(UNLESS OTHERWISE NOTED) ALL CONSTRUCTION TO CONFORM TO THE ONTARIO BUILDING CODE (O.B.C.) AND ALL OTHER CODES AND LOCAL AUTHORITIES IAVING JURISDICTION.
ALL DIMENSIONS GIVEN FIRST IN IMPERIAL FOLLOWED BY METRIC.
THERMAL RESISTANCE VALUES BASED ON ZONE 1

FOOTINGS / SLABS: TYPICAL STRIP FOOTING:

-BASED ON 16'-1"(4.9m) MAX. SUPPORTED JOIST LENGTH -MIN. 2200psi (15MPa) CONCRETE AFTER 28 DAYS
-SHALL REST ON UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL
W/ MIN. 10.9psi (75kPa) BEARING CAPACITY

TG. SIZES MAY BE REDUCED FOR SOILS W/ GREATER BEARING CAPACITY

1) IYPICAL STRIP FOOTING: (EXTERIOR WALLS)

-FTG. TO EXTEND MIN. 4-0" (1200mm) BELOW GRADE BRICK VENEER -1 STOREY -13" X 4" (330mm X 100mm) -2 STOREY -19" X 6" (485mm X 155mm) -3 STOREY -26" X 9" (660mm X 230mm) -1 STOREY - 10" X 4" (255mm X 100mm) SIDING--2 STOREY - 14" X 4" (360mm X 100mm) -3 STOREY - 18" X 5" (460mm X 130mm)

2 TYPICAL STRIP FOOTING: (INTERIOR BEARING WALLS) O.B.C. 9.15.3.6.
-1 STOREY MASONRY - 16" X 4" (410mm X 100mm)
-1 STOREY STUD - 12" X 4" (305mm X 100mm)
-2 STOREY MASONRY - 26" X 9" (450mm X 230mm)
-2 STOREY STUD - 18" X 5" (450mm X 130mm)

-2 STOREY MASONRY - 36" X 14" (900mm X 360mm - 24" X 8" (600mm X 200mn 3 STEP FOOTING: O.B.C. 9.15.3.9. -23 5/8" (600mm) MAX. VERTICAL RISE & 23 5/8" (600mm) MIN. HORIZONTAL

RUN.

DRAINAGE TILE OR PIPE: O.B.C. 9.14.3. -4" (100mm) MIN. DIA. LAID ON UNDISTURBED OR WELL COMPACTED SOIL W/TOP OF TILE OR PIPETO BE BELOW BOTTOM OF FLR. SLAB.

-COVER TOP & SIDES OF TILE OR PIPE W / 5 //3" (150mm) OF CRUSHED

STONE OR OTHER COURSE CLEAN GRANULAR MATERIAL.

-TILE SHALL DRAIN TO A SEWER, DRAINAGE DITCH, OR DRY WELL.

5 BASEMENT SLAB: O.B.C. 9.13, & 9.16,

O.B.C. Y.13. & Y.16.

-3" (75mm) CONCRETE SLAB

-2200psi (15MPa) AFTER 28 DAYS - O.B.C. 9.16.4.5.

-DAMPROOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR TYPE"S" ROUL ROOFING W/ 4" (100mm) LAPPED JOINTS.

-DAMPROOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3600psi(25MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS -4" (100mm) OF COURSE GRANULAR MATERIAL -PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FTG. -WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO

-RIO (RSI 1.76) INSULATION AT PERIMETER OF SLAB WHERE GRADE IS WITHIN

23-1/2" (600mm) OF BASEMENT SLAB EDGE. INSULATION TO EXTEND TO NO LESS THAN 23-1/2" (600mm) BELOW EXTERIOR GRADE LEVEL (O.B.C. SB-12 -UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE

A PROBLEM, SOIL GAS CONTROL SHALL CONFIRM TO SUPPLEMENTARY NDARD (O.B.C. SB-9) 5a SLAB ON GROUND:

3" (75mm) CONCRETE SLAB - O.B.C. 9.16.4.3.

-2200psi (15MPa) AFIER 28 DAYS - 0.B.C. 9.16.4.5.
-2200psi (15MPa) AFIER 28 DAYS - 0.B.C. 9.16.4.5.
-DAMPPROOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR TYPE 'S' ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS.
-DAMPPROOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3600psi(25MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS R10 (RSI 1.76) INSULATION UNDER ENTIRE SLAB WHERE THE ENTIRE SLAB IS WITHIN 23-1/2" (600mm) OF GRADE

-4" (100mm) OF COURSE GRANULAR MATERIAL
-PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FIG.
-WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO
O.B.C. 9.13.3. FLOOR DRAIN PER O.B.C.9.31.4.4.

- UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFIRM TO SUPPLEMENTARY STANDARD (O.B.C. SB-9) 6) GARAGE SLAB / EXTERIOR SLAB:
-4"(100mm) CONCRETE SLAB
-4650psi (32MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS FOR

UNREINFORCED CONC. & W/ 5-8% AIR ENTRAINMENT - O.B.C. 9.3.1.6. -6" X 6" (W2-9" X W2-9") AWAY JO-50% AIK ENIKANIMENI - U.B.U. Y.3.1.6.
-6" X 6" (W2-9" X W2-9") MIRE MESH LOCATED NEAR MID-DEPTH OF SLAB
-4" (100mm) OF COURSE GRANULAR MATERIAL
-ANY FILL PLACED UNDER SLAB , OTHER THAN COURSE CLEAN GRANULAR
MATERIAL, SHALL BE COMPACTED. 7 <u>PILASTERS:</u> O.B.C. 9.15.5.3.

PILASTER -CONCRETE NIB - 4" X 12" (100mm X 300mm) -BLOCK NIB - 4" X 12" (100mm X 300mm) BONDED & TIED TO WALL AS PER O.B.C. 9.20.11.2. TOP 7 7/8" (200mm) SOLID.

1/2" (13mm) SPACE AROUND WOOD BEAMS (O.B.C. 9.23.2.2.) STRUCTURAL COLUMNS SIZES BASED ON COLUMN SUPPORTING BEAMS CARRYING LOADS FROM NOT MORE THAN 2 WOOD FRAME FLOORS, WHERE THE LENGTHS OF JOISTS CARRIED BY SUCH BEAMS DO NOT EXCEED 16'-1" (4.9m) AND THE LIVE OAD ON ANY FLOOR DOES NOT EXCEED 50psf (2.4kPa)

8 STEEL PIPE COLUMN: O.B.C. 9.15.3.4. & 9.17.3.

-FIXED COLUMN
-MIN. 3 1/2" (90mm) DIA. W/ 3/16" (4.76mm) WALL THICKNESS
-FOR STEEL BEAMS, CLIPS @ TOP & MIN. 6" X 4" X 1/4" (152mmX 100mmX 6.35mm) STEEL BTM. PLATE
-FOR WOOD BEAMS, MIN. 4"XX1/4" (100mmX 100mmX 6.35mm) STEEL TOP & BTM. PLATES, OR TOP PLATE TO EXTEND MIN. WIDTH OF BEAM ADJUSTABLE COLUMNS TO CONFORM TO CAN//CGSB-7.2-M WHERE IMPOSED LOAD DOES NOT EXCEED 36 KN (O.B.C. 9.17.3.4.)

-MAX. 9'-10" (2997mm) - 34" X 34" X 16" - (860mmX 860mmX 400mm) - 44" X 44" X 21" -MAX. 16'-0" (4880mm) (1120mmX 1120mmX 530mm)

-MAX, 9'-10" (2997mm) - 40" X 40" X 19" - (1010mmX 1010mmX 480mm) - 51" X 51" X 24" -MAX. 16'-0" (4880mm) mm) STEEL PLATE WITH 2-5/8" (16mm) ANCHOR BOLTS 9 WOOD COLUMN:

O.B.C. 9.17.4.1 O.B.C., 9.17.4.1,

-5.1/2" X 5.1/2" [140mm X 140mm) SOLID WOOD COLUMN.

-METAL SHOE ANCHORED TO FOOTING

-25" X 25" X 12" [640mmX 640mmX 300mm] CONC. PAD [1 FLOOR SUPPORTED W/ 9"-10" COL. SPACING]

-34" X 34" X 14" [860mmX 860mmX 360mm] CONC. PAD [2 FLOORS SUPPORTED W/ 9"-10" COL. SPACING]

10) BLOCK PARTY WALL BEAM END BEARING: (WOOD BEAM / GIRDER TRUSSES) -2"X8"X12" LEDGER BOARD FASTENED W/ 2/ 1/2" ANCHOR BOLTS @ 4" O.C.
-WHERE WOOD BEAMS BEAR ON FIREWALLS USE GENERAL NOTE 11
WHERE REQUIRED TO OBTAIN 5" SEPARATION DISTANCE
BETWEEN ADJACENT BEAMS

11 BLOCK PARTY WALL BEAM END BEARING: (STEEL BEAM) 12"X11"X 5/8" STL. PLATE ON TOP OF SOLID CONCRETE BLOCK WITH 2- 1/2"Ø x8" ANCHOR BOLTS.

WALL ASSEMBLIES:

14 FOUNDATION WALL: O.B.C. 9.15.4.2.

-FOR WALLS NOT EXCEEDING 8'-2" (2500mm) IN LATERALLY SUPPORTED nerghi. - 5" (200mm) SOLID 2200psi (15MPa) CONCRETE
-MAX. UNSUPPORTED HEIGHT OF 3"-11" (120mm) & MAX. SUPPORTED HEIGHT
OF 7"-0" (2150mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR.
-FOR WALLS NOT EXCEEDING 9"-0" (2750mm) IN LATERALLY SUPPORTED

OF 8'-6" (2600mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR -LATERAL SUPPORT PROVIDED BY ANCHORED SILL PLATE TO JOISTS.

-CATERAL SUPPORT PROVIDED BY ANCHORED SILL PLATE TO JOISTS.
-FOR CONDITIONS EXCEEDING THESE MAXIMUMS AN ALTERNATIVE IN
CONFORMANCE TO O.B.C.-T.9.15.4.1 SHALL BE USED OR IT SHALL BE
DESIGNED UNDER O.B.C.-PART 4
-WALL SHALL EXTEND A MIN. 5 7/8" (150mm) ABOVE GRADE
-INSULATE W/ R12 (RSI 2.11) FROM UNDERSIDE OF SUBFLOOR TO NOT
MORE THAN 8" (200mm) ABOVE FINISHED FLOOR OF BASEMENT
(2015) 1.0 R.C. 12.11.2 A. (ZONE 1. O.B.C. T.2.1.1.2.A.) -BACK FILL W/ NON-FROST SUSCEPTIBLE SOIL REDUCTION OF THICKNESS:

-WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO ALLOW MASONRY FACING. THE MIN. REDUCED THICKNESS SHALL NOT BE LESS THAN 3-1/2" (90mm) THICK.
-TIETO FACING MATERIAL WITH METAL TIES SPACED MAX. @ 7 7/8" (200mm) VERTICALLY O.C. & 2'-11" (900mm) HORIZONTALLY. -FILL SPACE BETWEEN WALL AND FACING SOLID W/ MORTAR WHERE WALL IS REDUCED FOR JOISTS, THE REDUCED THICKNESS SHALL BE MAX. 13-3/4" (350mm) HIGH & MIN. 3-1/2" (90mm) THICK

DAMPPROOFING & WATERPROOFING: DAMPPROOF THE EXTERIOR FACE OF WALL BELOW GRADE AS PER O.B.C.

WHERE INSULATION EXTENDS TO MORE THAN 4"-9" (1450mm) BELOW GRADE A FDN. WALL DRAINAGE LAYER SHALL BE PROVIDED IN CONFORMANCE TO O.B.C. 9.14.2.1.(2) (3) (4) FINISHED BASEMENTS SHALL HAVE INTERIOR DAMPPROOFING EXTENDING FROM SLAB TO GRADE LEVEL & SHALL CONFORM TO O.B.C. 9.13.3.3.(3)
-WHERE HYDROSTATIC PRESSURE OCCURS, FDN. WALLS SHALL BE
WATERPROOFED AS PER O.B.C. 9.13.3.
-WALLS THAT ARE WATERPROOFED DO NOT REQUIRE DAMPPROOFING.

140 FOUNDATION WALLS @ UNSUPPORTED OPENINGS: 2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING) -3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" OPENING) -4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING) BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL.

-BARS TO HAVE MIN. 2" (50mm) CONCRETE COVER -BARS TO EXTEND 2-0" (600mm) BEYOND BOTH SIDES OF OPENING. 15 FRAME WALL CONSTRUCTION:

-SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7 7/8" (200mm) FROM FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.) -WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2. -WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.
-1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16.
-2" X 6" (38mm X 140mm) WOOD STUDS @ 16" (400mm) O.C.
-MIN. R22 (RSI 3.87) INSULATION (ZONE 1. O.B.C. T.2.1.1.2.A.) CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.. 1/2" (12.7mm) GYPSUM BOARD NOTE - SUPPORT FOR 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =

-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE): O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE THE FOLLOWING

-REPLACE R22 (RSI 3.87) INSULATION WITH R22 (RSI 3.87) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 4.8 kg/sq.m.
-REPLACE 1/2" (12.7mm) INTERIOR GYPSUM BOARD WITH 1/2" (12.7mm) TYPE
"X" GYPSUM BOARD.

REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE): REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING: -NON-COMBUSTABLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS)

-VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING WHICH REPLACES EXTERIOR PLYWOOD OR EQUIV.

150 ALTERNATE FRAME WALL CONSTRUCTION: G OR STUCCO AS PER ELEVATIONS, MIN. 7 7/8" (200mm) FROM FINISHED

GRADE (O.B.C. 9.28.1.4, & 9.27.)
-1 1/2" (38mm) R8 (RSI 1.41) RIGID INSULATION W/TAPED JOINTS (O.B.C. BRACE W/ CONT. 16 GAUGE STEEL 'T' BRACES FROM TOP PLATE TO BTM. PLATE -BRACE W/ CONT. 16 GAUGE STEEL T' BRACES FROM TOP PLATE TO BTM. PLATE FOR THE FULL LENGTH OF WALL. OR CONT. 2" X 4" (38mmX 89mm) SOLID WOOD BLOCKING @ APPROXIMATELY 45 DEG. FROM TOP PLATE TO BTM. PLATE FOR FULL LENGTH OF WALL.

-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. @ 12" (300mm) O.C. ON BOTTOM FLR. WHEN 3 STOREYS.

-R14 (RSI 2.46) INSULATION (ZONE 1. O.B.C. T.2.1.1.2.A.)

-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.-9.25.3. & 9.25.4

1/2" (12.7mm) GYPSUM BOARD.

NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
-FOR 2 FLOORS SUPPORTED ABOVE. 2" X 4" (38mmX 89mm) STUDS ARE
REQUIRED TO BE SPACED @ 12" (300mm) O.C.
-FOR 3 FLOORS SUPPORTED ABOVE. 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN) FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:

ADD 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C.

9.23.1.6. BETWEEN RIGD INSULATION AND WOOD STUD.

-REPLACE R14 (RSI 2.46) INSULATION WITH R14 (RSI 2.46) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m. -REPLACE 1/2"(12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD. REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE):

-REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:
-NON-COMBUSTABLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS).

VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER SHEATHING PAPER OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING ON EXTERIOR SIDE OF RIGID INSULATION

15b) FRAME WALL CONSTRUCTION @ GARAGE: -SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7 7/8" (200mm) FROM

FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.)

-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.

-1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16. -2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. 1/2" (12.7mm) GYPSUM BOARD NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. = -FOR 2 FLOORS SUPPORTED ABOVE. 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C. -FOR 3 FLOORS SUPPORTED ABOVE. 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

 $\underline{\text{REQ. FOR FIRE RATING (LESS THAN 4'-0'' LIMITING DISTANCE)}};$ O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS: -ADD ABSORPTIVE MATERIAL WITH A MASS OF AT LEAST 2.8 kg/sq.m. REPLACE 1/2"(12.7mm) GYPSUM BD. W) 1/2" (12.7mm) TYPE 'X' GYPSUM BD. REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE):

-REEER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND -REFER TO REQUIREMENTS FOR ELSO THAT TO SENSE TO A DOT/REPLACE THE FOLLOWING:
-NON-COMBUSTABLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO

VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER SHEATHING PAPER OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING WHICH REPLACES EXTERIOR PLYWOOD OR EQUIV. BRICK VENEER CONSTRUCTION:

-3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX. -MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT -Min. DUS (D.761111) FRICE, 7/8 (221111) WIDE CORROSION RESISTAN STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING -PROVIDE WEEP HOLES @ 2-7" (800mm) O.C. @ BTM. COURSE & OVER

-BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2)) -BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER 1" (25mm) AIR SPACE WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2. 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C.

7.25.16
-Z"X & (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C.
-MIN. R22 (RSI 3.87) INSULATION (ZONE 1. O.B.C. T.2.1.1.2.A.)
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4. NOTE - SUPPORT FOR 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =

-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmx 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C. REQ. FOR FIRE RATING (LESS THAN 4"-0" LIMITING DISTANCE): O.B.C. SB-3 WALL = EWID (STC = N/A. FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD
THE FOLLOWING MATERIALS:
-REPLACE R22 (RSI 3.87) INSULATION WITH R22 (RSI 3.87) ABSORPTIVE
INSULATING MATERIAL WITH A MASS OF AT LEAST 4.8 kg/sq.m.
-REPLACE 1/2"(12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE "X' GYPSUM BD.

ALTERNATE BRICK VENEER CONSTRUCTION: O.B.C. 9.23. -3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX. Heighi -MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING -PROVIDE WEEP HOLES @ 2ⁱ-7" (800mm)O.C. @ BTM. COURSE & OVER OPENINGS -BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE

(0.8.C. 9.20.13.6.(2)) -BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER |" (25mm) AIR SPACE | 1/2" (38mm) R8 (RSI 1.41) RIGID INSULATION W/TAPED JOINTS (O.B.C. -11/2" (38mm) R8 (R311.41) RIGIO INSULATION MY TATE D SAINT (36.50.9)
-27.3.4",
-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. @ 12" (300mm)
O.C. ON BOTTOM FLR. WHEN 3 STOREYS
-BRACE W/ CONT. 16 GAUGE STEEL "TI BRACES FROM TOP PLATE TO BTM.
PLATE FOR THE FULL LENGTH OF WALL. OR
-CONT. 2" X 4" (38mmX 89mm) SOLID WOOD BLOCKING @ APPROXIMATELY
45 DEG. FROM TOP PLATE TO BTM. PLATE FOR FULL LENGTH OF WALL
-914 (981) 2 441 INSIII ATION -R14 (RSI 2.46) INSULATION

CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & /2" (12.7mm) GYPSUM BOARD -1/2" (12./mm) GYPSUM BOARD

NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =

-FOR 2 FLOORS SUPPORTED ABOVE. 2" X 4" (38mmX 89mm) STUDS ARE
REQUIRED TO BE SPACED @ 12" (300mm) O.C.

-FOR 3 FLOORS SUPPORTED ABOVE. 2" X 6" (38mmX 140mm) STUDS ARE
REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW16 (STC = N/A, FIRE = 45 MIN) FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:

-ADD 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16. BETWEEN RIGID INSULATION AND WOOD STUD. -REPLACE R14 (RS12.46) INSULATION WITH R14 (RS12.46) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 2.8 kg/sq.m. -REPLACE 1/2"(12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD

16b BRICK VENEER CONSTRUCTION @ GARAGE:

O.B.C. 9.23, -3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX -MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. -PROVIDE WEEP HOLES @ 2'-7" (800mm)O.C. @ BTM. COURSE & OVER -BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2))

-BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER 1" (25mm) AIR SPACE

-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2. -1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. -2 A4 (Soffinia A700 STOLO STO REQUIRED TO BE SPACED @ 12" (300mm) O.C.
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE

REQUIRED TO BE SPACED @ 12" (300mm) O C REQ. FOR FIRE RATING (LESS THAN 4"-0" LIMITING DISTANCE): O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS: -ADD R15 (RSI 2.64) ABSORPTIVE MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ REPLACE 1/2"(12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

17 INTERIOR STUD WALLS: O.B.C. T.9.23.10.1. -2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. OR -2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. W DOUBLE 2" X 4" OR 2" X 6" TOP PLATES AND SINGLE BOTTOM PLATE

1/2" (12.7mm) GYPSUM BOARD BOTH SIDES. 18 BEARING STUD WALL (BASEMENT): 2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C., OR

-2" X 4" [38mmX 49mm) WOOD STUDS @ 16" (400mm) O.C. OR -2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. W/ -DBL-2" X 4" OR 2" X 6" TOP PLATE. -2" X 4" OR 2" X 6" BOTTOM PLATE ON DAMPPROOFING MATERIAL. -1/2" (12.7mm) GYPSUM BOARD BOTH SIDES. -1/2" (12.7mm) GYPSUM BOARD BOTH SIDES. -1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7-10" (2400mm) O.C. -FOOTING AS PER GENERAL NOTE #2 W/4" CONC. CURB (19) PARTY WALL - BLOCK:

O.B.C. SB-3 WALL = B6e (STC = 57, FIRE = 2 HR) -MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF FOOTINGS TO THE U/S OF ROOF DECK -SPACE BETWEEN TOP OF WALL & ROOF DECK SHALL BE TIGHTLY FILLED W. MINERAL WOOL OR NONCOMBUSTIBLE MATERIAL. & CAULKED TO PREVENT SMOKE PASSAGE

-1/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS BOTH SIDES
-2" X 2" (38mmX 38mm) WOOD STRAPPING @ 24" (600mm) O.C. BOTH

-ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF 90% OF THE JAVIIT. 7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE) -7-12 (1701im) rollow block (1407m) @ PARTY WALLS AS PER O.B.C. 9.10.9.9.(1) & TABLE 2.1.1. SB-2 -ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)

PARTY WALL - BLOCK (AGAINST GARAGE): O.B.C. SB-3 WALL = B5c (STC = 51, FIRE = 2 HR)
-MIN. 1 HR FIRE-RESISTANCE RATING CONTINUOUS -7-7-12" (12.7-7m) GYFSUM BOARD
-7-72" (12.7-7m) GYFSUM BOARD
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3.
8, 9.25.4.
-2" X 4" (138 mmX 89 mm) WOOD STRAPPING @ 16" (400 mm) O.C. -R20 (RSI 3.52) RIGID INSULATION -7.1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE) -1/2" (12.7mm) GYPSUM BOARD @ WALL & U/S OF CEILING BETWEEN HOUSE AND GARAGE
-TAPE AND SEAL ALL JOINTS GAS TIGHT REQ. INSULATION VALUES:

INSULATION VALUES PROVIDED BY CAN/CSA-F280-M90 -RIGID INSULATION -LOW DENSITY CONCRETE BLOCK = 1.70 -WOOD FRAME W/ GYPSUM

(19b) FIREWALL:

O.B.C. 9.10.11. & 3.1.10. & SB-3 WALL = B6e (STC = 57, FIRE = 2 HR)

- ONE FIREWALL IS REQUIRED FOR EVERY 6460 S.F. (600 SQ.M) OF BUILDING AREA, O.B.C. T.3.2.2.47. -1/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS -2" X 2" (38mmX 38mm) WOOD STRAPPING @ 24" (600mm) O.C. ON BOTH SIDES SOUND ABSORPTIVE MATERIAL EACH SIDE FILLING 90% OF THE CAVITY -3-JUP ABSORMED MAINTING MAINTING LOCK SIND STANDARD OF THE CAVITY
-7 1/2" (190mm) CONC. BLOCK, MIN. 2 HR. FIRE-RESISTANT RATING
-EVERY FIREWALL SHALL BE CONTINUOUS THROUGH ALL BUILDING STOREYS
-STAGGER JOISTS & BEAMS MIN. 5" (130mm) @ FIRE WALLS AS PER O.B.C. 9.10.9.9.(1) & TABLE 2.1.1 SB-2
-ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)

-PROTRUDE PAST FASCIA @ EAVES W/ BRICK CORBELLING
-EXTEND 5 7/8" (150mm) ABOVE ROOF SURFACES & HAVE ALUMINUM CAP W/
THROUGH WALL FLASHING PER O.B.C. 3.1.10.4.(1) -WHERE THE DIFFERENCE IN HEIGHT BETWEEN ADJACENT ROOFS IS GREATER THAN 9°10" (3m), WALL NEED NOT EXTEND PAST UPPER ROOF SURFACE PER O.B.C. 3.1.10.4.(2)

20 PARTY WALL - FOUNDATION: -7.7/8" (200mm) SOLID CONC. FOUNDATION WALL @ 2200psi (15MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS
-FOUNDATION WALL TO REST ON FOOTING PER GENERAL NOTE #2

21) PARTY WALL - WOOD STUD:
O.B.C. SB-3 WALL = W13a (STC = 57, FIRE = 1 HR) -MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF ECOUNGS TO THE LIVE OF ROOF DECK -2 ROWS 2"X4"(38mmX 89mm) STUDS @ 16"(400mm) O.C. W/ SEPARATE 2" X 4" (38mmX 89mm) BOTTOM PLATE & SEPARATE DOUBLE 2" X 4" (38mmX 89mm) TOP PLATES SOUND ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF -5/8" (16mm) TYPE "X" GYPSUM BOARD BOTH SIDES W/ JOINTS TAPED &

-ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1) NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C., T.9.23.10. -FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C. (22) GARAGE WALL & CEILING:

O.B.C. 9.10.9.16.(3) -1/2" (12.7mm) GYPSUM BOARD ON BOTH SIDES OF WALL & U/S OF CEILING BETWEEN HOUSE AND GARAGE TAPE AND SEAL ALL JOINTS GAS TIGHT 31 (RSI 5.41) INSULATION IN CEILINGS W/ FLOOR ABOVE ONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.--CONTINUOUS AIRYVAPOUR BARRIER IN CONFORMANCE W/ O.B.C.9.25.3. & 9.25.4. FOR FLOOR ABOVE.
-INSULATION AROUND DUCTS AND PIPING NOT TO ENCROACH MIN.
REQUIRED GARAGE AREA (REFER TO MUNICIPAL STANDARDS).
-1/2" (12.7mm) GYPSUM BOARD
-ROOF FRAMING MEMBERS ARE FASTENED TO TOP PLATES WITH 4 - 3 1/4" (82mm) TOE NAILS -BOTTOM PLATES ARE FASTENED TO FLOOR JOISTS, BLOCKING OR

IM IOIST WITH 3 1/4" (82mm) NAILS AT 7 7/8" (200mm) O.C 220 WALLS ADJACENT TO ATTIC SPACE: -1/2" (12.7mm) GYPSUM BOARD -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.-9.25.3. & 9.25.4. 2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. -R22 (RSL3 87) INSULATION /2" (12.7mm) GYPSUM BOARD OR 1/4" (6mm) PLYWOOD SHEATHING ON ATTIC SIDE.

ATTIC ACCESS TO BE PROVIDED AS PER O.B.C. 9.19.2.1. 23 DOUBLE VOLUME WALLS: -3/8" (9.5mm) PLYWOOD, OSB OR WATERBOARD SHEATHING -REFER TO PLAN FOR STUD SPECIFICATION STUDS FASTENED AT 170 P. B BOTTOM WITH 3/ 3-1/4" (82mm) TOE NAILS -DOUBLE TOP PLATES FASTENED TOGETHER WITH 3" (76mm) AT -SOLID BRIDGING AT 3'-11" (1200mm) O.C. -MIN. R22 (R\$I 3.87) INSULATION (ZONE 1. O.B.C. T.2.1.1.2.A.) CONTINUOUS AIR/VAPOUR BARRIER IN CONFOR

2.25.3. & 9.25.9. 24 EXPOSED FLOOR:
-FLOOR AS PER NOTE # 28 -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/
O.B.C. - 9.25.3. 8 9.25.4. -R31 (RSI 5.46) INSULATION VENTED ALUMINUM SOFFIT

SUNKEN FINISHED AREAS: USE SOLID BUILT-UP WOOD BEARING POST TO SUPPORT SUNKEN AREA AT FOUNDATION WALLS, EXTEND FOOTINGS TO SUPPORT POSTS.
- WHERE GRADING CONDITIONS WILL ALLOW, CHECK FOUNDATION WALLS INSTEAD OF USING BEARING POSTS

DOUBLE MASONRY WYTHE WALL:

JOISTS BEARING ON WYTHES. FLOOR JOISTS ARE NOT TO PROJECT INTO CAVITY

250 CORBEL MASONRY VENEER: MASONRY VENEER TO BE CORBELLED AS PER O.B.C. 9.20.12.3.(1) FLOOR ASSEMBLIES:

26 SILL PLATE:

O.B.C. 9.23.7. -2" X 4" (38mm X 89mm) PLATE -1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C. FASTENED TO PLATE W/ NUTS AND WASHERS & SHALL BE EMBEDDED NOT LESS THAN 4" SILL PLATE TO BE CAULKED, OR PLACED ON A LAYER NOT LESS THAN 1

27 BRIDGING & STRAPPING: -1" X 3" (19mmX 64mm) NAILED TO U/S OF JOISTS @ MAX, 6'-11" (2100mm) O.C. FASTENED TO SILL OR HEADER @ ENDS 1" X 3" (19mmX 64mm) OR 2" X 2" (38mmX 38mm) CROSS BRIDGING @ MAX.

6'-11" (2100mm) O.C. c) BRIDGING & STRAPPING -) Bridging a stratting - -(a) & b) USED TOGETHER OR -1 1/2" (38mm) SOLID BLOCKING @ MAX. 6'-11" (2100mm) O.C. USED WITH STRAPPING (a) d) FURRING OR PANEL TYPE CEILING -STRAPPING NOT REQUIRED IF FURRING STRIPS OR PANEL TYPE CEILING FINISH

28 FLOOR ASSEMBLY: O.B.C. 9.23.14.3, 9.23.14.4 -5/8" (15.9mm) WAFERBOARD (R-1 GRADE) OR EQUIVALENT -FLOOR JOISTS AS PER FLOOR PLANS

S ATTACHED DIRECTLY TO JOISTS.

29 PORCH SLABS ABOVE COLD CELLAR: O.B.C. 9.39.1.4. -REINFORCED CONCRETE SLABS ABOVE COLD CELLARS THAT ARE SUPPORTED -REINFORCED CONCREIE SLABS ABOVE COLD CELLARS THAT ARE SUPPORTED
ON FOUNDATION WALLS NOT TO EXCEED 8-2?

-4 7/8" (125mm) 4650 psi (32 MPa) CONC. SLAB WITH 5 TO 8% AIR ENTRAINMENT
-REINFORCE WITH 10M BARS @ 7 7/8" (200mm) EACH WAY
-1 1/4" (30mm) CLEAR COVER FROM THE BOTTOM OF THE SLAB
-3" (75mm) END BEARING ON FOUNDATION WALL
-23 5/8" (600mm) X 23 5/8" (600mm) 10M DOWELS @ 23 5/8" (600mm) O.C.

30) EXTERIOR BALCONY ASSEMBLY:
-1 1/4" X 3 1/2" PRESSURE TREATED DECKING W/ 1/4" SPACING -2"X4" WOOD PURINS ICUT DIAGONALLY) @ 12" O.C. LAYING UNFASTENED ON SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT ON 5/8" 15 9mm) EXTERIOR GRADE PLYWOOD SHEATHING ON 2"X4" WOOD PHRIN (CUT DIAGONALLY) @ 12" O.C. DIRECTLY ON 2"X8" ROOF JOISTS @ 12" O.C. (CUT DIAGONALLY) @ 12" O.C. (COR AS NOTEO ON PLAN)
- EXTERIOR GUARD AS PER #360
- SLOPE ASSEMBLY MINIMUM 2% TO ROOF SCUPPER

REQUIRED FOR OVER HEATED SPACES:
-ADD 2"x2" (38mm x 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR VENTILATION OVER JOISTS (OBC 9.19.1.2. VENTING NOT LESS THAN 1/150 OF ADD R31 (RSI 5.46) INSULATION BETWEEN JOISTS (INUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3.

-ADD CONTINUOUS AINVALOUS.

8.9.25.4.
-ADD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR
-ADD 5/8" (16.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C.-T.9.29.5.3.)

EXTERIOR FLAT ROOF ASSEMBLY:
-SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT

INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

1/4" EXTERIOR GRADE WOOD PANEL TYPE UNDERLAY TAPERED PURLINS SLOPED MIN. 2% TO ROOF SCUPPER. -3/8" EXTERIOR GRADE PLYWOOD SHEATHING ON -2"X8" ROOF JOISTS @ 12" O.C. (OR AS NOTED ON PLAN) REQUIRED FOR OVER HEATED SPACES:

-ADD 2"X2" (38mm x 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR VENTILATION OVER JOISTS (OBC 9.19.1.2. VENTING NOT LESS THAN 1/150 OF

CEILING AREAL ADD R31 (RSI 5.46) INSULATION BETWEEN JOISTS DD CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3.

& Y.Zo.4.
-ADD 1/2" [12.7mm] GYPSUM BOARD W/ PAINTED CEILING OR
-ADD 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. T.9.29.5.3.) ROOF ASSEMBLIES

(31) IYPICAL ROOF:

O.B.C. 9.26.
-NO. 210 (30. 5KG/m2) ASPHALT SHINGLES
-FOR ROOFS BETWEEN 4:12 & B:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL. -EAVES PROTECTION LAID BENEATH STARTER STRIP. -EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES. STARTER STRIP AS PER O.B.C. 9.26.7.2. -STARTER STRIP AS PER O.B.C. 9:26.7:2. STARTER STRIP NOT REQUIRED AS PER O.B.C. 9:26.7:2.(3) -3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS -APPROVED WOOD TRUSSES @ 24" (600mm) O.C. (REFER TO MANUFACTURER'S TRUSS BRACING AS PER TRUSS MANUFACTURER -EAVESTROUGH ON PREFINISHED FASCIA AND VENTED SOFFIT (VINYL OR

ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH, 50% AT SOFFIT. 32 CEILING: -R50 (RSI 8.8) INSULATION CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3.

& 9.25.4. 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. T.9.29.5.3.) 320 VAULTED OR CATHEDRAL CEILING:

O.B.C. 9.26, & TABLE A4 O.B.C. 9.26. & TABLE A4

-NO. 210 (30. SKG/m²) ASPHALT SHINGLES

-FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE BAVES PROTECTION TO

EXTEND UP THE ROOF SLOPE MIN. 2-11" (900mm) FROM EDGE TO A LINE NOT

LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.

-EAVES PROTECTION LAID BENEATH STARTER STRIP. EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES OR WHERE ROOF SLOPES ARE 8:12 OR GREATER PER O.B.C. 9.26.5.1. -STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3) -31A(t RS) Nikir pol TREQUIRED AS PER CUS. 7.26.7.2.(3)
-3/8" (10mm) PLYWOOD SHEATHING OR OSB (10-2 GRADE) WITH "H" CUPS.
-278" (38mm x 184mm) @ 16" O.C. W/ 272" (38mm x 38mm) CROSS
PURLINS @ 24" O.C. MAX. SPAN 13"-3" (4050mm) OR
-27.10" (38mm x 235mm) @ 16" O.C. W/ 272" (38mm x 38mm) CROSS
PURLINS @ 24" O.C. MAX. SPAN 17"-0" (5180mm)

23.1091 6.41 MSULATION -R31 (RSI 5.46) INSULATION
-MIN. 3" CLEARANCE FROM U/S OF ROOF SHEATHING TO INSULATION CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH

O.B.C. 9.25.3. & 9.25.4. 1/2" (12.7mm) GYPSUM BOARD 33 CONVENTIONAL FRAMING:

smoke alarm $\langle 44 \rangle$

VENTS AND INTAKES

COLD CELLAR VENT (50)

WATERPROOF

HOSE BIB

EXHAUST FAN

STOVE VENT

DRYER VENT

DOUBLE JOIST

A.F.F. ABOVE FINISHED FLOOR

3-1/2" X 3-1/2" X 1/4" L L13 5-7/8" X 3-1/2" X 3/8" L

4" X 3-1/2" X 1/4" L L14 5-7/8" X 3-1/2" X 1/2" L

LUMBER

G.T. GIRDER TRUSS

PRESSURE TREATED

FIRE PLACE VENT

(38)

∰

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 \bigotimes

D.J.

P.T.

2/ 2" X 8" SPR

2/ 2" X 10" SPR

2/2" X 12" SPR

O.8.C. TABLE A6 OR A7
-2" X 6" (38mm X 140mm) RAFTERS @ 16" (400mm) O.C. MAX. SPAN 12'-9" 2"X4" (38mm X 89mm) COLLAR TIES AT MIDSPANS CEILING JOISTS TO BE 2" X 6" (38mmX 140mm) @ 16" (400mm) O.C. HIP & VALLEY RAFTERS TO BE MIN. 2" (50mm) LARGER THAN COMMON RAFTERS & MIN. 1 1/2" (38mm) THICK

 (\mathbf{H})

(G)

 \boxtimes

LINTELS

CARBON MONOXIDE

EXT, LIGHT FIXTURE

HYDRO METER

FLOOR DRAIN

SOLID BEARING

POINT LOAD

FLAT ARCH

U/S UNDER SIDE

FG FIXED GLAZING

GB GLASS BLOCK

BG BLACK GLASS

L10 4-7/8" X 3-1/2" X 5/16" L L15 5-7/8" X 4" X 1/2" L

L11 4-7/8" X 3-1/2" X 3/8" L L16 7-1/8" X 4" X 3/8" L

L12 4-7/8" X 3-1/2" X 1/2" L L17 7-1/8" X 4" X 1/2" L

2 STORY WALL

GAS METER

LEGEND

34 ATTIC ACCESS HATCH:

O.8.C. 9.19.2.1. -19 3/4" X 27 1/2" (500mm X 700mm) ATTIC HATCH WITH

(35) PRIVATE STAIRS:

O.B.C. 9.8.4. -MAX. RISE -MIN, RUN -MIN, TREAD (210mm) (235mm) = 9-1/4" -MAX. NOSING

= 5 7/8" (150mm) = 7 7/8" (200mm) -MIN. AVG. RUN FINISHED RAILING ON WOOD PICKETS MAX, 4" BETWEEN PICKETS -FINSHED VALUE OF WOOD FIGHTS MAY. 4 SUFFICIAL STREAD & MAX. 7 7/8" (200mm) RISE
-FOUND, WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2
-FTG. FOR FOUND, WALL TO BE MIN. 4"-0" (1220mm) BELOW GRADE HANDRAILS:

O.B.C. Y.B. //
-ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm)
-TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3-7" (1100mm)
-ONE HANDRAILS REQUIRED ON CURVED STAIRS OF ANY WIDTH WITHIN WELLING UNITS

ANDRAILS ARE TO BE CONTINUOUS EXCEPT WHERE INTERRUPTED BY DOOR WAYS, LANDINGS OR POSTS AT CHANGES IN DIRECTION

HEIGHT: O.B.C. 9.8.7.4 - 2°-10" (865mm) MIN. TO 3°-2" (965mm) MAX. - 3°-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS - MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

PROJECTIONS: O.B.C. 9.8.7.6 -HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED

350 PUBLIC STAIRS: O.B.C. 9.8.4.

= 7-3/32" (180mm) -MAX. RISE -MIN. RUN = 11" = 11" = 1" (280mm) (280mm) -MIN. TREAD -MAX. NOSING -MAX. NOSING = 1" (25mm)
-MIN. HEADROOM = 6-9" (2050mm)
-MIN. WIDTH = 2-11" (900mm)
(EXIT STAIRS, BETWEEN GUARDS)
-FINISHED RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS
-FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2
-FTG, FOR FOUND. WALL TO BE MIN. 4"-0" (1220mm) BELOW GRADE

HANDRAILS: O.B.C. 9.8.7 ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm) -ONE HANDRAIL REQUIRED WHERE STAIR WIDTH EXCEEDS 3-7 (1100mm)
-TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3-7 (1100mm)
-TWO HANDRAILS ARE REQUIRED ON CURVED STAIRS OF ANY WIDTH
-HANDRAILS ARE TO BE CONTINUOUS INCLUDING AT LANDINGS EXCEPT
WHERE INTERRUPTED BY DOOR WAYS OR NEWEL POSTS AT CHANGES IN
DIRECTION

HEIGHT: O.B.C. 9.8.7.4 . O.B.C., 9.8.7.4 - 2'-10" (865mm) MIN. TO 3'-2" (965mm) MAX. - 3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS) - MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING PROJECTIONS: O.B.C. 9.8.7.6

- HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED VIDTH OF THE STAIR

- ONE HAND RAIL SHALL EXTEND HORIZONTALLY NOT LESS THAN 11 3/4" (300mm) BEYOND THE TOP & BOTTOM OF EACH STAIR AS

O.B.C. 9.8.9.6 -TREADS ARE TO BE WEAR AND SLIP RESISTANT, SMOOTH, EVEN AND FREE FROM DEFECTS PER OBC 9.8.9.6.(4)

- STARS AND RAMPS SHALL HAVE A COLOUR CONTRAST OR DISTINCTIVE VISUAL PATTERN TO DEMARCATE THE LEADING EDGE OF THE TREADS, LANDING AND THE BEGINNING AND END OF A RAMP.

(36) INTERIOR GUARDS:
O.B.C. SB-7 & 9.8.8.3.
-GUARDS TO BE 3'-6" (1070mm) HIGH -FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH INCLUDES WINDOWS OVER STAIRS, RAMPS AND LANDING -PICKETS TO HAVE 4" (100mm) MAX. SPACING -GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2-11" (900mm) HIGH

360 EXTERIOR GUARDS: O.B.C. SB-7 & 9.8.8.3.

-GUARDS ARE REQUIRED WHEN WALKING SURFACE TO GRADE IS GREATER THAN 23 5/8" (600mm) 2-GUARDS TO BE 3'-6" (1070mm)
FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2-11" (900mm) HIGH
FOR DWELLING UNITS GUARDS TO BE 3'-6" (1070mm) HIGH WHERE WALKING
SURFACE IS MORE THAN 5'-11" (1800mm) ABOVE ADJACENT GRADE. -PICKETS TO HAVE 4" (100mm) MAX. SPACING

-PROVIDE MID-SPAN POSTS AS PER SB-7. -GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH 36b) EXTERIOR GUARDS @ JULIET BALCONY:

-FOR RAILING SPANNING MAXIMUM OF 6'-0". -PROVIDE PREFIN. METAL RAILING W/76mm VERTICAL OPENING TO CONFORM WITH O.B.C. APPENDIX A-9.8.8.5.
-GUARDS TO BE 3'-6" (1070mm)
-FOR DWELLING UNITS GUARDS TO BE 2'-11" (900mm) WHERE FLOOR TO GRADE DIFFERENCE IS LESS THAN 5'-11" (1800mm) AS PER O.B.C FOR DWELLING UNITS GUARDS TO BE 3'-6" WHERE FLOOR TO GRADE DIFFERENCE IS 5'-11" (1800mm) OR GREATER AS PER O.B.C. 9.8.8.2.
-VERTICAL END RAILING ANCHORED TO CORNER DOUBLE STUDS USING 3

VEX. AND ANCHOR BOLTS EQUALLY SPACED WITH 3" MIN. EMBEDMENT TO STUDS.

-PROVIDE SAME ANCHOR BOLTS @ 36" O.C. FOR BASE PLATE CONNECTION. 37 -LINEN CLOSET 4 SHELVES MIN. 1'-2" (350mm) DEEP 38 -WASHROOMS TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR, O.B.C.-9.32.1.3.(3)

DOORS

865x2030x45 (2'10"x6'8"x1-3/4

B 815x2030x35 (2'8"x6'8"x1-3/8") C 760x2030x35 (2'6"x6'8"x1-3/8")

D 710x2030x35 (2'4"x6'8"x1-3/8")

E 460x2030x35 (1'6"x6'8"x1-3/8")

F 610x2030x35 (2'0"x6'8"x1-3/8")

G OVER SIZED EXTERIOR DOOR

STEEL BEAMS

ST1 W 6 X 1

ST2 W 6 X 20

ST4 W8X2

ST5 W 8 X 24

WOOD BEAMS

VD1 3/2" X 8" SPR

WD2 4/2" X 8" SPR

WD3 5/2" X 8" SPR

WD4 3/2" X 10" SPR

WD5 4/2" X 10" SPR

WD6 5/2" X 10" SPR

WD7 3/2" X 12" SPR

WD8 4/2" X 12" SPR

WD9 5/2" X 12" SPR

WD10 2/1 3/4" X7 1/4" (2.0E) LVI

WD11 3/13/4" X7 1/4" (2.0E) LVI

WD12 2/1 3/4" X9 1/2" (2.0E) LVL

WD13 3/1 3/4" X9 1/2" (2.0E) LVI

WD14 2/1 3/4" X11 7/8" (2.0E) LV

WD15 3/1 3/4" X11 7/8" (2.0E) LVI

40 -1"X2" (19mmX38mm) BOTH SIDES OF STEEL. -WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE IN CONTACT WITH GROUND OR FILL SHALL BE PRESSURE TREATED OR SEPARATED FROM CONCRETE W/ 6 mil POLYETHYLENE.

-PRECAST CONC. STEP
-2 RISERS MAXIMUM PERMITTED TO BE LAID ON GROUND

SMOKE ALARM, O.B.C.- 9.10.19.
-PROVIDE 1 ON EACH FLOOR INCLUDING BASEMENTS -PROVIDE 1 IN EACH BEDROOM

-PROVIDE 1 IN EACH HALLWAY SERVICING BEDROOMS - INSTALLED AT OR NEAR CEILING - INSTALLED AT OR NEAR CEILING
-ALARMS TO BE CONNECTED IN CIRCUIT AND INTERCONNECTED SO ALL
ALARMS WILL BE ACTIVATED IF ANY ONE OF THEM SOUNDS AND HAVE A
VISUAL SIGNALLING COMPONENT
-ALARMS MUST BE HARDWIRED AND HAVE AN ALTERNATE POWER SOURCE
THAT CAN POWER ALARM FOR 7 DAYS, FOLLOWED BY 4 MINUTES OF ALARM

(45) CARBON MONOXIDE ALARM (CMA), O.B.C. - 9.33.4.
-WHERE THERE IS A FUEL BURNING APPLIANCE A CMA SHALL BE PROVIDED ADJACENT TO EACH SLEEPING AREA.
-CMA TO BE WIRED IN CIRCUIT TO SOUND SMOKE ALARMS WHEN

 -MAIN DOOR TO BE OPERABLE FROM INSIDE W/OUT KEY
-PROVIDE A VIEWER WITH A VIEWING ANGLE OF NOT LESS THAN 160 DEG.
UNLESS GLAZING IS PROVIDED IN DOOR OR A SIDELIGHT IS PRESENT.
-R4 (RS10.70) WHERE A STORM DOOR IS NOT PROVIDED -GARAGE MAN DOORS TO BE GAS PROOFED WITH SELF CLOSER

WEATHERSTRIPPING, THRESHOLD & DEAD BOLT PER O.B.C. 9.10.13.15 -R4 (RSI 0.70) 48) -TRAVEL FROM A FLOOR LEVEL TO AN EXIT OR EGRESS DOOR SHALL BE LIMITED TO ONE SLOOP EVECTS. LIMITED TO ONE FLOOR EXCEPT;

1) WHERE THAT FLOOR LEVEL HAS ACCESS TO A BALCONY

2) WHERE THAT FLOOR LEVEL HAS A WINDOW PROVIDING AN 27 WHERE HAIL TOOK LEVEL HAS A WINDOW FROVIDING AN UNOBSTRUCTED OPENING OF NOT LESS THAN 3-3" (1000mm) IN HEIGHT AND 21 5/8" (550mm) IN WIDTH; SUCH WINDOW SHALL BE LOCATED SO THAT THE SILL IS NOT MORE THAN 3-3" (1000mm) ABOVE FLOOR AND 23-0" (7.0m) ABOVE ADJACENT GROUND LEVEL

49 EXTERIOR COLUMN W/ MASONRY PIER:

MIN. 6"X6" (140mm X 140mm) WOOD POST ANCHORED TO PORCH SLAB W/ -TOP PORTION OF POST CLAD W/ DECOR. SURROUND PER ELEVATION -14" X 14" MASONRY VENEER SURROUND W/ PRECAST CONCRETE CAP. -REFER TO ELEVATION DRAWINGS FOR HEIGHT OF CAP. -SURROUND TO BE TIED W/ METAL TIES @ 16" (400mm) O.C. VERT. INSTALLED PER O.B.C. 9.20.9.4. -3/4" AIR SPACE AROUND POST.

OR
-MIN. 6"X6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND
(PER ELEVATION DRAWINGS) ANCHORED TO CONC. CAP W/ METAL SADDLE.
-14" X 14" MASONRY PIER TO BE CONSTRUCTED SOLID W/ PRECAST -REFER TO ELEVATION DRAWINGS FOR HEIGHT OF CAP. NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" POST

NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" ABOVE

PROVIDED THAT THEY ARE IN CONFORMANCE WITH O.B.C. 9.17.4 (490) EXTERIOR COLUMN:
-MIN. 6"X6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO PORCH SLAB W/ METAL SADDLE

PROVIDED THAT THEY ARE IN ACCORDANCE WITH O.B.C. 9.17. (50) COLD CELLARS:

FOR COLD CELLARS PROVIDE THE FOLLOWING -VENTING AREA TO BE EQUIVALENT TO 0.2% OF COLD CELLAR AREA -COVER VENT W/ BUG SCREEN -WALL MOUNTED LIGHT FIXTURE
-L1+L7 FOR DOOR OPENING
-2-8" X 6'-8" EXTERIOR TYPE DOOR (MIN.R-4 RSI 0.7)

51 STUD WALL REINFORCEMENT:

O.B.C. 9.5.2.3.
-WALL STUDS ADJACENT TO WATER CLOSETS & SHOWER BATH TUBS IN MAIN BATHROOM ARE TO BE REINFORCED TO PERMIT THE FUTURE INSTALLATION OF GRAB BARS AS PER O.B.C. 3.8.3.8.(3)(a)&(c) & 3.8.3.13.(2)(f) &

-INSULATE FULL HEIGHT OF INTERIOR BASEMENT WALL W/ MIN. R12 (RSI 2.11)

3.8.3.13.(4)(c)
-GRAB BARS TO BE INSTALLED AS PER O.B.C. 9.8.7.7.(2) -ALL FRAMING LUMBER TO BE No.1 AND No. 2 SPF UNLESS NOTED DTHERWISE. ROOF LOADING IS BASED ON 1.5kPa SPECIFIED COMPOSITE SNOW AND

RAIN LOADS. -JOISTS TO HAVE MIN. 1-1/2" (38mm) END BEARING -BEAMS TO HAVE MIN. 3-1/2" (89mm) END BEARING -DOUBLE STUDS @ OPENINGS DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 3'-11" (1200mm) AND 10'-6" (3200mm)
DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH IS BETWEEN 2'-7" DOUBLE JOISTS OR SOLID BLOCKING UNDER NON-LOAD BEARING

PARALLEL PARTITIONS
-BEAMS TO BE PLACED UNDER LOADBEARING WALLS WHEN WALLS ARE PARALLEL TO FLOOR JOISTS PARALLEL TO FLOOR JOISTS

-BEAMS MAY BE A MAX. 24" (600mm) FROM LOADBEARING WALLS
WHEN WALLS ARE PERPENDICULAR TO FLOOR JOISTS
-APPROVED METAL HANGERS TO BE USED FOR JOISTS AND BEAMS WHEN
THEY FRAME INTO SIDES OF BEAMS. TRIMMERS AND HEADERS
-FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED
MORE THAN 15 3/4" (400mm) BEYOND SUPPORTS FOR 2" X 8" (38mm X

-FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 23 5/8" (600mm) BEYOND SUPPORTS FOR 2" X 10" (38mm X 235mm) OR LARGER

WINDOWS: -WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER
-WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL
HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 1.8 W/(m2.K) OR AN ENERGY RATING OF NOT LESS THAN 21 FOR OPERABLE WINDOWS & 31 FOR FIXED WINDOWS BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING -\$KYLIGHT\$ SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF

-FOR GROSS GLAZED AREAS LESS THAN 17% ADDITIONAL COMPLIANCE ALTERNATIVES FOR PACKAGE J.

THE MINIMUM R (RSI) VALUE FOR THERMAL INSULATION IN EXPOSED ABOVE GRADE WALLS IS PERMITTED TO BE NO LESS THAN R20 (RSI 3.52) PROVIDED; THAT THE WINDOWS AND SLIDING GLASS DOORS HAVE A MAXIMUM U-VALUE OF 1.6. OR THE THERMAL INSULATION VALUE IN BASEMENT WALLS HAS A MINIMUM R20 (RSI 3.52). WHERE BLOWN-IN INSULATION OR SPRAY-APPLIED FOAM INSULATION IS USED,

THE MINIMUM R (RSI) VALUE FOR THERMAL INSULATION IN EXPOSED ABOVE

GRADE WALLS IS PERMITTED TO BE NO LESS THAN R20 (RSI 3.52) PROVIDED THAT:

1) THE THERMAL INSULATION VALUE IN A CEILING WITH AN ATTIC SPACE IS b) THE MINIMUM EFFICIENCY OF THE HRV IS INCREASED BY NOT LESS THAN 8 PERCENTAGE POINTS, c) THE MINIMUM AFUE OF THE SPACE HEATING EQUIPMENT IS INCREASED BY d) THE MINIMUM EF OF THE DOMESTIC HOT WATER HEATER IS INCREASED BY

♦ CLIENT SPECIFIC REVISIONS

Areas:

ELEVATION 'A' W/ S ELEVATION 'B' W/5 ELEVATION 'A' ELEVATION 'B' BEDROOMS BEDROOMS SM SF 133.7 1439.3 133.7 1439.3 133.7 159.1 1712.1 159.1 1712.1 159.1 SECOND FLOOR 1712.1 159.1 (67.5) (6.3) SECOND FLOOR OTB (6.3) (67.5) (67.5)(6.3)286.5 3083.9 286.5 3083.9 TOTAL AREA 286.5 COVERAGE INC PORCH 175.9 1893.3 175.9 1893.3 175.9 1893.3 175.9 COVERAGE NOT INC PORCH 169.8 1828.3 169.8 1828.3 169.8 1828.3

NOT LESS THAN 4 PERCENTAGE POINTS.



BASEMENT FLOOR ELEV 'A' & 'B' GROUND FLOOR ELEV 'A' A2 SECOND FLOOR ELEV 'A' OPT SECOND FLOOR ELEV 'A' W/5 BEDROOMS

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OF THE BUILDING CODE. LAM QUALIFIED AND THE FIRM IS

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QUALIFIED DESIGNER BCIN:

AO TITLE SHEET

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PARTIAL SECOND FLOOR ELEV 'B' PARTIAL OPT SECOND FLOOR ELEV 'B' W/ 5 BEDROOMS PARTIAL GROUND FLOOR ELEV 'B'

FRONT ELEVATION 'A' A5 RIGHT SIDE ELEVATION 'A'

REAR ELEVATION 'A' & 'B'

LEFT SIDE ELEVATION 'A'

TYPICAL WALL SECTION TYPICAL CROSS SECTION

FRONT ELEVATION 'B' A9 RIGHT SIDE ELEVATION 'B'

A 10 LEFT SIDE ELEVATION 'B' It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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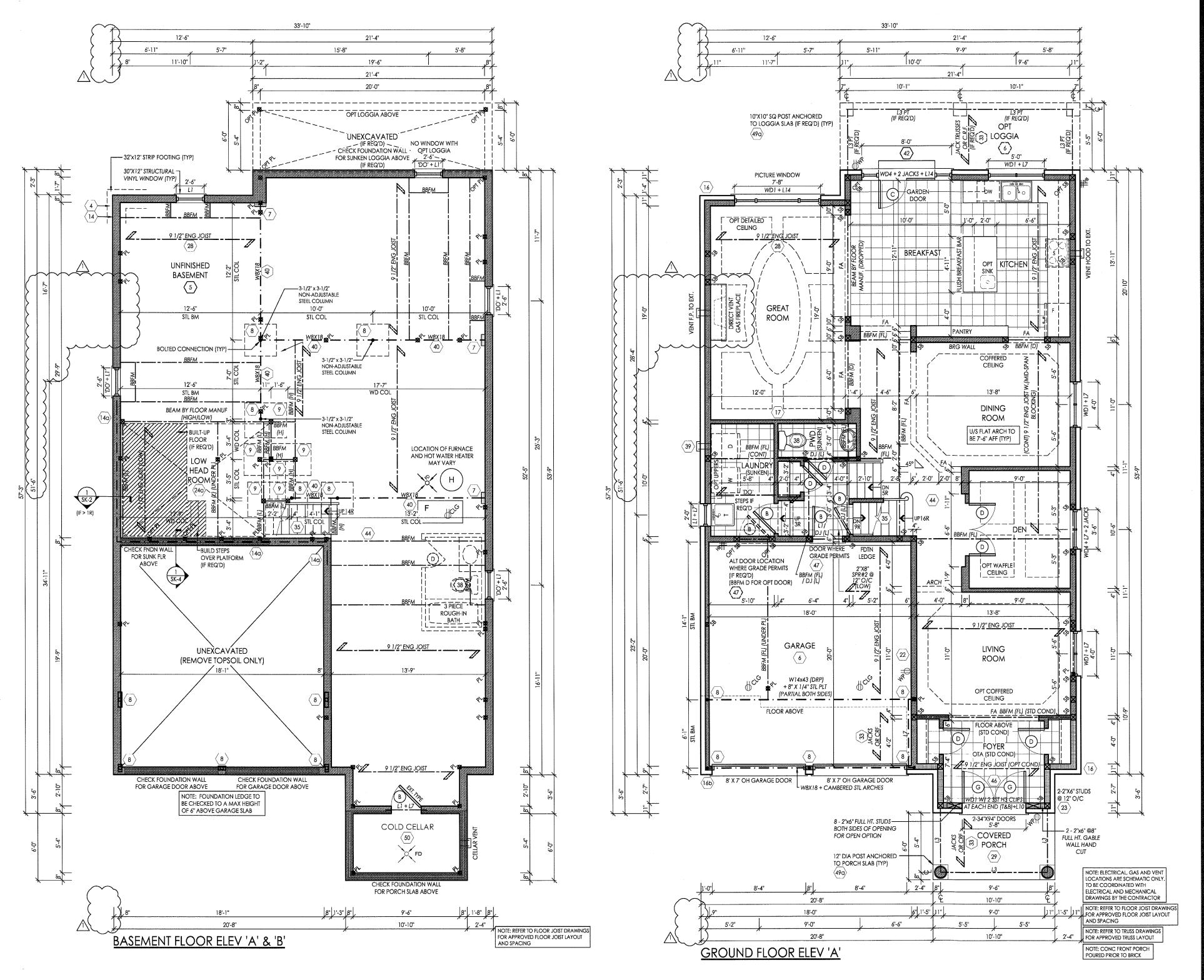
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3/16" = 1'-0"

scale

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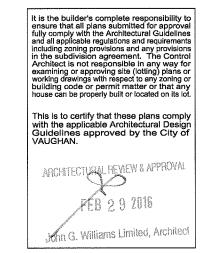
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project # 14043

scale 3/16" = 1'-0"





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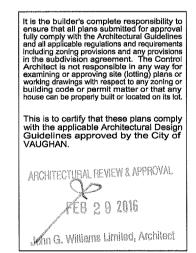
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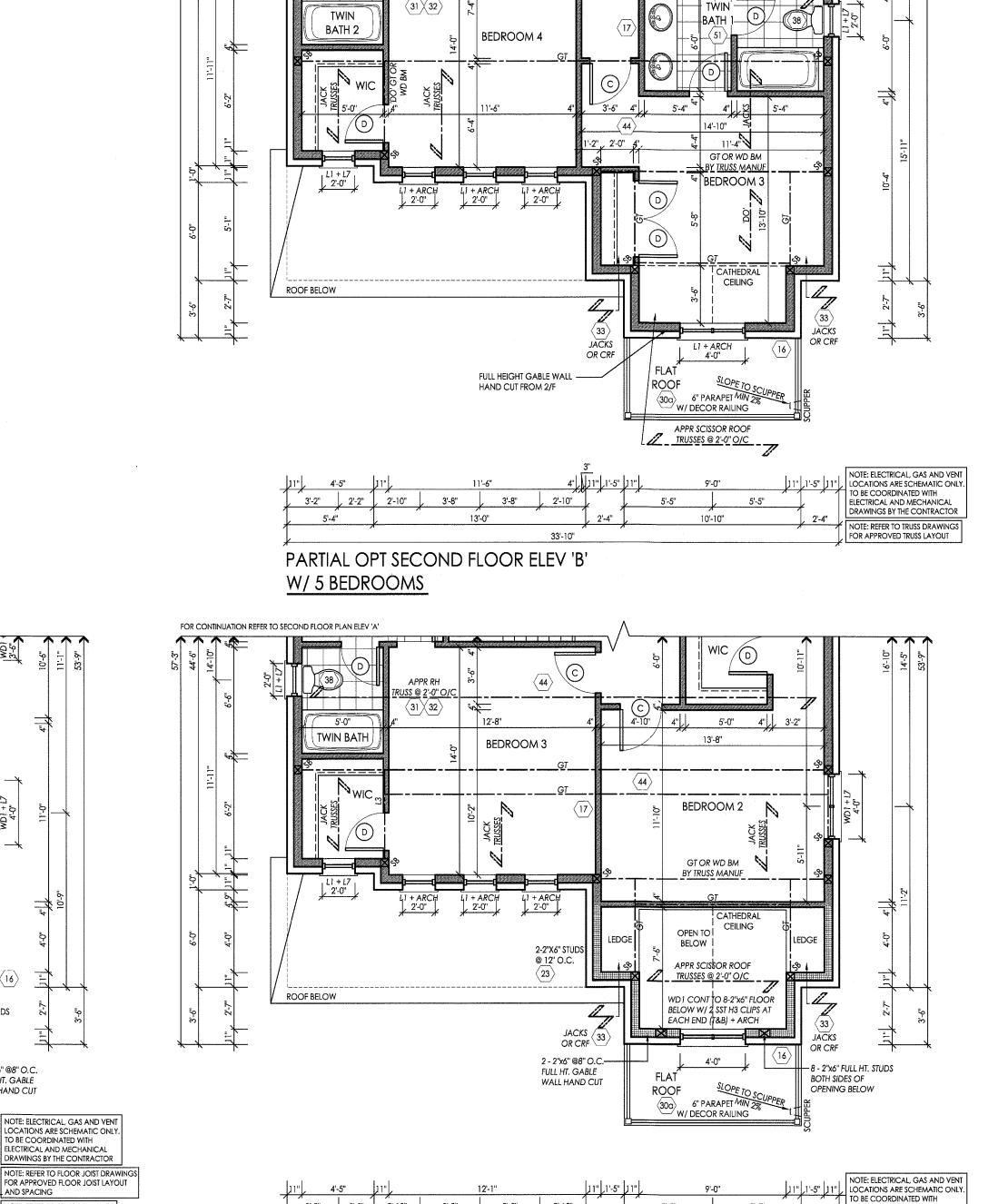
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project # 1 4043

scale 3/16'' = 1'-0''



FOR CONTINUATION REFER TO OPT SECOND FLOOR PLAN ELEV 'A'

FOR CONTINUATION REFER TO GROUND FLOOR PLAN ELEV 'A'

DOOR WHERE GRADE PERMITS LEDGE

OPT WAFFLE

CEILING

13'-8"

9 1/2" ENG JOIST

28

LIVING

ROOM

OPT COFFERED

FOYER

G 46 G

2-34"X94" DOORS 5'-8"

COVERED

PORCH

9'-0"

10'-10"

5'-5"

5'-5"

EACH END (T&B)+L10

OTA (STD COND)+

9 1/2" ENG JOIST (OPT COND)

FLOOR ABOVE (STD COND)

FA BBFM (FL) (STD COND)

2-2"X6" STUDS

- 2 - 2"x6" @8" O.C.

FULL HT. GABLE

WALL HAND CUT

AND SPACING

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: CONC FRONT PORCH POURED PRIOR TO BRICK

3'-2"

2'-2"

2'-10"

PARTIAL SECOND FLOOR ELEV 'B'

3'-8"

3'-8"

13'-0"

2'-10"

33'-10"

5'-5"

10'-10"

47

6'-4"

18'-0"

GARAGE

(6)

W14x43 (DRP) + 8" X 1/4" STL PLT

(PARTIAL BOTH SIDES)

8' X 7' OH GARAGE DOOR - W8X18 + 8" X 1/4" STL PLT (CONT)

2-10" SQ POSTS ON -

20'-8"

20'-8"

18'-0"

9'-0"

PARTIAL GROUND FLOOR ELEV 'B'

8 - 2"x6" FULL HT. STUDS ---

FOR OPEN OPTION

30"X14"X44" HIGH STONE PIER

W/ 4"+4" PRECAST CONC CAP (TY

6" 1'-5" 11"

33'-10"

BOTH SIDES OF OPENING

FLOOR

ABOVE

8' X 7' OH GARAGE DOOR

5'-2"

ALT DOOR LOCATION
WHERE GRADE PERMITS

(BBFM D FOR OPT DOOR)

(IF REQ'D)

APPR RH RUSS @ 2'-0" O/



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DRAWINGS BY THE CONTRACTOR

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

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project # 14043

scale 3/16" = 1'-0"

GROSS GLAZING AREA EL. 'A' - STD. & OPT. SEC. FLR. PLAN

TOTAL PERIPHERAL WALL AREA	3470.98 sF	322.45 m²
FRONT GLAZING AREA	59.99 sf	5.57 m ²
LEFT SIDE GLAZING AREA RIGHT SIDE GLAZING AREA	33.64 SF 75.97 SF	3.13 m² 7.06 m²
REAR GLAZING AREA	169.44 sF	7.06 m² 15.74 m²
TOTAL GLAZING AREA	339.04 sF	31.50 m²
TOTAL GLAZING PERCENTAGE	9.77 %	

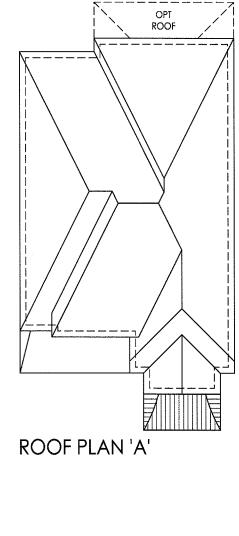


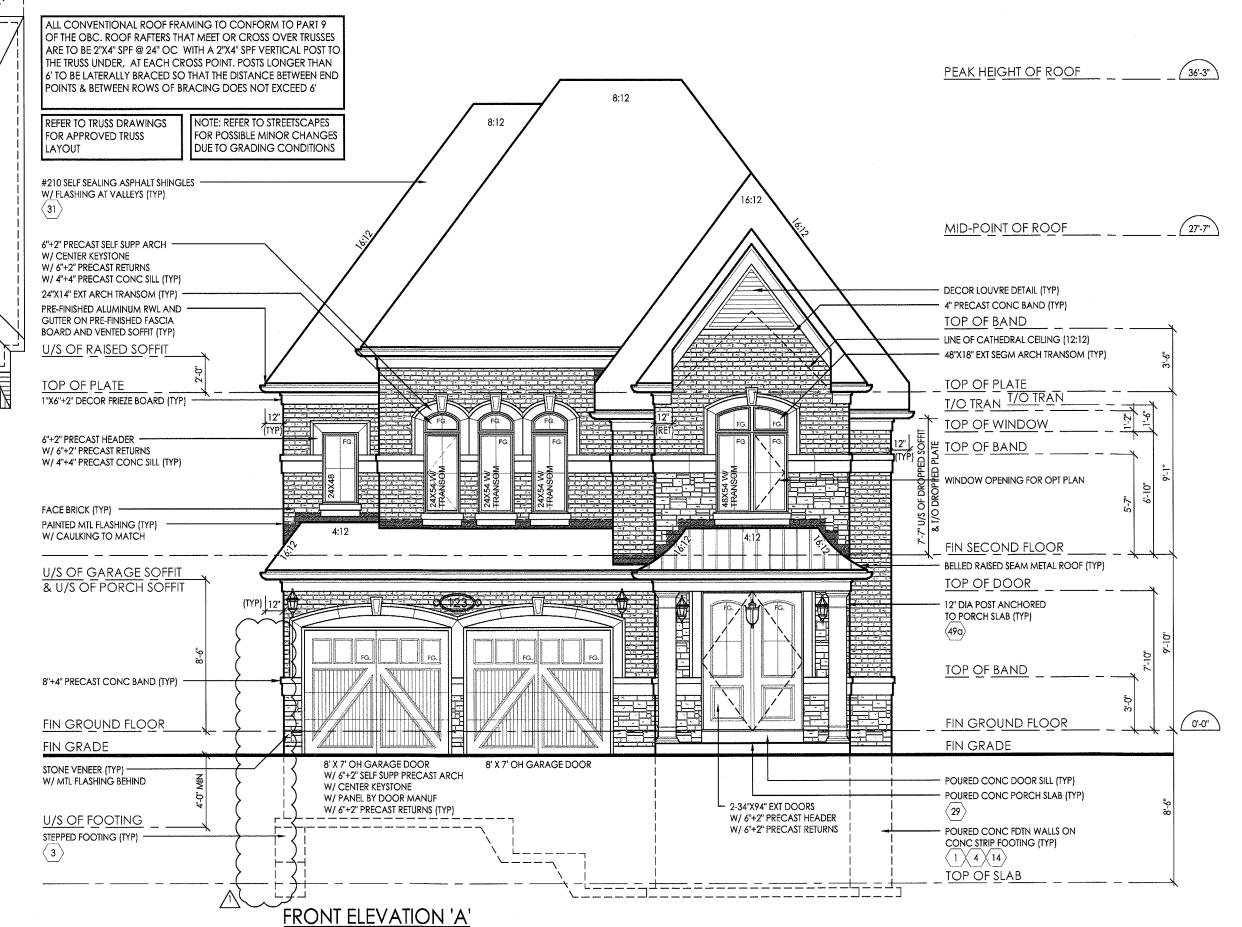


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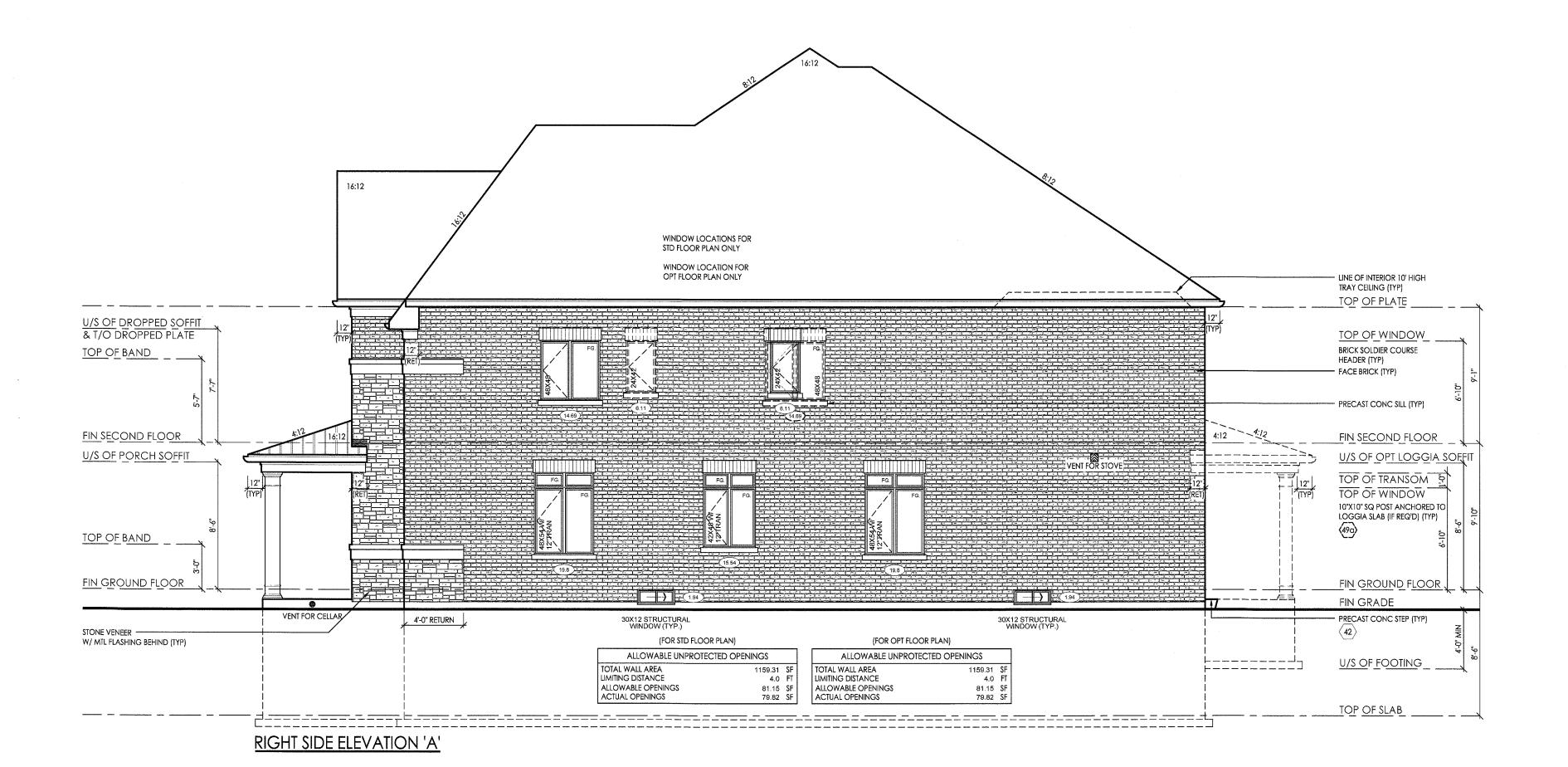
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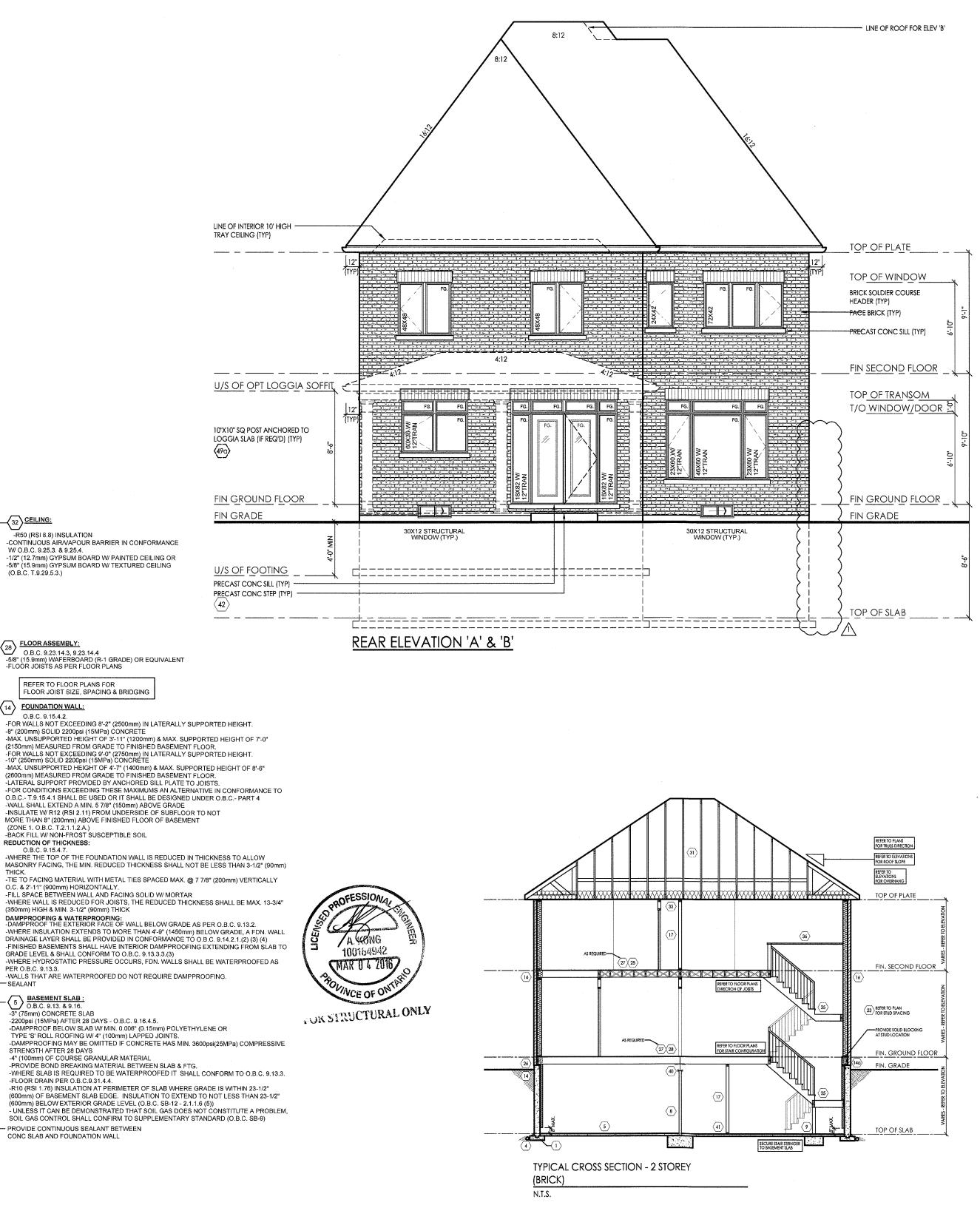
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project # 14043

scale 3/16" = 1'-0"

A.F

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31 TYPICAL ROOF: O.B.C. 9.26.

50% AT SOFFIT

SEALANT-

-1" (25mm) AIR SPACE

O.B.C. 9.23.16

SEALANT:

O.B.C. 9.26.

-NO. 210 (30. 5KG/m2) ASPHALT SHINGLES
-FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES
PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11"
(900mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm)
PAST THE INSIDE FACE OF EXTERIOR WALL.
-EAVES PROTECTION LAID BENEATH STARTER STRIP.
-EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES.
-STARTER STRIP AS PER O.B.C. 9.26.7.2.
-STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2. (3)
-3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH
"H" CLIPS
-APPROVED WOOD TRUSSES @ 24" (600mm) O.C. (REFER TO

"H" CLIPS
-APPROVED WOOD TRUSSES @ 24" (600mm) O.C. (REFER TO MANUFACTURER'S LAYOUT)
-TRUSS BRACING AS PER TRUSS MANUFACTURER
-EAVESTROUGH ON PREFINISHED FASCIA AND VENTED SOFFIT

(VINYL OR ALUMINUM)
-ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH,

WALL TO CEILING & WALL TO FLOOR AIR/VAPOUR BARRIER JOINT--OVERLAP BARRIER BY 4" MIN AND MECHANICALLY SEALED

-3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX.

-MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT

STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING

-PROVIDE WEEP HOLES @ 2'-7" (800mm)O.C. @ BTM. COURSE & OVER OPENINGS -BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2))

-BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER

-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2. -1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER

-2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. -MIN. R22 (RSI 3.87) INSULATION (ZONE 1. O.B.C. T.2.1.1.2.A.)

-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.-

A/B MECHANICALLY SEALED or PROVIDE CONTINUOUS SEALANT

HEADER WRAP IS TO EITHER OVERLAP AIR/VAPOUR BARRIER BY 4' or TO BE SEALED WITH CONTINUOUS CAULKING SEALANT (TYP)

AT OVERLAPPED JOINTS IN AIR/VAPOUR BARRIER (TYP)

SILL PLATE:

O.B.C. 9.23.7.

-2" X 6" (38mm X 140mm) PLATE

-1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C.
FASTENED TO PLATE W/ NUTS AND WASHERS
SHALL BE EMBEDDED NOT LESS THAN 4" (100mm)
INTO FDN. WALL.

-SILL PLATE TO BE CAULKED, OR PLACED ON A LAYER OF
MINERAL WOOL NOT LESS THAN 1" (25mm) THICK
BEFORE COMPRESSING, OR FOAM GASKET, OR PLACED
ON FULL BED OF MORTAR.

O.B.C. 9.15.3. & 9.15.3.6

-3 STOREY STUD - 26" X 9" (660mmX 230mm)

-BASED ON 16'-1"(4.9m) MAX. SUPPORTED JOIST LENGTH
-MIN. 2200psi (15MPa) CONCRETE AFTER 28 DAYS
-SHALL REST ON UNDISTURBED SOIL, ROCK OR COMPACTED

GRANULAR FILL W/MIN. 29psi (200kPa) BEARING CAPACITY
-FTG. TO HAVE CONTINUOUS KEY
-FTG. SIZES MAY BE REDUCED FOR SOILS W/ GREATER BEARING/CAPACITY (AS PER SOILS ENGINEERING REPORT)

METAL FLASHING TO EXTEND UP BEHIND BRICK MIN 6"

FIN. GRADE

TYPICAL EXTERIOR WALL

SECTION- BRICK

SCALE: 3/4"= 1'-0"

- or TO BE SEALED WITH CONTINUOUS CAULKING SEALANT

16 BRICK VENEER CONSTRUCTION (TYPICAL): 0.B.C. 9.23.

32 CEILING:

(O.B.C. T.9.29.5.3.)

- 28 FLOOR ASSEMBLY:

- (14) FOUNDATION WALL:

O.B.C. 9.15.4.2.

REDUCTION OF THICKNESS:

5 BASEMENT SLAB : 0.B.C. 9.13. & 9.16.

ASONRY FACING

REFER TO FLOOR PLANS FOR

FLOOR JOIST SIZE, SPACING & BRIDGING

(ZONE 1. O.B.C. T.2.1.1.2.A.)
-BACK FILL W/ NON-FROST SUSCEPTIBLE SOIL

(350mm) HIGH & MIN. 3-1/2" (90mm) THICK

-3" (75mm) CONCRETE SLAB -2200psi (15MPa) AFTER 28 DAYS - O.B.C. 9.16.4.5.

PROVIDE CONTINUOUS SEALANT BETWEEN

CONC SLAB AND FOUNDATION WALL

-R50 (RSI 8.8) INSULATION

-1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR -5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING

W/ O.B.C. 9.25.3. & 9.25.4.

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I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4
OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS

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SIGNATURE:

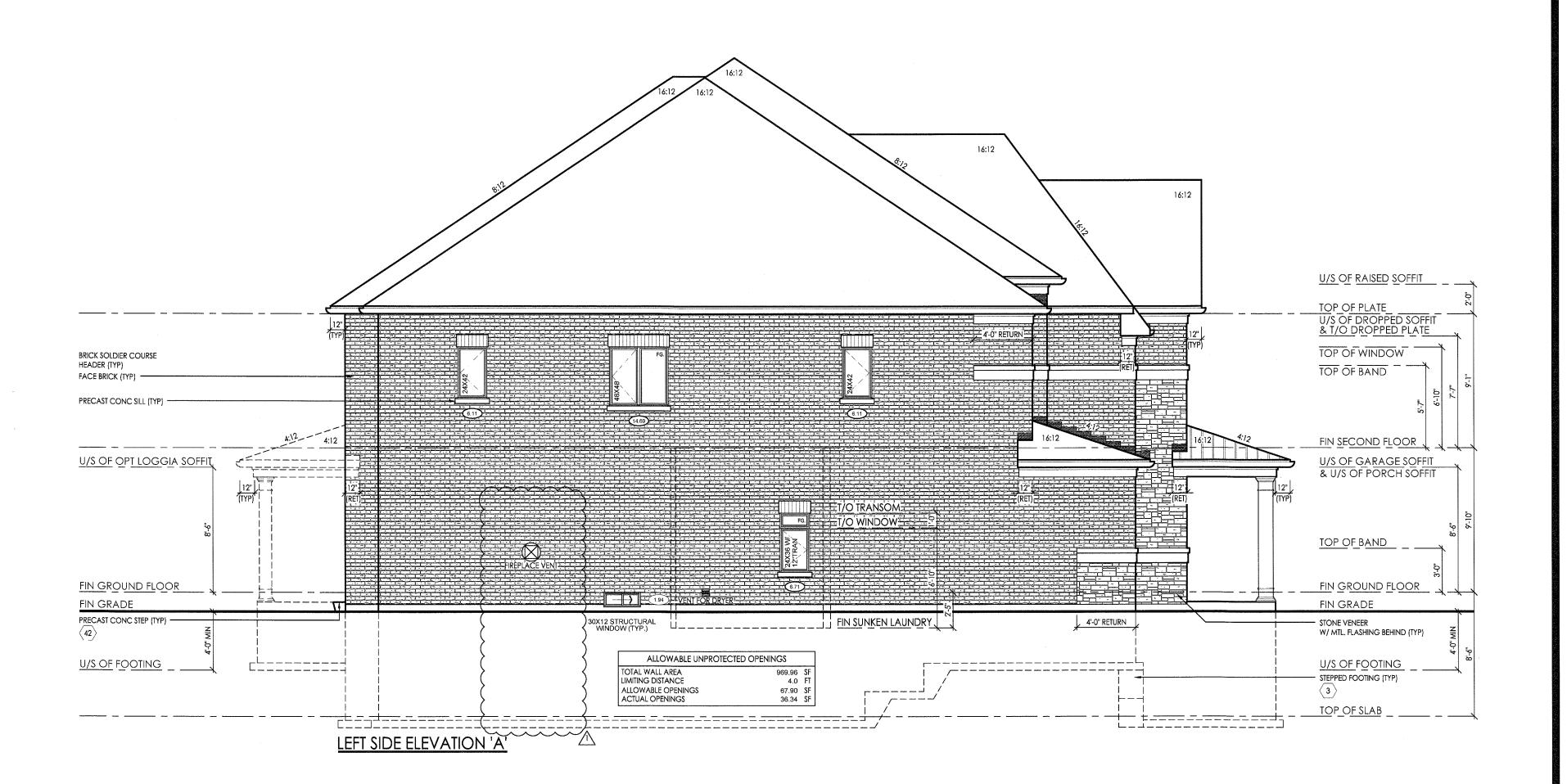
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN. CHITECTURAL BEVIEW & APPROVAL FEB 2 9 2016 in G. Williams Limited, Architect

#	revisions	date	dwn	ch
1	SSUED FOR CLIENT REVIEW	MAR-23-15	KK	С
\triangle	REMOVED FIREPLACE JOG PROJECTION ON SIDE OF HOUSE	15-Dec-15	CR	C
3	REVISED AS PER CLIENT COMMENTS	12/18/2015	CR	С
4	ISSUED FOR PERMIT	24-FEB-16	JP	Jf
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Gold Park Homes

project **Huntington &** Nashville Kleinburg model 42-2 14043 scale 3/16" = 1'-0"

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RN design

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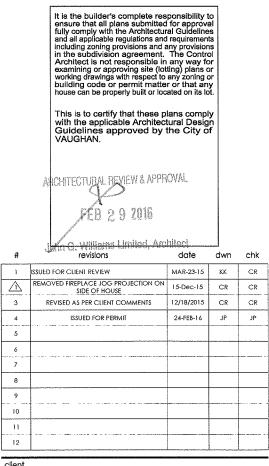


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QUALIFIED DESIGNER BCIN: FIRM BCIN:

SIGNATURE:





Gold Park Homes

project	Huntington & Nashville Kleinburg	
model	42-2	
	1 6 6	
project #	14043	
scale	3/16" = 1'-0"	

oage



GROSS GLAZING AREA EL. 'B' - STD. & OPT. SEC. FLR. PLAN

9.83 %

TOTAL PERIPHERAL WALL AREA	3470.98 sF	322.45 m²
FRONT GLAZING AREA	62.07 sF	5.77 m²
LEFT SIDE GLAZING AREA	33.64 sF	3.13 m ²
RIGHT SIDE GLAZING AREA	75.97 sF	7.06 m ²
REAR GLAZING AREA	169.44 sF	15.74 m²
TOTAL GLAZING AREA	341.12 sF	31.69 m²

TOTAL GLAZING PERCENTAGE

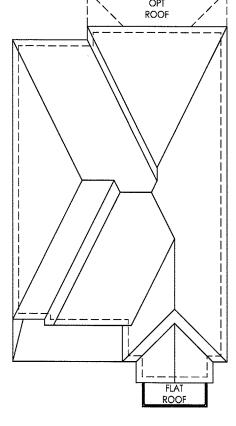


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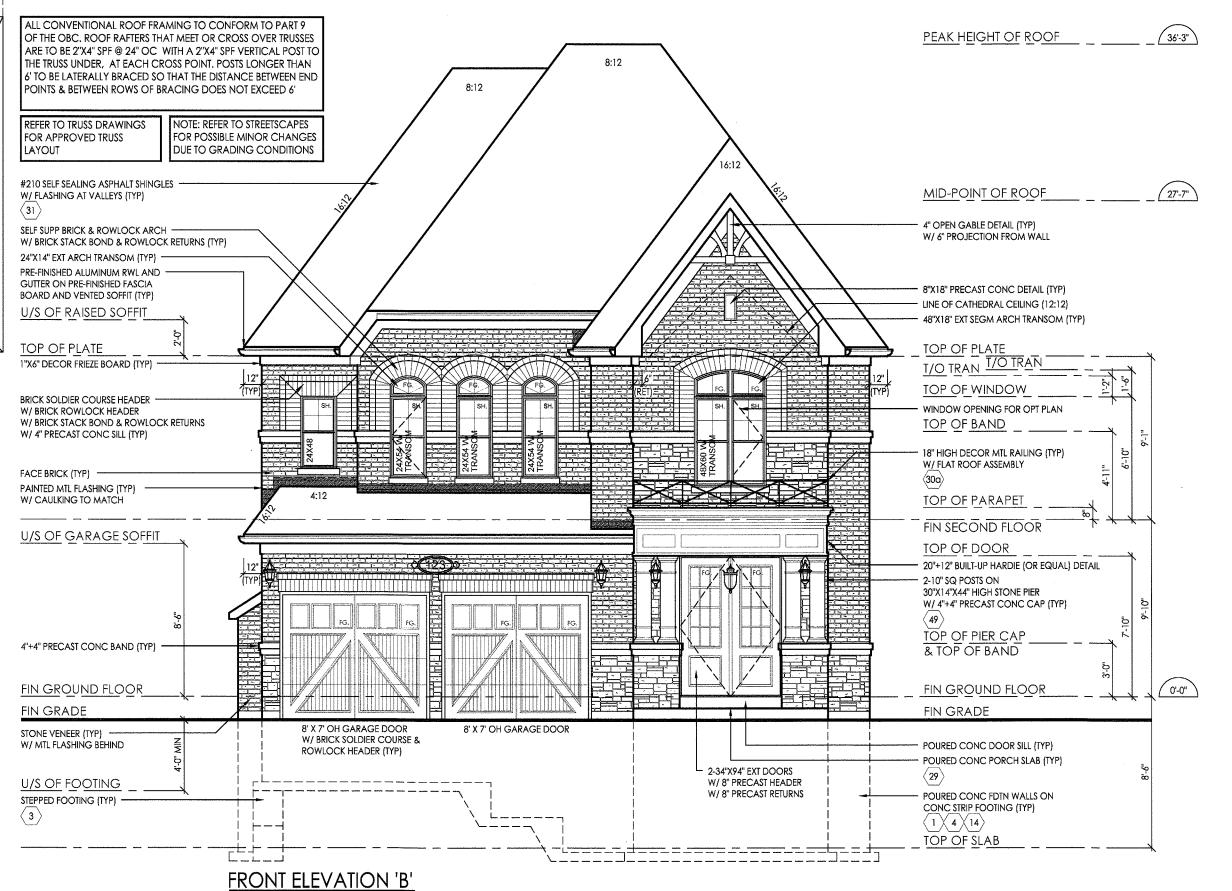
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ROOF PLAN 'B'



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revisions date dwn chk

| REMOVED FOR CLIENT REVIEW | MAR-23-15 | KK | CR | CR | SIDE OF HOUSE | SIZE OF REPIXED SOF R

 1
 ISSUED FOR CLIENT REVIEW
 MAR-23-15
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 CR

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 REMOVED FIREPLACE JOG PROJECTION ON SIDE OF HOUSE
 15-Dec-15
 CR
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 REVISED AS PER CHENT COMMENTS
 12/18/2015
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 ISSUED FOR PERMIT
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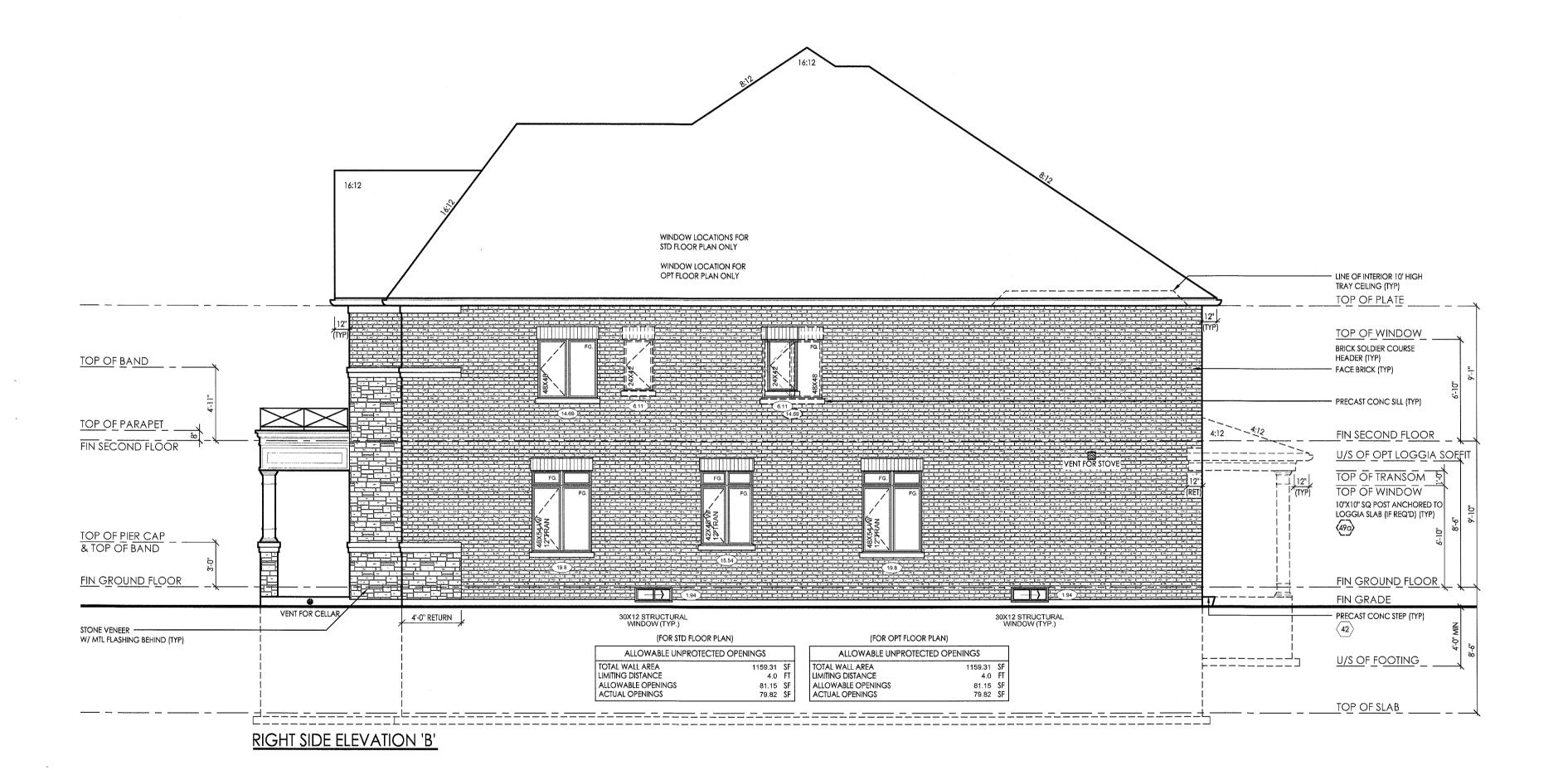
Gold Park Homes

Huntington &
Nashville
Kleinburg

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scale 14043 3/16" = 1'-0"

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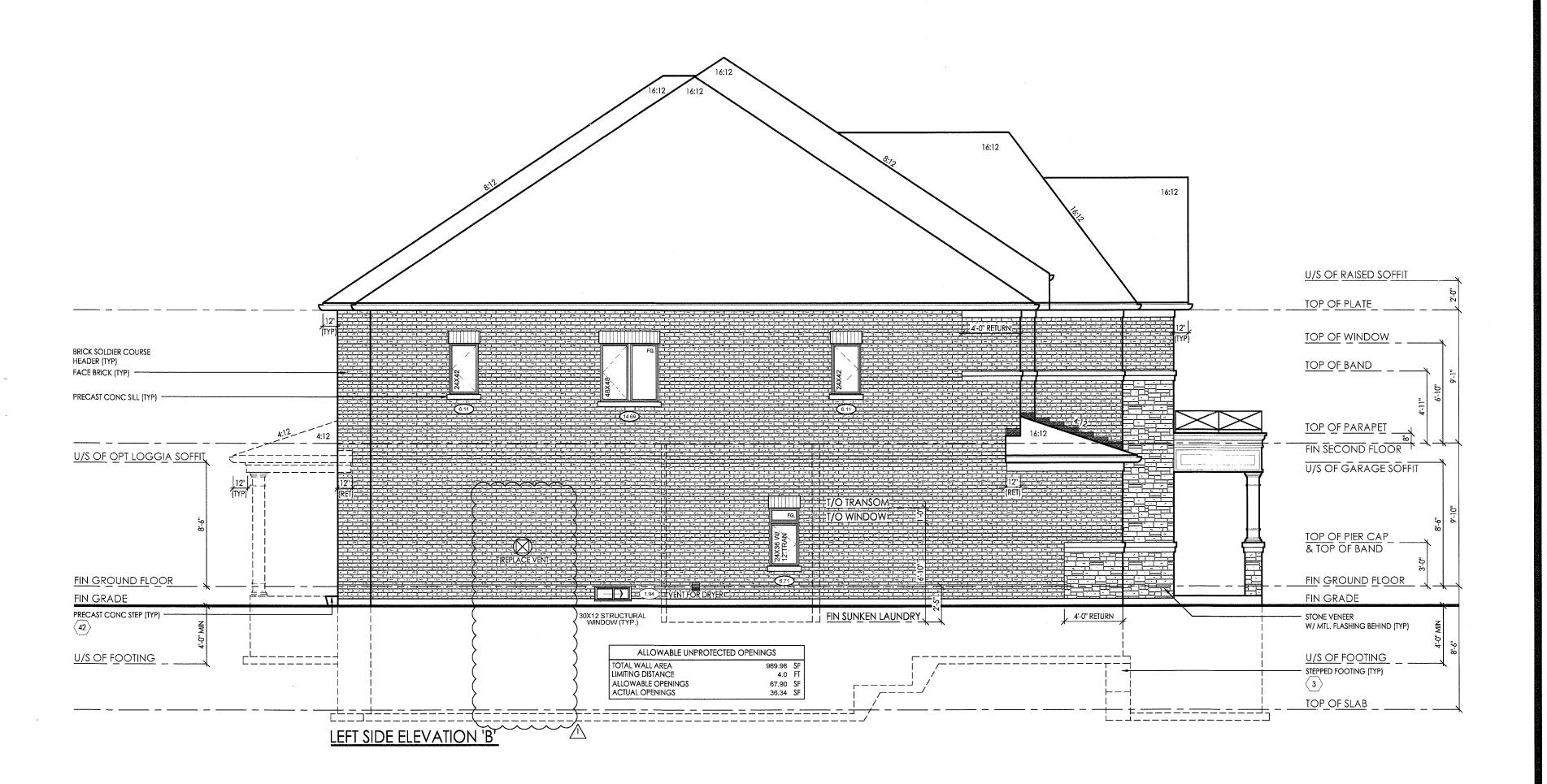


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Gold Park Homes

Huntington & Nashville Kleinburg 42-2

14043 3/16" = 1'-0"







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QUALIFIED DESIGNER BCIN: FIRM BCIN: DATE:

SIGNATURE:

3868 2699

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John G. Williams Limi	ted, Architect
FEB 297	
ARCHITECTURAL REVIEW	
This is to certify that these with the applicable Archite Guidelines approved b VAUGHAN.	ectural Design y the City of
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Gold Park Homes

42-2

Huntington & Nashville
Kleinburg

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scale 3/16" = 1'-0"

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