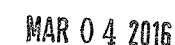


SIGNATURE:



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ARCHITECTURAL REVIEW & APPROVAL

ARCHITECTURAL REVIEW & APPROVAL
FEB 29 2016
John G. Williams Limited, Architect

#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	MAR-23-15	KK	CR
2	REVISED AS PER FLOOR & TRUSSES COORD. REMOVED FIREPLACE JOG PROJECTION ON SIDE OF HOUSE	16-JUN-15	RPA	DJH
3	REVISED AS PER CLIENT COMMENTS	12/18/2015	CR	CR
4	REVISED AS PER ENGINEER COMMENTS	24-FEB-16	JP	JP
5	ISSUED FOR PERMIT	24-FEB-16	JP	JP
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client

Gold Park Homes

project	1	2	3	4
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Huntington &
Nashville
Kleinburg

model

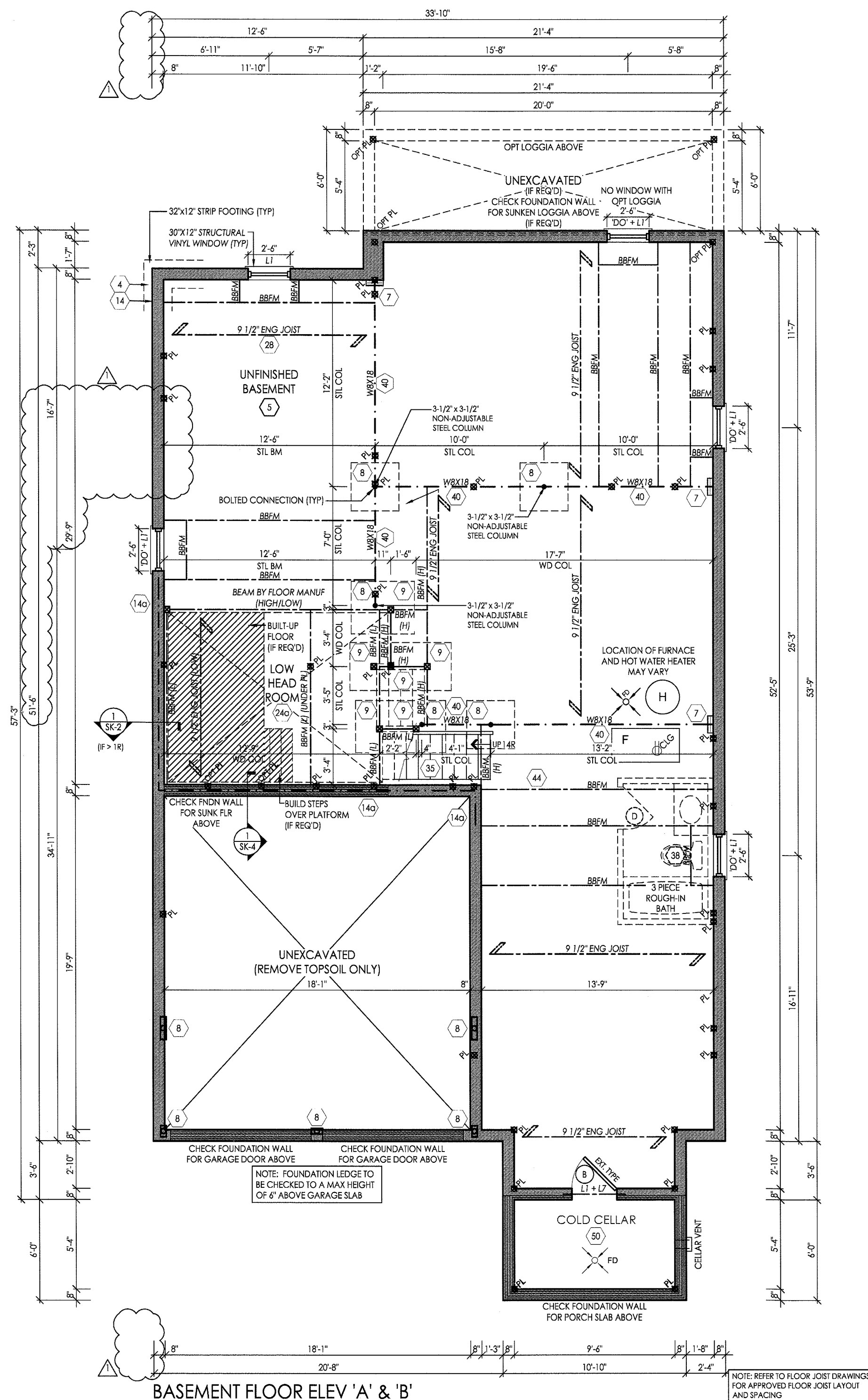
42-2

project # 14043

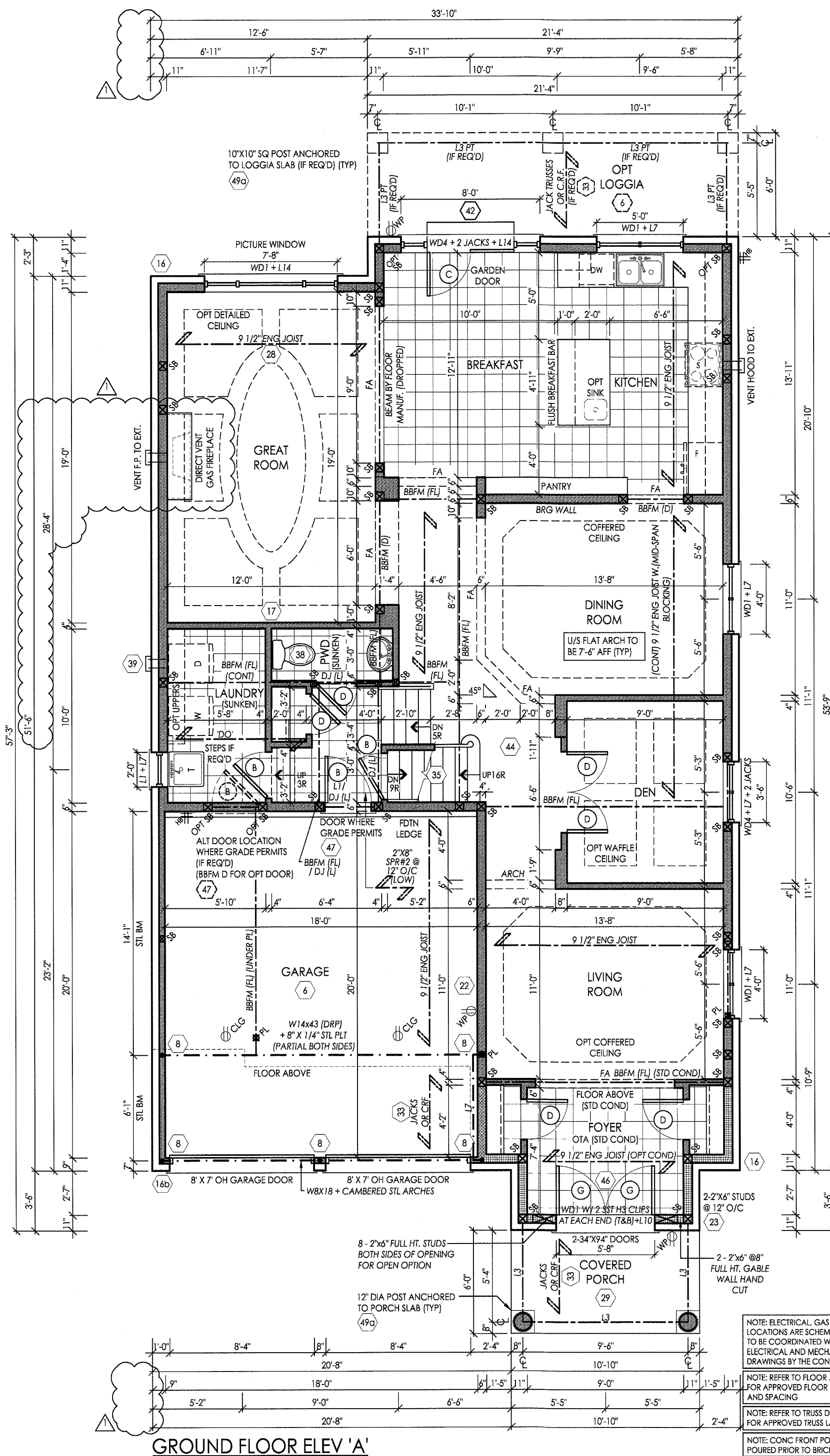
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page

A1



BASEMENT FLOOR ELEV 'A' & 'B'



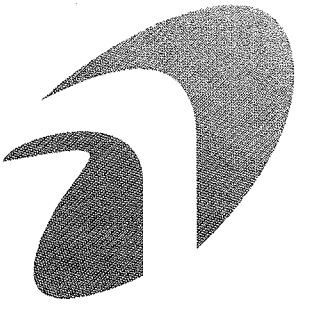
GROUND FLOOR ELEV 'A'

NOTE: ELECTRICAL, GAS AND VENT
LOCATIONS ARE SCHEMATIC ONLY
TO BE COORDINATED WITH
ELECTRICAL AND MECHANICAL
DRAWINGS BY THE CONTRACTOR

NOTE: REFER TO FLOOR JOIST DRAWINGS
FOR APPROVED FLOOR JOIST LAYOUT
AND SPACING

NOTE: REFER TO TRUSS DRAWINGS
FOR APPROVED TRUSS LAYOUT

NOTE: CONC FRONT PORCH
POURED PRIOR TO BRICK



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QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 1.1.16

SIGNATURE: [Signature]



FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL. BEAM DESIGNS

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client

Gold Park Homes

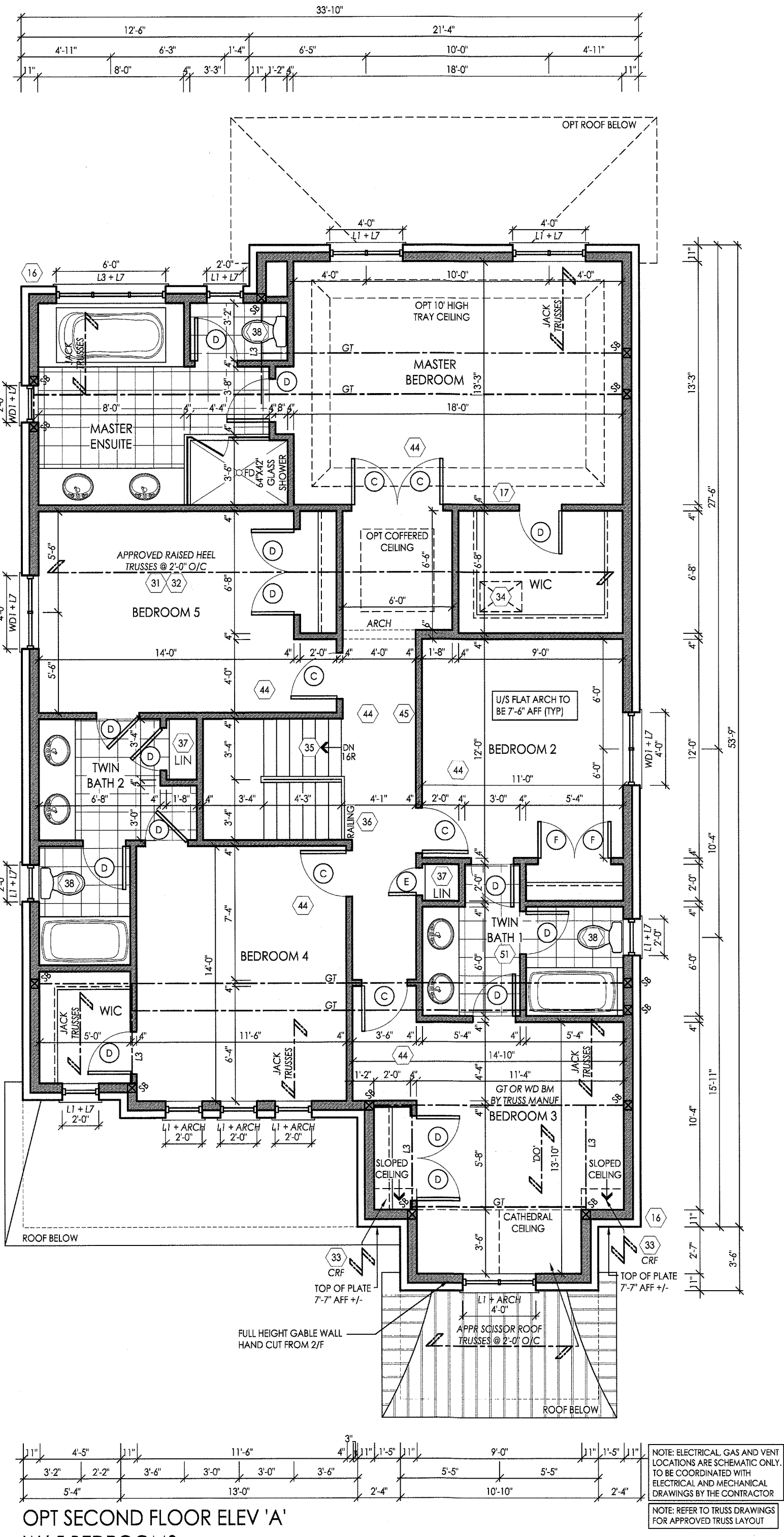
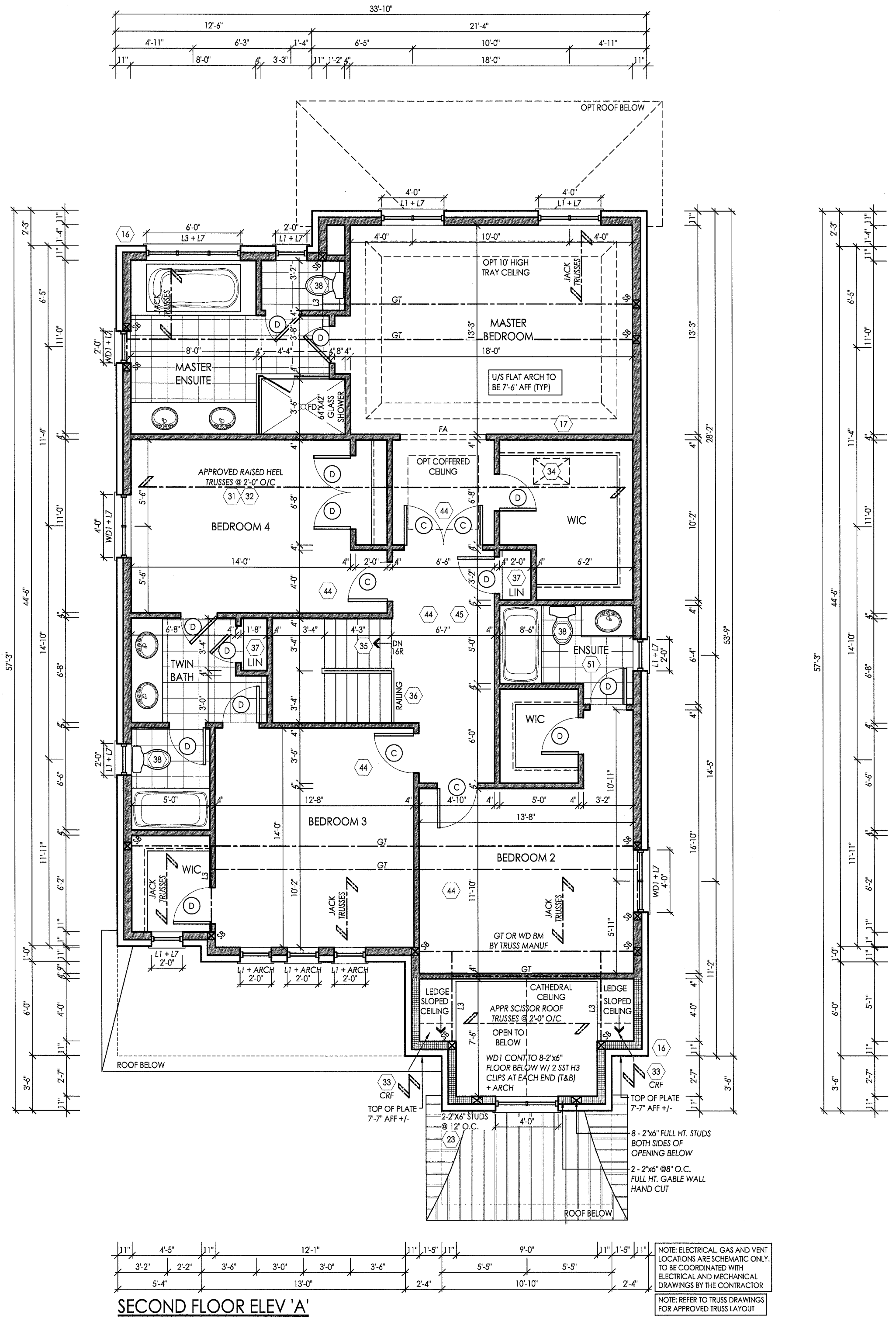
project
Huntington &
Nashville
Kleinburg

model
42-2

project #
14043

scale
3/16" = 1'-0"

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SIGNATURE: _____



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ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS

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project

Huntington &
Nashville
Kleinburg

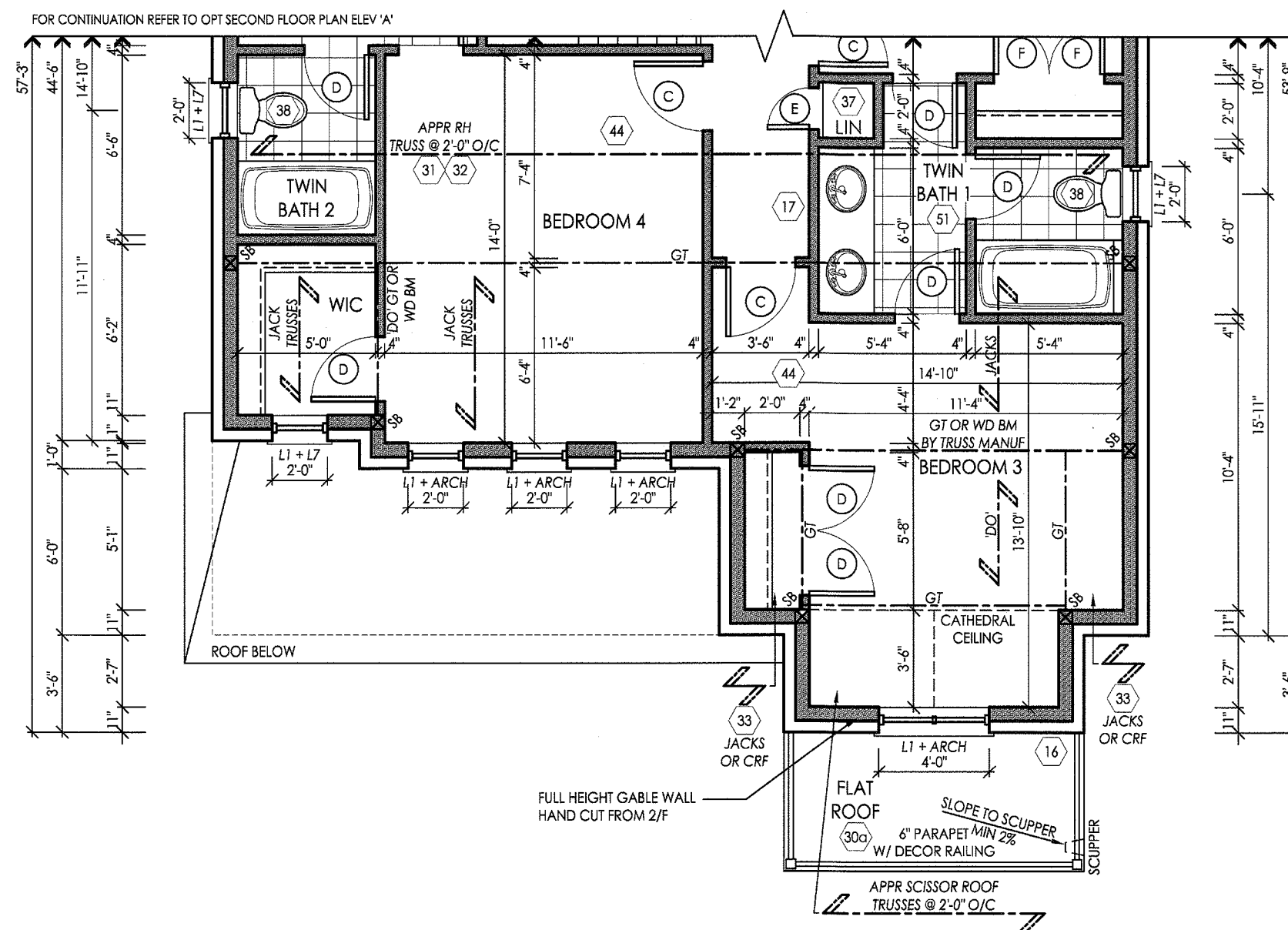
model

project # 14043

scale $3/16" = 1'-0"$

page

A3



3'

11'-1" 4'-5" 11'-1" 11'-6" 4'-1" 11'-5" 11'-1" 9'-0" 11'-1" 1'-5" 11'-1"

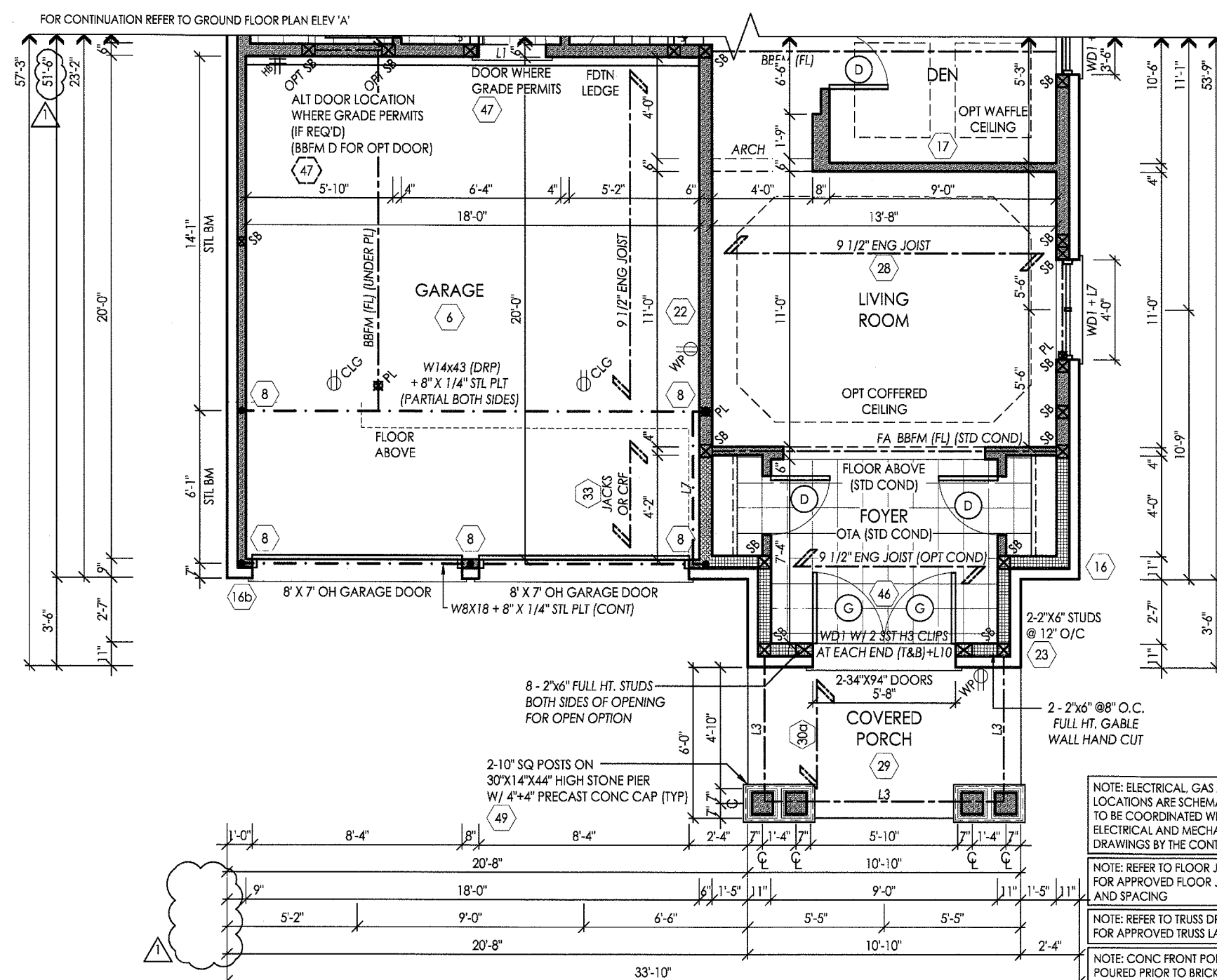
3'-2" 2'-2" 2'-10" 3'-8" 3'-8" 2'-10" 2'-4" 5'-5" 5'-5" 2'-4"

5'-4" 13'-0" 33'-10" 10'-10"

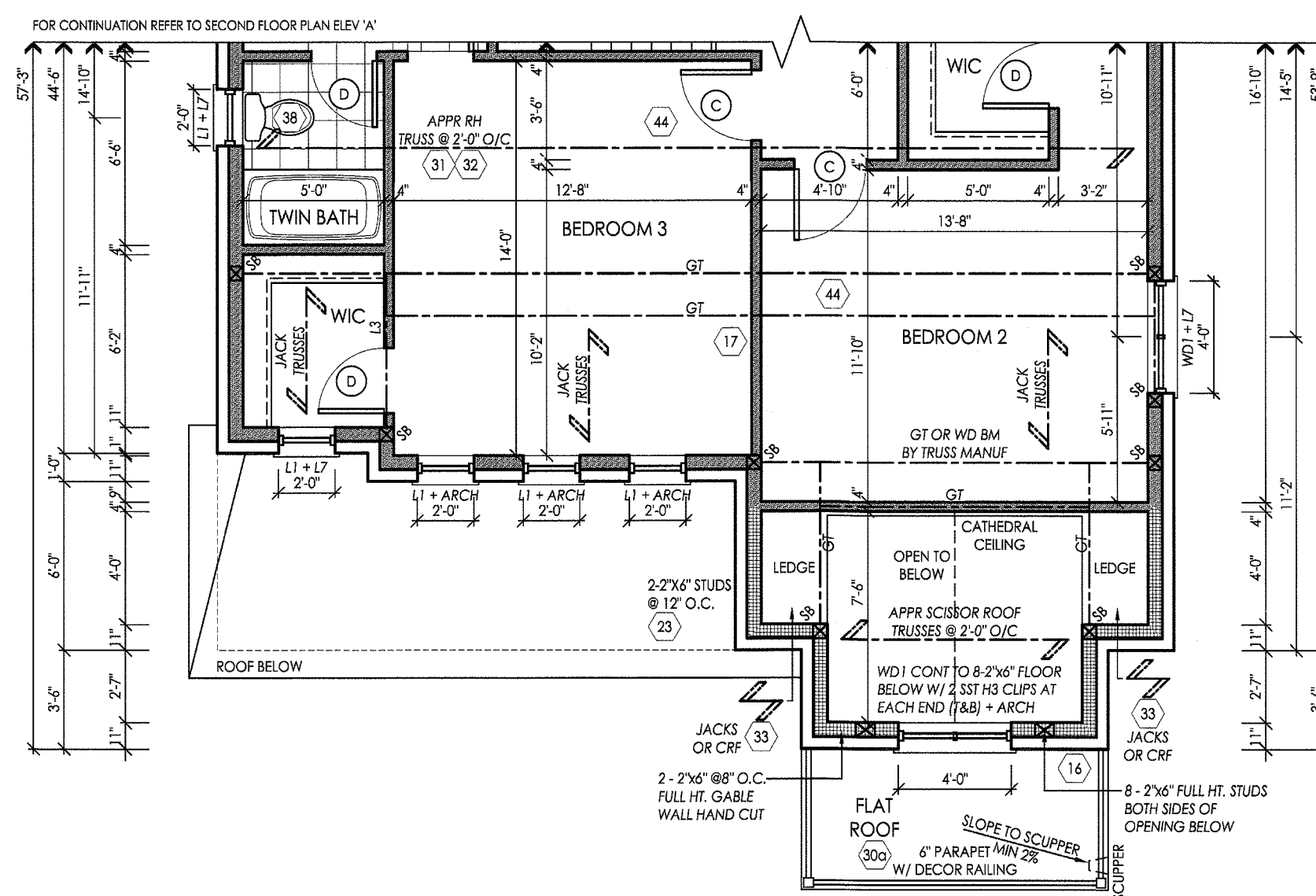
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NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

PARTIAL OPT SECOND FLOOR ELEV 'B'
W/ 5 BEDROOMS



PARTIAL GROUND FLOOR ELEV 'B'



NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

Dimensions shown in the elevation view:

- Top chord dimensions (from left to right): 11", 4'-5", 11", 12'-1", 11", 1'-5", 11", 9'-0", 11", 1'-5", 11"
- Bottom chord dimensions (from left to right): 3'-2", 2'-2", 2'-10", 3'-8", 3'-8", 2'-10", 2'-4", 5'-5", 5'-5", 2'-4"
- Internal vertical dimensions (from left to right): 5'-4", 13'-0", 33'-10", 10'-10"

PARTIAL SECOND FLOOR ELEV 'B'

TOTAL PERIPHERAL WALL AREA	3470.98 SF	322.45 m²
FRONT GLAZING AREA	59.99 SF	5.57 m²
LEFT SIDE GLAZING AREA	33.64 SF	3.13 m²
RIGHT SIDE GLAZING AREA	75.97 SF	7.06 m²
REAR GLAZING AREA	169.44 SF	15.74 m²
TOTAL GLAZING AREA	339.04 SF	31.50 m²
TOTAL GLAZING PERCENTAGE	9.77 %	

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 11/7

31
2



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client

project

Huntington &
Nashville
Kleinburg

model
42-2

project # 14043

scale $3/16" = 1'-0"$

page

A4

SIGNATURE: _____

FEB 29 2016

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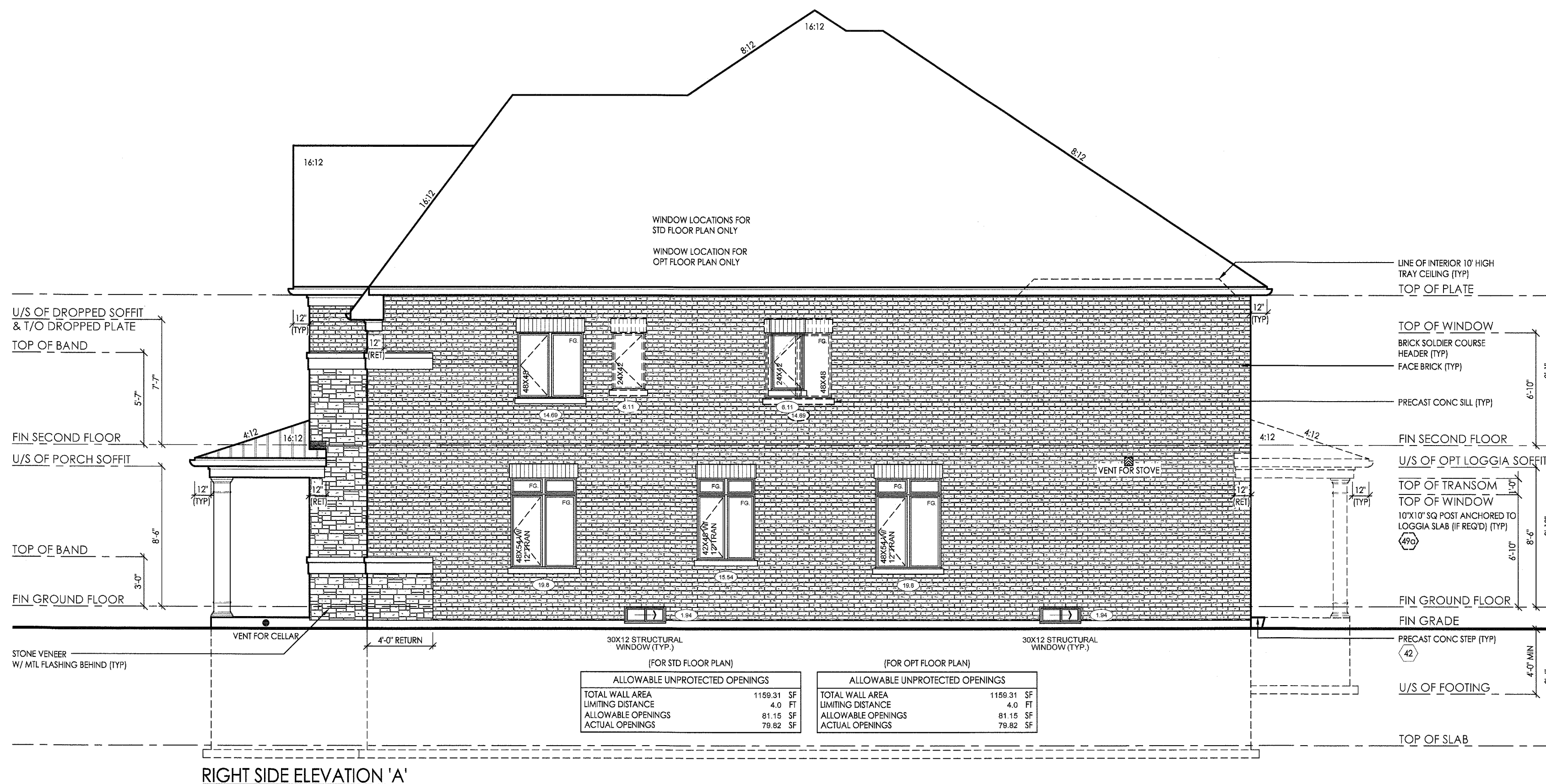
Gold Park Homes

model
42-2

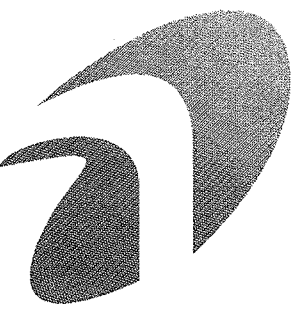
scale $3/16" = 1'-0"$

page

A5



RIGHT SIDE ELEVATION 'A'



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client	Gold Park Homes
project	Huntington & Nashville Kleinburg
model	42-2
project #	14043
scale	3/16" = 1'-0"
page	

A6

31 TYPICAL ROOF:

- O.B.C. 9.28.
- NO. 210 (30, 5KG/m2) ASPHALT SHINGLES
- FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (600mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.
- EAVES PROTECTION LAID BENEATH STARTER STRIP.
- EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES.
- STARTER STRIP AS PER O.B.C. 9.26.7.2.
- STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)
- 3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH 1" GLPS
- APPROVED WOOD TRUSSES @ 24" (600mm) O.C. (REFER TO MANUFACTURER'S LAYOUT)
- TRUSS BRACING AS PER TRUSS MANUFACTURER
- EAVESTROUGH ON PREFINISHED FASCIA AND VENTED SOFFIT (VINYL OR ALUMINUM)
- ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT SOFFIT.

- WALL TO CEILING & WALL TO FLOOR AIR/VAPOUR BARRIER JOINT -OVERLAP BARRIER BY 4" MIN AND MECHANICALLY SEALED -or TO BE SEALED WITH CONTINUOUS CAULKING SEALANT

SEALANT

16 BRICK VENEER CONSTRUCTION (TYPICAL):

- O.B.C. 9.23.
- 3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36"-1" (11m) MAX. HEIGHT
- MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING
- PROVIDE WEEP HOLES @ 2'-7" (800mm) O.C. @ BTM. COURSE & OVER OPENINGS
- BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2))
- BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER 1" (25mm) AIR SPACE
- WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.
- 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16
- 2" X 6" (38mm X 140mm) WOOD STUDS @ 16" (400mm) O.C.
- MIN. R22 (RSI 3.87) INSULATION (ZONE 1, O.B.C. T.2.1.1.2.A.)
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.

- A/B MECHANICALLY SEALED or PROVIDE CONTINUOUS SEALANT AT OVERLAPPED JOINTS IN AIR/VAPOUR BARRIER (TYP)

SEALANT

- HEADER WRAP IS TO EITHER OVERLAP AIR/VAPOUR BARRIER BY 4" or TO BE SEALED WITH CONTINUOUS CAULKING SEALANT (TYP)

26 SILL PLATE:

- O.B.C. 9.23.7.
- 2" X 6" (38mm X 140mm) PLATE
- 1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C.
- FASTENED TO PLATE W/ NUTS AND WASHERS
- SHALL BE EMBEDDED NOT LESS THAN 4" (100mm) INTO FDN. WALL
- SILL PLATE TO BE CAULKED, OR PLACED ON A LAYER OF MINERAL WOOL NOT LESS THAN 1" (25mm) THICK BEFORE COMPRESSION, OR FOAM GASKET, OR PLACED ON FULL BED OF MORTAR.

- METAL FLASHING TO EXTEND UP BEHIND BRICK MIN 6"

2 TYPICAL STRIP FOOTING:

- (EXTERIOR BEARING WALLS)
- O.B.C. 9.15.3. & 9.15.3.6
- 3 STOREY STUD - 28" X 9" (690mm X 230mm)
- BASED ON 16'-1" (4.9m) MAX. SUPPORTED JOIST LENGTH
- MIN. 2200psi (15MPa) CONCRETE AFTER 28 DAYS
- SHALL REST ON UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL W/ MIN. 25psi (200kPa) BEARING CAPACITY
- FTG. TO HAVE CONTINUOUS KEY
- FTG. SIZES MAY BE REDUCED FOR SOILS W/ GREATER BEARING CAPACITY (AS PER SOILS ENGINEERING REPORT)

32 CEILING:

- R50 (RSI 8.8) INSULATION
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
- 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR
- 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. T.9.29.5.3)

28 FLOOR ASSEMBLY:

- O.B.C. 9.23.14.3, 9.23.14.4
- 5/8" (15.9mm) WAFFERBOARD (R-1 GRADE) OR EQUIVALENT
- FLOOR JOISTS AS PER FLOOR PLANS

14 FOUNDATION WALL:

- O.B.C. 9.15.4.2.
- FOR WALLS NOT EXCEEDING 8'-2" (2500mm) IN Laterally Supported Height.
- 8" (200mm) SOLID 2200psi (15MPa) CONCRETE
- MAX. UNSUPPORTED HEIGHT OF 3'-11" (1200mm) & MAX. SUPPORTED HEIGHT OF 7'-0" (2150mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR.
- FOR WALLS NOT EXCEEDING 8'-0" (2750mm) IN Laterally Supported Height.
- 10" (250mm) SOLID 2200psi (15MPa) CONCRETE
- MAX. UNSUPPORTED HEIGHT OF 4'-7" (1400mm) & MAX. SUPPORTED HEIGHT OF 8'-8" (2600mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR.
- LATERAL SUPPORT PROVIDED BY ANCHORED SILL PLATE TO JOISTS.
- FOR CONDITIONS EXCEEDING THESE MAXIMUMS AN ALTERNATIVE IN CONFORMANCE TO O.B.C. - T.9.15.4.1 SHALL BE USED OR IT SHALL BE DESIGNED UNDER O.B.C. - PART 4
- WALL SHALL EXTEND A MIN. 5 7/8" (150mm) ABOVE GRADE
- INSULATE W/ R12 (RSI 2.11) FROM UNDERSIDE OF SUBFLOOR TO NOT MORE THAN 8" (200mm) ABOVE FINISHED FLOOR OF BASEMENT (ZONE 1, O.B.C. T.2.1.1.2.A.)
- BACK FILL W/ NON-FROST SUSCEPTIBLE SOIL

REDUCTION OF THICKNESS:

- O.B.C. 9.15.4.7.
- WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO ALLOW MASONRY FACING, THE MIN. REDUCED THICKNESS SHALL NOT BE LESS THAN 3-1/2" (90mm) THICK.
- TIE TO FACING MATERIAL WITH METAL TIES SPACED MAX. @ 7 7/8" (200mm) VERTICALLY O.C. & 2'-11" (900mm) HORIZONTALLY.
- FILL SPACE BETWEEN WALL AND FACING SOLID W/ MORTAR
- WHERE WALL IS REDUCED FOR JOISTS, THE REDUCED THICKNESS SHALL BE MAX. 13-3/4" (350mm) HIGH & MIN. 3-1/2" (90mm) THICK
- DAMP-PROOFING & WATER-PROOFING:**
- DAMP-PROOF THE EXTERIOR FACE OF WALL BELOW GRADE AS PER O.B.C. 9.13.2.
- DAMP-PROOF OF BELOW SLAB W/ MIN. 0.008" (0.15mm) POLYETHYLENE OR TYPE 'S' ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS
- DAMP-PROOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3600psi (25MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS
- 4" (100mm) OF COURSE GRANULAR MATERIAL
- PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FTG.
- WHERE SLAB IS REQUIRED TO BE WATER-PROOFED IT SHALL CONFORM TO O.B.C. 9.13.3.
- FLOOR DRAIN PER O.B.C. 9.31.4.4.
- R10 (RSI 1.78) INSULATION AT PERIMETER OF SLAB WHERE GRADE IS WITHIN 23-1/2" (600mm) OF BASEMENT SLAB EDGE. INSULATION TO EXTEND TO NOT LESS THAN 23-1/2" (600mm) BELOW EXTERIOR GRADE LEVEL (O.B.C. SB-12 - 2.1.1.6.(5))
- UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFIRM TO SUPPLEMENTARY STANDARD (O.B.C. SB-9)

5 BASEMENT SLAB:

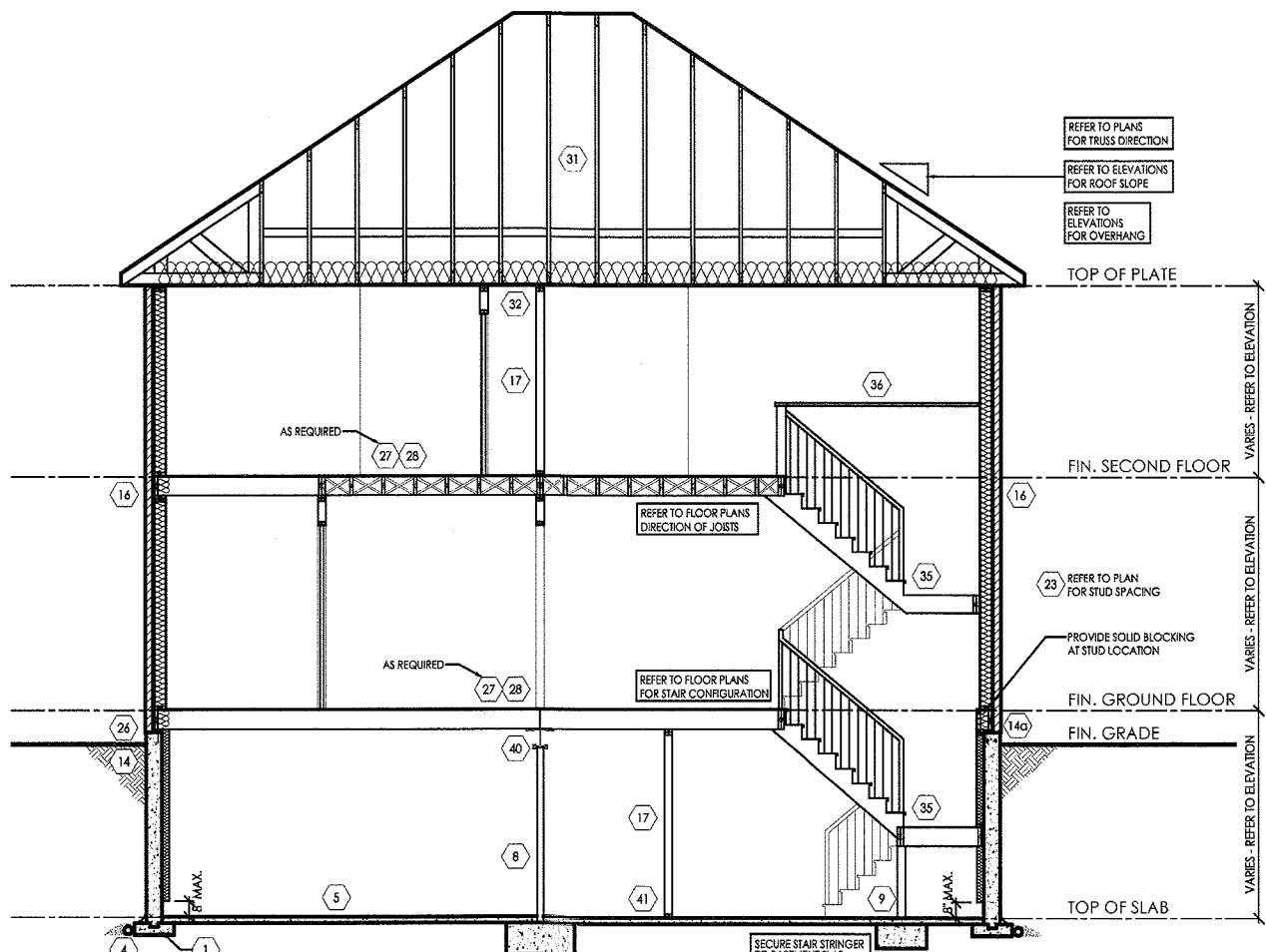
- O.B.C. 9.13. & 9.16.
- 3" (75mm) CONCRETE SLAB
- 2200psi (15MPa) AFTER 28 DAYS - O.B.C. 9.16.4.5.
- DAMP-PROOF OF BELOW SLAB W/ MIN. 0.008" (0.15mm) POLYETHYLENE OR TYPE 'S' ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS
- DAMP-PROOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3600psi (25MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS
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- UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFIRM TO SUPPLEMENTARY STANDARD (O.B.C. SB-9)

- PROVIDE CONTINUOUS SEALANT BETWEEN CONCLAB AND FOUNDATION WALL

REAR ELEVATION 'A' & 'B'



FOR STRUCTURAL ONLY



TYPICAL CROSS SECTION - 2 STOREY

(BRICK)

N.T.S.

TYPICAL EXTERIOR WALL

SECTION- BRICK

SCALE: 3/4" = 1'-0"

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE:

SIGNATURE:

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client

Gold Park Homes

project

Huntington &
Nashville
Kleinburg

model

42-2

project #

14043

scale

$$3/16'' = 1'-0''$$

page

A7

GROSS GLAZING AREA
EL. 'B' - STD. & OPT. SEC. FLR. PLAN

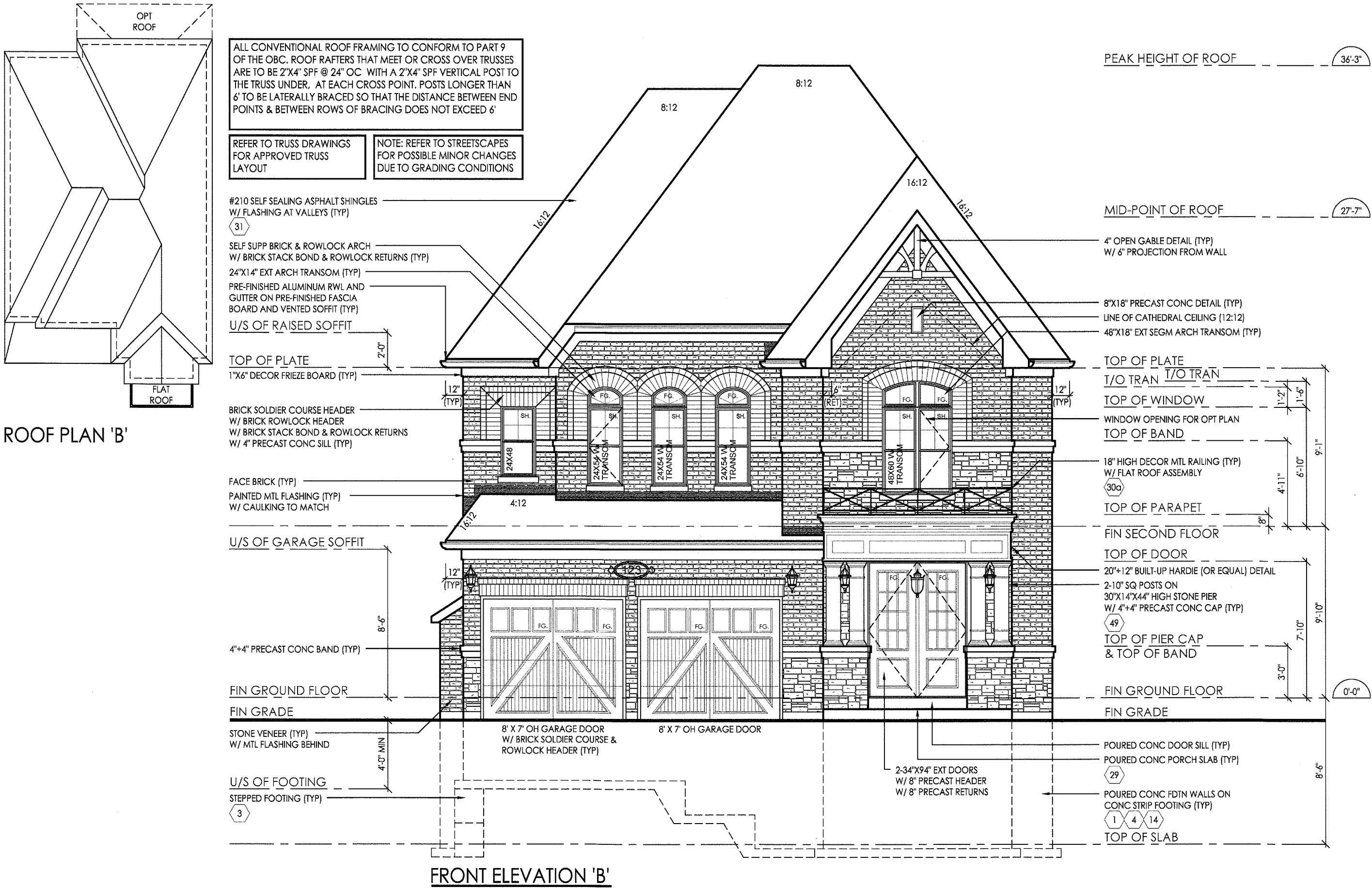
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TOTAL GLAZING AREA	341.12 SF	31.69 m²
TOTAL GLAZING PERCENTAGE	9.83 %	



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42-2

project #

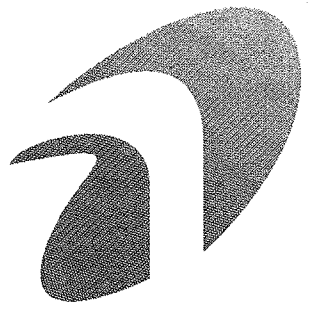
14043

scale

3/16" = 1'-0"

page

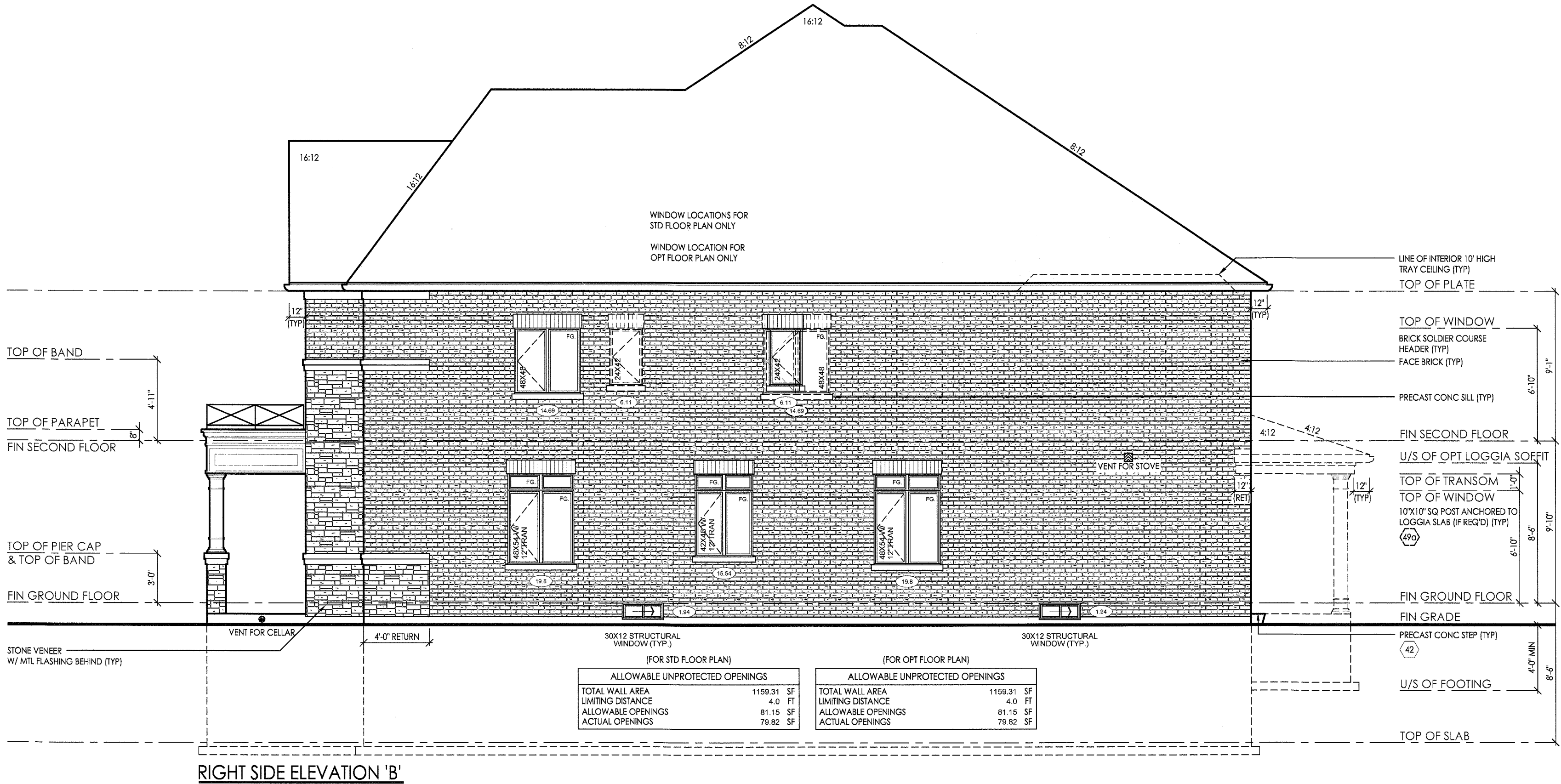
A8



I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 11.17.15

SIGNATURE: _____



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

ARCHITECTURAL REVIEW & APPROVAL
FEB 29 2016
John G. Williams Limited, Architect

#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	MAR-23-15	KK	CR
2	REVISED AS PER CLIENT COMMENTS	12/18/2015	CR	CR
3	ISSUED FOR PERMIT	24-FEB-16	JP	JP
4				
5				
6				
7				
8				
9				
10				
11				
12				

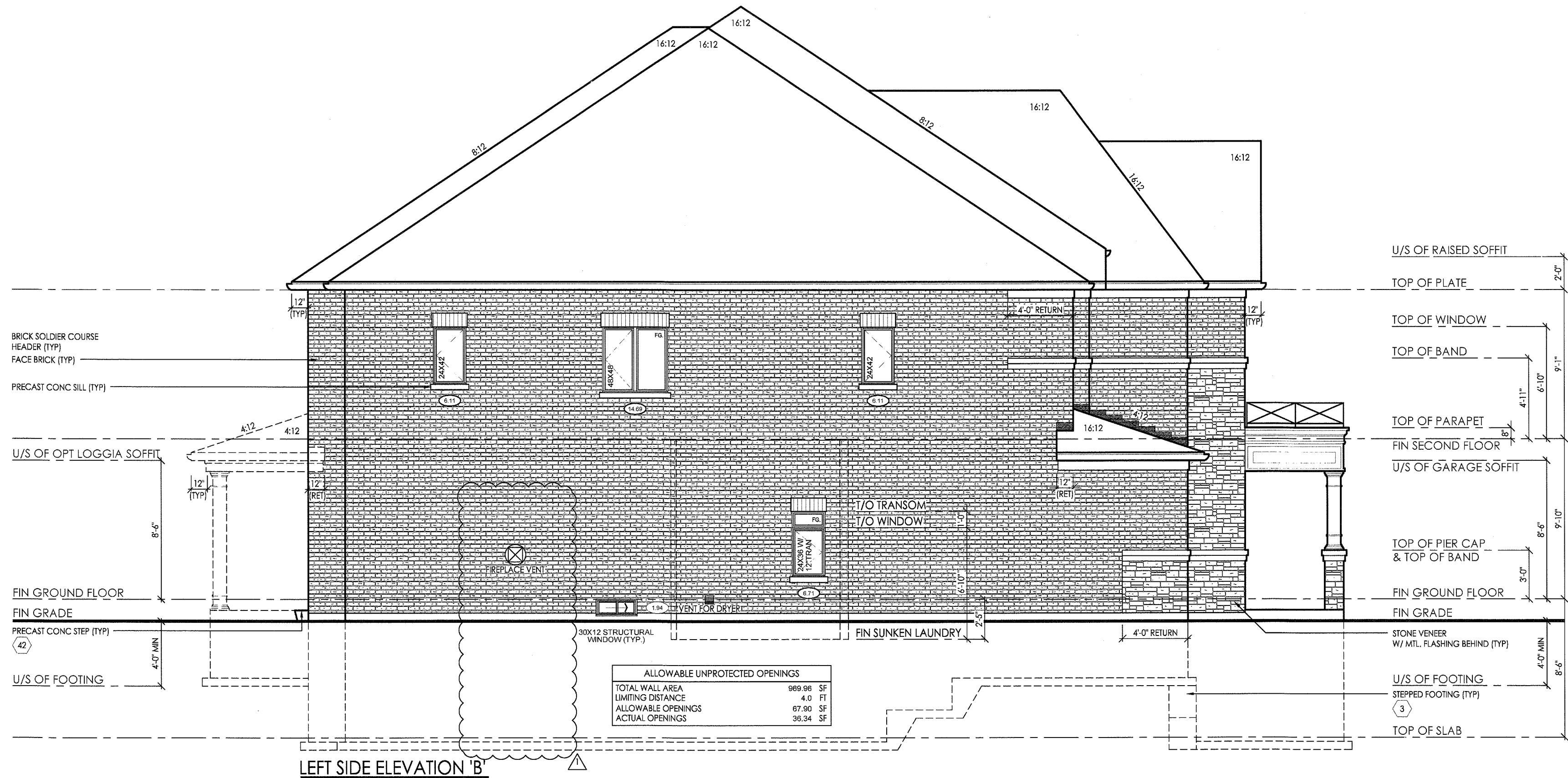
client	Gold Park Homes
project	Huntington & Nashville Kleinburg
model	42-2
project #	14043
scale	3/16" = 1'-0"
page	



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ARCHITECTURAL REVIEW & APPROVAL

FEB 29 2016

John G. Williams Limited, Architect

#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	MAR-23-15	KK	CR
2	REMOVED FIREPLACE JOG PROJECTION ON SIDE OF HOUSE	15-Dec-15	CR	CR
3	REVISED AS PER CLIENT COMMENTS	12/18/2015	CR	CR
4	ISSUED FOR PERMIT	24-FEB-16	CR	CR
5				
6				
7				
8				
9				
10				
11				
12				

client	Gold Park Homes
project	Huntington & Nashville Kleinburg
model	42-2
project #	14043
scale	3/16" = 1'-0"
page	A10