



FRONT ELEVATION 'A'



FRONT ELEVATION 'B'

Drawing List:

- A0 TITLE SHEET
- A1 BASEMENT PLAN ELEV. 'A'
- A2 GROUND FLOOR PLAN ELEV. 'A'
- A3 SECOND FLOOR PLAN ELEV. 'A'
- A4 PART. BASEMENT PLAN ELEV. 'B'
- A5 PARTIAL GROUND FLOOR PLAN ELEV. 'B'
- A5 PARTIAL SECOND FLOOR PLAN ELEV. 'B'
- PARTIAL OPT. TWIN BATH PLAN EL. 'A' & 'B'
- PART. BASEMENT PLAN W/ SUNK. FLR. COND.
- A6 FRONT ELEVATION 'A'
- A7 RIGHT SIDE ELEVATION 'A'
- A8 REAR ELEVATION 'A' & 'B'
- A9 LEFT SIDE ELEVATION 'A'
- A10 FRONT ELEVATION 'B'
- A11 RIGHT SIDE ELEVATION 'B'
- A12 LEFT SIDE ELEVATION 'B'
- A13 PARTIAL GROUND FLOOR LOB/WOB CONDITION
- PARTIAL BASEMENT FLOOR LOB CONDITION
- A14 PARTIAL BASEMENT FLOOR WOB CONDITION
- A15 PARTIAL REAR ELEVATION 'B' LOB CONDITION
- PARTIAL REAR ELEVATION 'B' WOB CONDITION
- A16 TYPICAL CROSS-SECTION
- A17 PART. GROUND FLOOR PLAN ELEV 'A' SIDE UPGRADE
- A18 PART. SECOND FLOOR PLAN ELEV 'A' SIDE UPGRADE
- A19 RIGHT SIDE ELEVATION 'A' SIDE UPGRADE
- A20 REAR ELEVATION 'A' SIDE UPGRADE
- D1 CONSTRUCTION NOTES
- D2 CONSTRUCTION NOTES
- D3 CONSTRUCTION NOTES
- D4 CONSTRUCTION NOTES

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Areas:

	ELEVATION 'A'		ELEVATION 'B'	
	SF	SM	SF	SM
GROUND FLOOR PLAN	1202.1	111.7	1223.6	113.7
SECOND FLOOR PLAN	1530.1	142.1	1547.4	143.8
SECOND FLOOR PLAN OTB	(9.0)	(0.8)	(9.0)	(0.8)
TOTAL AREA	2723.2	253.0	2762.0	256.6
COVERAGE INC PORCH	1624.1	150.9	1642.0	152.5
COVERAGE NOT INC PORCH	1578.9	146.7	1598.7	148.5

Gold Park Homes Huntington & Nashville

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I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE:

SIGNATURE:

client
Gold Park Homes
project
Huntington & Nashville

location
Kleinburg
marketing name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW.	2004-03-15	BU	RPA	△	REVISED AS PER CLIENT COMMENTS	16-Dec-15	CR	CR
2	CONFIRMED ROOF TRUSS LAYOUT FOR EL. 'B'	1-Jun-15	RPA	DJH	6	REVISED AS PER CLIENT COMMENTS	19-Jan-16	JM	JM
3	REVISED AS PER FLOOR & TRUSSES COORD.	10-Jun-15	RPA	DJH	7	ISSUED FOR PERMIT	24-FEB-16	JP	JP
4	REVISED AS PER ENGINEERING COMM.	2-Jul-15	RPA	DJH	8	ADDED SIDE UPGRADE DRAWINGS FOR REVIEW	6-JULY-16	SM	JM
1	REMOVED FIREPLACE JOG PROJECTION ON SIDE OF HOUSE	14-Dec-15	CR	CR					

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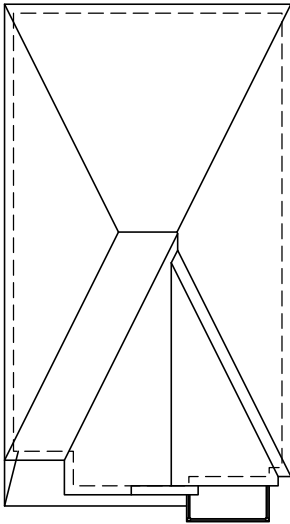


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3/16" = 1'0"

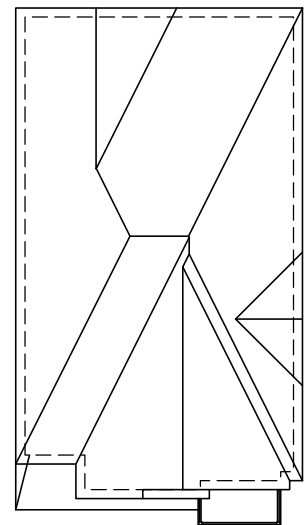
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ROOF PLAN 'A'



ROOF PLAN 'A' SIDE UPGRADE

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER, AT EACH CROSS POINT. POSTS LONGER THAN 6' TO BE Laterally Braced so that the distance between end points & between rows of bracing does not exceed 6'.

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

#210 SELF SEALING ASPHALT SHINGLES W/ FLASHING AT VALLEYS (TYP.)

31

14" X 30" VINYL LOUVER W/ 4" BRICK SOLDIER COURSE HEADER W/ 4" PRECAST SILL (TYP.)

PRE-FINISHED ALUMINIUM R.W.L. AND GUTTER ON PRE-FINISHED FASCIA BOARD AND VENTED SOFFIT (TYP.)

1"x4"+2" BUILT-UP DECOR. FRIEZE BOARD (TYP.)

4" BRICK ROWLOCK HEADER ON 10" BRICK SURROUND WITH 45° CORNERS (TYP.)

TOP OF BAND

FACE BRICK (TYP.)

PAINTED MTL. FLASHING W/ CAULKING TO MATCH (TYP.)

U/S OF GARAGE SOFFIT

2" + 6" PRECAST CONC. HDR. W./ CENTER KEYSTONE (TYP.)

STONE VENEER W/ MTL. FLASHING BEHIND (TYP.)

U/S OF FOOTING
STEPPED FOOTING (TYP.)

3

FRONT ELEVATION 'A'

PEAK HEIGHT OF ROOF

37'-8"

MID-POINT OF ROOF

28'-6"

8" BOX-OUT WITH 60"x90" VINYL LOUVERS & 7"x14" BRACKETS

LINE OF ROOF FOR SIDE UPGRADE ELEV. 'A'

DECOR CEDAR SHAKE STYLE SIDING W/ METAL FLASHING BEHIND

TOP OF PLATE

TOP OF TRANSOM

TOP OF WINDOW

4" + 10" PRECAST CONC. BAND (TYP.)

4" BRICK STACK ON 4" PRECAST CONC. SILL (TYP.)

18" HIGH DECOR. PREFIN. ALUM. RAILING W/ FLAT ROOF ASSEMBLY W/ 34" HIGH HARDIE BD. CAP (TYP.)

I.O. PARAPET

FIN SECOND FLOOR

HARDIE PANEL

TOP OF DOOR

10" DIA. PORCH POST ANCHORED TO PORCH SLAB (TYP.)

TOP OF BAND

FIN GROUND FLOOR

FIN GRADE

POURED CONC. DOOR SILL (TYP.)

POURED CONC. PORCH SLAB (TYP.)

8" POURED CONC. FDTN. WALLS ON 30"x12" CONC. STRIP FOOTING (TYP.)

TOP OF SLAB

2-34"x94" EXT. DOORS W/ 2"+6" PRECAST CONC. HEADER AND RETURNS ON 2"+6" PRECAST CONC. IMPOST WITH 1"+5" SURROUNDS. (TYP.)

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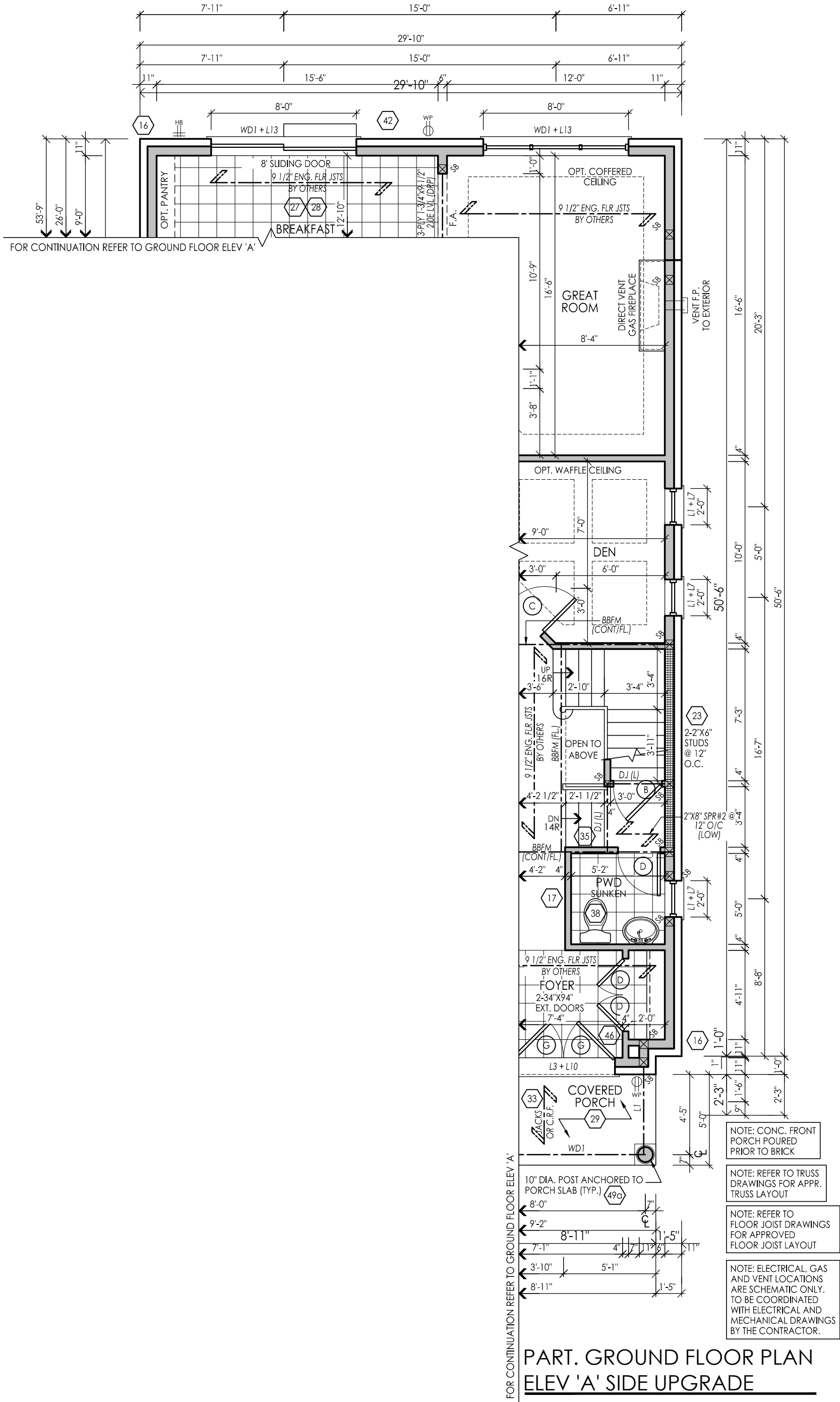
project
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FIRM BCIN: 26975
DATE: 11.17.16

SIGNATURE:



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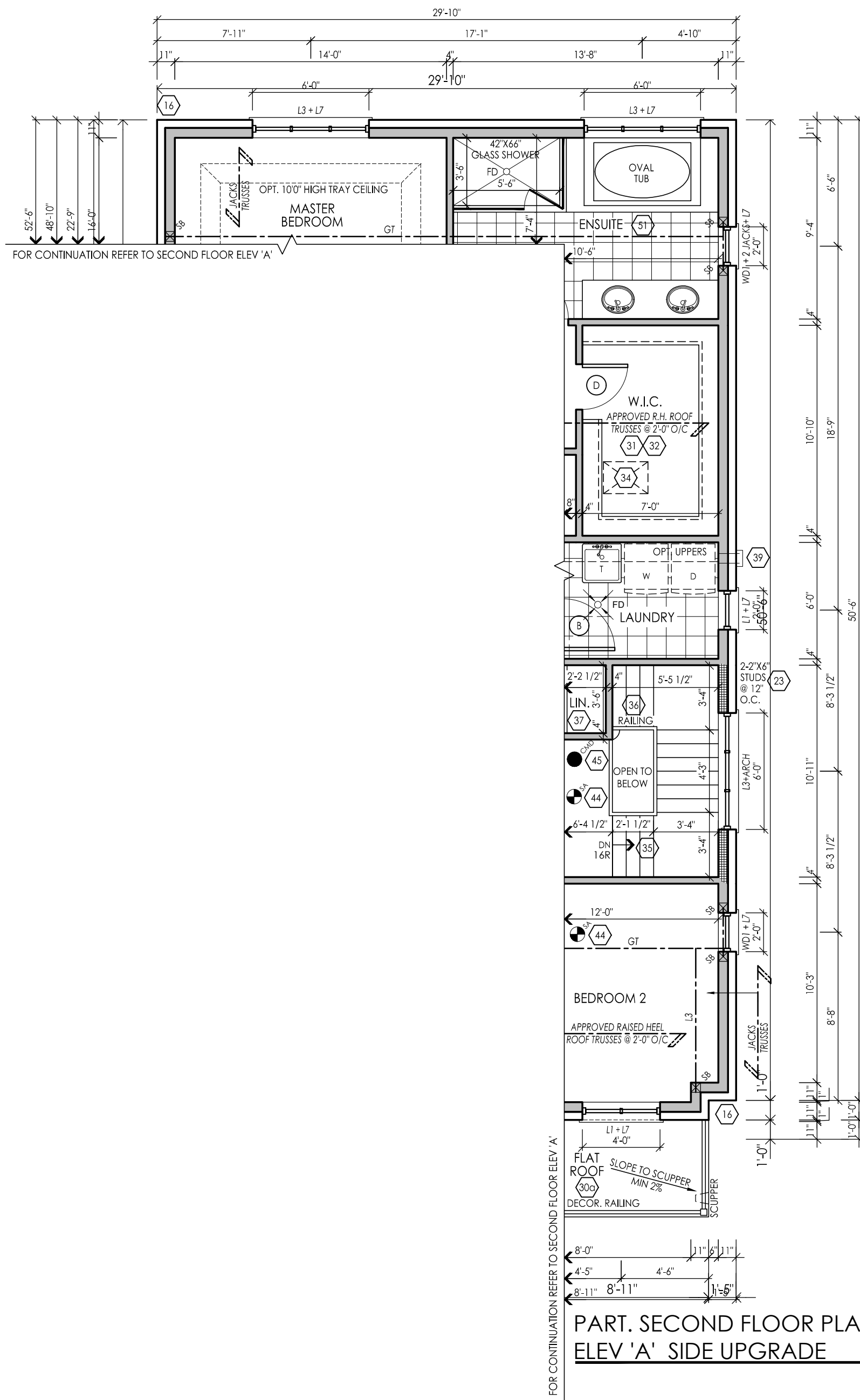
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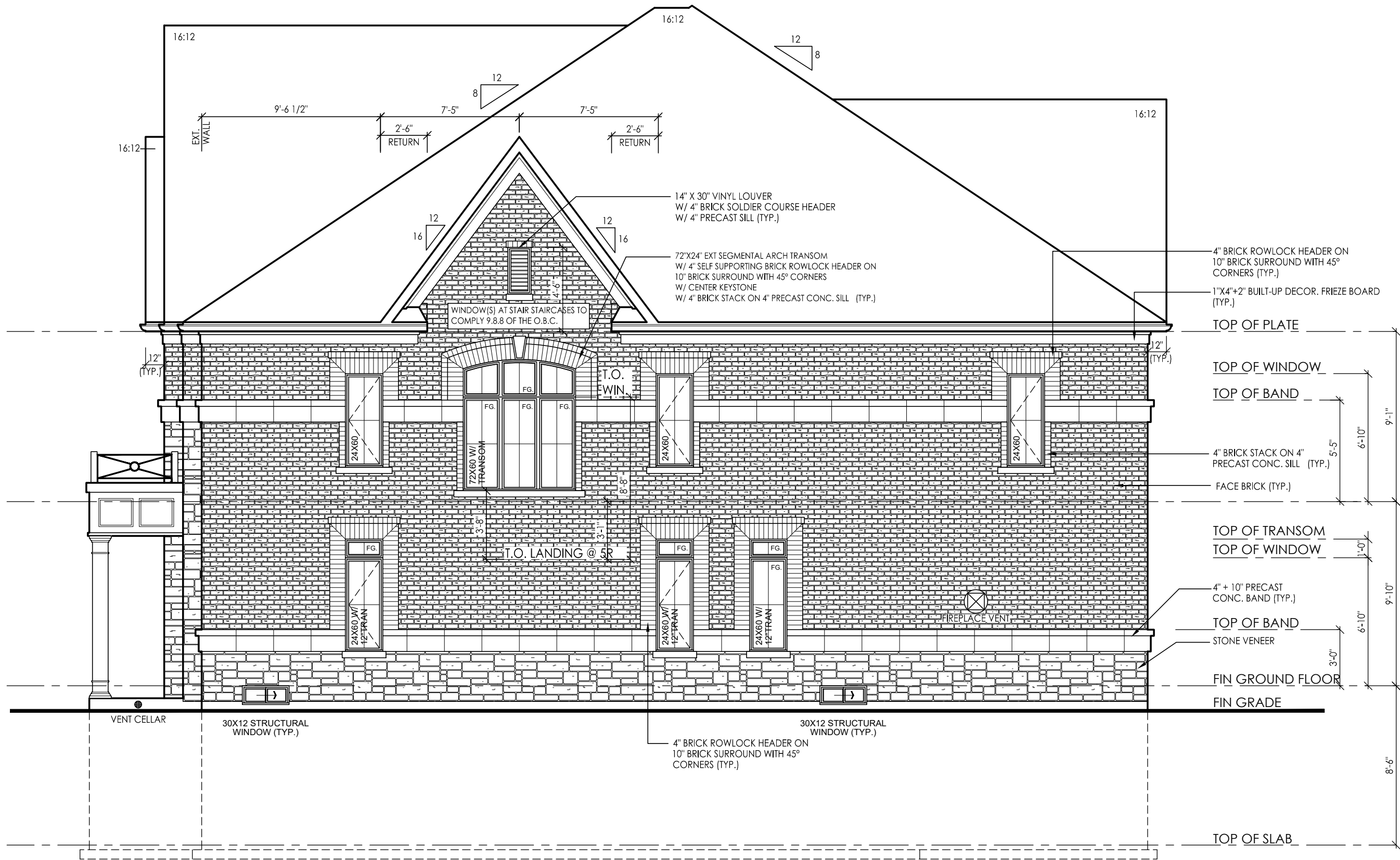


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RIGHT SIDE ELEVATION 'A'
SIDE UPGRADE



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