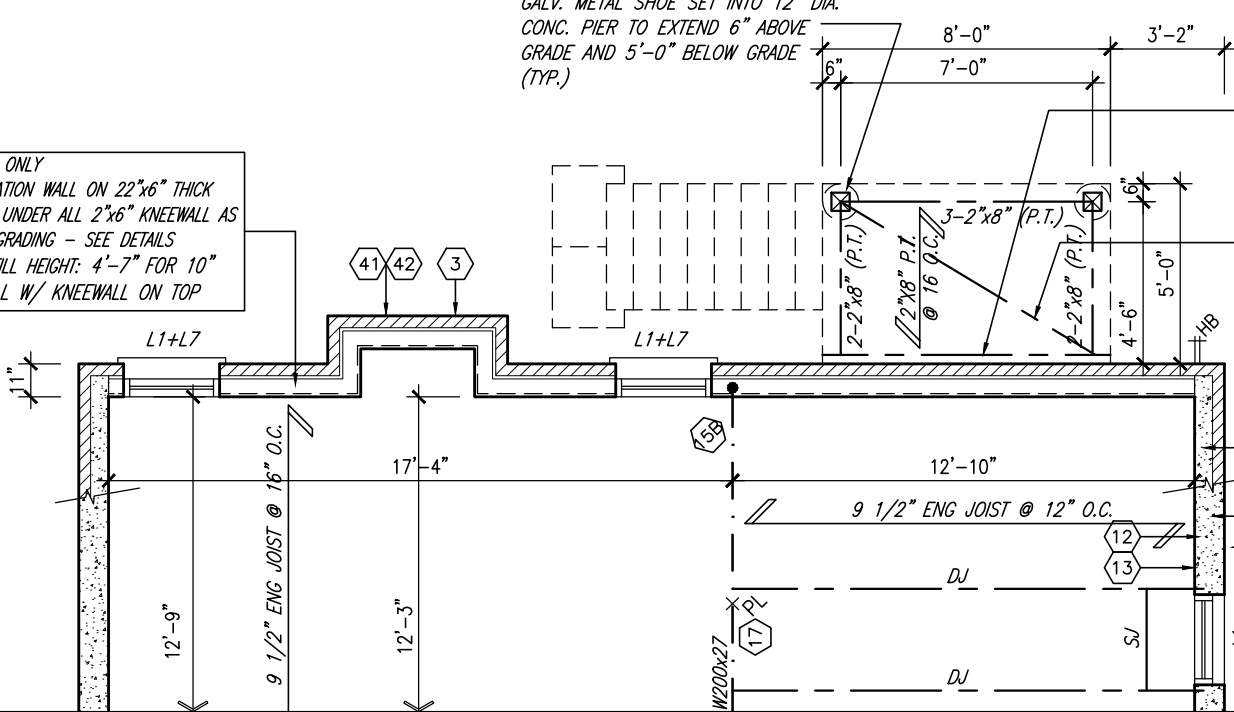
2-2"x8" P.T. DROPPED LEDGER FASTENED TO 2"x6" BLOCKING BETWEEN STUDS W/ 1/2" DIA. BOLTS @ 16" O.C. REFER TO DETAIL 1/S2

FOR 4-6 RISER
2-2"x8" P.T. DROPPED LEDGER FASTENED TO FTDN WALL W/ 1/2" DIA. x12" LONG HILTI ADHESIVE ANCHORS @ 16" O.C. REFER TO DETAIL 1/S2

1-2"x4" P.T. ON FLAT BRACE TO U/S OF JOISTS C/W (2) NO.8x3" DECK SCREWS

10" FULL HEIGHT CONC. ON SIDE WALL W/ BRICK CHECK AS REQUIRED ON 22"x6" CONC. FTG

REAR WALL ONLY
10" FOUNDATION WALL ON 22"x6" THICK CONC. FTG UNDER ALL 2"x6" KNEEWALL AS REQ'D BY GRADING - SEE DETAILS
MAX BACKFILL HEIGHT: 4'-7" FOR 10" FNDN. WALL W/ KNEEWALL ON TOP



PART. BASEMENT PLAN 'C' - W.O.D. 9R OR MORE COND.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

10' GROUND

9	.	.	.
8	.	.	.
7	.	.	.
6	REVISED AS PER ENG'S COMMENTS	APR 16-22	RC
5	REVISED AS PER FLOOR LAYOUT	APR 05-22	RC
4	10' GROUND FLOOR	JUL 06-21	KL
3	ADDED OPT. 9' BASEMENT	JUL 06-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 01-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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qualification information			
Wellington Jno-Baptiste	signature	25591	BCIN
name registration information			
VA3 Design Inc.		42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			

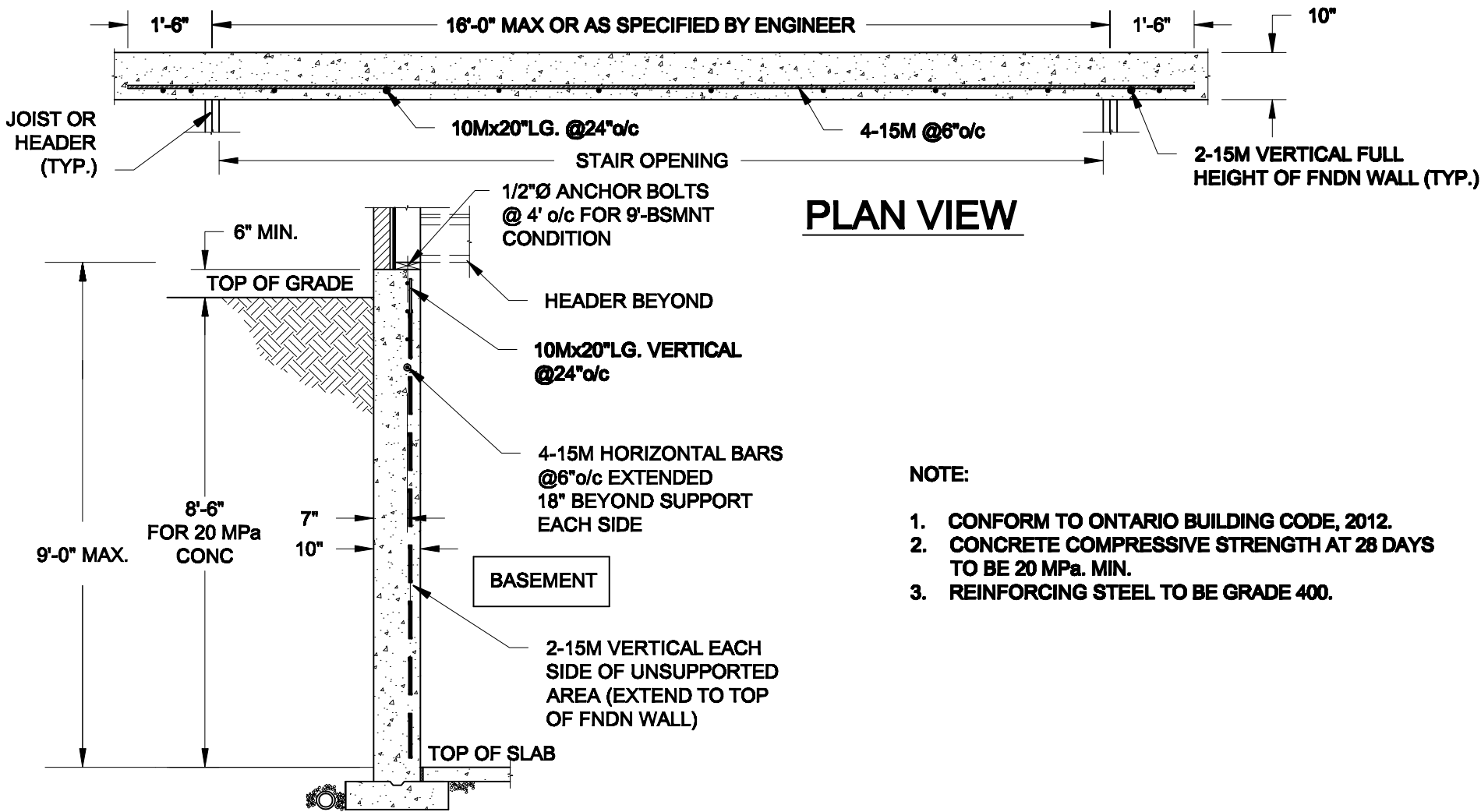
VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S42-8C
RIDEAU 8

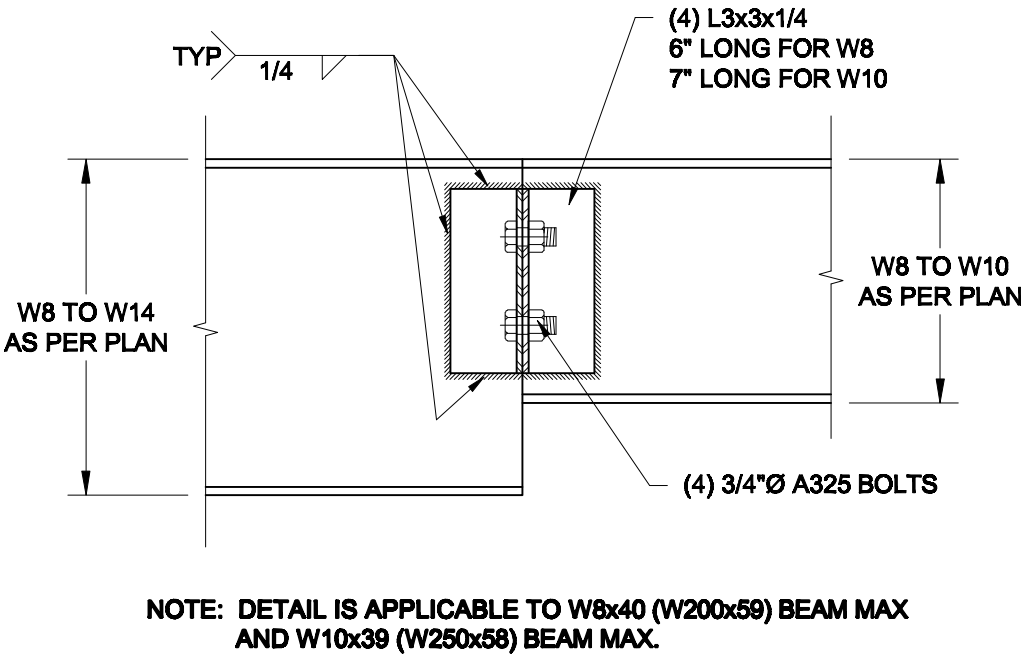
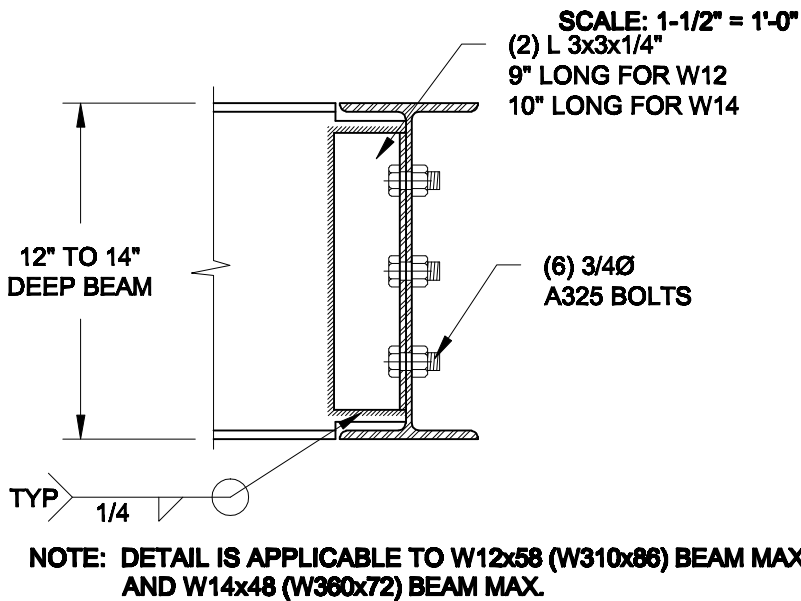
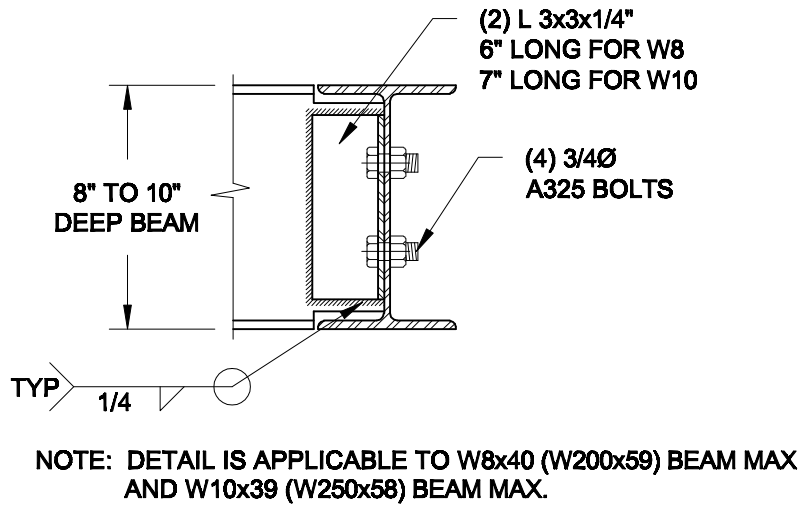
project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	MARCH 2017	scale	3/16" = 1'-0"	file name	16023-S42-8C-10GRND
drawn by	SB	checked by	.	drawing no.	10C
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-8C-10GRND.dwg - Thu - Apr 14 2022 - 9:47 AM					



1
S1

LATERALLY UNSUPPORTED WALL

SCALE: 3/8" = 1'-0"



2
S1

STEEL BEAM CONNECTION DETAILS

Scale: AS NOTED	
Date: FEB-17-2022	
Drawn: SC	Checked: SJB

QUAILE ENGINEERING LTD.

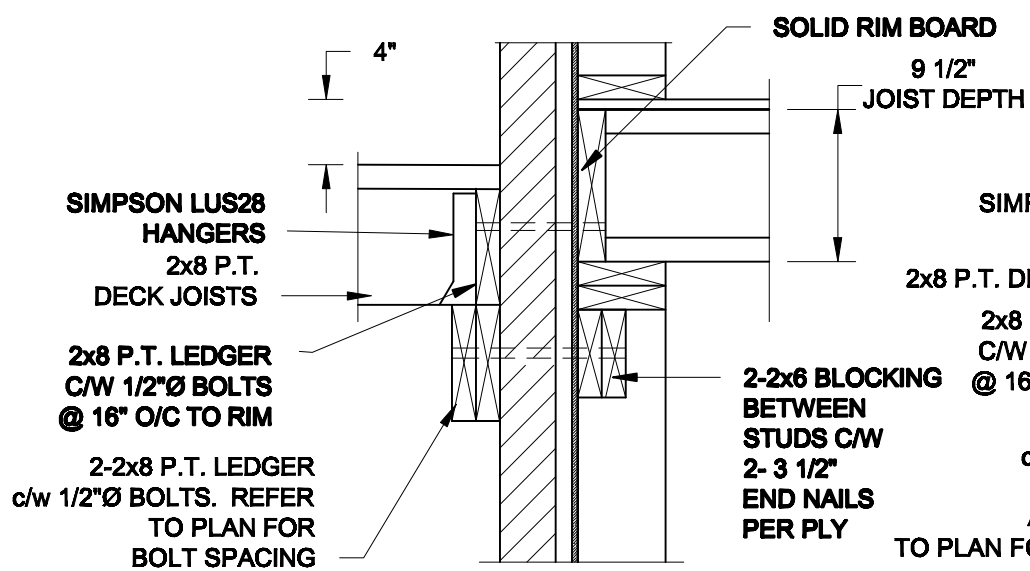


38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaile.eng@rogers.com

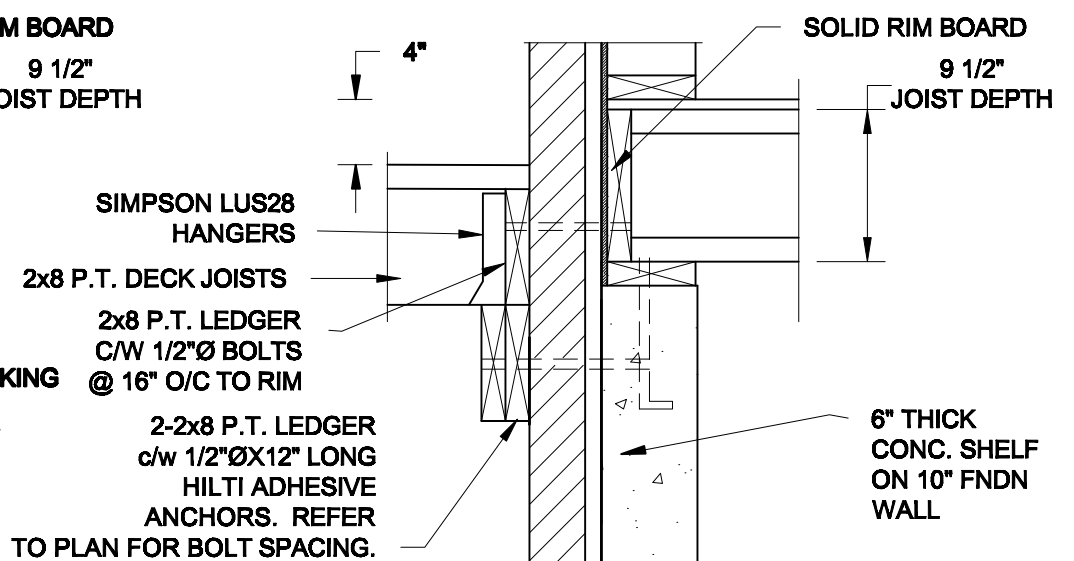


Project: BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES BRADFORD, ONTARIO	
TYPICAL STRUCTURAL DETAILS	
Project No.: 21-038	Drawing No.: S1

FOR 9 1/2" JOIST DEPTH



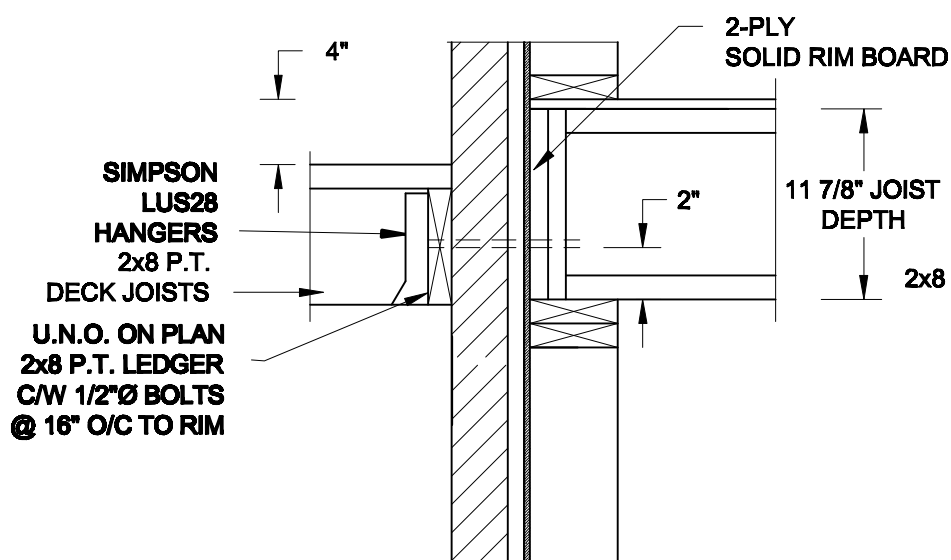
1A **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**



1B DECK FASTENING DETAIL

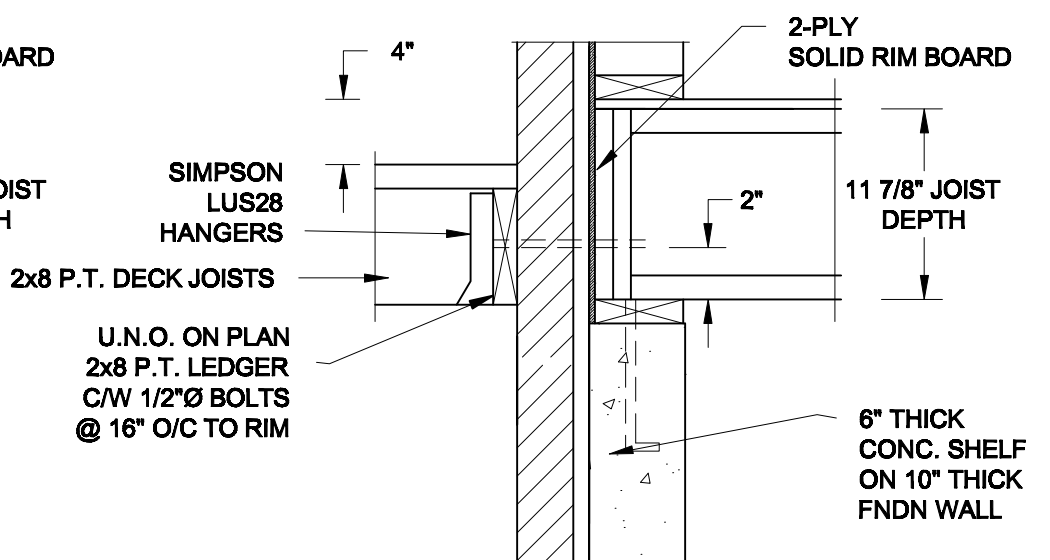
S2 SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



1C DECK FASTENING DETAIL

S2 SCALE: 1" = 1'-0"

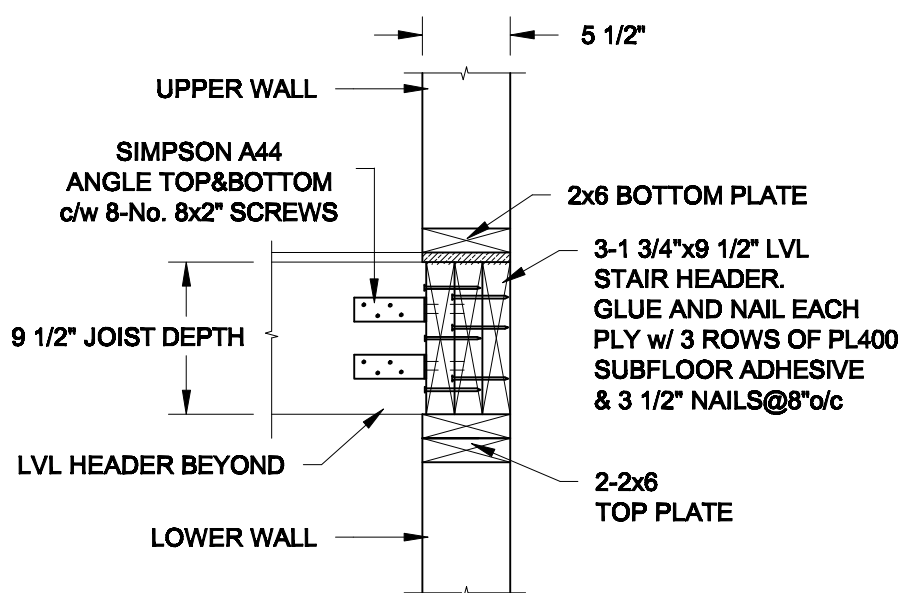


1D DECK FASTENING DETAIL

S2 SCALE: 1" = 1'-0"

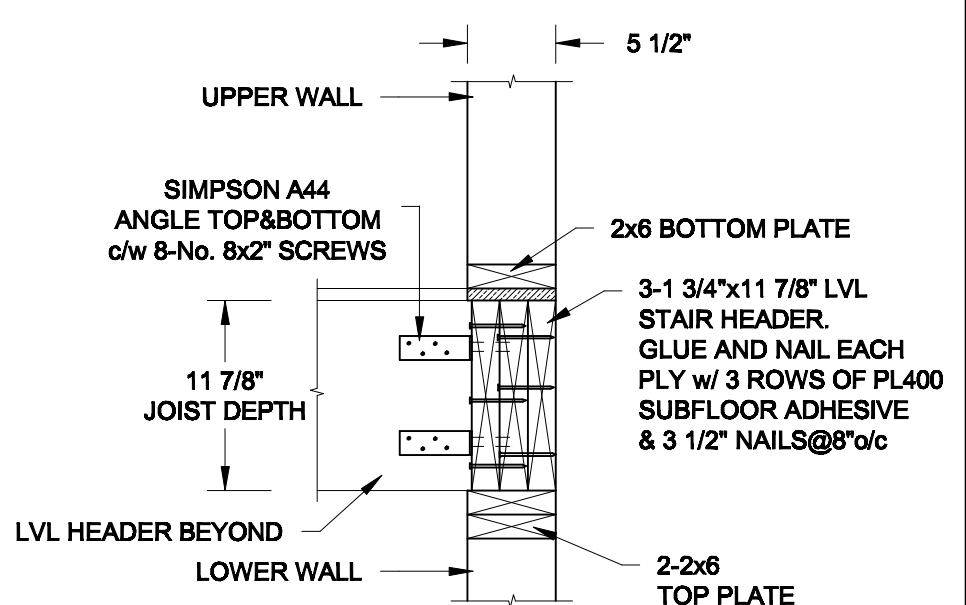
- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 9 1/2" JOIST DEPTH



2A STAIR HEADER
S2 SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



2B **STAIR HEADER**
S2 **SCALE: 1" = 1'-0"**

Scale:
AS NOTED

Date:
MAR-15-2021

Drawn: SC	Checked: SJB
---------------------	------------------------

QUAILE ENGINEERING LTD.



**38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: qualle.eng@rogers.com**

Engineer's Sect



MAR 30. 2021

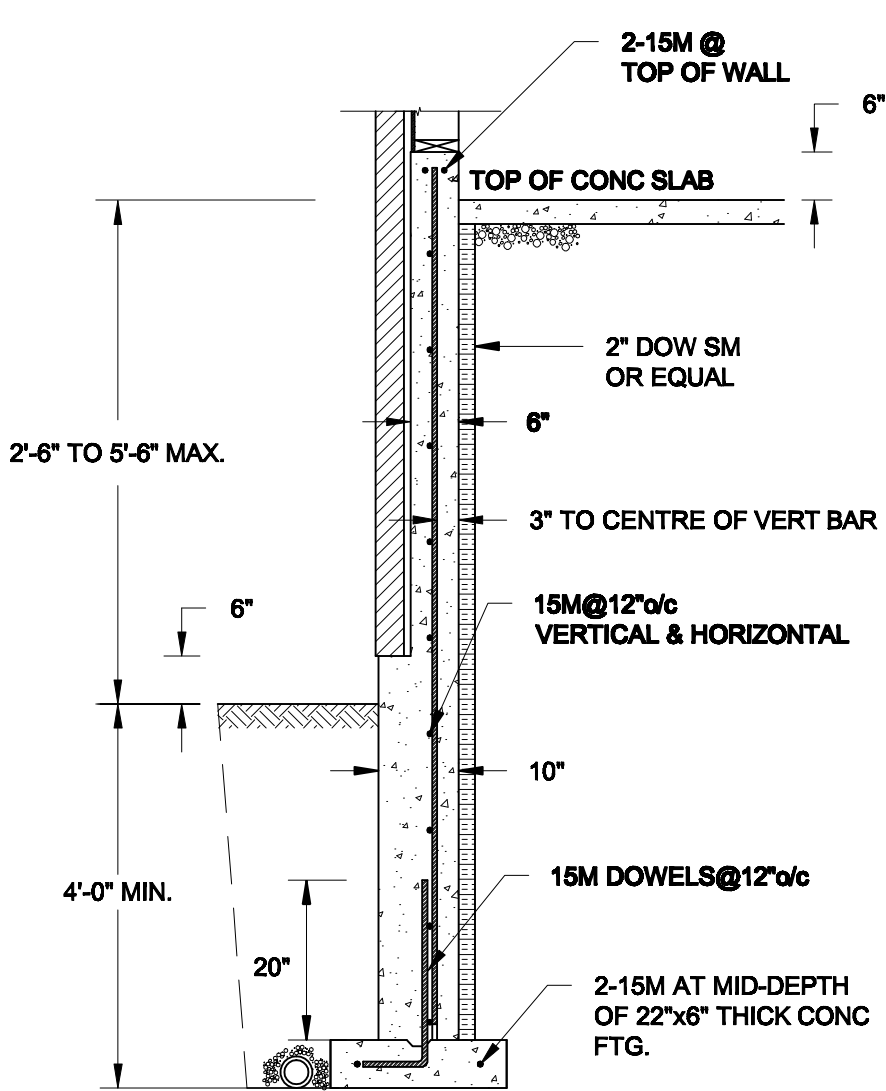
Project

BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATE - SINGLE
BRADFORD, ONTARIO

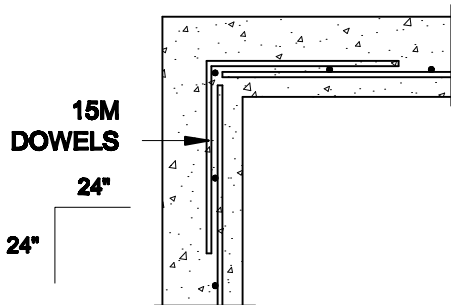
TYPICAL STRUCTURAL DETAILS

Project No.:
21-038

Drawing No.: **S2**



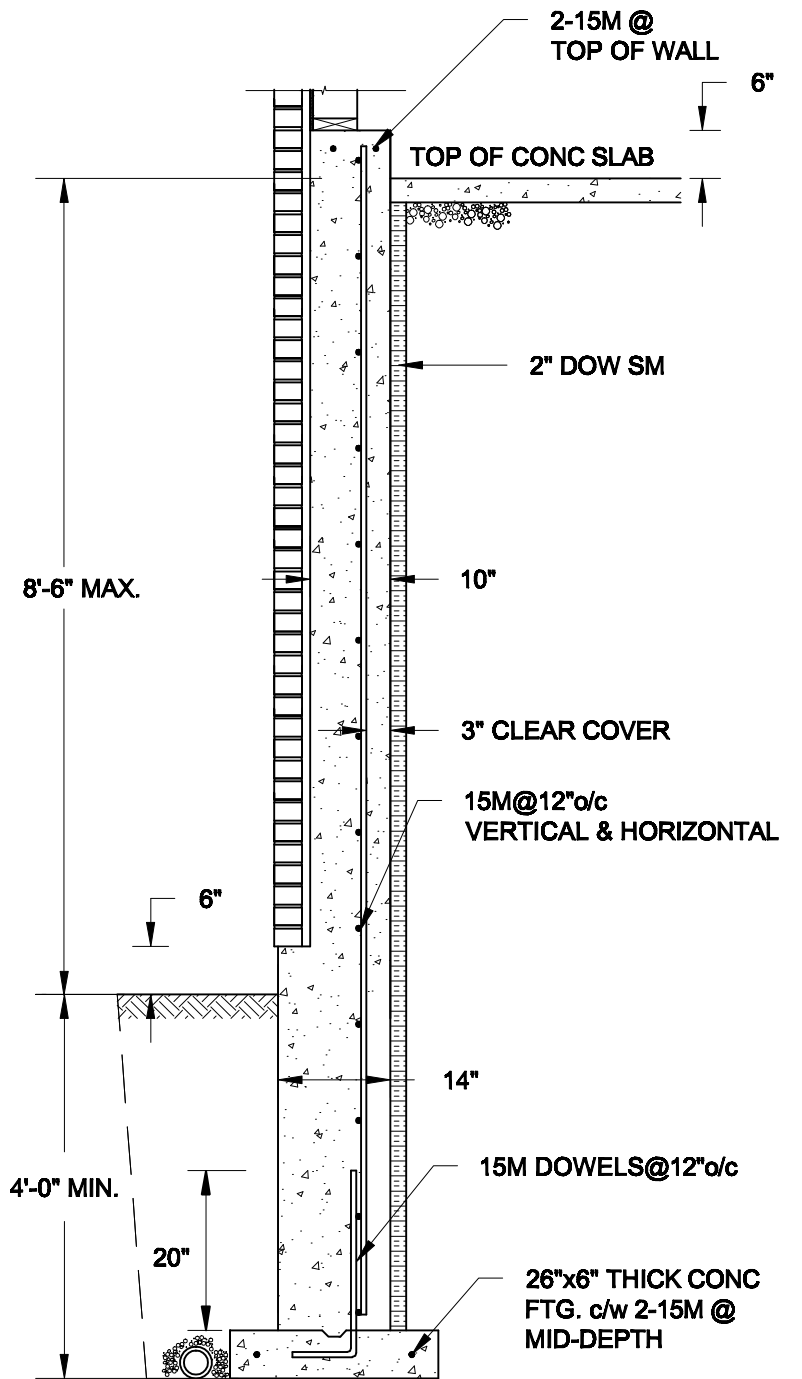
1A
S3 **REINFORCED BRICKSHELF**
SCALE: 1/2" = 1' - 0"



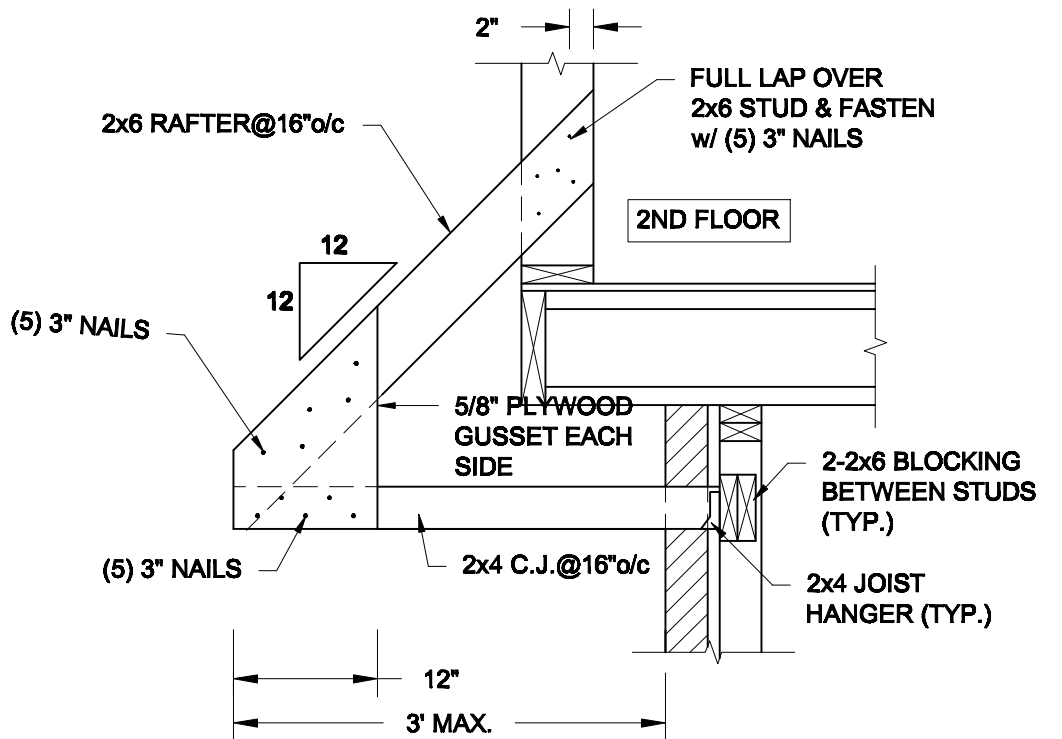
1C
S3 **PLAN VIEW AT CORNER**
SCALE: 1/2" = 1' - 0"

NOTES:

1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
2. CONCRETE TO HAVE A 28-DAY COMPRESSIVE STRENGTH OF 20 MPa.
3. REINFORCING STEEL TO BE GRADE 400.
4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS - SEE DETAIL 1C/S3.
5. PROVIDE 3" COVER TO SOIL MINIMUM.
6. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.



1B
S3 **REINFORCED BRICKSHELF**
SCALE: 1/2" = 1' - 0"



2
S3 **CANOPY ROOF OVER GARAGE**
SCALE: 3/4" = 1' - 0"

Scale:
AS NOTED

Date:
FEB-24-2022

Drawn:
SC

Checked:
SJB

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
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Engineer's Seal



FEB 24, 2022

Project:

**BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES
BRADFORD, ONTARIO**

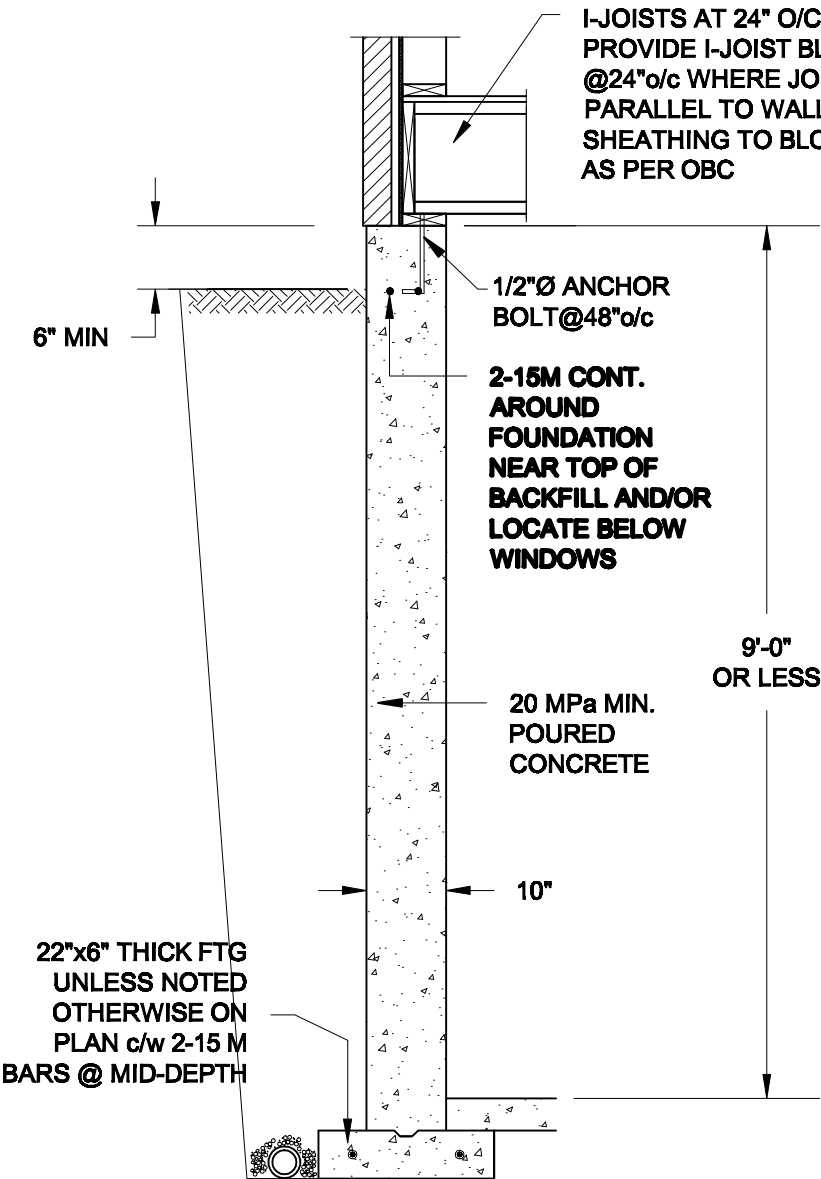
TYPICAL STRUCTURAL DETAILS

Project No.:

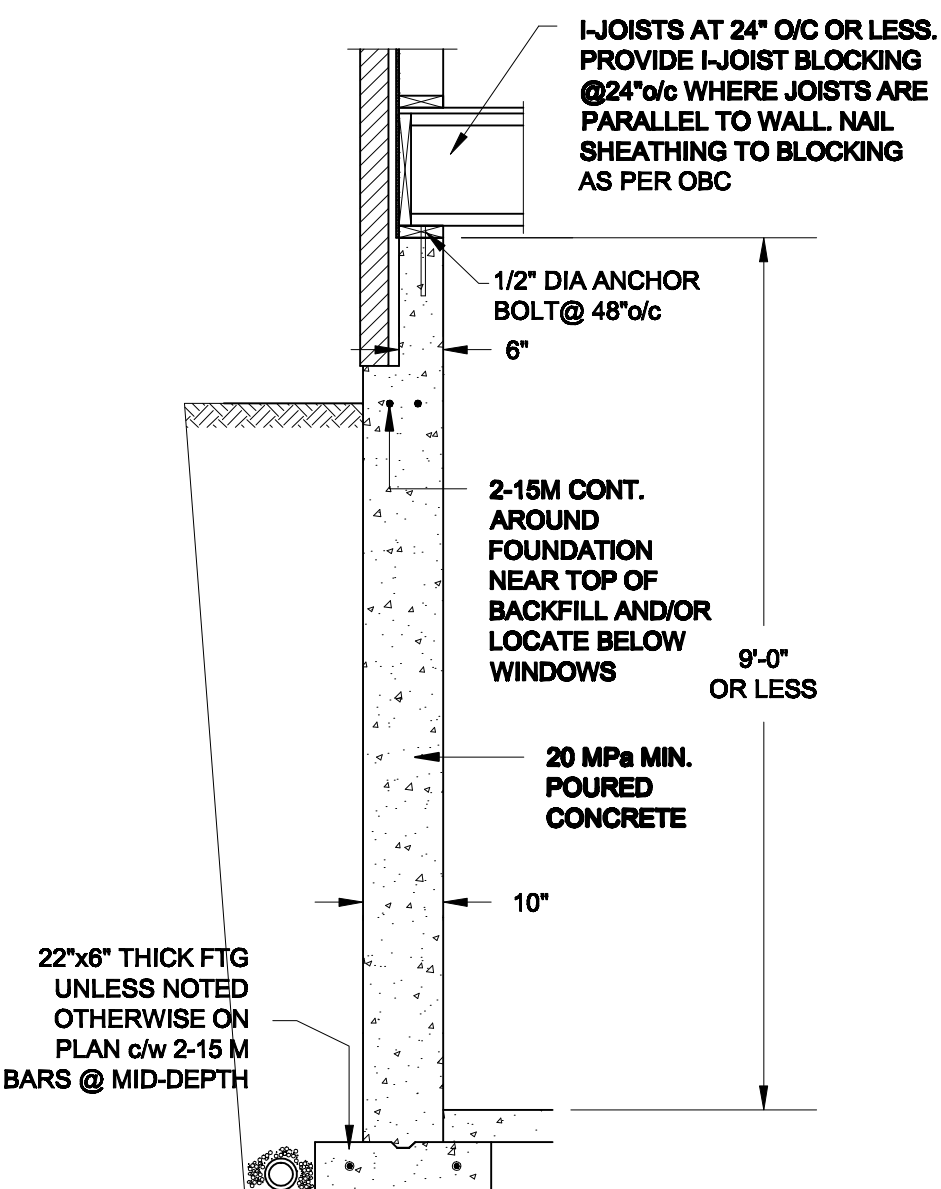
21-038

Drawing No.:

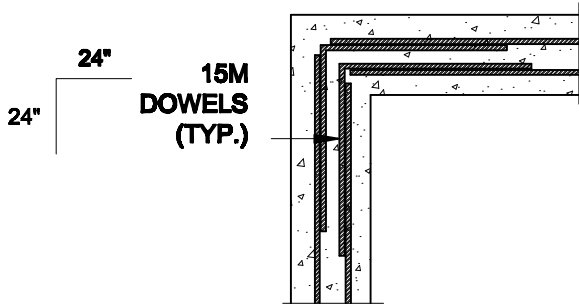
S3



1A
S4 **FOUNDATION WALL**
SCALE: 1/2" = 1'-0"



1B
S4 **DROPPED VENEER**
SCALE: 1/2" = 1'-0"



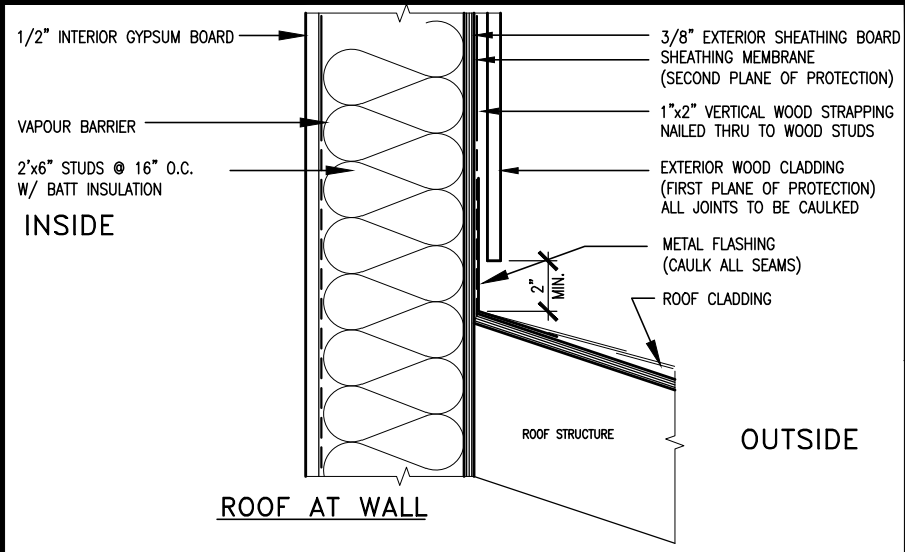
1C
S4 **TYP. PLAN VIEW AT CORNER**
SCALE: 1/2" = 1'-0"

NOTE:
AT ALL WINDOW OPENINGS,
PROVIDE 2-15M VERTICALLY
AT EACH SIDE + 2-15M
HORIZONTALLY 2" BELOW &
EXTEND 24" BEYOND OPENING

NOTES:

1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
2. CONCRETE TO HAVE A 28 DAY COMPRESSIVE STRENGTH OF 20 MPa.
3. REINFORCING STEEL TO BE GRADE 400.
4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS - SEE DETAIL 1C/S4.
5. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.
6. FOUNDATION IS FOR A PART 9 RESIDENTIAL BUILDING.
7. DETAIL IS APPLICABLE TO SITE CLASSES A TO D ONLY AS GIVEN IN TABLE 4.1.8.4.A OF THE OBC (TO BE CONFIRMED BY GEOTECHNICAL ENGINEER).

Scale: AS NOTED		QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal:  S. J. BOYD 90214198 PROVINCE OF ONTARIO MAR 30, 2021	Project: BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES BRADFORD, ONTARIO	
Date: MAR-15-2021				TYPICAL STRUCTURAL DETAILS	
Drawn: SC	Checked: SJB			Project No.: 21-038	Drawing No.: S4



MAX. HEIGHT FOR 2"x4" GARAGE WALL IS AS FOLLOW:
2"x4" @ 16" O.C. - 9'-10"
2-2"x4" @ 12" O.C. - 10'-9"
3-2"x4" @ 16" O.C. - 11'-2"
3-2"x4" @ 12" O.C. - 12'-4"

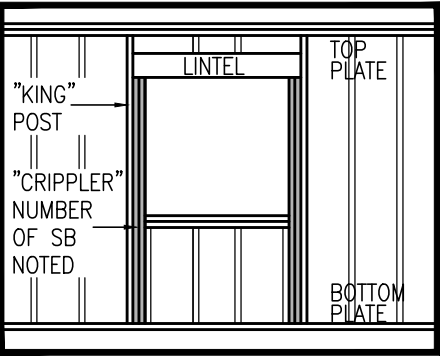
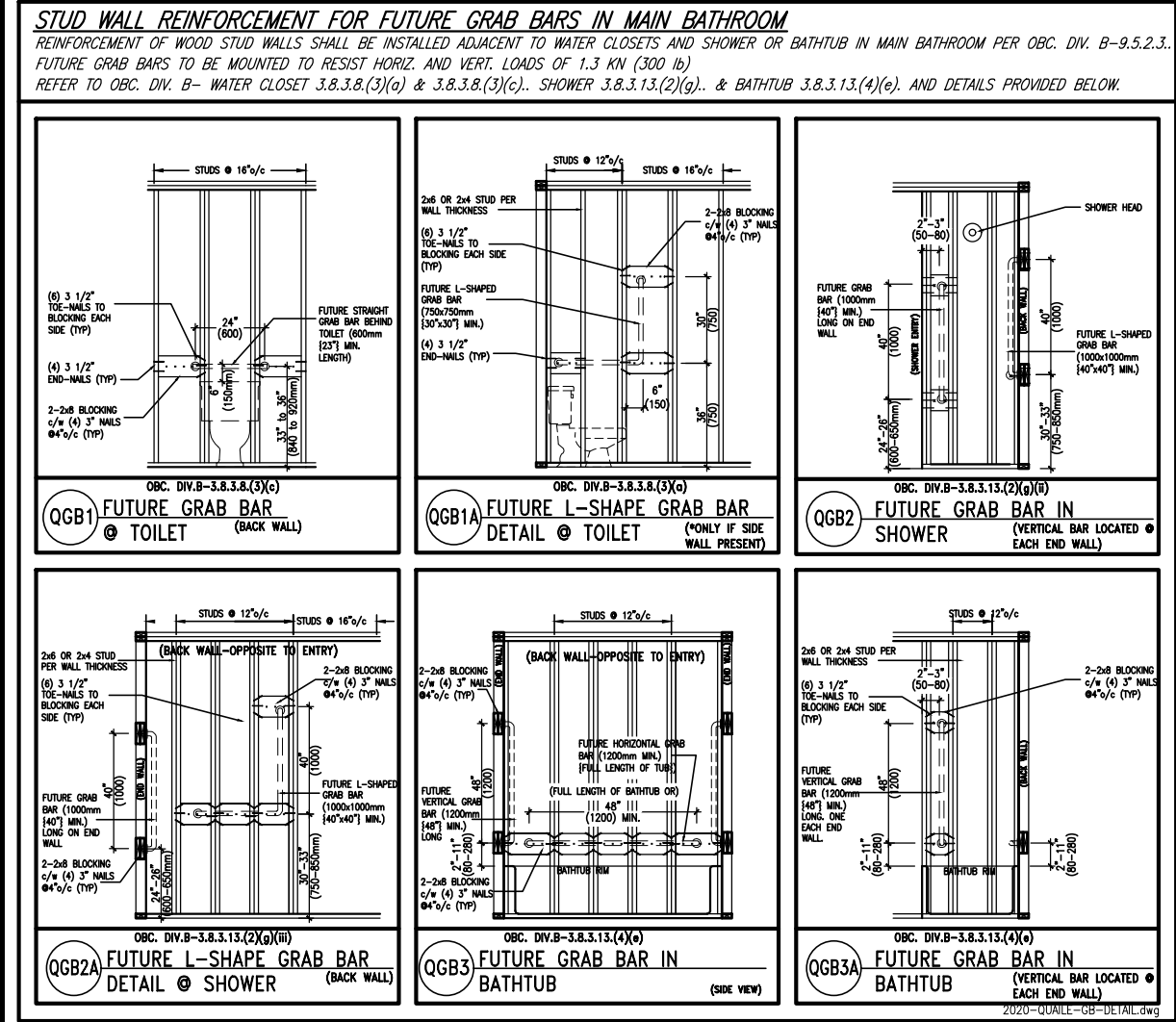
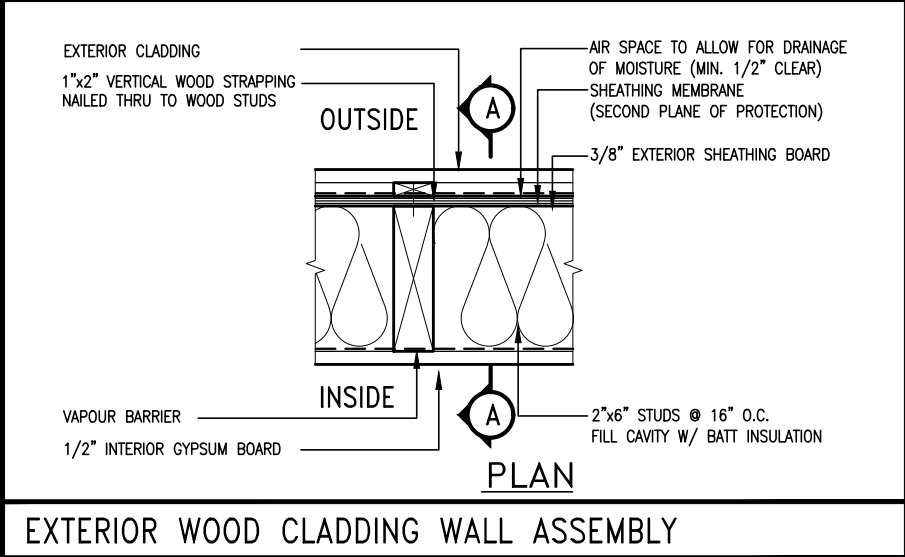
NOTES:
1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa. SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR JOIST LENGTH OF 2.5m OF ONE FLOOR.
2. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
3. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE.
4. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
5. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
6. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOW:
2"x6" @ 16" O.C. - 12'-6"
2"x6" @ 12" O.C. - 13'-10"
2-2"x6" @ 16" O.C. - 15'-0"
2-2"x6" @ 12" O.C. - 17'-4"

MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:
2"x8" @ 16" O.C. - 16'-0"
2"x8" @ 12" O.C. - 17'-9"
2-2"x8" @ 16" O.C. - 20'-4"
2-2"x8" @ 12" O.C. - 22'-4"

NOTES:
1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa
2. SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
3. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
4. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
5. WALL FRAMING SHALL CONFORM TO OBC 9.2.3.10.1.(2)
6. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa
7. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
8. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** STUD INFORMATION TAKEN FROM OBC TABLE A-30



"CRIPPLE" DETAIL

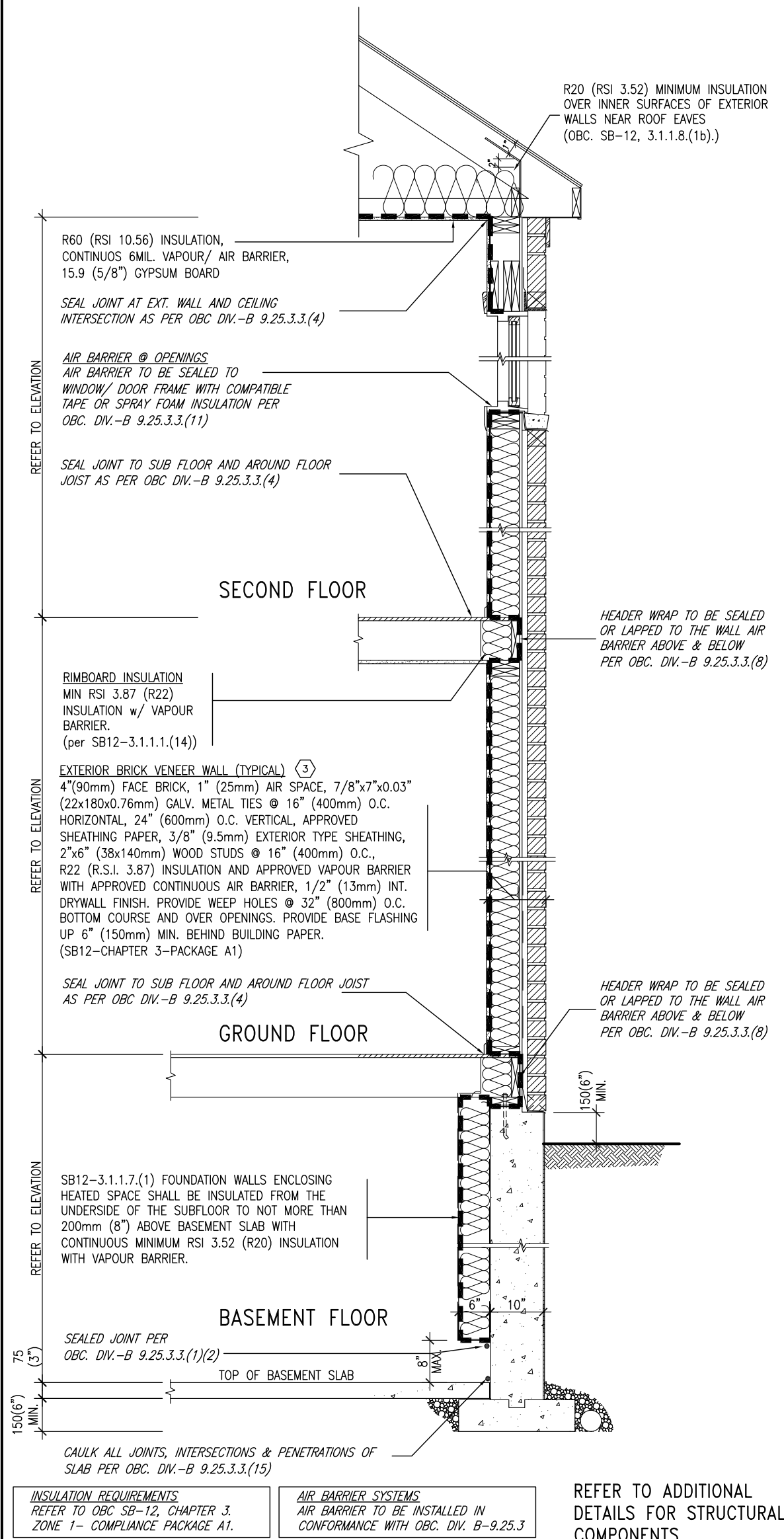


9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name
5	.	.	.	registration information
4	UPDATE TO 2022	JAN 11-22	RC	VA3 Design Inc. 42658
3	UPDATE TO 2020	FEB 24-20	RC	
2	UPDATE TO 2018	JAN 11-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	

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255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON			CONST NOTE	
project name			project no.	
GREEN VALLEY EAST			16023	
municipality				
BRADFORD				
date			drawing no.	
MAY 2016			CONSTRUCTION NOTES	
drawn by		checked by	scale	file name
RC		-	3/16" = 1'-0"	16023-CN-2022-A1
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:05 PM				

SB12-COMPLIANCE PACKAGE 'A1'

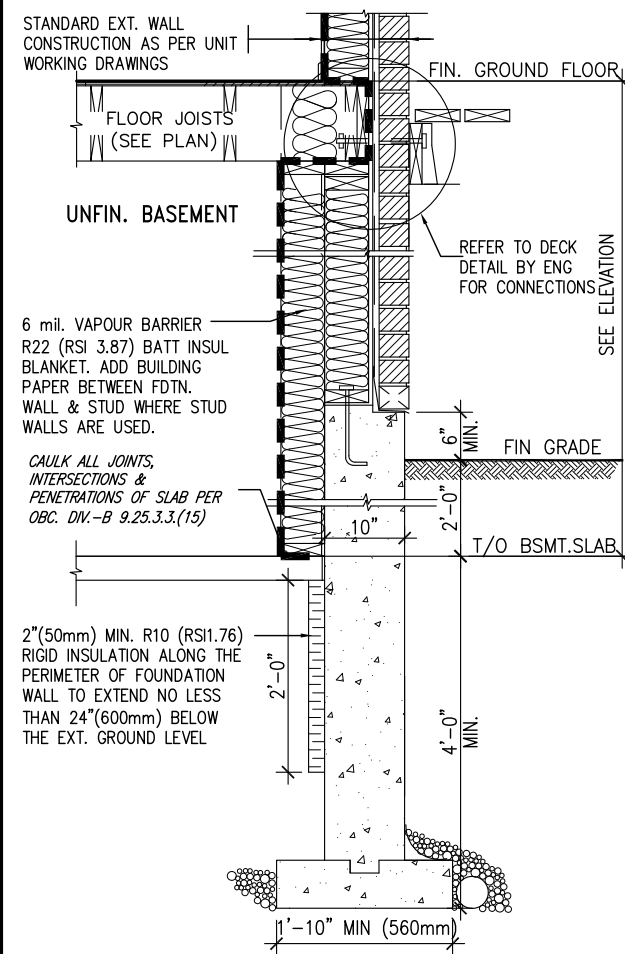


EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/ BRICK VENEER (PACKAGE A1) 10" FOUNDATION WALL SCALE: N.T.S.

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

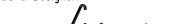
USE SB-12 COMPLIANCE PACKAGE (A1):		
COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56	R20 at inner face of exterior walls
Minimum RSI (R) value	(R60)	
Ceiling without Attic Space	5.46	BATT or SPRAY
Minimum RSI (R) value	(R31)	
Exposed Floor	5.46	BATT or SPRAY
Minimum RSI (R) value	(R31)	
Walls Above Grade	3.87	6" R22 BATT
Minimum RSI (R) value	(R22)	
Basement Walls	3.52ci	OPTION TO USE R12+R10ci.
Minimum RSI (R) value	(R20ci)	
Edge of Below Grade Slab ≤600mm below grade	1.76	RIGID INSUL
Minimum RSI (R) value	(R10)	
Windows & Sliding glass Doors	1.6	
Maximum U-value		
Skylights		
Maximum U-value	2.8U	
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV		
Minimum Efficiency	75%	—
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information	

ci- Denotes Continuous Insulation without framing interruption.



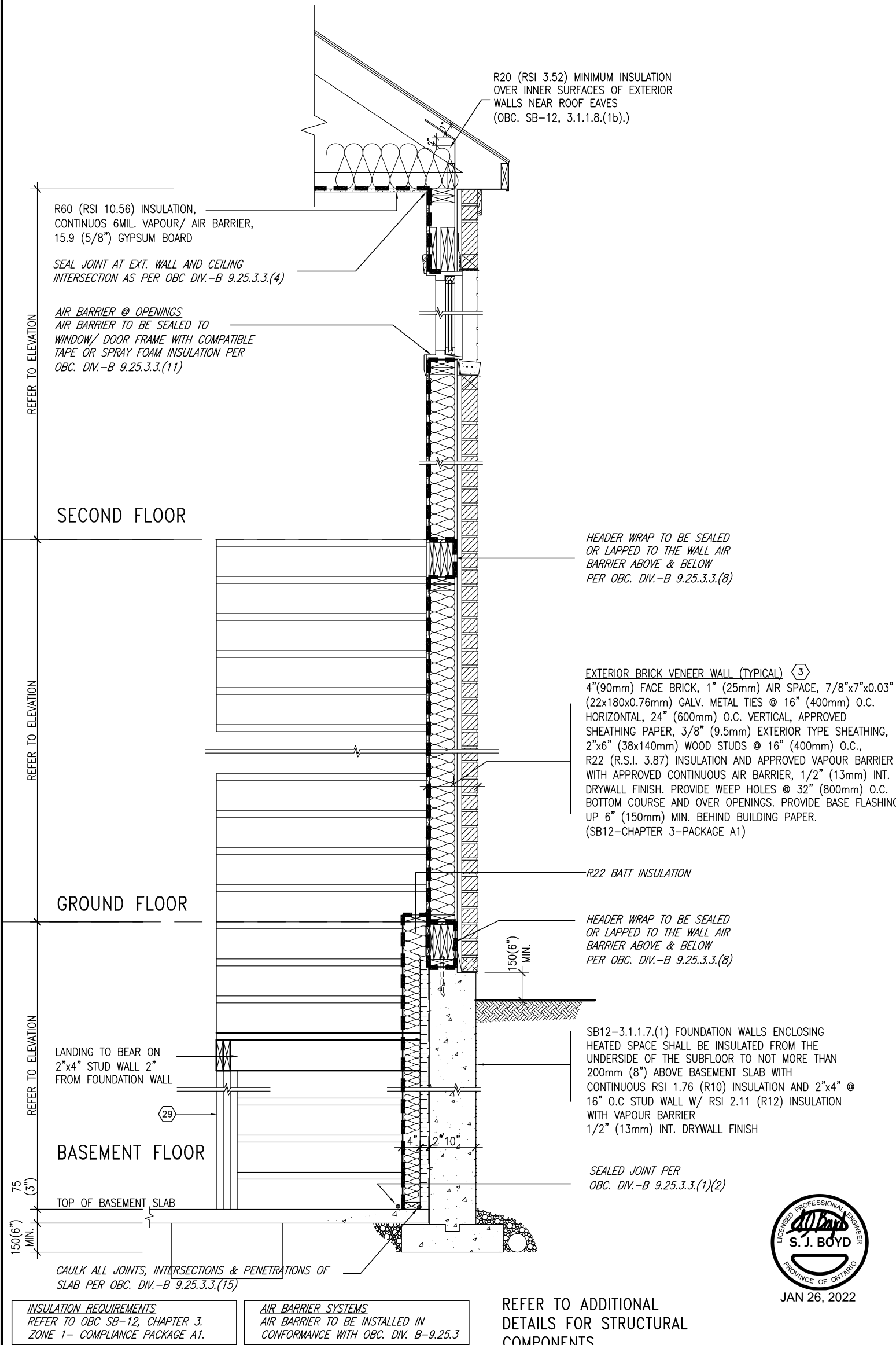
* REVISED-FEB 2017

SECTION AT W.O.D/W.O.B.

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. Wellington Jno-Baptiste 25591 signature BCIN name registration information VA3 Design Inc. 42658	VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON project name GREEN VALLEY EAST municipality BRADFORD project no. 16023	CONST NOTE -
8	.	.	.				
7	.	.	.				
6	.	.	.				
5	.	.	.				
4	UPDATE TO 2022	JAN 11-22	RC				
3	UPDATE TO 2020	FEB 24-20	RC				
2	UPDATE TO 2018	JAN 11-18	RC				
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC				
no.	description	date	by				

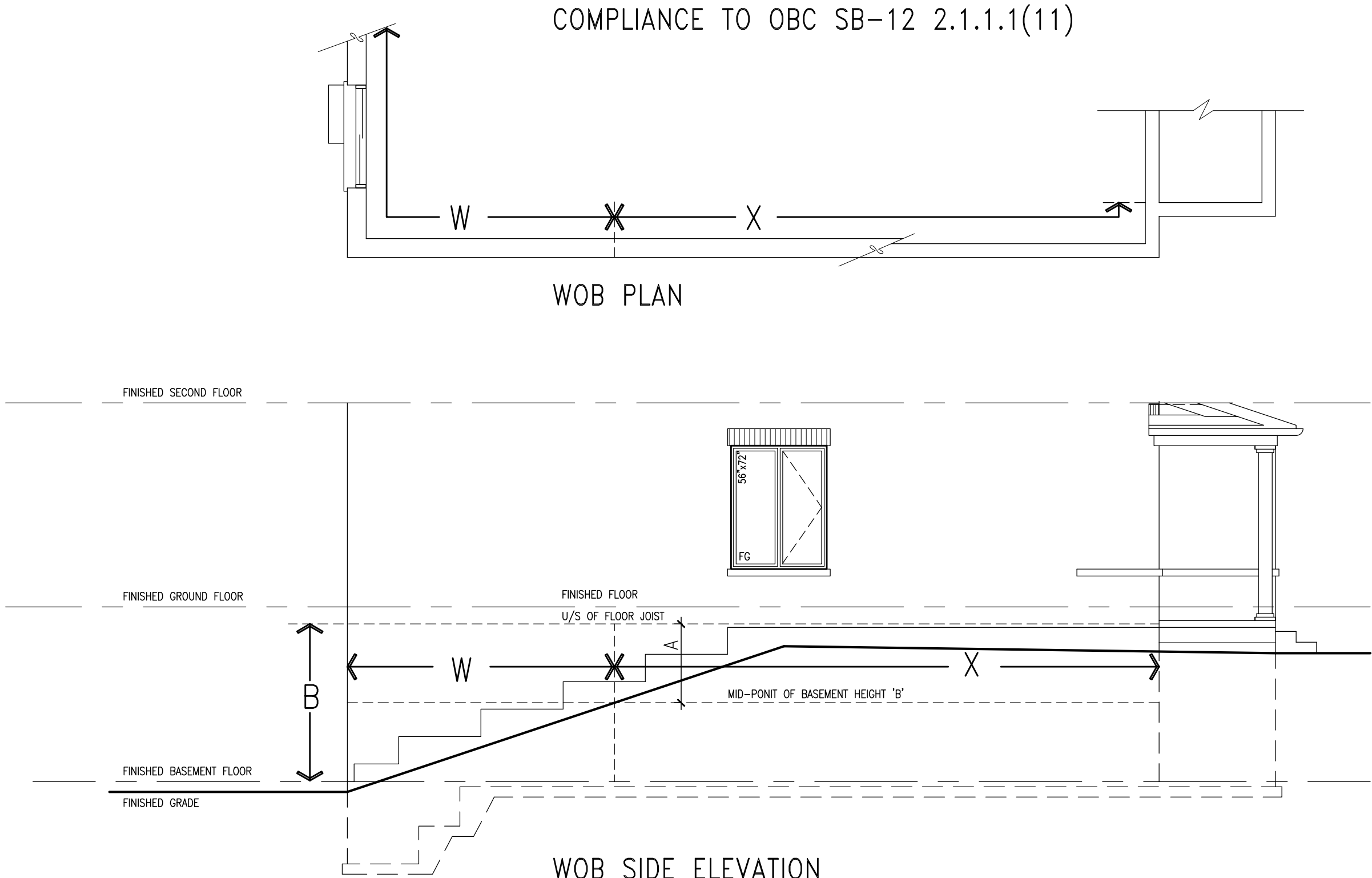
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			drawing no. CN6
date MAY 2016	CONSTRUCTION NOTES		
drawn by RC	checked by -	scale 3/16" = 1'-0"	
file name 16023-CN-2022-A1			
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:08 PM			

SB12-COMPLIANCE PACKAGE 'A1'



EW STR TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/ BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1) 10" FOUNDATION WALL SCALE: N.T.S.

9 8 7 6 5 4 3 2 1 UPDATE TO 2022 UPDATE TO 2020 UPDATE TO 2018 ISSUE FOR CLIENT REVIEW JAN 11-22 FEB 24-20 JAN 11-18 AUG 04-17 RC RC RC RC			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste25591BCINsignature registration information VA3 Design Inc.42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			VA3DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com			BAYVIEW WELLINGTON project name GREEN VALLEY EAST municipality BRADFORD project no. 16023 date MAY 2016 drawn by RC checked by - scale 3/16" = 1'-0" CONSTRUCTION NOTES file name 16023-CN-2022-A1 drawing no. CN7			CONST NOTE -		
--	--	--	--	--	--	---	--	--	--	--	--	------------------------------------	--	--



WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591 BCIN

name

registration information

VAS Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
4	UPDATE TO 2022	JAN 11-22	RC
3	UPDATE TO 2020	FEB 24-20	RC
2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC

project name	municipality	project no.	drawing no.
GREEN VALLEY EAST	BRADFORD	16023	CN8
CONSTRUCTION NOTES			
date	drawn by	checked by	scale
MAY 2016	RC	-	3/16" = 1'-0"
CONST NOTE			



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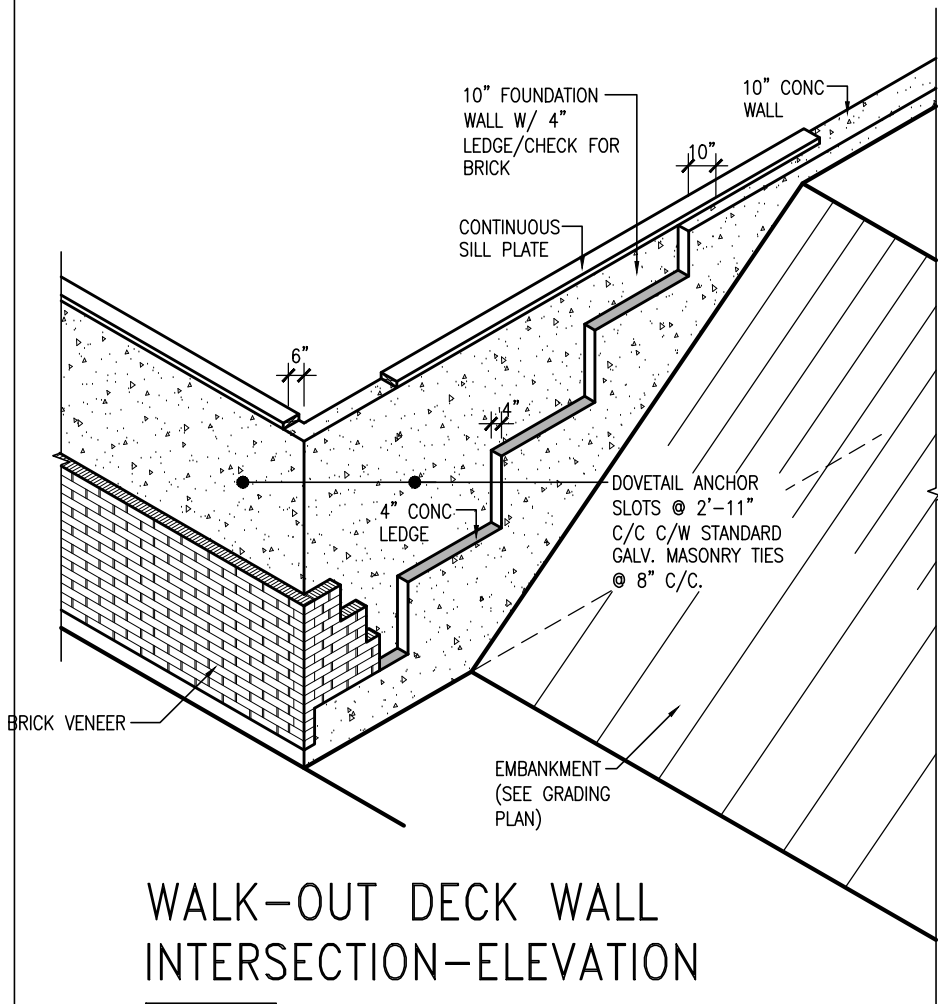
CONST NOTE

BAYVIEW WELLINGTON

project name	project no.
GREEN VALLEY EAST	16023
municipality	
BRADFORD	
CONSTRUCTION NOTES	
date	drawing no.
MAY 2016	

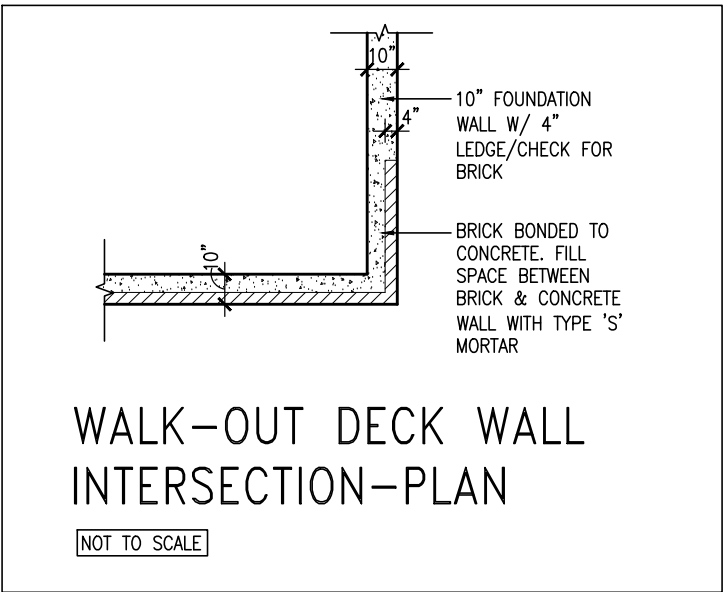
file name	scale	checked by	drawn by
16023-CN-2022-A1	3/16" = 1'-0"	-	IC

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WALK-OUT DECK WALL INTERSECTION-ELEVATION

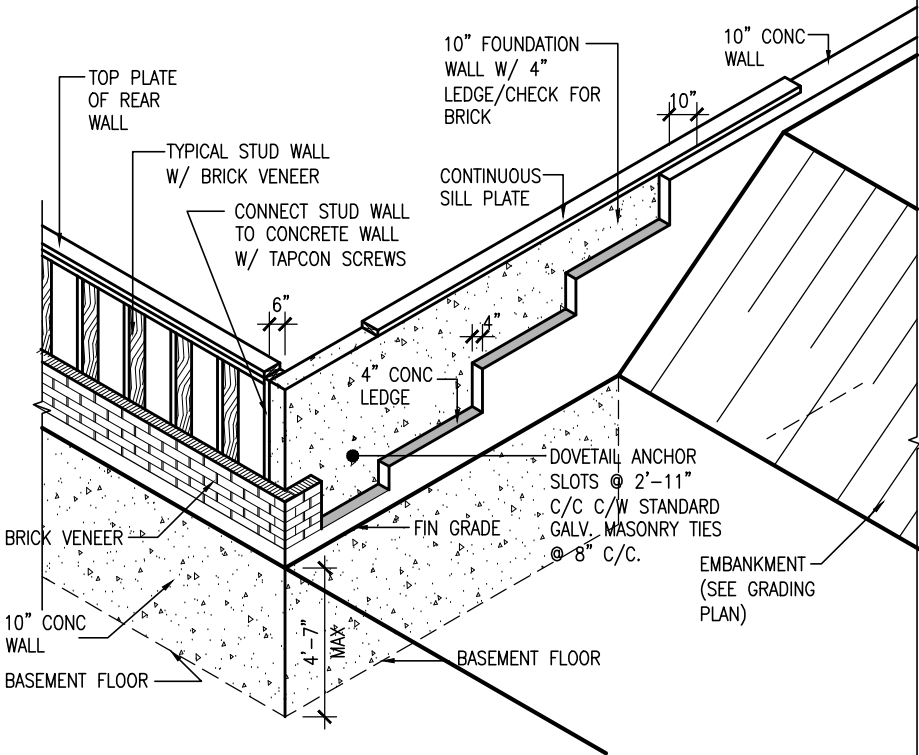
NOT TO SCALE



WALK-OUT DECK WALL INTERSECTION-PLAN

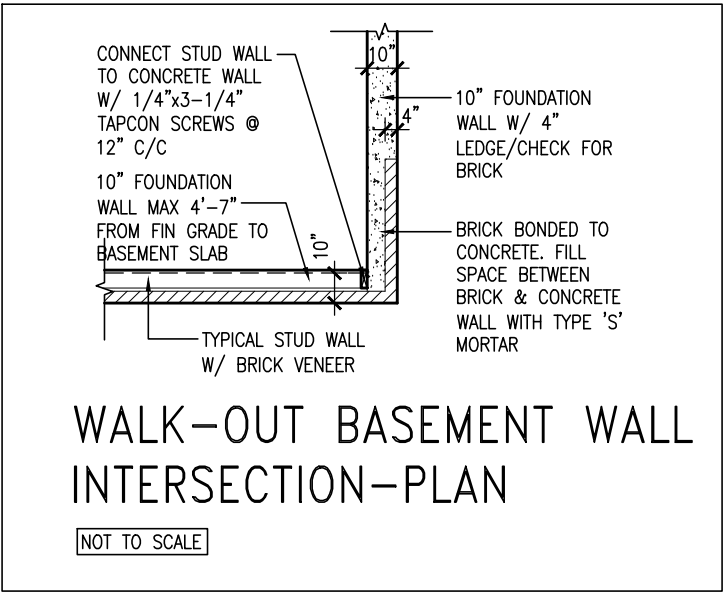
NOT TO SCALE

(10" FOUNDATION WALL)



WALK-OUT DECK WALL INTERSECTION-ELEVATION MAX 4'-7" BACKFILL

NOT TO SCALE



WALK-OUT BASEMENT WALL INTERSECTION-PLAN

NOT TO SCALE

(10" FOUNDATION WALL)



9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	signature BCIN
5	.	.	.	registration information
4	UPDATE TO 2022	JAN 11-22	RC	VA3 Design Inc. 42658
3	UPDATE TO 2020	FEB 24-20	RC	
2	UPDATE TO 2018	JAN 11-18	RC	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

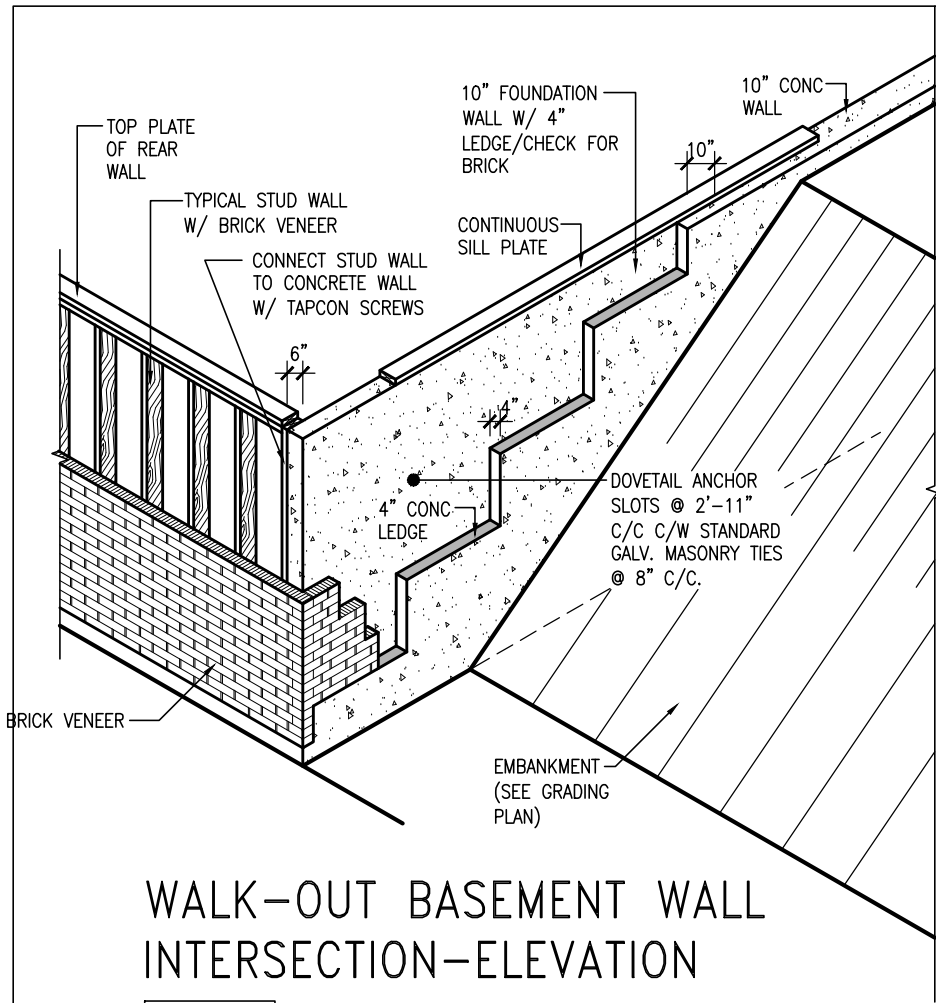


255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

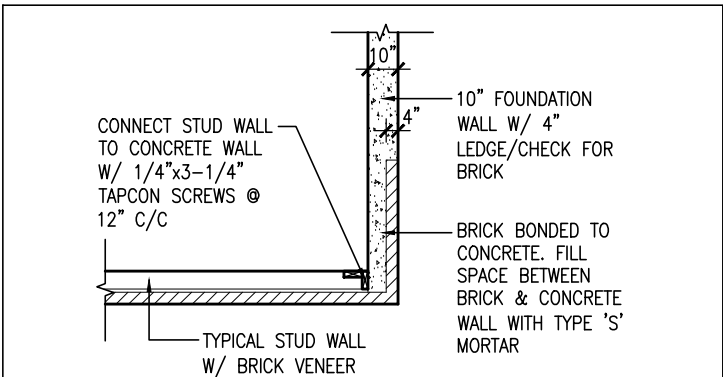
CONST NOTE

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	MAY 2016	checked by	scale	CONSTRUCTION NOTES	drawing no.
drawn by	RC		3/16" = 1'-0"	16023-CN-2022-A1	CN10
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:06 PM					



WALK-OUT BASEMENT WALL
INTERSECTION-ELEVATION

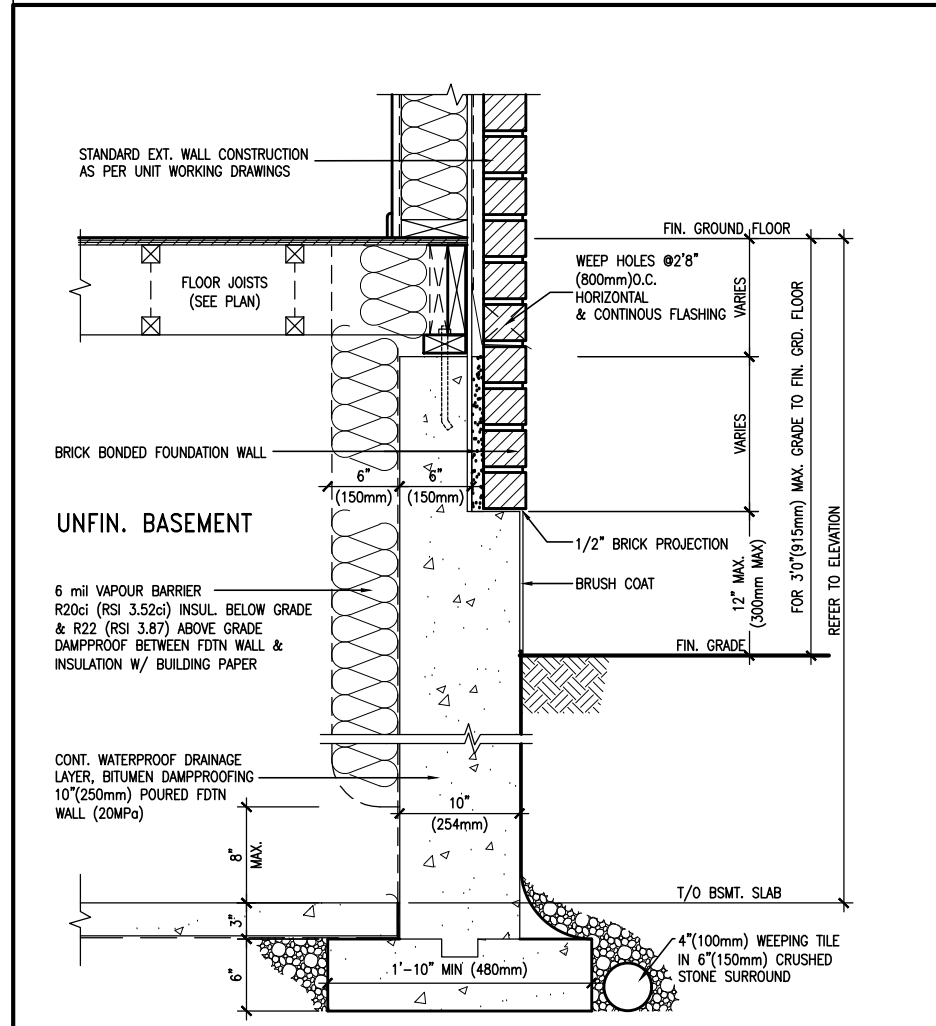
NOT TO SCALE



WALK-OUT BASEMENT WALL
INTERSECTION-PLAN

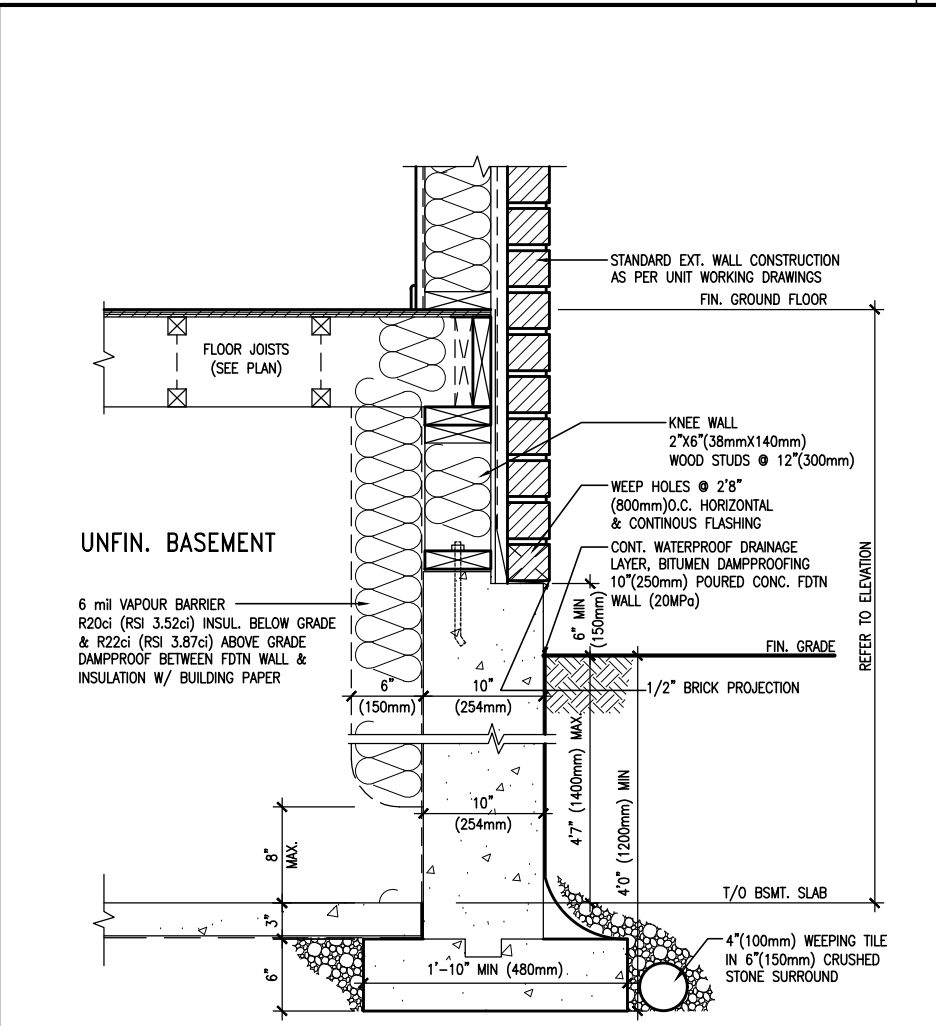
NOT TO SCALE

(10" FOUNDATION WALL)



WALL SECTION FOR GRADE TO FIN.
FLOOR MORE THAN 4'7" (1400mm)
HEIGHT DIFFERENCE

SCALE: N.T.S.



WALL SECTION FOR GRADE TO BASEMENT
SLAB 4'7" (1400mm)
MAX. HEIGHT DIFFERENCE

SCALE: N.T.S.



9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	signature BCIN
5	.	.	.	registration information
4	UPDATE TO 2022	JAN 11-22	RC	VA3 Design Inc. 42658
3	UPDATE TO 2020	FEB 24-20	RC	
2	UPDATE TO 2018	JAN 11-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	

VA3 DESIGN

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va3design.com

BAYVIEW WELLINGTON		CONST NOTE	
project name	GREEN VALLEY EAST	municipality	BRADFORD
date	MAY 2016	project no.	16023
drawn by	RC	checked by	3/16" = 1'-0"
CONSTRUCTION NOTES		file name	16023-CN-2022-A1
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:06 PM		CN11	

PREFIN. METAL ROOF
CAP OVER WATERPROOF
MEMBRANE

5/8" T&G PLYWOOD
SHEATHING ON 2"x4"
SLOPED TO FRONT

2"x12" LEDGER

2"x12" @ HEADER

3"x3"x1 1/16" GALVANIZED
STANLEY CORNER BRACE
C/W (4) No. 10x1 1/2"
SCREWS AT 4'-0" O.C.

PREFIN. ALUM. FASCIA
AND SOFFIT AT U/S

DRIP EDGE

STL. LINTEL

TYPICAL BRICK VENEER
WALL CONSTRUCTION

HEATED SPACE

ENG. FLOOR JOIST

SECOND FLOOR

MIN. 6" PREFIN. METAL FLASHING W/
CAULKING TO MATCH BRICK/STONE

BUILT-UP CANOPY BOLTED THRU
LVL/WOOD BEAM (SEE UNIT PLANS) W/
1/2" Ø BOLTS STAGGERED @ 24" O.C.
W/ SOLID WD. BLK. BETWEEN STUDS

1

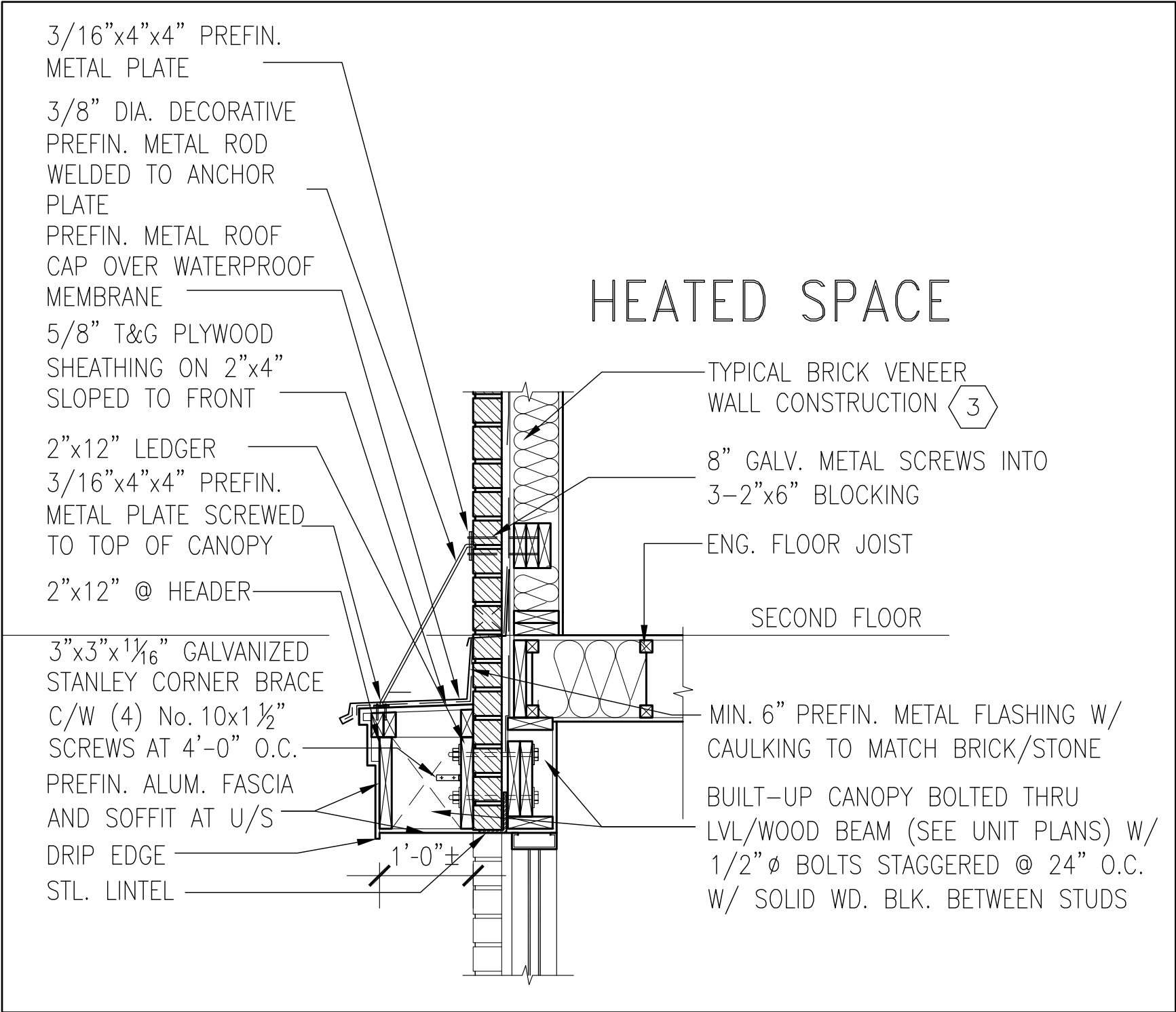
CN12

SECTION THROUGH CANOPY

SCALE 1/2" = 1'-0"



9	-	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON		CONST NOTE		
8	-	-	-	qualification information		project name		project no.		
7	-	-	-	Wellington Jno-Baptiste		GREEN VALLEY EAST		16023		
6	-	-	-	signature		municipality		BRADFORD		
5	-	-	-	BCIN		date		MAY 2016		
4	UPDATE TO 2022	JAN 11-22	RC	VA3 Design Inc.	42658	CONSTRUCTION NOTES		drawing no.		
3	UPDATE TO 2020	FEB 24-20	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		16023-CN-2022-A1		CN12		
2	UPDATE TO 2018	JAN 11-18	RC			file name				
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC			RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:09 PM				
no.	description		date	by						



1
CN13

SECTION THROUGH CANOPY
W/ DECORATIVE ROD
SCALE 1/2" = 1'-0"



JAN 26, 2022

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON		CONST NOTE	
8	.	.	.	qualification information		project name		project no.	
7	.	.	.	Wellington Jno-Baptiste		GREEN VALLEY EAST		16023	
6	.	.	.	signature		municipality		BRADFORD	
5	.	.	.	BCIN		date		MAY 2016	
4	UPDATE TO 2022	JAN 11-22	RC	VA3 Design Inc.	42658	CONSTRUCTION NOTES		drawing no.	
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2	UPDATE TO 2018	JAN 11-18	RC			file name			
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC			RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:09 PM			
no.	description		date	by					

3/16"x4"x4" PREFIN.
METAL PLATE

3/8" DIA. DECORATIVE
PREFIN. METAL ROD
WELDED TO ANCHOR
PLATE

PREFIN. METAL ROOF
CAP OVER WATERPROOF
MEMBRANE

5/8" T&G PLYWOOD
SHEATHING ON 2"x4"
SLOPED TO FRONT

2"x12" LEDGER

3/16"x4"x4" PREFIN.
METAL PLATE SCREWED
TO TOP OF CANOPY

2"x12" @ HEADER

3"x3"x1 1/16" GALVANIZED
STANLEY CORNER BRACE
C/W (4) No. 10x1 1/2"
SCREWS AT 4'-0" O.C.

PREFIN. ALUM. FASCIA
AND SOFFIT AT U/S

DRIP EDGE

STL. LINTEL

8" GALV. METAL SCREWS INTO
3-2"x6" BLOCKING

PREFINISHED METAL FLASHING
OVER WATERPROOF MEMBRANE

2"x6" @ 12" O.C. NAILED TO
2"x8" JOIST BELOW

CANT STRIP

ROOF NOTE R1

SINGLE PLY ROOF MEMBRANE
W/5/8" EXTERIOR GRADE

SHEATHING W/ 2"x4" @ 12"
O.C. DIAGONALLY CUT CROSS
PURLINS 2"x8" @ 16" O.C. W/

MIN. 6" PREFIN. METAL FLASHING W/
CAULKING TO MATCH BRICK/STONE

BUILT-UP CANOPY BOLTED THRU
LVL/WOOD BEAM (SEE UNIT PLANS) W/
1/2" Ø BOLTS STAGGERED @ 24" O.C.
W/ SOLID WD. BLK. BETWEEN STUDS

1

CN14

SECTION THROUGH CANOPY

W/ DECORATIVE ROD

SCALE 1/2" = 1'-0"



9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON	CONST NOTE	
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4	UPDATE TO 2022	JAN 11-22	RC			project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023
3	UPDATE TO 2020	FEB 24-20	RC			date MAY 2016	CONSTRUCTION NOTES	file name 16023-CN-2022-A1
2	UPDATE TO 2018	JAN 11-18	RC			drawn by RC	checked by -	scale 3/16" = 1'-0"
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC					
no.	description	date	by					drawing no. CN14