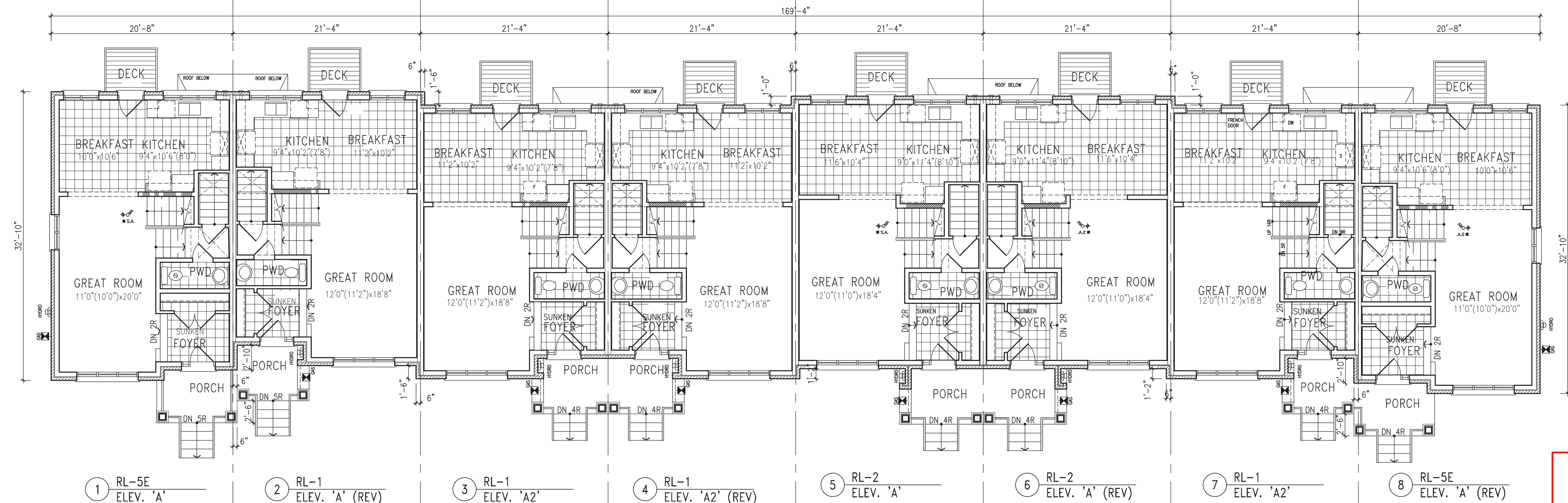
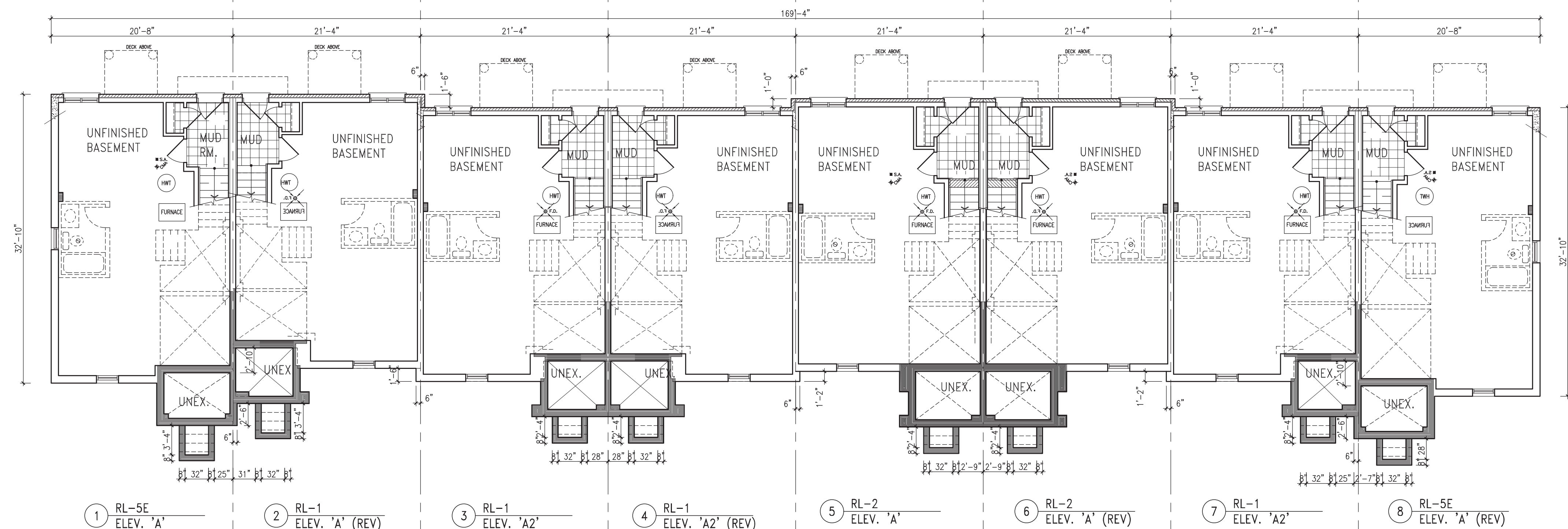




2023-0535
2023-0530
2023-0537
2023-0536
2023-0518
2023-0527
2023-0517
2023-0531



GROUND FLOOR PLAN 'A'



BASEMENT PLAN ELEV. 'A'

Town of Innisfil Building Dept Notes:

All smoke alarms and CO detectors shall comply with O.B.C 9.10.19 and 9.33.4

Main bathroom shall be designed as per 9.5.2

All construction subject to review by Town Building Inspectors

See comments on permit

Finished basement require separate permits.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter for that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]
DATE: MAY 22, 2023
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

BUILDING AREA W/O PORCH		
5270.5 SF	489.6 SM	

WOOD LINTELS AND BUILT-UP WOOD BEAMS		
L1	2/38 x 184 (2/2" x 8")	SPR.#2
B1	3/38 x 184 (3/2" x 8")	SPR.#2
B2	4/38 x 184 (4/2" x 8")	SPR.#2
B7	5/38 x 184 (5/2" x 8")	SPR.#2
L3	2/38 x 235 (2/2" x 10")	SPR.#2
B3	3/38 x 235 (3/2" x 10")	SPR.#2
B4	4/38 x 235 (4/2" x 10")	SPR.#2
L5	2/38 x 286 (2/2" x 12")	SPR.#2
B5	3/38 x 286 (3/2" x 12")	SPR.#2
B6	4/38 x 286 (4/2" x 12")	SPR.#2

LOOSE STEEL LINTELS		
L7	90 x 90 x 6.0L (3-1/2" x 3-1/2" x 1/4")	
L8	90 x 90 x 8.0L (3-1/2" x 3-1/2" x 5/16")	
L9	100 x 90 x 8.0L (4" x 3-1/2" x 5/16")	
L10	125 x 90 x 8.0L (5" x 3-1/2" x 5/16")	
L11	125 x 90 x 10.0L (5" x 3-1/2" x 3/8")	
L12	150 x 100 x 10.0L (6" x 4" x 3/8")	
L13	180 x 100 x 10.0L (7" x 4" x 3/8")	

LAMINATED VENEER LUMBER (LVL) BEAMS		
LVL1A	1-1 3/4"x7 1/4" (1-45x184)	
LVL1	2-1 3/4"x7 1/4" (2-45x184)	
LVL2	3-1 3/4"x7 1/4" (3-45x184)	
LVL3	4-1 3/4"x7 1/4" (4-45x184)	
LVL4A	1-1 3/4"x9 1/2" (1-45x240)	
LVL4	2-1 3/4"x9 1/2" (2-45x240)	
LVL5	3-1 3/4"x9 1/2" (3-45x240)	
LVL5A	4-1 3/4"x9 1/2" (4-45x240)	
LVL6A	1-1 3/4"x11 7/8" (1-45x300)	
LVL6	2-1 3/4"x11 7/8" (2-45x300)	
LVL7	3-1 3/4"x11 7/8" (3-45x300)	
LVL8	4-1 3/4"x11 7/8" (4-45x300)	

WINDOWS:		
1) MINIMUM BEDROOM WINDOW	-OBC 9.7.1.3.-	
AT LEAST ONE WINDOW ON A FLOOR WITH A BEDROOM IS TO HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380mm (1'-3").		
2) WINDOW GUARDS	-OBC 9.7.1.6. & 9.8.8.	
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11").		
3) EXTERIOR WINDOWS	SHALL COMPLY WITH OBC DIV.-B 9.7.1.7. & SB12-2.1.1.8	

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING:
-GROUND FLOOR ROOF STRUCTURE
-BASEMENT AND GROUND FLOOR LINTELS
-GROUND FLOOR AND SECOND FLOOR STRUCTURE
-DOUBLE VOLUME WALL LOCATION AND DETAILS
-CONCRETE SLABS

NOTE:
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK

10			
9			
8			
7			
6	REVISED AS PER ENG'S COMMENTS	JUL 18-19 BC	
5	ISSUE FOR THESE CODES	MAY 21-18 VAS	
4	ADD ADDRESS PLaque TO GARAGE ELEVATION	MAY 15-18 BC	
3	REVISED BLOCK 1 AS PER REV GRADING	JAN 09-18 BC	
2	REVISED AS PER TOWN'S COMMENTS	NOV 06-17 SB	
1	ISSUED FOR SPA	JUL 10-17 SB	
no	description	date	by

VAS DESIGN
255 Consumers Rd
Suite 120
Toronto ON M2J 1R4
t 416.630.2255
f 416.630.4782
vasdesign.com

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The contractor has reviewed and taken responsibility for the design and for the application and meets the requirements set out in the specification information.

Wellingdon Inno-Bayshore
425591

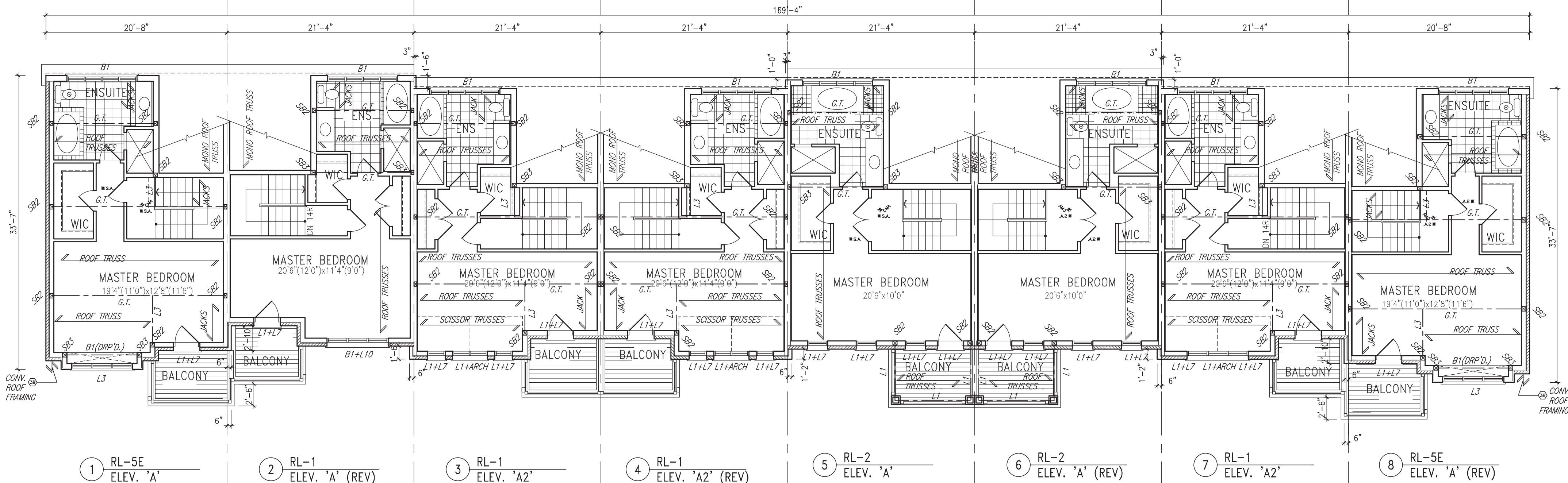


BAYVIEW WELLINGTON		
PROJECT NAME: ALCONA	PROJECT NO: 13049	
LOCATION: INNISFIL, ON	DATE: Mar 23, 2023	
SP-2017-051	BLOCK 4 FLOOR PLANS	
DATE: JULY 2017	SCALE: 1/8" = 1'-0"	DRAWING NO: 1
DRWN BY: [Signature]	CHECKED BY: [Signature]	
13049-BLOCKS BL-EXPLODED		

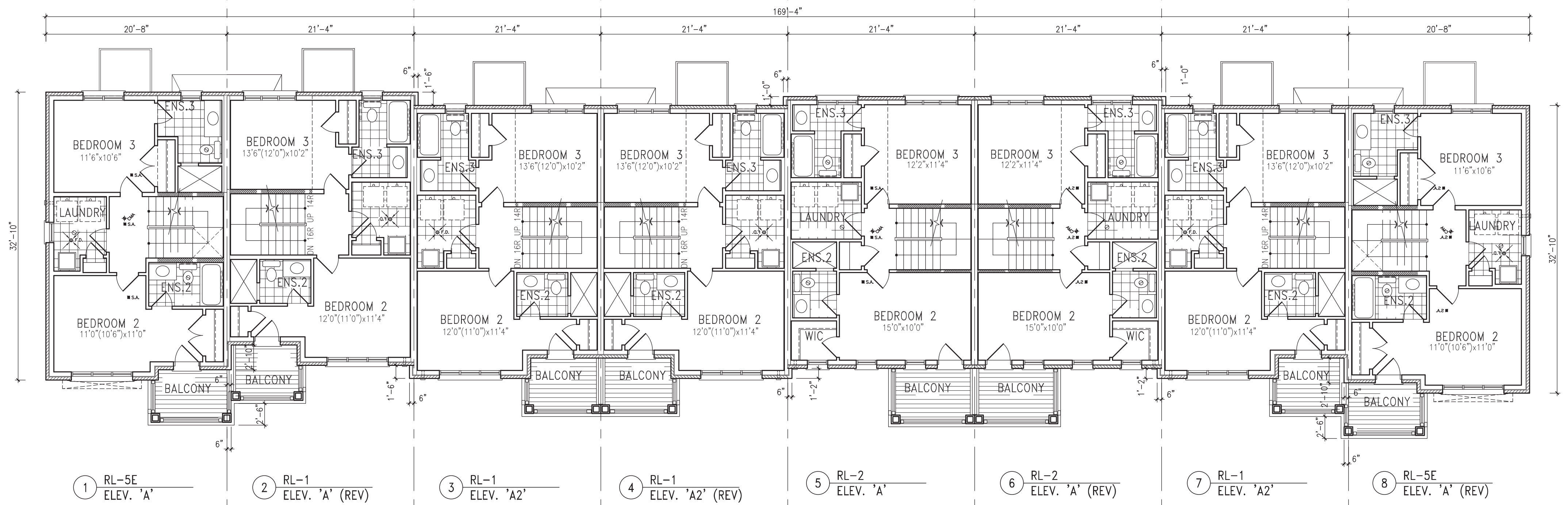
BLOCK 4



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2023-0530
2023-0537
2023-0536
2023-0518
2023-0527
2023-0517
2023-0531



THIRD FLOOR PLAN ELEV. 'A'



SECOND FLOOR PLAN ELEV. 'A'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

DATE: 8/8/2023

APPROVED BY: [Signature]

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONSULTANT REVIEW AND APPROVAL

This stamp certifies compliance with the applicable Design Guidelines only and does not constitute a Design Guidelines approval by the Town of Innisfil.

WOOD LINTELS AND BUILT-UP WOOD BEAMS	
L1	2/38 x 184 (2/2" x 8") SPR.#2
B1	3/38 x 184 (3/2" x 8") SPR.#2
B2	4/38 x 184 (4/2" x 8") SPR.#2
B7	5/38 x 184 (5/2" x 8") SPR.#2
L3	2/38 x 235 (2/2" x 10") SPR.#2
B3	3/38 x 235 (3/2" x 10") SPR.#2
B4	4/38 x 235 (4/2" x 10") SPR.#2
L5	2/38 x 286 (2/2" x 12") SPR.#2
B5	3/38 x 286 (3/2" x 12") SPR.#2
B6	4/38 x 286 (4/2" x 12") SPR.#2
LOOSE STEEL LINTELS	
L7	90 x 90 x 6.0L (3-1/2" x 3-1/2" x 1/4")
L8	90 x 90 x 8.0L (3-1/2" x 3-1/2" x 5/16")
L9	100 x 90 x 8.0L (4" x 3-1/2" x 5/16")
L10	125 x 90 x 8.0L (5" x 3-1/2" x 5/16")
L11	125 x 90 x 10.0L (5" x 3-1/2" x 3/8")
L12	150 x 100 x 10.0L (6" x 4" x 3/8")
L13	180 x 100 x 10.0L (7" x 4" x 3/8")
LAMINATED VENEER LUMBER (LVL) BEAMS	
LVL1A	1-1 3/4"x7 1/4" (1-45x184)
LVL1	2-1 3/4"x7 1/4" (2-45x184)
LVL2	3-1 3/4"x7 1/4" (3-45x184)
LVL3	4-1 3/4"x7 1/4" (4-45x184)
LVL4A	1-1 3/4"x9 1/2" (1-45x240)
LVL4	2-1 3/4"x9 1/2" (2-45x240)
LVL5	3-1 3/4"x9 1/2" (3-45x240)
LVL5A	4-1 3/4"x9 1/2" (4-45x240)
LVL6A	1-1 3/4"x11 7/8" (1-45x300)
LVL6	2-1 3/4"x11 7/8" (2-45x300)
LVL7	3-1 3/4"x11 7/8" (3-45x300)
LVL8	4-1 3/4"x11 7/8" (4-45x300)
WINDOWS:	
1) MINIMUM BEDROOM WINDOW - OBC. 9.7.1.3.- AT LEAST ONE WINDOW ON A FLOOR WITH A BEDROOM IS TO HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380mm (1'-3").	
2) WINDOW GUARDS - OBC. 9.7.1.6. & 9.8.8. A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11").	
3) EXTERIOR WINDOWS SHALL COMPLY WITH OBC DIV.-B 9.7.1.7. & SB12-2.1.1.8	

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING:
-GROUND FLOOR ROOF STRUCTURE
-BASEMENT AND GROUND FLOOR LINTELS
-GROUND FLOOR AND SECOND FLOOR STRUCTURE
-DOUBLE VOLUME WALL LOCATION AND DETAILS
-CONCRETE SLABS

NOTE:
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK

NO.	DESCRIPTION	DATE	BY
10			
9			
8			
7			
6	REVISED AS PER ENG'S COMMENTS	JUL 18-19 RC	
5	ISSUE FOR TRUSS CORO.	MAY 21-19 VAS	
4	ADD ADDRESS PLaque TO GARAGE ELEVATION	MAY 15-18 RC	
3	REVISED BLOCK 1 AS PER REV. DRAWING	JAN 09-18 RC	
2	REVISED AS PER TOWN'S COMMENTS	NOV 06-17 SB	
1	ISSUED FOR SPA	JUL 10-17 SB	
NO.	DESCRIPTION	DATE	BY

VAS DESIGN
255 Consumers Rd
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The contractor has reviewed and taken responsibility for the design and for the verification and meets the requirements set out in the specification information.

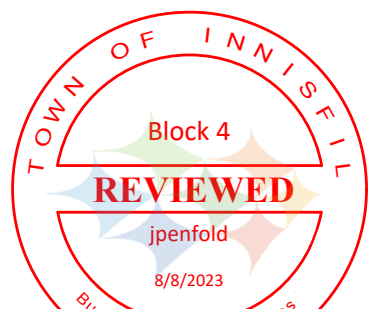
Wellington, Inno-Bayshore
M.F. Parente
42658

BAYVIEW WELLINGTON

PROJECT NO. **ALCONA**
LOCATION **INNISFIL, ON**
DATE **Mar. 23, 2023**
PROJECT NO. **13049**
UNIT NO. **2**

SP-2017-051
BLOCK 4 FLOOR PLANS
DATE **JULY 2017**
DRAWN BY **[Signature]**
CHECKED BY **[Signature]**
SCALE **1/8" = 1'-0"**
DRAWING NO. **2**
BLOCKS **13049-BLOCKS RL-EXPLODED**

BLOCK 4

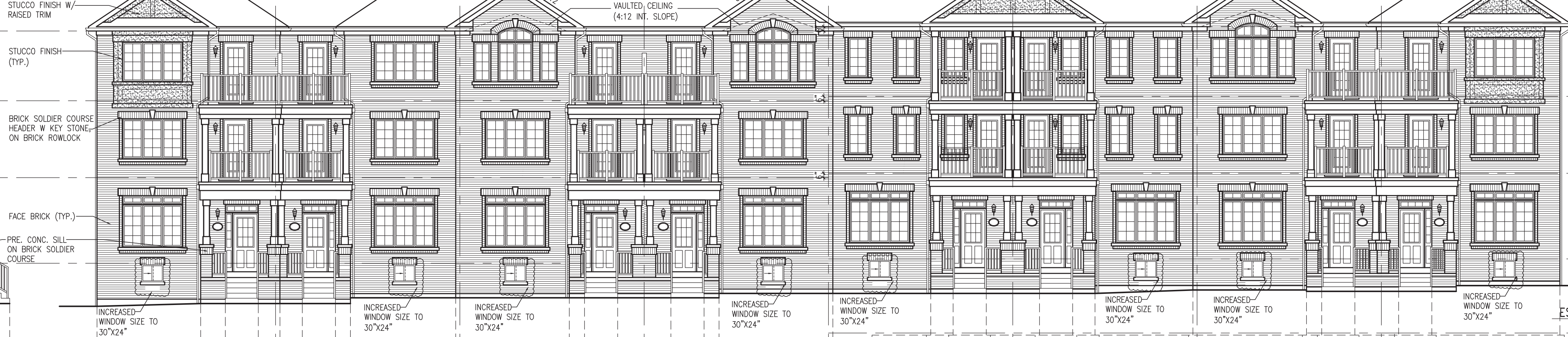


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2023-0536
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2023-0517
2023-0531

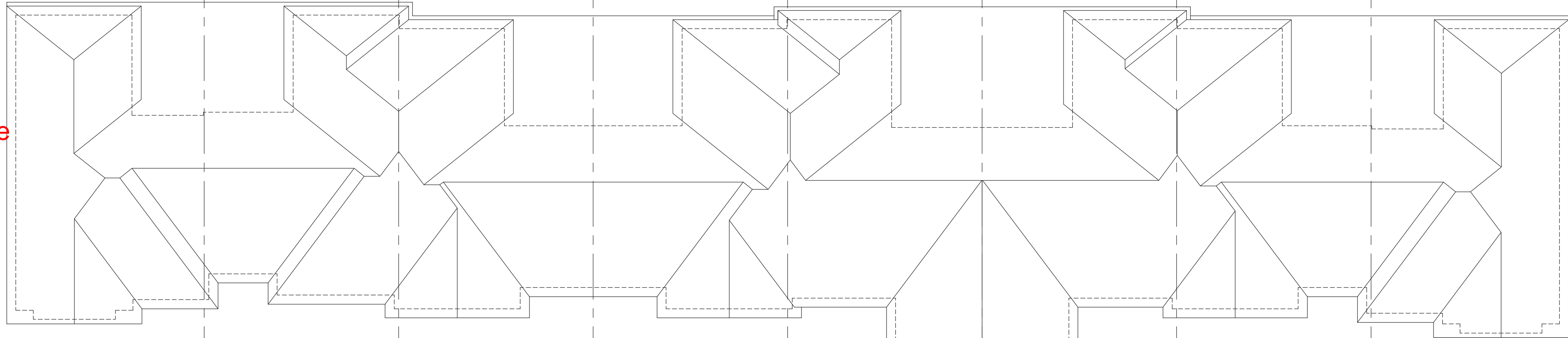


1 RL-5E
ELEV. 'A'
LEFT SIDE ELEV 'A'

The downspouts shall be located such that the discharged water is directed to the side yard swales in order to minimize the possible development of standing water within areas of "sheet drainage", and to minimize any negative impact on adjoining properties.



FRONT ELEVATION 'A'



ROOF PLAN ELEVATION 'A'



8 RL-5E
ELEV. 'A' (REV)
RIGHT SIDE ELEV 'A'



REAR ELEVATION 'A'

HIGHEST POINT
MEAN OF ROOF
TOP OF PLATE
TOP OF WINDOW
FIN THIRD FLOOR
TOP OF WINDOW
FIN SECOND FLOOR
TOP OF TRANSOM
TOP OF WINDOW
FIN GROUND FLOOR
FIN GRADE
ESTABLISHED GRADE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Certified Architect is not responsible in any way for reworking or approving any (existing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONSULTANT REVIEW AND APPROVAL
DATE: 08/08/2023
This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.

WOOD LINTELS AND BUILT-UP WOOD BEAMS		
L1	2/38 x 184 (2/2" x 8") SPR.#2	
B1	3/38 x 184 (3/2" x 8") SPR.#2	
B2	4/38 x 184 (4/2" x 8") SPR.#2	
B7	5/38 x 184 (5/2" x 8") SPR.#2	
L3	2/38 x 235 (2/2" x 10") SPR.#2	
B3	3/38 x 235 (3/2" x 10") SPR.#2	
B4	4/38 x 235 (4/2" x 10") SPR.#2	
L5	2/38 x 286 (2/2" x 12") SPR.#2	
B5	3/38 x 286 (3/2" x 12") SPR.#2	
B6	4/38 x 286 (4/2" x 12") SPR.#2	
LOOSE STEEL LINTELS		
L7	90 x 90 x 6.0L (3-1/2" x 3-1/2" x 1/4")	
L8	90 x 90 x 8.0L (3-1/2" x 3-1/2" x 5/16")	
L9	100 x 90 x 8.0L (4" x 3-1/2" x 5/16")	
L10	125 x 90 x 8.0L (5" x 3-1/2" x 5/16")	
L11	125 x 90 x 10.0L (5" x 3-1/2" x 3/8")	
L12	150 x 100 x 10.0L (6" x 4" x 3/8")	
L13	180 x 100 x 10.0L (7" x 4" x 3/8")	
LAMINATED VENEER LUMBER (LVL) BEAMS		
LVL1A	1-1 3/4"x7 1/4" (1-45x184)	
LVL1	2-1 3/4"x7 1/4" (2-45x184)	
LVL2	3-1 3/4"x7 1/4" (3-45x184)	
LVL3	4-1 3/4"x7 1/4" (4-45x184)	
LVL4A	1-1 3/4"x9 1/2" (1-45x240)	
LVL4	2-1 3/4"x9 1/2" (2-45x240)	
LVL5	3-1 3/4"x9 1/2" (3-45x240)	
LVL5A	4-1 3/4"x9 1/2" (4-45x240)	
LVL6A	1-1 3/4"x11 7/8" (1-45x300)	
LVL6	2-1 3/4"x11 7/8" (2-45x300)	
LVL7	3-1 3/4"x11 7/8" (3-45x300)	
LVL8	4-1 3/4"x11 7/8" (4-45x300)	

- WINDOWS:**
- 1) MINIMUM BEDROOM WINDOW - OBC 9.7.1.3.-**
AT LEAST ONE WINDOW ON A FLOOR WITH A BEDROOM IS TO HAVE MIN. 0.35m² UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380mm (1'-3").
 - 2) WINDOW GUARDS - OBC 9.7.1.6. & 9.8.8.**
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 - 3) EXTERIOR WINDOWS**
SHALL COMPLY WITH OBC DIV.-B 9.7.1.7. & SB12-2.1.1.8

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

- REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING**
- GROUND FLOOR ROOF STRUCTURE
 - BASEMENT AND GROUND FLOOR LINTELS
 - GROUND FLOOR AND SECOND FLOOR STRUCTURE
 - DOUBLE VOLUME WALL LOCATION AND DETAILS
 - CONCRETE SLABS

NOTE:
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK



10					
9					
8					
7					
6	REVISED AS PER ENG'S COMMENTS	DATE	JUL 18-19 MC		
5	ISSUE FOR TRUSS COR.	DATE	MAR 21-19 VLS		
4	ADD ADDRESS PLaque TO GARAGE ELEVATION	DATE	MAR 15-18 RC		
3	REVISED BLOCK 1 AS PER REV DRAWING	DATE	JAN 09-18 SB		
2	REVISED AS PER TOWN'S COMMENTS	DATE	NOV 06-17 SB		
1	ISSUED FOR SPA	DATE	JUL 10-17 SB		
0	DESCRIPTION	DATE			

Checklist must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd
Suite 120
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F 416.630.4782
va3design.com

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The drawings are issued and take responsibility for the design and construction of the project. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

Wellspring Inc. Bayshore
42551

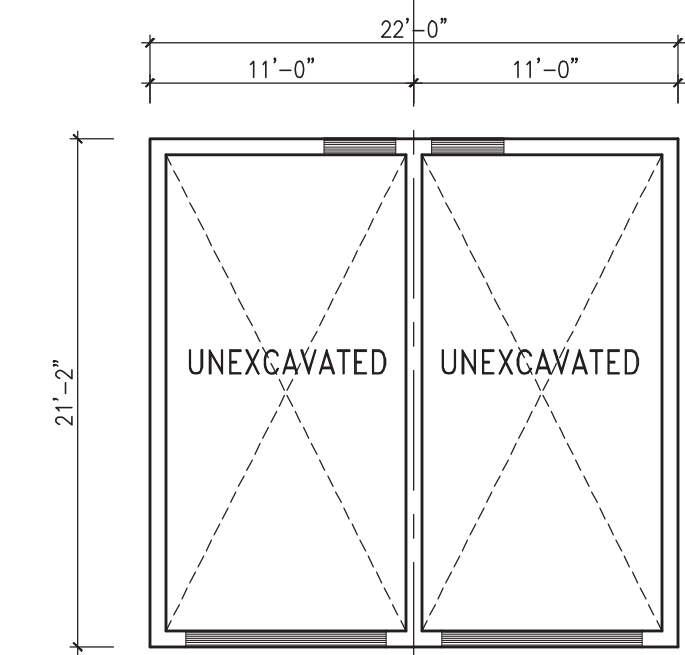
BAYVIEW WELLINGTON

Project Name: **ALCONA**
Location: **INNISFIL, ON**
Project No.: **13049**
Unit No.: **4**

SP-2017-051
BLOCK 4 ELEVATION
JULY 2017
1/8" = 1'-0"

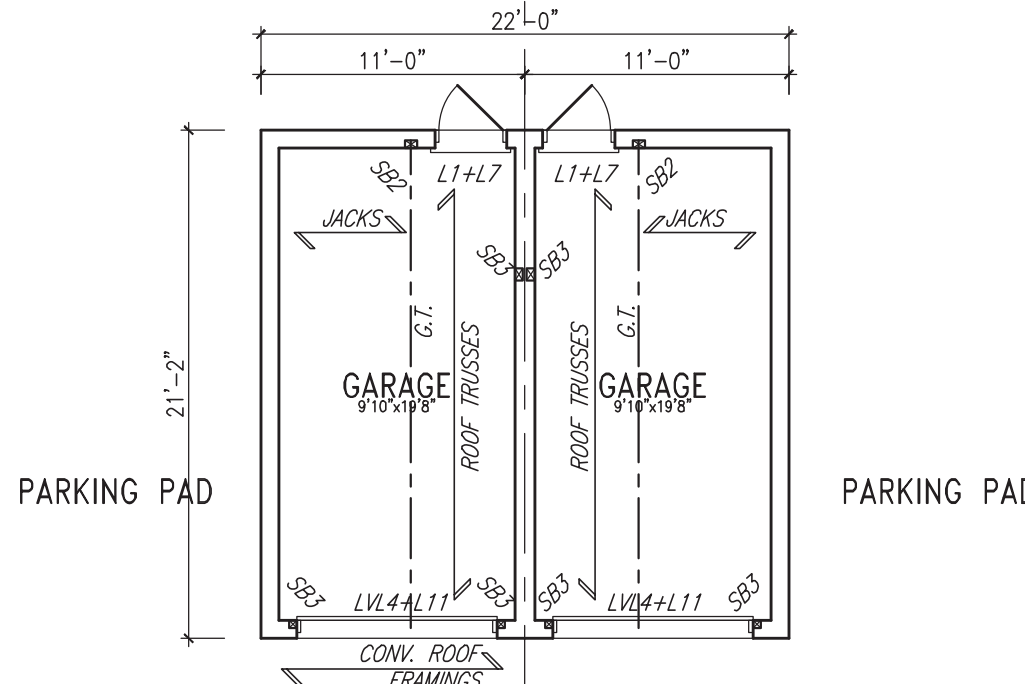


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2023-0531



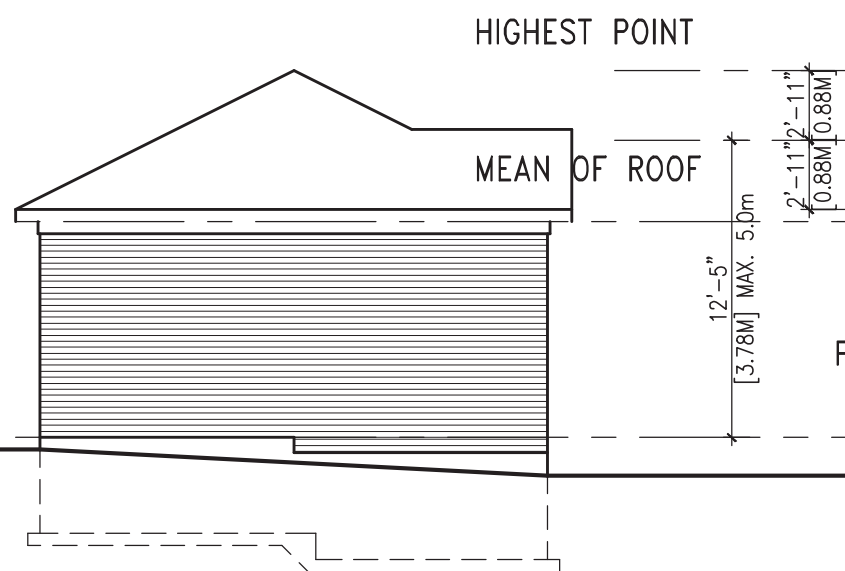
⑧ DG-1 ELEV. 'A2' (REV) ⑦ DG-1 ELEV. 'A'

FOUNDATION PLANS 'A'



⑧ DG-1 ELEV. 'A2' (REV) ⑦ DG-1 ELEV. 'A'

FLOOR PLANS 'A'

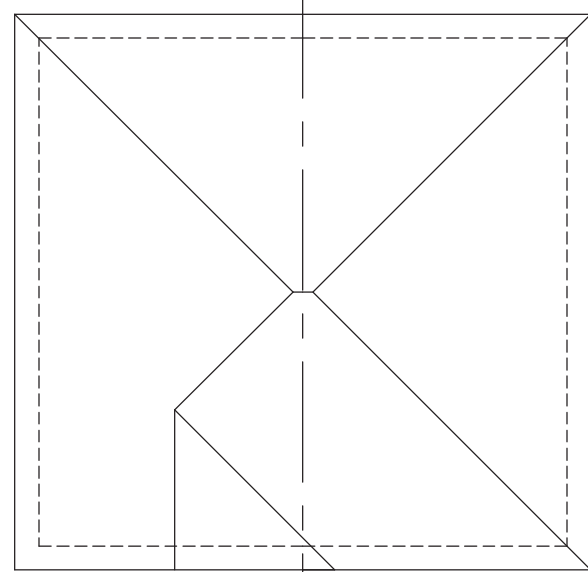


⑧ DG-1 ELEV. 'A2' (REV)

⑧ DG-1 ELEV. 'A2' (REV)

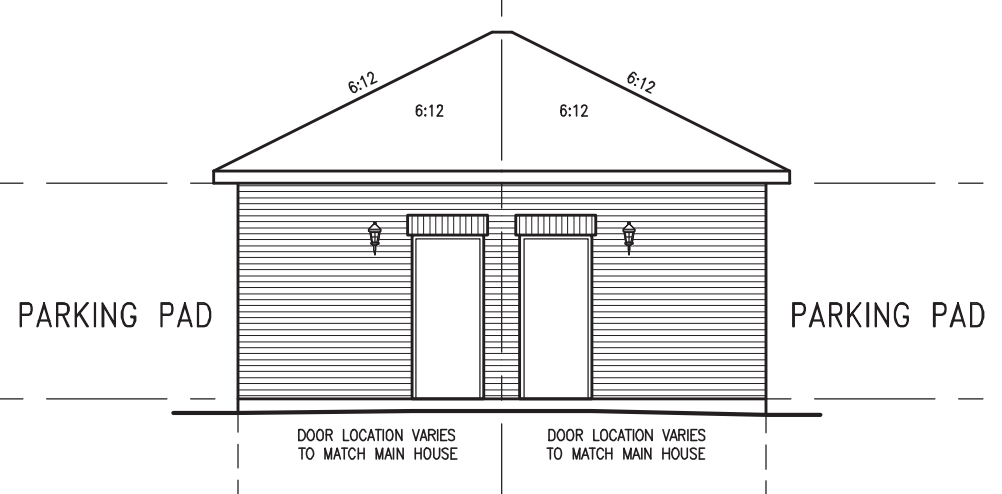
⑦ DG-1 ELEV. 'A'

FRONT ELEVATION 'A'



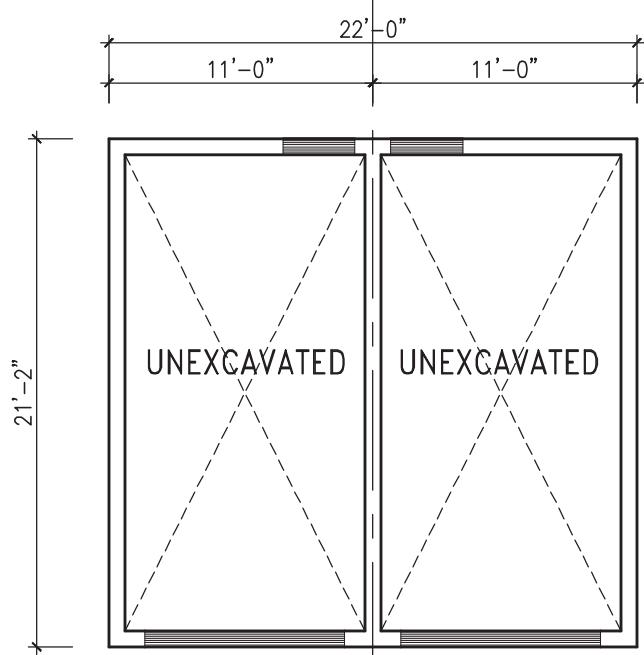
⑧ DG-1 ELEV. 'A2' (REV) ⑦ DG-1 ELEV. 'A'

ROOF PLANS ELEVATION 'A'



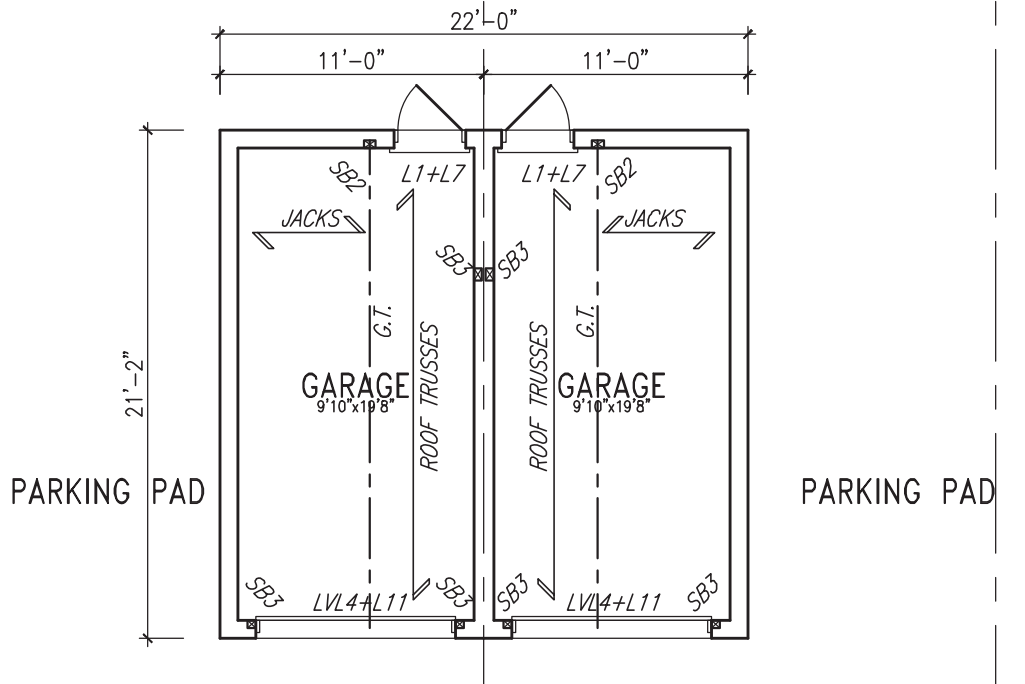
① DG-1 ELEV. 'A2' ② DG-1 ELEV. 'A' (REV)

REAR ELEVATION 'A'



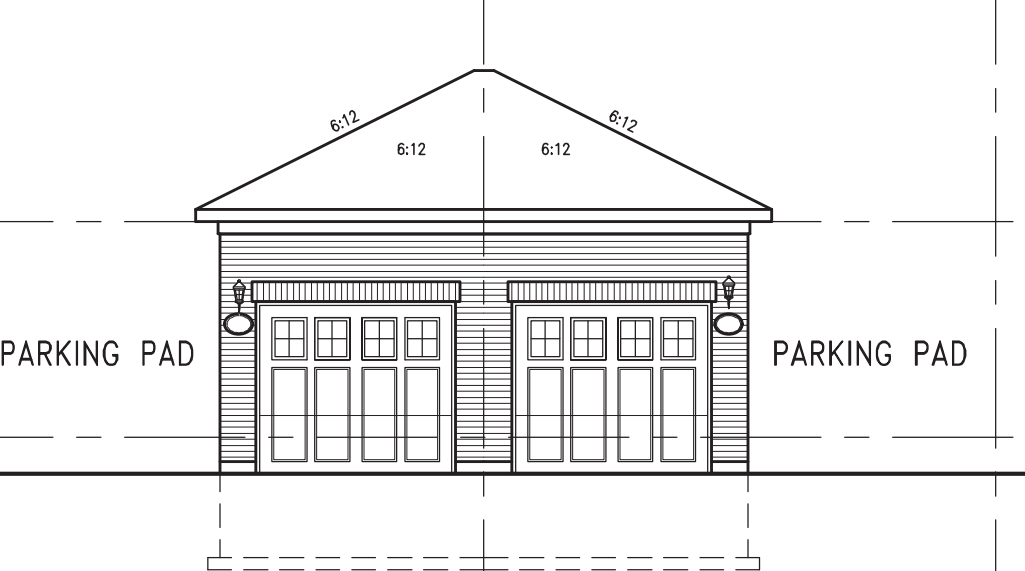
⑥ DG-1 ELEV. 'A' (REV) ⑤ DG-1 ELEV. 'A'

FOUNDATION PLANS 'A'



⑥ DG-1 ELEV. 'A' (REV) ⑤ DG-1 ELEV. 'A'

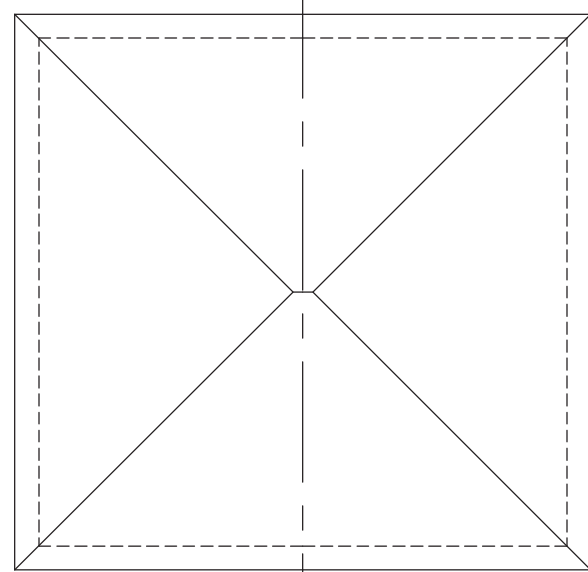
FLOOR PLANS 'A'



⑥ DG-1 ELEV. 'A' (REV)

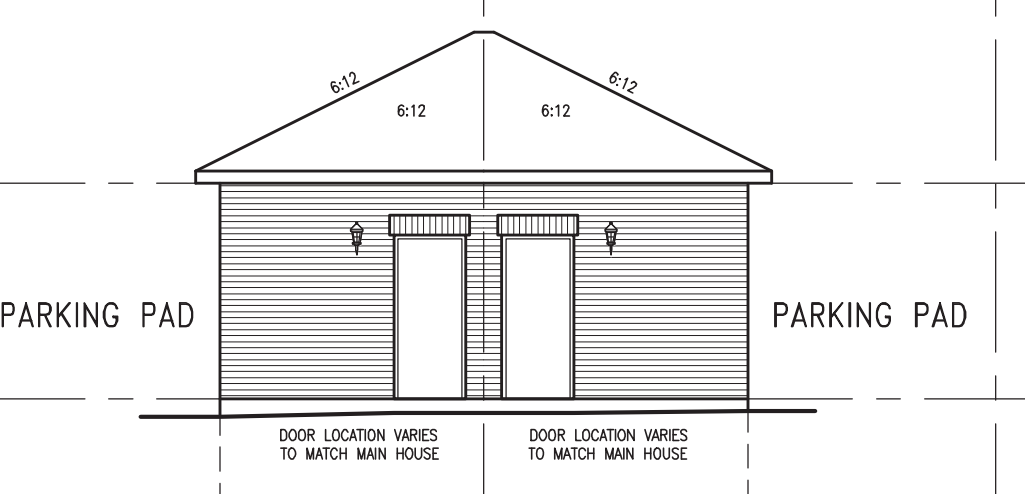
⑤ DG-1 ELEV. 'A'

FRONT ELEVATION 'A'



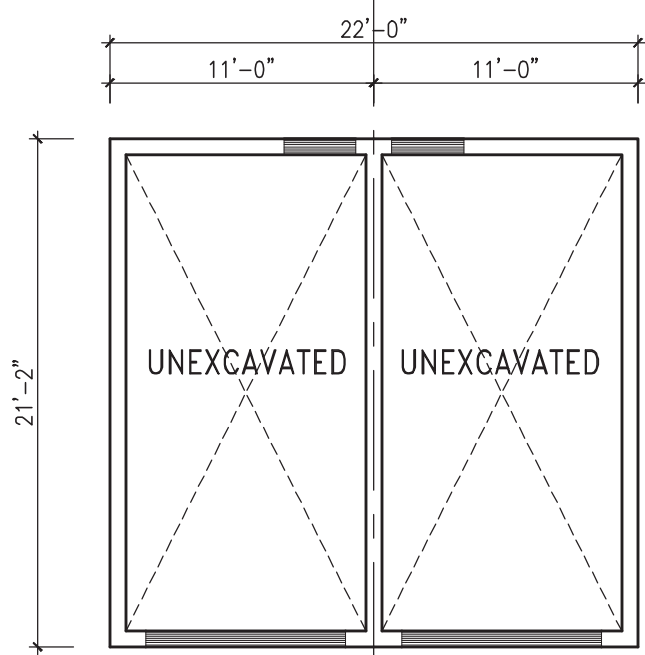
⑥ DG-1 ELEV. 'A' (REV) ⑤ DG-1 ELEV. 'A'

ROOF PLANS ELEVATION 'A'



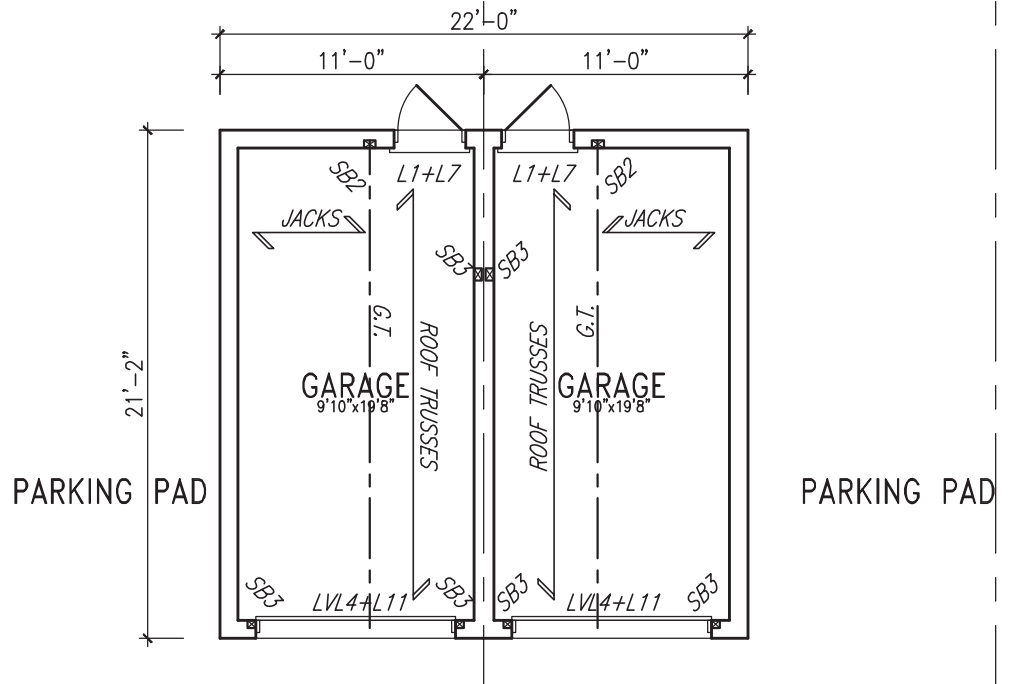
③ DG-1 ELEV. 'A3' ④ DG-1 ELEV. 'A3' (REV)

REAR ELEVATION 'A'



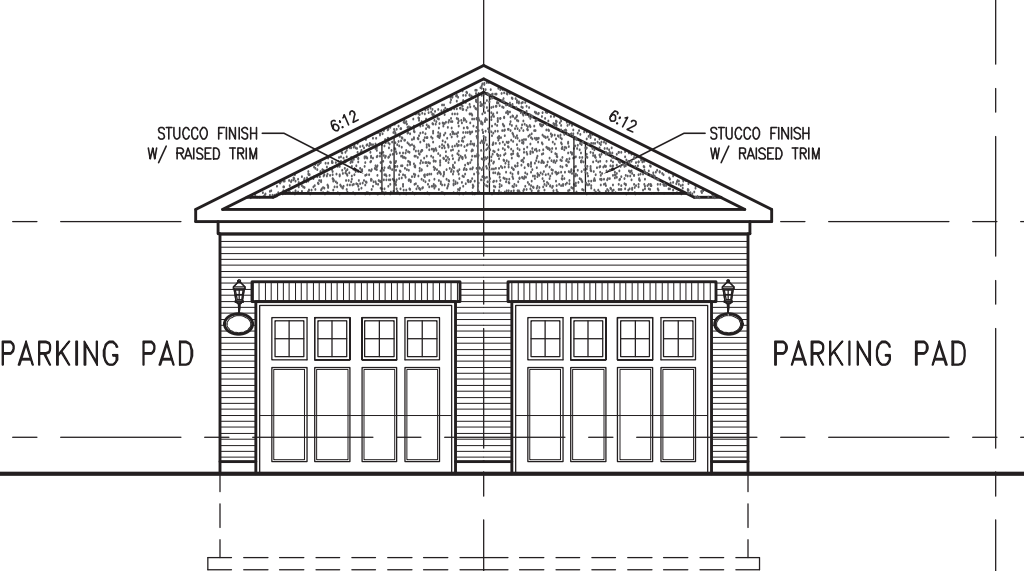
④ DG-1 ELEV. 'A3' (REV) ③ DG-1 ELEV. 'A3'

FOUNDATION PLANS 'A'



④ DG-1 ELEV. 'A3' (REV) ③ DG-1 ELEV. 'A3'

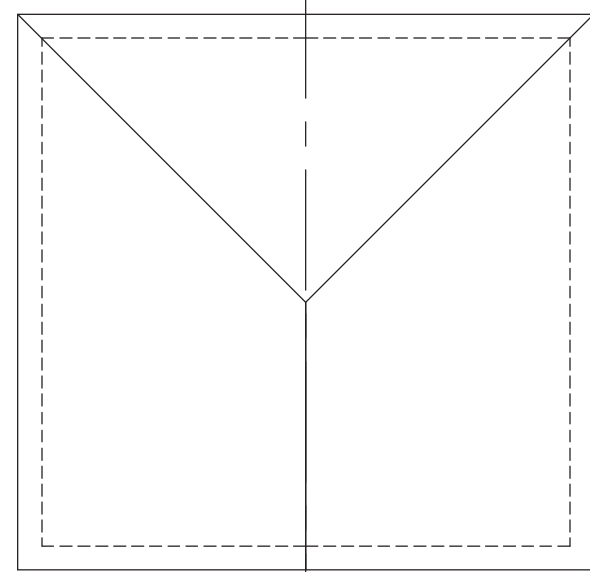
FLOOR PLANS 'A'



④ DG-1 ELEV. 'A3' (REV)

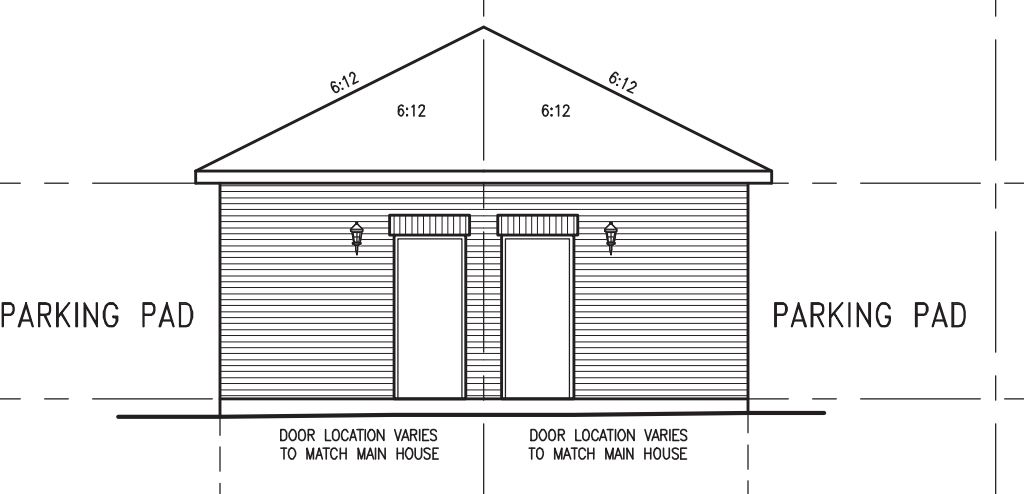
③ DG-1 ELEV. 'A3'

FRONT ELEVATION 'A'



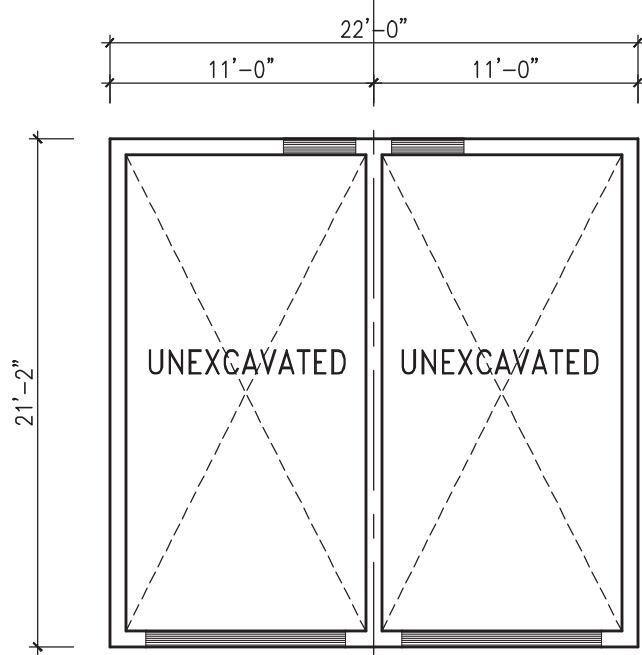
④ DG-1 ELEV. 'A3' (REV) ③ DG-1 ELEV. 'A3'

ROOF PLANS ELEVATION 'A'



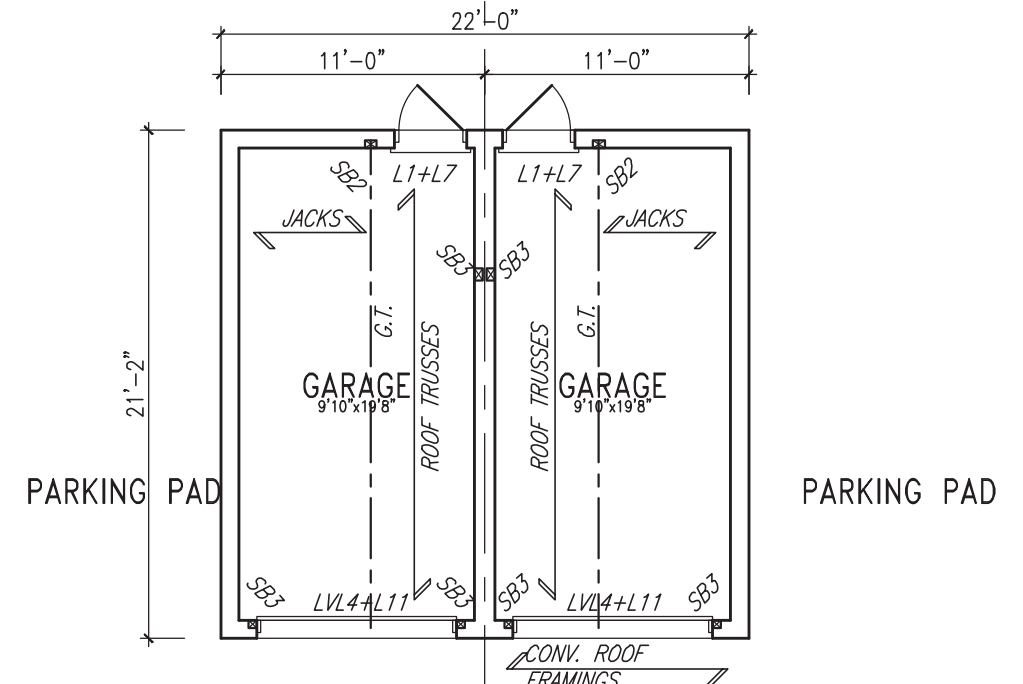
⑤ DG-1 ELEV. 'A' ⑥ DG-1 ELEV. 'A' (REV)

REAR ELEVATION 'A'



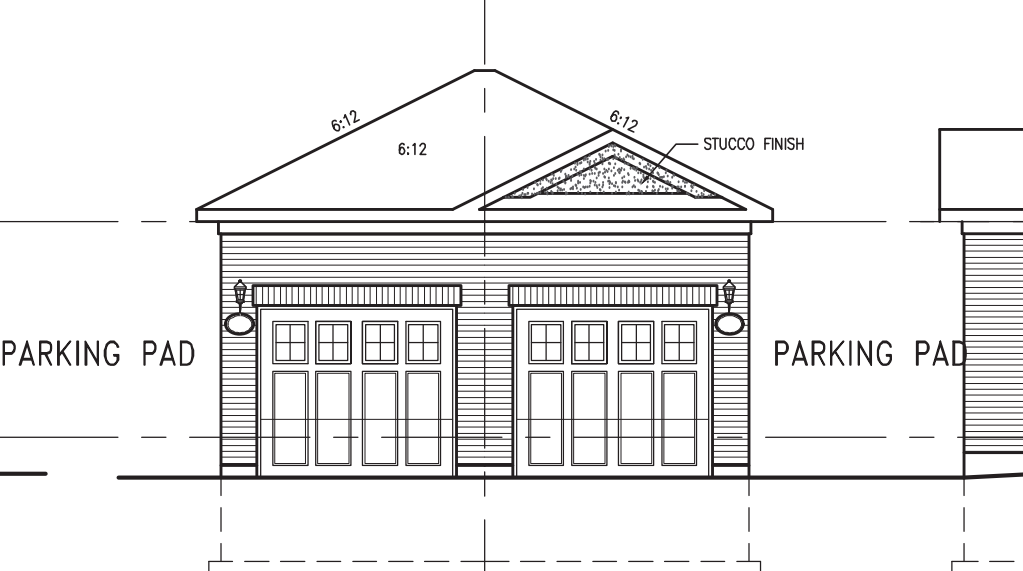
② DG-1 ELEV. 'A' (REV) ① DG-1 ELEV. 'A2'

FOUNDATION PLANS 'A'



② DG-1 ELEV. 'A' (REV) ① DG-1 ELEV. 'A2'

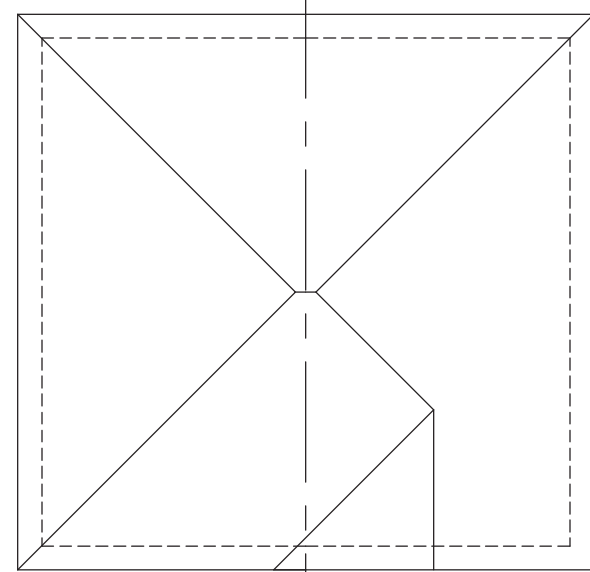
FLOOR PLANS 'A'



② DG-1 ELEV. 'A' (REV)

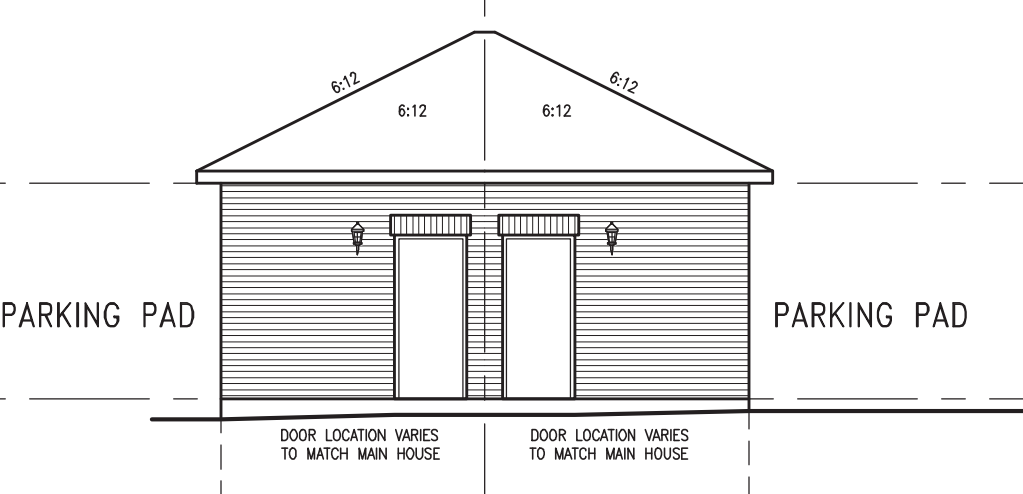
① DG-1 ELEV. 'A2'

FRONT ELEVATION 'A'



② DG-1 ELEV. 'A' (REV) ① DG-1 ELEV. 'A2'

ROOF PLANS ELEVATION 'A'



⑦ DG-1 ELEV. 'A' ⑧ DG-1 ELEV. 'A2' (REV)

REAR ELEVATION 'A'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter for which any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: 8/8/2023

The owner certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

WOOD LINTELS AND BUILT-UP WOOD BEAMS	
L1	2/38 x 184 (2/2" x 8") SPR.#2
B1	3/38 x 184 (3/2" x 8") SPR.#2
B2	4/38 x 184 (4/2" x 8") SPR.#2
B7	5/38 x 184 (5/2" x 8") SPR.#2
L3	2/38 x 235 (2/2" x 10") SPR.#2
B3	3/38 x 235 (3/2" x 10") SPR.#2
B4	4/38 x 235 (4/2" x 10") SPR.#2
L5	2/38 x 286 (2/2" x 12") SPR.#2
B5	3/38 x 286 (3/2" x 12") SPR.#2
B6	4/38 x 286 (4/2" x 12") SPR.#2

LOOSE STEEL LINTELS	
L7	90 x 90 x 6.0L (3-1/2" x 3-1/2" x 1/4"L)
L8	90 x 90 x 8.0L (3-1/2" x 3-1/2" x 5/16"L)
L9	100 x 90 x 8.0L (4" x 3-1/2" x 5/16"L)
L10	125 x 90 x 8.0L (5" x 3-1/2" x 5/16"L)
L11	125 x 90 x 10.0L (5" x 3-1/2" x 3/8"L)
L12	150 x 100 x 10.0L (6"x 4" x 3/8"L)
L13	180 x 100 x 10.0L (7"x 4" x 3/8"L)

LAMINATED VENEER LUMBER (LVL) BEAMS	
LVL1A	1-1 3/4"x7 1/4" (1-45x184)
LVL1	2-1 3/4"x7 1/4" (2-45x184)
LVL2	3-1 3/4"x7 1/4" (3-45x184)
LVL3	4-1 3/4"x7 1/4" (4-45x184)
LVL4A	1-1 3/4"x9 1/2" (1-45x240)
LVL4	2-1 3/4"x9 1/2" (2-45x240)
LVL5	3-1 3/4"x9 1/2" (3-45x240)
LVL5A	4-1 3/4"x9 1/2" (4-45x240)
LVL6A	1-1 3/4"x11 7/8" (1-45x300)
LVL6	2-1 3/4"x11 7/8" (2-45x300)
LVL7	3-1 3/4"x11 7/8" (3-45x300)
LVL8	4-1 3/4"x11 7/8" (4-45x300)

- WINDOWS:**
- 1) **MINIMUM BEDROOM WINDOW -OBC, 9.7.1.3.-**
AT LEAST ONE WINDOW ON A FLOOR WITH A BEDROOM IS TO HAVE MIN. 0.35m² UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380mm (1'-3").
- 2) **WINDOW GUARDS -OBC, 9.7.1.6. & 9.8.6.**
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11").
- 3) **EXTERIOR WINDOWS**
SHALL COMPLY WITH OBC DIV.-B 9.7.1.7. & SB12-2.1.1.8

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

- REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING:**
- GROUND FLOOR ROOF STRUCTURE
 - BASEMENT AND GROUND FLOOR LINTELS
 - GROUND FLOOR AND SECOND FLOOR STRUCTURE
 - DOUBLE VOLUME WALL LOCATION AND DETAILS
 - CONCRETE SLABS

NOTE:
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK

no.	description	date	by
10			
9			
8			
7			
6	REVISED AS PER ENG'S COMMENTS	JUL 18-19 RC	
5	ISSUE FOR TRUSS CORO.	MAR 21-18 VAS	
4	ADD ADDRESS PLaque TO GARAGE ELEVATION	MAR 15-18 RC	
3	REVISED BLOCK 1 AS PER REV GRADING	JAN 09-18 RC	
2	REVISED AS PER TOWN'S COMMENTS	NOV 04-17 SB	
1	ISSUED FOR SPA	JUL 10-17 SB	

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

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f 416.630.4782
vasdesign.com

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The contractor has reviewed and taken responsibility for the design and for the application and meets the requirements set out in the qualification statement.

Wellington, Jan-Baptiste [Signature]
VAS Design Inc. 42658

BAYVIEW WELLINGTON

project no. **ALCONA**
location **INNISFIL, ON**
and name

project no. **13049**
unit no.

SP-2017-051 BLOCK 4 DG ELEVATION
date **JULY 2017** 1/8" = 1'-0"
drawn by **KL** checked by **KL** 13049-BLOCKS BL-EXPLODED

BLOCK 4