



FRONT ELEVATION 'A'



FRONT ELEVATION 'B'

Drawing List:

- A0 TITLE SHEET
- A1 BASEMENT FLOOR PLAN ELEV. 'A' & 'B'
- A2 GROUND FLOOR PLAN ELEV. 'A'
- A3 SECOND FLOOR PLAN ELEV. 'A'
- A4 PART. GROUND FLOOR PLAN ELEV. 'B'
- A5 PART. SECOND FLOOR PLAN ELEV. 'B'
- A5 FRONT ELEVATION 'A'
- A6 RIGHT SIDE ELEVATION 'A'
- A7 REAR ELEVATION 'A' & 'B'
- A8 LEFT SIDE ELEVATION 'A'
- A9 FRONT ELEVATION 'B'
- A10 RIGHT SIDE ELEVATION 'B'
- A11 LEFT SIDE ELEVATION 'B'
- A12 TYPICAL CROSS SECTION
- A13 PARTIAL BASEMENT FLOOR PLAN ELEV. 'A' & 'B' WOD CONDITION
- A13 PARTIAL GROUND FLOOR PLAN ELEV. 'A' & 'B' WOD CONDITION
- A14 PARTIAL REAR ELEVATION 'A' & 'B' WOD CONDITION
- A15 GROUND FLOOR PLAN ELEV. 'A' - (LOT 99)
- A16 GROUND FLOOR PLAN ELEV. 'A'
- A17 WOD REAR UPGRADE ELEVATION 'B' LOT 124
- A18 PARTIAL SECOND FLOOR PLAN ELEV. 'B' WOD CONDITION REAR UPGRADE LOT 124
- D1 CONSTRUCTION NOTES
- D2 CONSTRUCTION NOTES
- D3 CONSTRUCTION NOTES

Areas:

	ELEVATION 'A'		ELEVATION 'B'	
	SF	SM	SF	SM
GROUND FLOOR PLAN	1307.1	121.4	1307.1	121.4
SECOND FLOOR PLAN	1679.8	156.1	1679.9	156.1
SECOND FLOOR PLAN OTB	(92.5)	(8.6)	(92.5)	(8.6)
TOTAL AREA	2894.4	268.9	2894.5	268.9
COVERAGE INC PORCH	1765.1	164.0	1765.1	164.0
COVERAGE NOT INC PORCH	1704.3	158.3	1704.3	158.3

Gold Park Homes
Mclaughlin and
Mayfield
The Bach

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C. PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 19-Apr-17

SIGNATURE:

client
Gold Park Homes

project
Mclaughlin and Mayfield

location
Brampton

marketing name
The Bach

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	30/01/2015	REM	RPA	5	ADDED WOD CONDITION FOR REVIEW	5/6/2016	SM	JM
2	ROOF TRUSS COORDINATION	14-May-15	RPA	DJI	6	REVISED AS PER CLIENT COMMENTS	21-Jun-16	JP	JP
3	REVISED PER ENG. COMMENTS & FLOOR COORDINATION	15-Jan-16	SM	JM	7	REVISED AS PER OBC S8-12 2017 UPDATE	6-Apr-17	es	es
4	ISSUED FOR PERMIT	1/26/2016	hz	jp	8	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT	19-Apr-17	MM	JP

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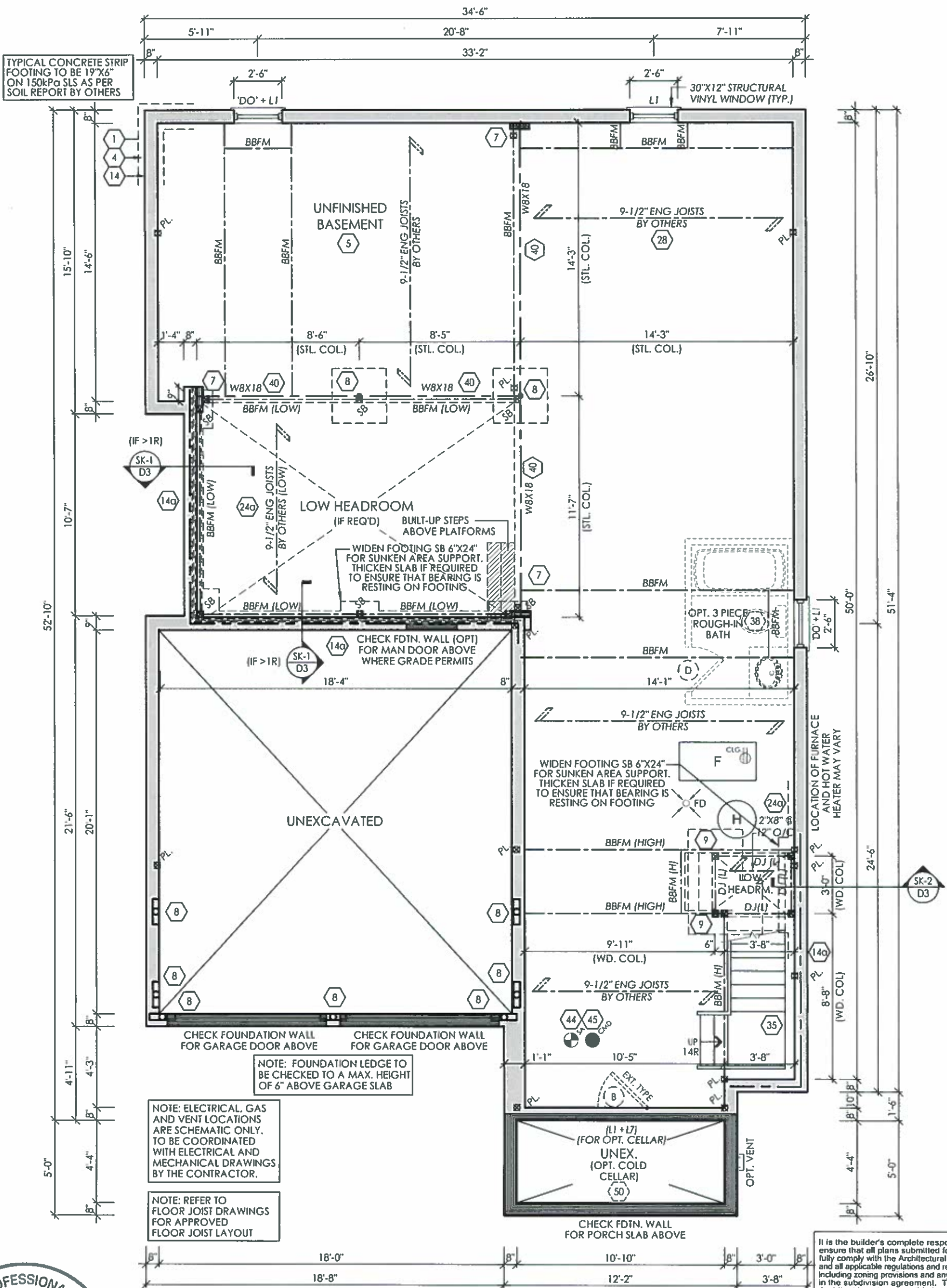
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scale
3/16" = 1'0"

project #
13098

page

A0



BASEMENT FLOOR PLAN ELEV. 'A' & 'B'

MAY 04 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS

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ARCHITECTURAL REVIEW & APPROVAL

MAY 10 2017

John G. Williams Limited, Architect



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client
Gold Park Homes
project
McLaughlin and Mayfield

location
Brampton
marketing name
The Bach

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3	ISSUED FOR PERMIT	1/26/2016	hr	jp	7				
4	REVISED AS PER OBC S8-12 2017 UPDATE	6-Apr-17	es	es	8				

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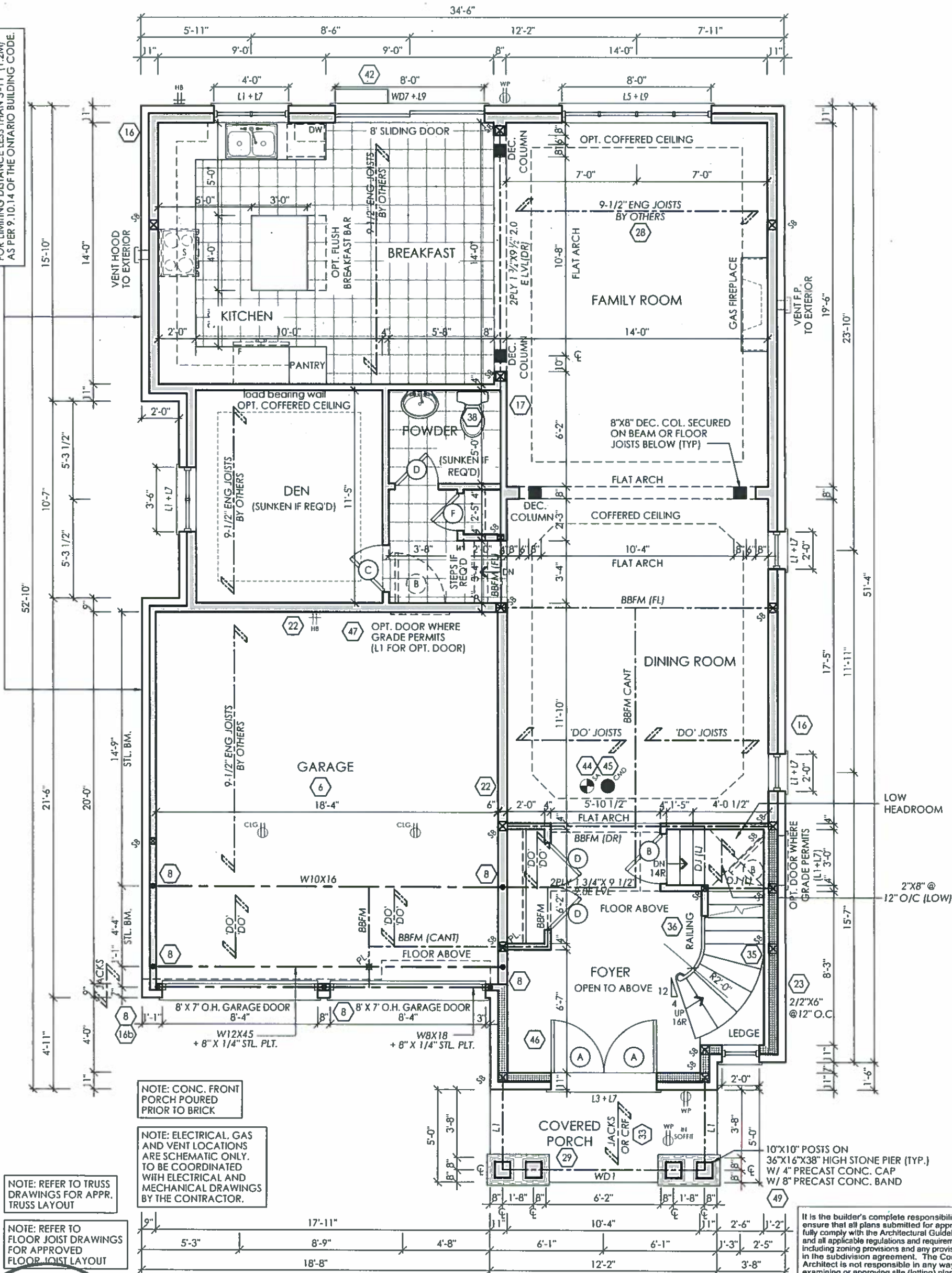


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scale
3/16" = 1'0"
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page

A1

NOTE: NO UNPROTECTED OPENINGS PERMITTED FOR LIMITING DISTANCE LESS THAN 3'-11" (1.2M) AS PER 9.10.14 OF THE ONTARIO BUILDING CODE.



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QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 19-Apr-17
SIGNATURE: [Signature]

Client: Gold Park Homes
location: Brampton
project: McLaughlin and Mayfield
marketing name: The Bach

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1	ISSUED FOR CLIENT REVIEW.	30/01/2015	REM	RPA	5	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT	19-Apr-17	JMA	JP
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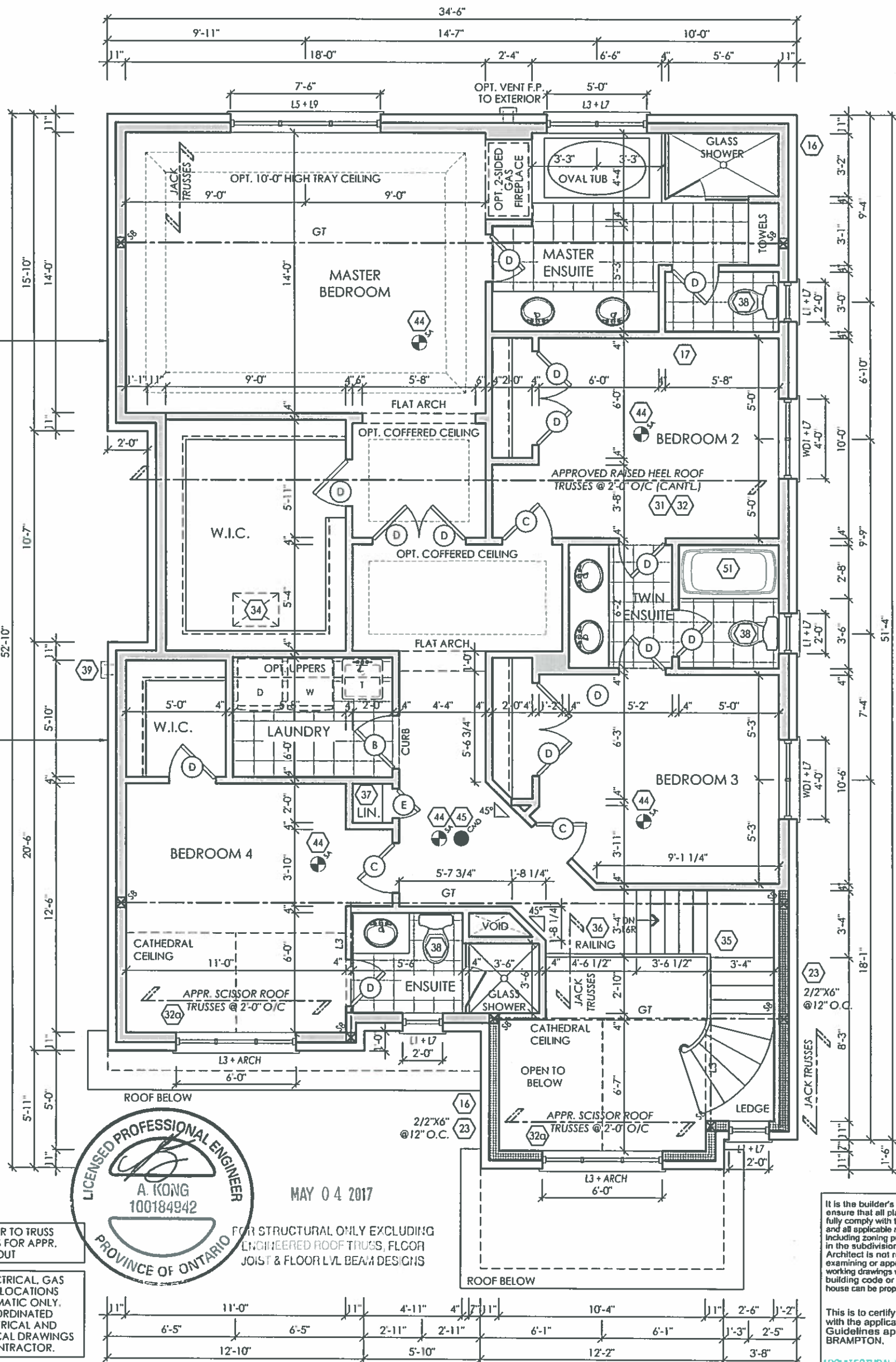


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scale: 3/16" = 1'0"
project #: 13098

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A2

NOTE: NO UNPROTECTED OPENINGS PERMITTED FOR LIMITING DISTANCE LESS THAN 3'-11" (1.2M) AS PER 9.10.14 OF THE ONTARIO BUILDING CODE.



MAY 04 2017

NOTE: REFER TO TRUSS DRAWINGS FOR APPR. TRUSS LAYOUT

NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR.

FOR STRUCTURAL ONLY EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST & FLOOR LVL BEAM DESIGNS

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NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT

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NOTE: CONC. FRONT PORCH POURED PRIOR TO BRICK

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client
Gold Park Homes

project
McLaughlin and Mayfield

location
Brampton

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The Bach

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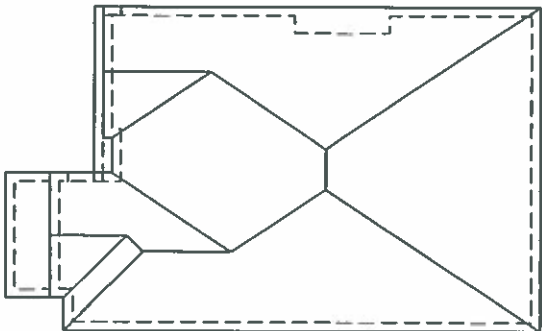
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scale
3/16" = 1'0"

project #
13098

page

A4



ROOF PLAN 'A'

ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RATHERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" o.c. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER. AT EACH ROSS POINT, POSTS LONGER THAN 8' TO BE Laterally Braced so that the distance between end points & between rows of bracing does not exceed 8'.

REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT.

1"x6" DECOR. ALUM. CLAD FRIEZE BOARD (TYP.)
CATHEDRAL CEILING @ 10'12"

PRE-FINISHED MTL. FLASHING W/ CAULKING TO MATCH

PRE-FINISHED ALUMINUM R.W.L. AND GUTTER ON PRE-FINISHED FASCIA BRD. AND VENTED SOFFIT

FACE BRICK (TYP.)

4"x8" PRECAST BAND

8" PRECAST BOND (TYP.)

4" PRECAST SILL (TYP.)

U/S OF GARAGE & PORCH SOFFIT

8" PRECAST HEADER W/ CENTRE RECESSED KEYSTONE (TYP.)

FIN. GROUND FLOOR

FIN. GRADE

U/S OF FOOTING

STEPPED FOOTING

TOP OF SLAB

FRONT ELEVATION 'A'

PEAK HEIGHT OF ROOF

#210 SELF SEALING ASPHALT SHINGLES W/ FLASHING AT VALLEYS

8" x 16" PRECAST STONE DETAIL

CATHEDRAL CEILING @ 8'12"

MID HEIGHT OF ROOF

TOP OF STONE

72" x 20" EXTENDED ARCH TRANSOM W/ 4"x8" SELF SUPPORTING PRECAST ARCH HEADER W/ CENTER RECESSED KEYSTONE W/ 4"x8" PRECAST RETURNS W/ PRECAST CONC. SILL (TYP.)

TOP OF PLATE

TOP OF WINDOW

TOP OF BAND

8" PRECAST CONC. HEADER ABOVE DOOR ON 8" PRECAST SURROUND

TOP OF TRANSOM

TOP OF DOOR

10"x10" POSTS ON 36"x16"x38" HIGH STONE PIER (TYP.) W/ 4" PRECAST CONC. CAP W/ 8" PRECAST CONC. BAND TOP OF PER

STONE VENEER TYP.

FIN. GROUND FLOOR

FIN. GRADE

8" POURED CONC. FIN. WALLS ON 19" x 6" CONC. STRIP FOOTING (TYP.)
(2) - 34"x62" EXT. DOORS W/ FIXED GLASS INSERTS (TYP.)
POURED CONC. DOOR SILL
POURED CONC. PORCH SLAB

TOP OF SLAB

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ARCHITECTURAL REVIEW & APPROVAL

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FIRM BCIN: 26995
DATE: 19-Apr-17

SIGNATURE:

client

Gold Park Homes

project

Mclaughlin and Mayfield

location

Brampton

marketing name

The Bach

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4					8				

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scale

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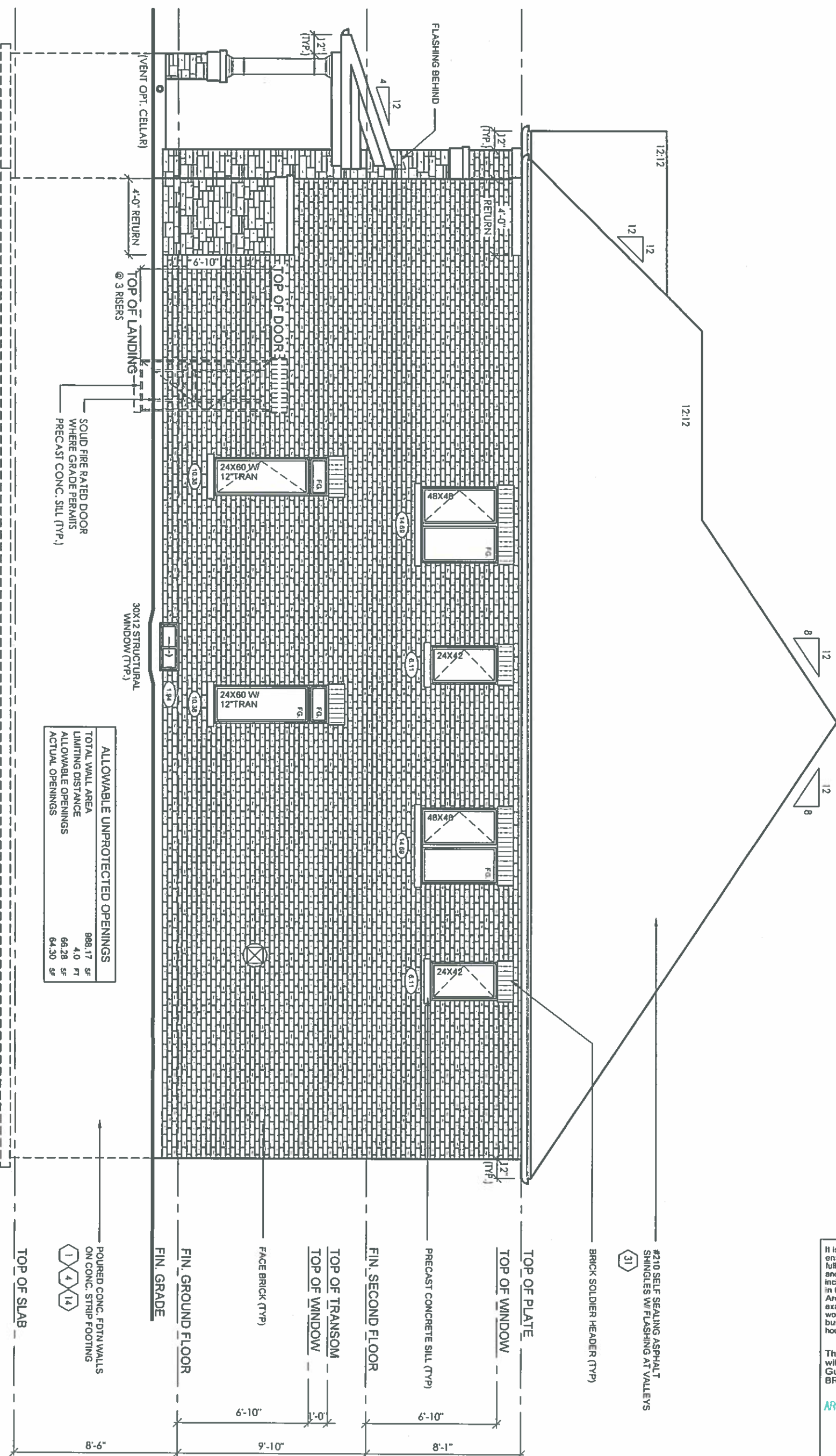
project #

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page

A5

RIGHT SIDE ELEVATION 'A'



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McLaughlin and Mayfield

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page

A6

Architectural elevation drawing of a building facade. The drawing includes the following elements and labels:

- Roof:** Gabled roof with a pitch of 12/12. Labels include "ROOF FOR ELEV. 'B'", "#210 SELF SEALING ASPHALT SHINGLES W/ FLASHING AT VALLEYS", and "OPT. 100' HIGH TRAY CEILING".
- Windows:**
 - Top left: "96X60 W/ 12' TRAN" (labeled "FG")
 - Top right: "60X42" (labeled "FG")
 - Middle left: "8' SLIDER" (labeled "FG")
 - Middle right: "90X48" (labeled "FG")
 - Bottom left: "48X36 W/ 12' TRAN" (labeled "FG")
- Structural Details:**
 - "30X12 STRUCTURAL WINDOW (TYP.)" (labeled "FG")
 - "30X12 STRUCTURAL WINDOW (TYP.)" (labeled "FG")
 - "4' PRECAST CONC. SILL (TYP.)"
 - "BRICK SOLDIER COURSE HEADER (TYP.)"
 - "FACE BRICK (TYP.)"
 - "FIN. SECOND FLOOR"
 - "FIN. GROUND FLOOR"
 - "FIN. GRADE"
 - "POURED CONC. SILL"
 - "PRECAST CONC. STEP"
- Dimensions:**
 - Overall width: "8'-6"
 - Overall height: "9'-10"
 - Window height: "6'-10"
 - Door height: "6'-10"
 - Sliding door width: "8'-1"
 - Transom width: "9'-10"
 - Sliding door width: "8'-1"
 - Sliding door height: "6'-10"
 - Sliding door width: "8'-1"
 - Sliding door height: "6'-10"
 - Sliding door width: "8'-1"
 - Sliding door height: "6'-10"
 - Sliding door width: "8'-1"
 - Sliding door height: "6'-10"
- Other Labels:**
 - "TOP OF PLATE"
 - "TOP OF WINDOW"
 - "TOP OF TRANSOM"
 - "TOP OF DOOR / WINDOW"
 - "TOP OF SLAB"
 - "31"
 - "42"

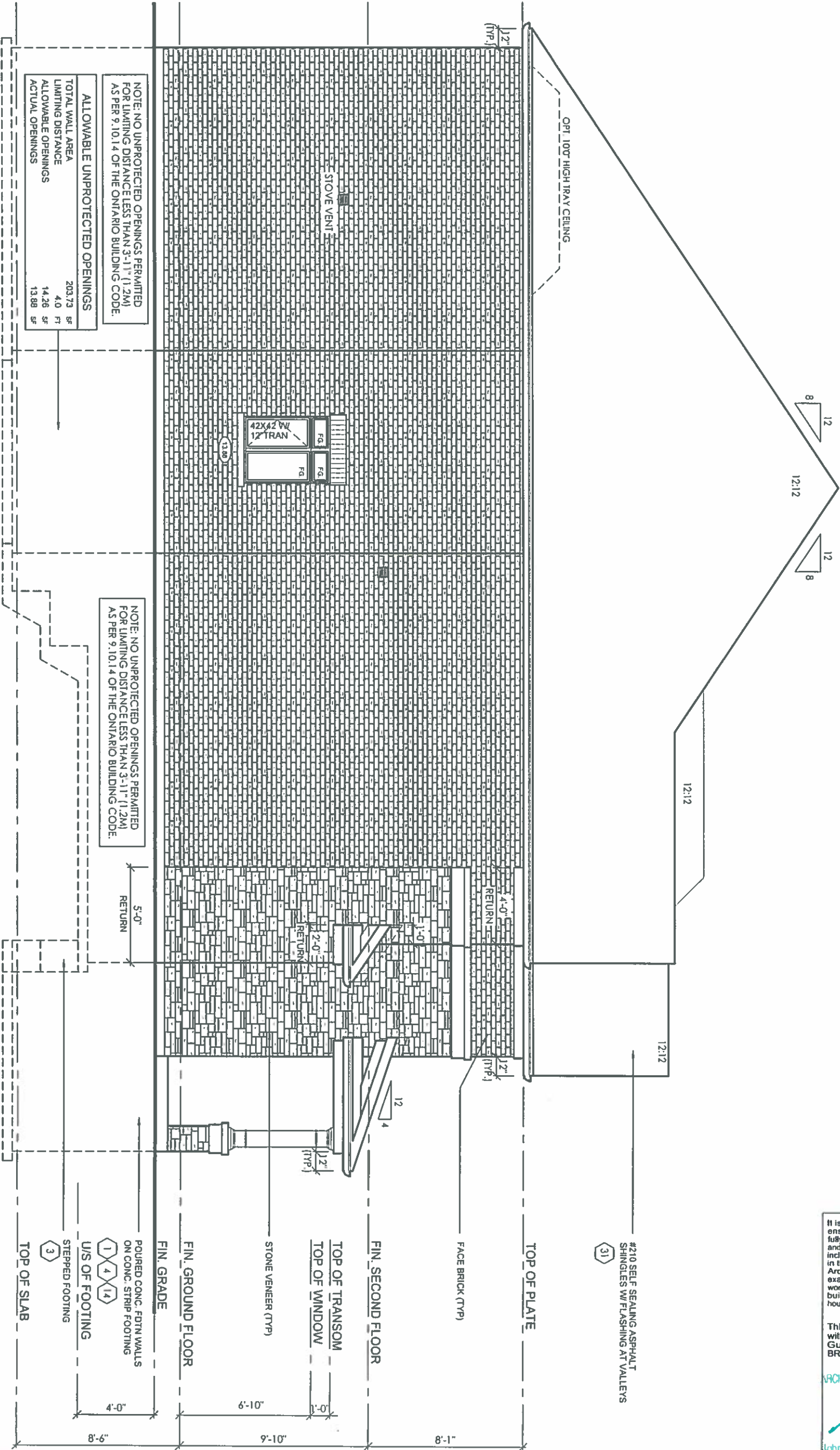
A7

LEFT SIDE ELEVATION 'A'

ALLOWABLE UNPROTECTED OPENINGS			
TOTAL WALL AREA	203.73	SF	
LIMITING DISTANCE	4.0	FT	
ALLOWABLE OPENINGS	14.26	SF	
ACTUAL OPENINGS	13.88	SF	

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model
41-4

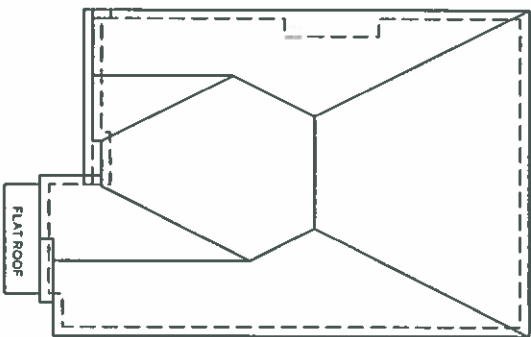
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page

A8

ROOF PLAN 'B'



ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR PASS OVER TRUSSES ARE TO BE 2X4" SPF @ 24" o.c. WITH A 2X4" SPF VERTICAL POST TO THE TRUSS UNDER. AT EACH ROOF POINT, POSTS LONGER THAN 6' TO BE Laterally Braced so that the distance between end points & between rows of bracing does not exceed 6'.

REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT.

PEAK HEIGHT OF ROOF

34'-5"

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#210 SELF SEALING ASPHALT SHINGLES W/ FLASHING AT VALLEYS

31

8" X 16" PRECAST STONE DETAIL

MID HEIGHT OF ROOF

26'-2"

TOP OF STONE DETAIL

CATHEDRAL CEILING @ 8'-12"

60" X 30" DIA. ARCH TRANSOM W/ 8" SELF SUPPORTING PRECAST PROFILED ARCH HEADER W/ CENTER KEYSTONE

10'X8" STONE IMPOST W/ 4" PRECAST CONC. SILL (TYP.)

TOP OF PLATE

18" PRE-FINISHED ALUMINUM RAILING

8" SELF SUPPORTING PRECAST PROFILED ARCH HEADER W/ CENTER KEYSTONE W/ 4" PRECAST CONC. SILL (TYP.)

FIN. SECOND FLOOR

TOP OF TRANSOM

TOP OF DOOR

TOP OF BAND

4" X 8" CONT. PRECAST CONC. BAND

8" PRECAST PROFILED HEADER W/ CENTER KEYSTONE W/ 8" PRECAST PROFILED RETURNS

FIN. GROUND FLOOR

8" POURED CONC. FDN. WALLS ON 19" X 8" CONC. STRIP FOOTING (TYP.)

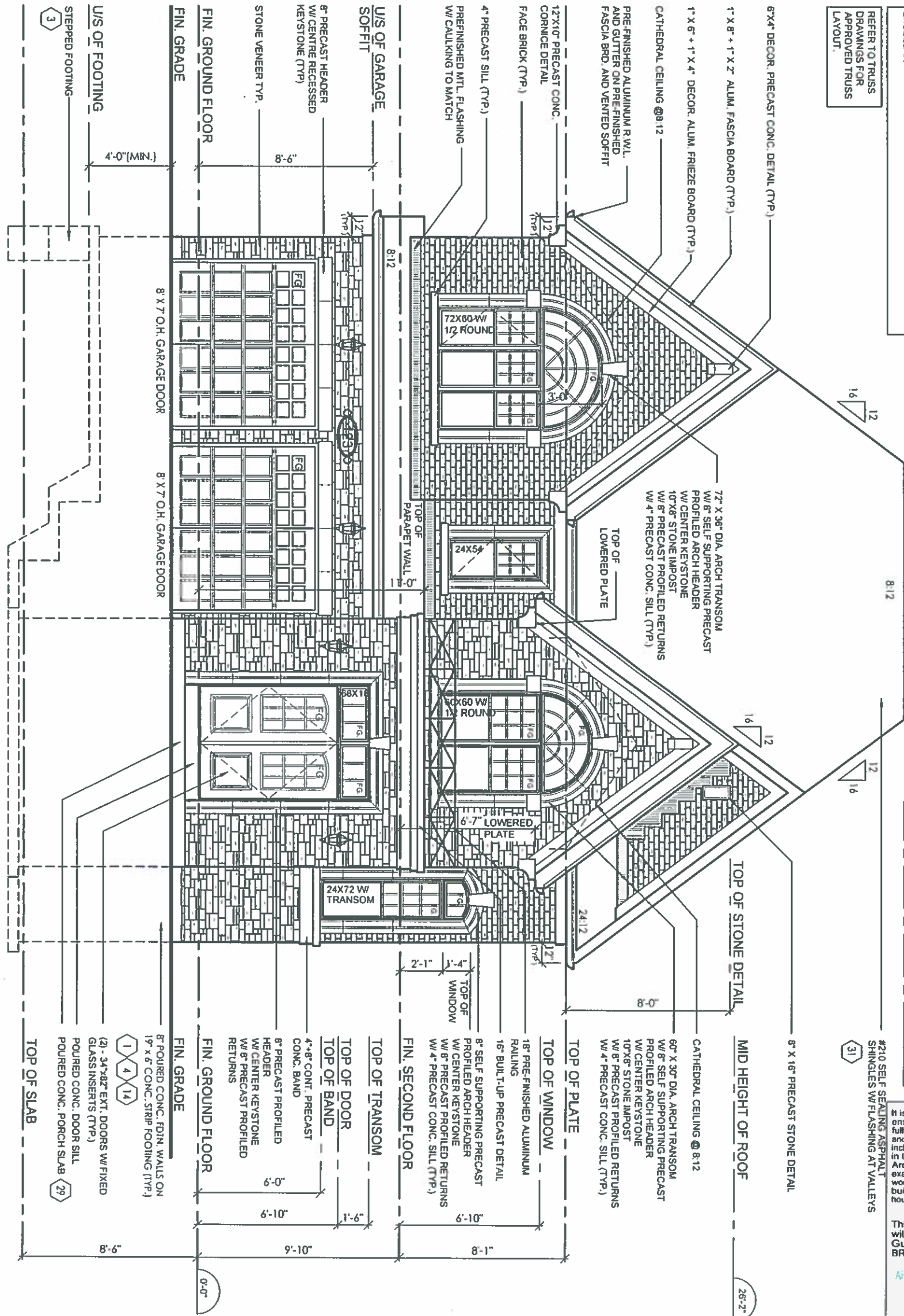
(2) - 34"X82" EXT. DOORS W/ FIXED GLASS INSERTS (TYP.)

POURED CONC. DOOR SILL

POURED CONC. PORCH SLAB

TOP OF SLAB

FRONT ELEVATION 'B'



I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 19-Apr-17
SIGNATURE: [Signature]

client					location				
Gold Park Homes					Brampton				
project					marketing name				
McLaughlin and Mayfield					The Bach				
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW.	1/201	REM	RPA	5				
2	UED FOR PERMIT	126/2016	hz	jp	6				
3	D AS PER ENG. COMMENTS & UED FOR PERMIT	19 Apr	7	MM	7				
4					8				

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model 41-4
scale 3/16" = 1'0"
project # 13098

page

A9

[illegible]

John G. Williams Limited, Architect

A10

LEFT SIDE ELEVATION 'B'

ALLOWABLE UNPROTECTED OPENINGS	
TOTAL WALL AREA	203.73 SF
LIMITING DISTANCE	4.0 FT
ALLOWABLE OPENINGS	14.26 SF
ACTUAL OPENINGS	13.88 SF

NOTE: NO UNPROTECTED OPENINGS PERMITTED FOR LIMITING DISTANCE LESS THAN 3'-1 1/2" (1.2M) AS PER 9.10.1.4 OF THE ONTARIO BUILDING CODE.

NOTE: NO UNPROTECTED OPENINGS PERMITTED FOR LIMITING DISTANCE LESS THAN 3'-1 1/2" (1.2M) AS PER 9.10.1.4 OF THE ONTARIO BUILDING CODE.

5'-0" RETURN

FIN. GROUND FLOOR
FIN. GRADE
POURED CONC. FDTN WALLS ON CONC. STRIP FOOTING
U/S OF FOOTING
STEPPED FOOTING
TOP OF SLAB

4'-0" (MIN.)
8'-6"

42X42 VW
12" TRAN
FG
FG
13.88

FACE BRICK (TYP)
FIN. SECOND FLOOR
TOP OF TRANSOM
TOP OF WINDOW
STONE VENEER (TYP)
6'-10"
1'-0"
9'-10"

OPT. 100" HIGH TRAY CEILING
12" (TYP.)

4'-0" (RETURN)
12" (TYP.)

TOP OF PLATE

#210 SELF SEALING ASPHALT SHINGLES W/ FLASHING AT VALLEYS
16:12
16:12

8 12
16:12
8 12

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW & APPROVAL
MAY 10 2017
John G. Williams Limited, Architect

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 19-Apr-17
SIGNATURE: J.P.

client					location						
Gold Park Homes					Brampton						
project					marketing name						
McLaughlin and Mayfield					The Bach						
#	revisions		date	dwn	chk	#	revisions		date	dwn	chk
1	ISSUED FOR CLIENT REVIEW.		30/01/2015	REM	RPA	5					
2	ISSUED FOR PERMIT		1/26/2016	hz	JP	6					
3	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT		19-Apr-17	MM	JP	7					
4						8					

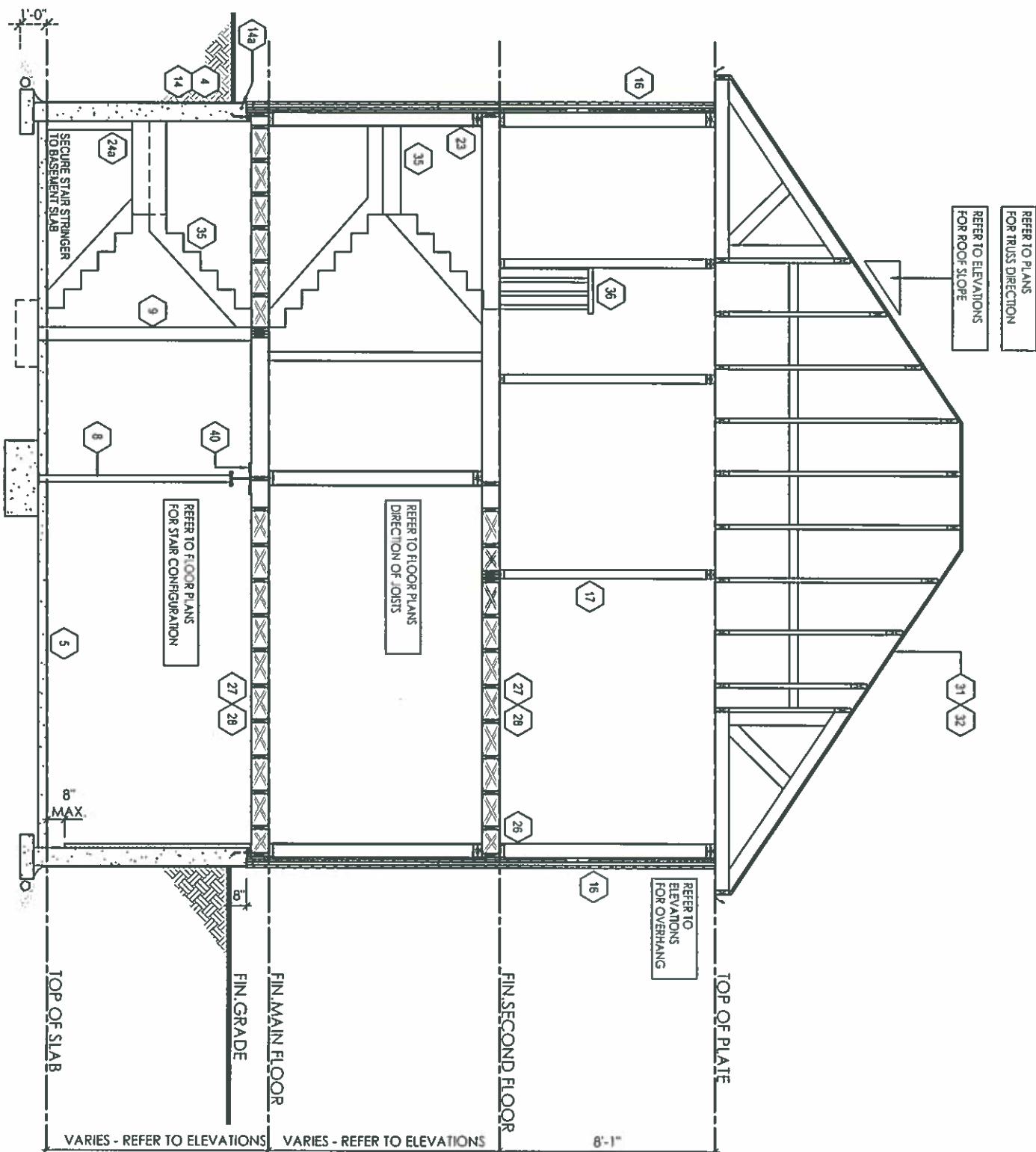
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model
41-4
scale
3/16" = 1'0"
project #
13098

page
A11

TYPICAL CROSS SECTION
SCALE: N.T.S.



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QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 19-Apr-17
SIGNATURE: *[Signature]*

client
Gold Park Homes

project
McLaughlin and Mayfield

location
Brampton

marketing name
The Bach

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW.	30/01/2015	REM	RPA	5				
2	ISSUED FOR PERMIT	1/26/2016	hz	JP	6				
3	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT	19-Apr-17	MM	JP	7				
4					8				

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model
41-4

scale
3/16" = 1'0"

project #
13098

page

A12

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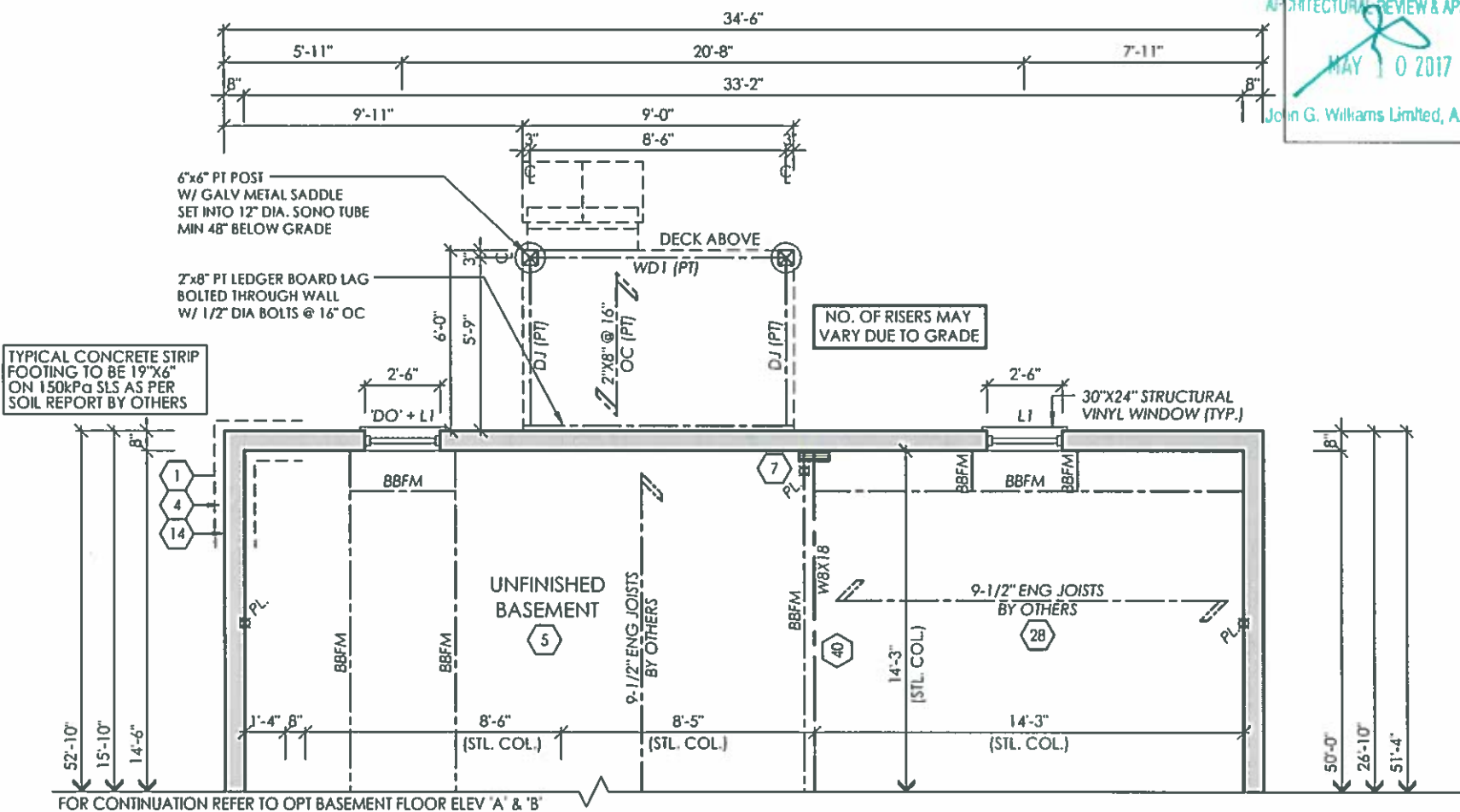
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

ARCHITECTURAL REVIEW & APPROVAL

MAY 10 2017

John G. Williams Limited, Architect

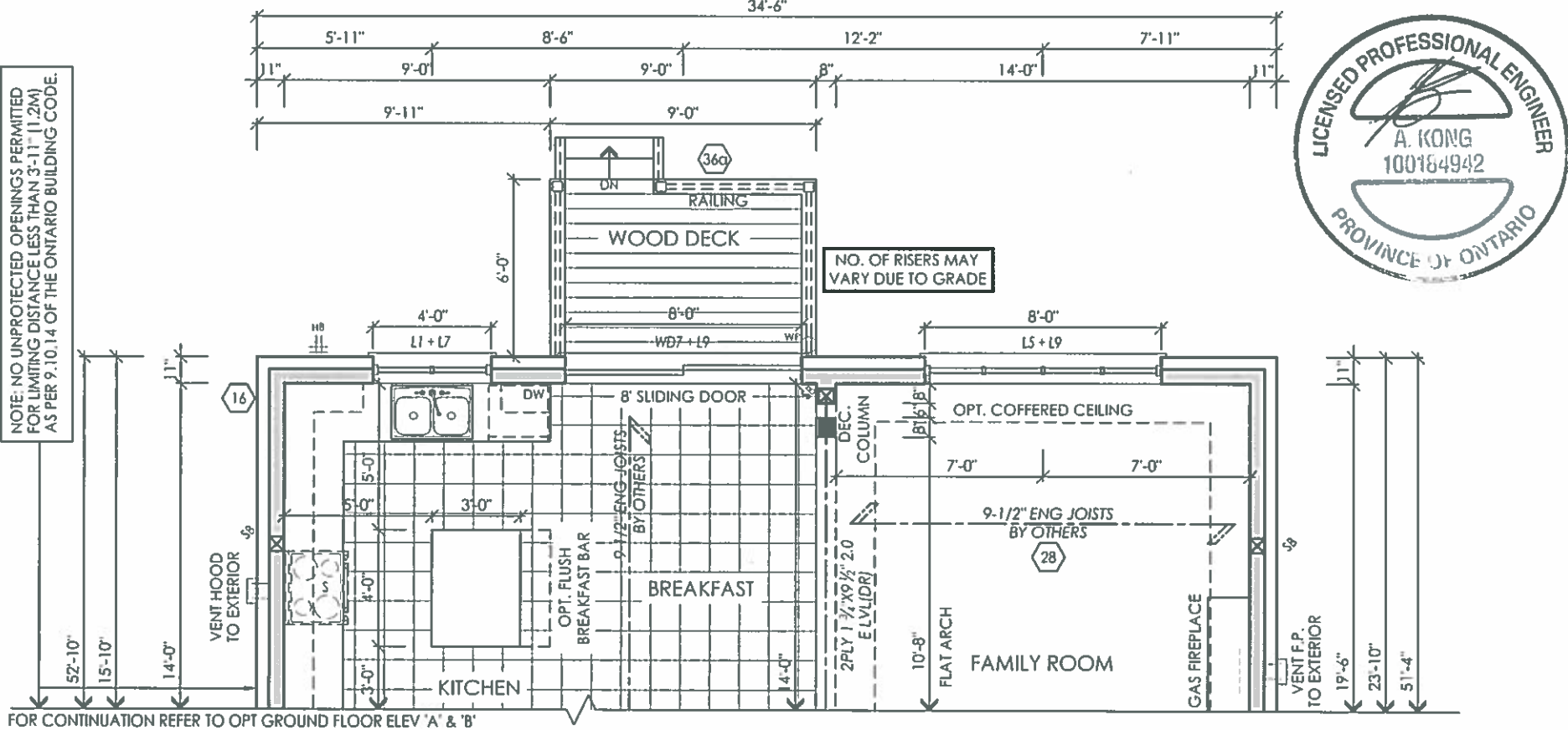
PARTIAL BASEMENT FLOOR PLAN ELEV. 'A' & 'B'
WOD CONDITION



MAY 04 2017

PARTIAL GROUND FLOOR PLAN ELEV. 'A' & 'B'
WOD CONDITION

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS



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QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 19-Apr-17

SIGNATURE:

client
Gold Park Homes

project
McLaughlin and Mayfield

location
Brampton

marketing name
The Bach

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	04-MAY-16	sm	jm					
2	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	19-APR-17	AMA	JP					

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model
41-4

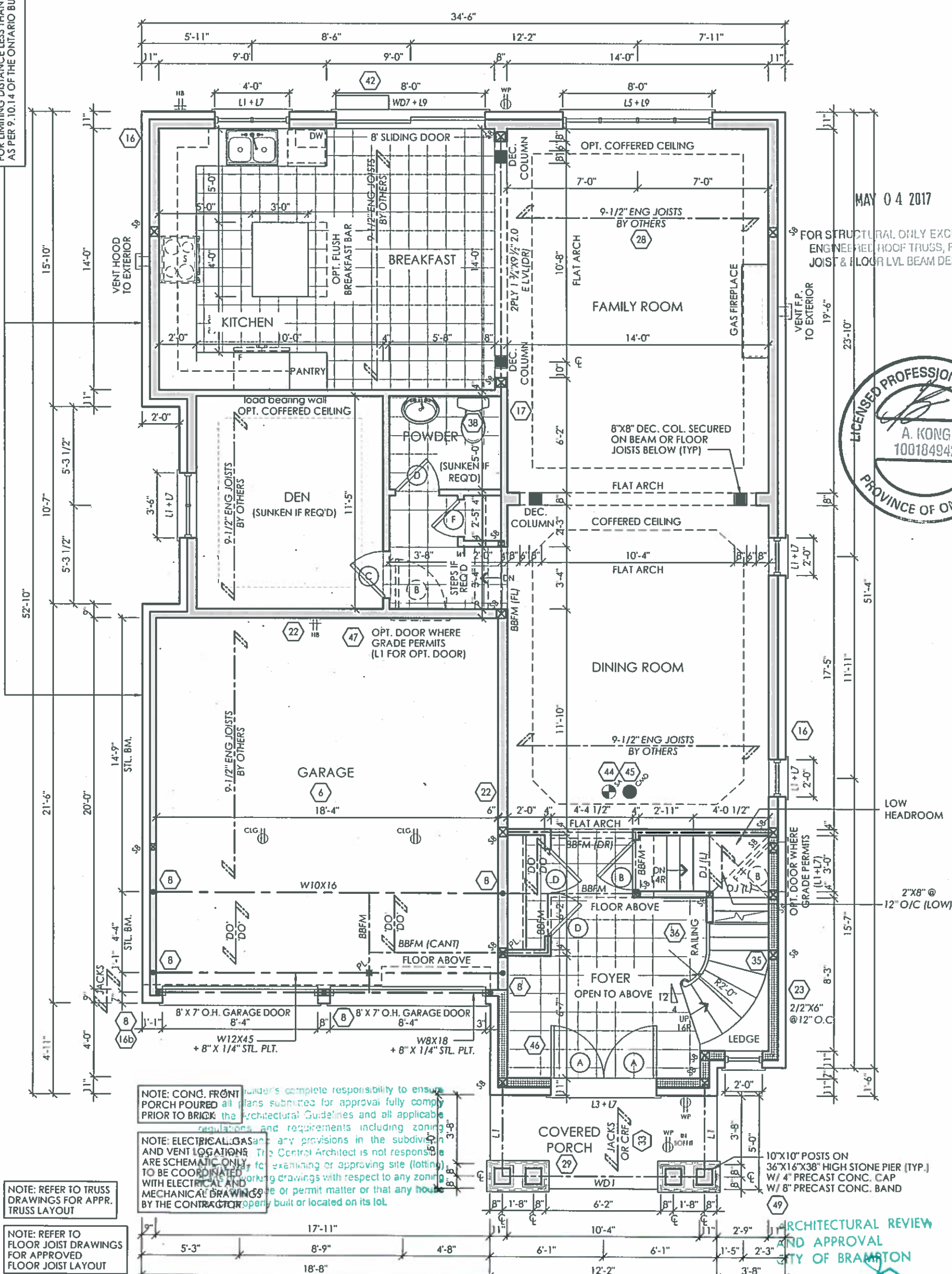
scale
3/16" = 1'0"

project #
13098

page

A13

NOTE: NO UNPROTECTED OPENINGS PERMITTED FOR LIMITING DISTANCE LESS THAN 3'-11" (1.2M) AS PER 9.10.14 OF THE ONTARIO BUILDING CODE.



GROUND FLOOR PLAN ELEV. 'A' - (LOT 99)

MAY 04 2017

FOR STRUCTURAL ONLY EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST & FLOOR LVL BEAM DESIGNS



ARCHITECTURAL REVIEW AND APPROVAL
CITY OF BRAMPTON

Signed... MAY 10 2017
Date...
JOHN G. WILLIAMS LIMITED, ARCHITECT

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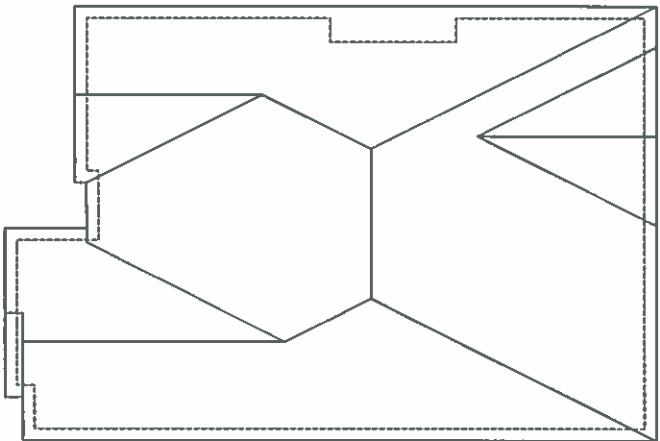
QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 1.1.17
SIGNATURE:

client				location			
Gold Park Homes				Brampton			
project				marketing name			
McLaughlin and Mayfield				The Bach			
#	revisions	date	dwn	chk	#	revisions	date
1	ISSUED FOR CLIENT REVIEW	16-5-16	jm	jp			
2	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	19-APR-17	AAA	JP			

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model 41-4
scale 3/16" = 1'0"
project # 13098

page
A15

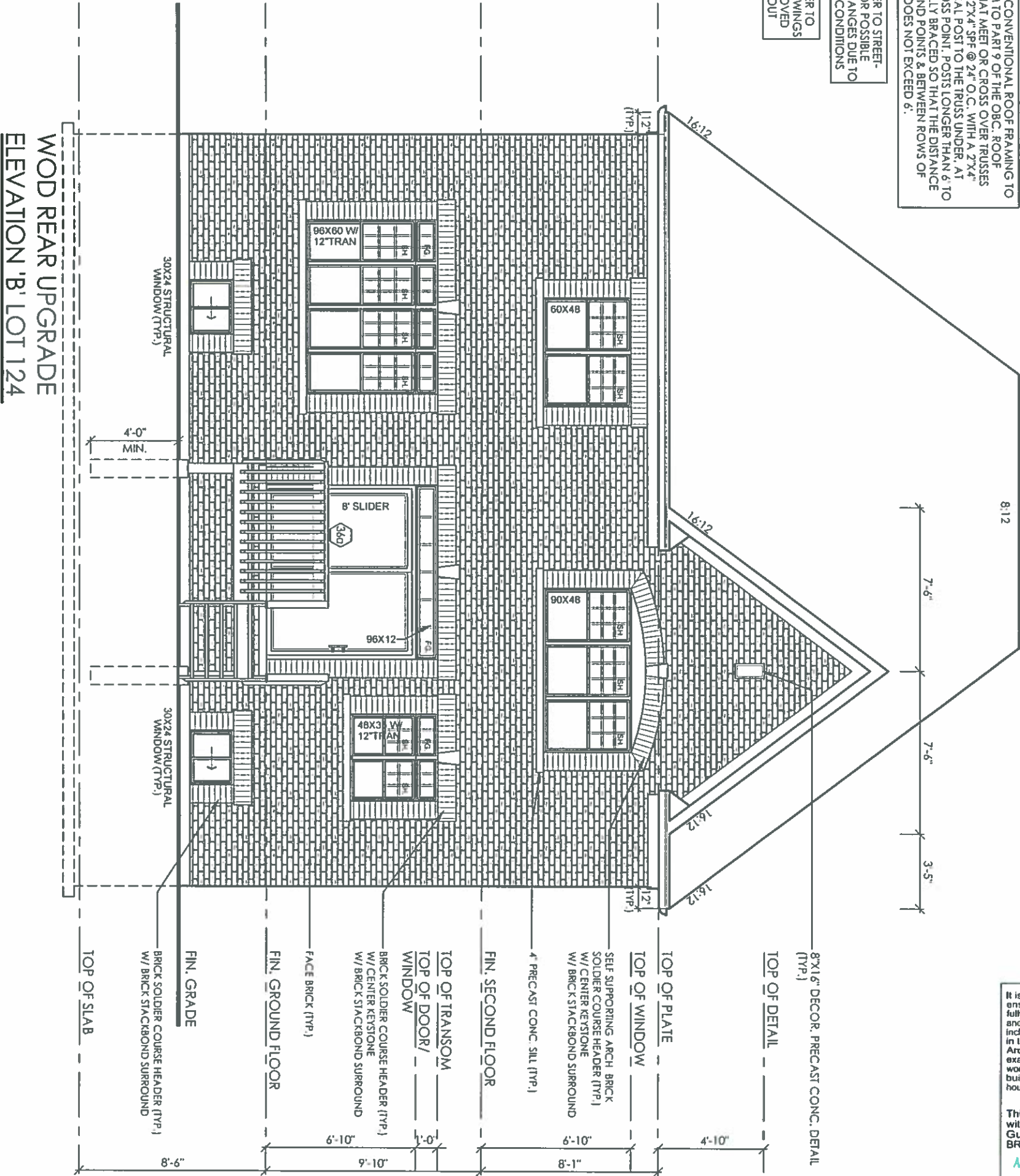


ROOF PLAN 'B'
WOD REAR UPGRADE

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER, AT EACH CROSS POINT. POSTS LONGER THAN 6' TO BE Laterally Braced so that the distance between end points & between rows of bracing does not exceed 6'.

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT



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ARCHITECTURAL REVIEW & APPROVAL

MAY 10 2017

John G. Williams Limited, Architect

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QUALIFIED DESIGNER BCIN:
FIRM BCIN:
DATE:

38688
26995

SIGNATURE:

client
Gold Park Homes

project
McLaughlin and Mayfield

location
Brampton

marketing name
The Bach

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	12-OCT-14	AD	JP					
2	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	19 APR 17	MM	JP					

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model
41-4

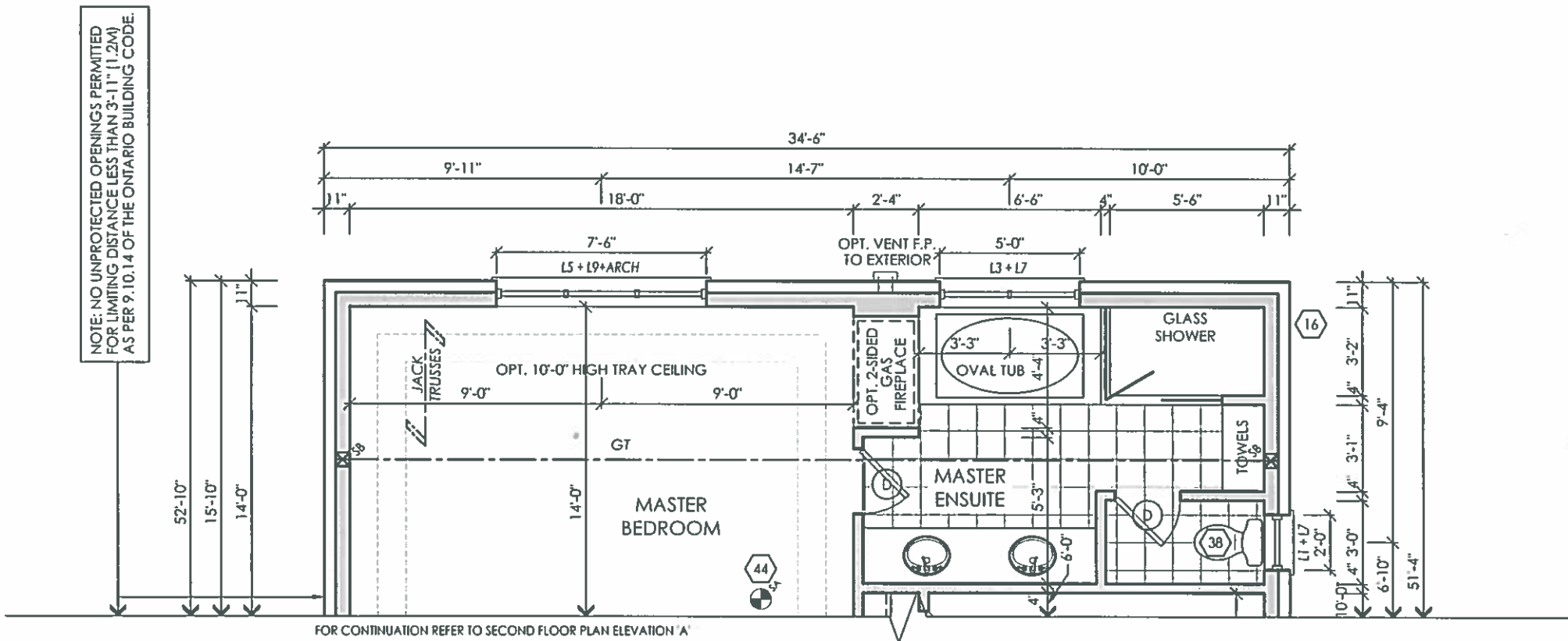
scale
3/16" = 1'0"

project #
13098

page

A16

PARTIAL SECOND FLOOR PLAN ELEV. 'B'
WOD CONDITION REAR UPGRADE LOT 124



MAY 04 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS



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ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF BRAMPTON

Signed _____
Dated... MAY 10 2017
JOHN G. WILLIAMS LIMITED, ARCHITECT

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QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: _____
SIGNATURE: _____

client					location				
Gold Park Homes					Brampton				
project					marketing name				
McLaughlin and Mayfield					The Bach				
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	12-OCT-16	AD	JP					
2	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	18-APR-17	AMM	JP					
								</	



model 41-4
scale 3/16" = 1'0"
project # 13098

page A17

- REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):
- O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
- FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
- ADD R15 (RSI 2.64) ABSORPTIVE MATERIAL WITH A MASS OF AT LEAST 2.8 kg/sq.m.
- REPLACE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.
- 17** **INTERIOR STUD WALLS:**
- O.B.C. T.9.23.10.1.
- 2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. OR
- 2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. W/
- DOUBLE 2" X 4" OR 2" X 6" TOP PLATES AND SINGLE BOTTOM PLATE
- 1/2" (12.7mm) GYPSUM BOARD BOTH SIDES.
- 18** **BEARING STUD WALL (BASEMENT):**
- 2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. OR
- 2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. W/
- DBL 2" X 4" OR 2" X 6" TOP PLATE.
- 2" X 4" OR 2" X 6" BOTTOM PLATE ON DAMPROOFING MATERIAL.
- 1/2" (12.7mm) GYPSUM BOARD BOTH SIDES.
- 1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C.
- FOOTING AS PER GENERAL NOTE #2 W/ 4" CONC. CURB
- 19** **PARTY WALL - BLOCK:**
- O.B.C. SB-3 WALL = B6e (STC = 57, FIRE = 2 HR)
- MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF FOOTINGS TO THE U/S OF ROOF DECK
- SPACE BETWEEN TOP OF WALL & ROOF DECK SHALL BE TIGHTLY FILLED W/ MINERAL WOOL OR NONCOMBUSTIBLE MATERIAL & CAULKED TO PREVENT SMOKE PASSAGE
- 1/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS BOTH SIDES
- 2" X 2" (38mmX 38mm) WOOD STRAPPING @ 24" (600mm) O.C. BOTH SIDES
- ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF 90% OF THE CAVITY.
- 7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE)
- STAGGER JOISTS & BEAMS MIN. 3 1/2" (90mm) @ PARTY WALLS AS PER O.B.C. 9.10.9.9.(1) & TABLE 2.1.1 SB-2
- ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)
- 19a** **PARTY WALL - BLOCK (AGAINST GARAGE):**
- O.B.C. SB-3 WALL = B5c (STC = 51, FIRE = 2 HR)
- MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS
- 1/2" (12.7mm) GYPSUM BOARD
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. - 9.25.3. & 9.25.4.
- 2" X 4" (38mmX 89mm) WOOD STRAPPING @ 16" (400mm) O.C.
- R20 (RSI 3.52) RIGID INSULATION
- 7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE)
- 1/2" (12.7mm) GYPSUM BOARD @ WALL & U/S OF CEILING BETWEEN HOUSE AND GARAGE
- TAPE AND SEAL ALL JOINTS GAS TIGHT
- REQ. INSULATION VALUES:
- INSULATION VALUES PROVIDED BY CAN/CSA-F280-M90
- | | |
|-----------------------------|---------|
| -RIGID INSULATION | = 20.00 |
| -LOW DENSITY CONCRETE BLOCK | = 1.70 |
| -WOOD FRAME W/ GYPSUM | = 2.72 |
| -AIR FILM - MOVING | = 0.68 |
| -AIR FILM - STILL | = 0.17 |
| TOTAL "R" VALUE | = 25.27 |
- 19b** **FIREWALL:**
- O.B.C. 9.10.11. & 3.1.10. & SB-3 WALL = B6e (STC = 57, FIRE = 2 HR)
- ONE FIREWALL IS REQUIRED FOR EVERY 6460 S.F. (600 SQ.M) OF BUILDING AREA. O.B.C. T.3.2.2.47.
- 1/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS
- 2" X 2" (38mmX 38mm) WOOD STRAPPING @ 24" (600mm) O.C. ON BOTH SIDES OF WALL
- SOUND ABSORPTIVE MATERIAL EACH SIDE FILLING 90% OF THE CAVITY
- 7 1/2" (190mm) CONC. BLOCK, MIN. 2 HR. FIRE-RESISTANT RATING
- EVERY FIREWALL SHALL BE CONTINUOUS THROUGH ALL BUILDING STOREYS
- STAGGER JOISTS & BEAMS MIN. 5" (130mm) @ FIRE WALLS AS PER O.B.C. 9.10.9.9.(1) & TABLE 2.1.1 SB-2
- ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)
- PROTRUDE PAST FASCIA @ EAVES W/ BRICK CORBELLING
- EXTEND 5 7/8" (150mm) ABOVE ROOF SURFACES & HAVE ALUMINUM CAP W/ THROUGH WALL FLASHING PER O.B.C. 3.1.10.4.(1)
- WHERE THE DIFFERENCE IN HEIGHT BETWEEN ADJACENT ROOFS IS GREATER THAN 9'10" (3m), WALL NEED NOT EXTEND PAST UPPER ROOF SURFACE PER O.B.C. 3.1.10.4.(2)
- 20** **PARTY WALL - FOUNDATION:**
- O.B.C. 9.15.4.2.
- 7 7/8" (200mm) SOLID CONC. FOUNDATION WALL @ 2200psi (15MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS
- FOUNDATION WALL TO REST ON FOOTING PER GENERAL NOTE #2
- 21** **PARTY WALL - WOOD STUD:**
- O.B.C. SB-3 WALL = W13a (STC = 57, FIRE = 1 HR)
- MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF FOOTINGS TO THE U/S OF ROOF DECK
- 2 ROWS 2"x4"(38mmX 89mm) STUDS @ 16"(400mm) O.C. W/ SEPARATE 2" X 4" (38mmX 89mm) BOTTOM PLATE & SEPARATE DOUBLE 2" X 4" (38mmX 89mm) TOP PLATES
- SOUND ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF 90% OF THE CAVITY.
- 5/8" (16mm) TYPE 'X' GYPSUM BOARD BOTH SIDES W/ JOINTS TAPED & FILLED.
- ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)
- NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. 1.9.23.10.1. =
- FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
- FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
- 22** **GARAGE WALL & CEILING:**
- O.B.C. 9.10.9.16.(3)
- 1/2" (12.7mm) GYPSUM BOARD ON BOTH SIDES OF WALL & U/S OF CEILING BETWEEN HOUSE AND GARAGE
- TAPE AND SEAL ALL JOINTS GAS TIGHT
- R22 (RSI 3.87) INSULATION IN WALLS.
- R31 (RSI 5.41) INSULATION IN CEILINGS W/ FLOOR ABOVE
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. - 9.25.3. & 9.25.4., FOR FLOOR ABOVE.
- INSULATION AROUND DUCTS AND PIPING NOT TO ENCROACH MIN. REQUIRED GARAGE AREA (REFER TO MUNICIPAL STANDARDS).
- 1/2" (12.7mm) GYPSUM BOARD
- ROOF FRAMING MEMBERS ARE FASTENED TO TOP PLATES WITH 4 - 3 1/4" (82mm) TOE NAILS
- BOTTOM PLATES ARE FASTENED TO FLOOR JOISTS, BLOCKING OR RIM JOIST WITH 3 1/4" (82mm) NAILS AT 7 7/8" (200mm) O.C.
- 22a** **WALLS ADJACENT TO ATTIC SPACE:**
- 1/2" (12.7mm) GYPSUM BOARD
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. - 9.25.3. & 9.25.4.
- 2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C.
- R22 (RSI 3.87) INSULATION
- 1/2" (12.7mm) GYPSUM BOARD OR 1/4" (6mm) PLYWOOD SHEATHING ON ATTIC SIDE.
- ATTIC ACCESS TO BE PROVIDED AS PER O.B.C. 9.19.2.1.
- 23** **DOUBLE VOLUME WALLS:**
- O.B.C. 9.23.10.1.
- 3/8" (9.5mm) PLYWOOD, OSB OR WATERBOARD SHEATHING
- REFER TO PLAN FOR STUD SPECIFICATION
- STUDS FASTENED AT TOP & BOTTOM WITH 3/ 3-1/4" (82mm) TOE NAILS
- DOUBLE TOP PLATES FASTENED TOGETHER WITH 3" (76mm) AT 7 7/8" (200mm) O.C.
- SOLID BRIDGING AT 3'-11" (1200mm) O.C.
- MIN. R22 (RSI 3.87) INSULATION (ZONE 1 OBC SB-12 T.3.1.1.2.A.)
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C. 9.25.3. & 9.25.9.

- 24** **EXPOSED FLOOR:**
- FLOOR AS PER NOTE # 28
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. - 9.25.3. & 9.25.4.
- R31 (RSI 5.46) INSULATION
- VENTED ALUMINUM SOFFIT
- 24a** **SUNKEN FINISHED AREAS:**
- USE SOLID BUILT-UP WOOD BEARING POST TO SUPPORT SUNKEN AREA AT FOUNDATION WALLS. EXTEND FOOTINGS TO SUPPORT POSTS.
- WHERE GRADING CONDITIONS WILL ALLOW, CHECK FOUNDATION WALLS INSTEAD OF USING BEARING POSTS.
- FLOOR STRUCTURE AS PER NOTE # 28.
- 25** **DOUBLE MASONRY WYTHE WALL:**
- O.B.C. 9.20.8.2.
- 3 1/2" MASONRY VENEER ON 2" MORTAR JOINT ON 3 1/2" MASONRY VENEER
- WYTHES TO BE TIED W/ METAL TIES INSTALLED AS PER O.B.C. 9.20.9.4.
- SILL PLATE REQUIRED FOR ROOF AND CEILING FRAMING MEMBERS
- 6" SILL W/ 2" BEARING ON EACH SIDE & ANCHOR BOLTS @ 4'-0" O.C.
- NOTE: MASONRY TO BE SOLID & MORTAR JOINT FILLED SOLID FOR FLOOR JOISTS BEARING ON WYTHES. FLOOR JOISTS ARE NOT TO PROJECT INTO CAVITY AREA.
- 25a** **CORBEL MASONRY VENEER:**
- MAY 04 2017
- MASONRY VENEER TO BE CORBELLED AS PER O.B.C. 9.20.12.3.(1)
- FLOOR ASSEMBLIES:**
- FOR STRUCTURAL ONLY EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST & FLOOR LVL BEAM DESIGNS
- 26** **SILL PLATE:**
- O.B.C. 9.23.7.
- 2" X 4" (38mm X 89mm) PLATE
- 1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C. FASTENED TO PLATE W/ NUTS AND WASHERS & SHALL BE EMBEDDED NOT LESS THAN 4" (100mm) INTO FOUNDATION WALL.
- SILL PLATE TO BE CAULKED, OR PLACED ON A LAYER NOT LESS THAN 1" (25mm) THICK BEFORE COMpressing, OR FOAM GASKET, OR PLACED ON FULL BED OF MORTAR.
- 27** **BRIDGING & STRAPPING:**
- O.B.C. 9.23.9.4.
- a) STRAPPING
- 1" X 3" (19mmX 64mm) NAILED TO U/S OF JOISTS @ MAX. 6'-11" (2100mm) O.C.
- FASTENED TO SILL OR HEADER @ ENDS
- b) BRIDGING
- 1" X 3" (19mmX 64mm) OR 2" X 2" (38mmX 38mm) CROSS BRIDGING @ MAX. 6'-11" (2100mm) O.C.
- c) BRIDGING & STRAPPING
- a) & b) USED TOGETHER OR
- 1 1/2" (38mm) SOLID BLOCKING @ MAX. 6'-11" (2100mm) O.C. USED WITH STRAPPING (a)
- d) FURRING OR PANEL TYPE CEILING
- STRAPPING NOT REQUIRED IF FURRING STRIPS OR PANEL TYPE CEILING FINISH IS ATTACHED DIRECTLY TO JOISTS.
- 28** **FLOOR ASSEMBLY:**
- O.B.C. 9.23.14.3, 9.23.14.4
- 5/8" (15.9mm) WAFFERBOARD (R-1 GRADE) OR EQUIVALENT
- FLOOR JOISTS AS PER FLOOR PLANS
- 29** **PORCH SLAB:**
- O.B.C. 9.39.1.4.
- 4 7/8" (125mm) 4650 psi (32 MPa) CONC. SLAB WITH 5 TO 8% AIR ENTRAINMENT
- REINFORCE WITH 10M BARS @ 7 7/8" (200mm) EACH WAY
- 1 1/4" (30mm) CLEAR COVER FROM THE BOTTOM OF THE SLAB
- 3" (75mm) END BEARING ON FOUNDATION WALL
- 23 5/8" (600mm) X 23 5/8" (600mm) 10M DOWELS @ 23 5/8" (600mm) O.C.
- IF A COLD CELLAR IS LOCATED BELOW THE SLAB, SUPPORT ON FOUNDATION WALLS NOT TO EXCEED 8'-2"
- 30** **EXTERIOR BALCONY ASSEMBLY:**
- 1 1/4" X 3 1/2" PRESSURE TREATED DECKING W/ 1/4" SPACING
- 2"x4" WOOD PURLINS (CUT DIAGONALLY) @ 12" O.C. LAYING UNFASTENED ON SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT ON 5/8" (15.9mm) EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x4" WOOD PURLINS (CUT DIAGONALLY) @ 12" O.C. DIRECTLY ON 2"x8" ROOF JOISTS @ 12" O.C. (OR AS NOTED ON PLAN)
- EXTERIOR GUARD AS PER #36a
- SLOPE ASSEMBLY MINIMUM 2% TO ROOF SCUPPER
- REQUIRED FOR OVER HEATED SPACES:
- ADD 2"x2" (38mm x 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR VENTILATION OVER JOISTS [OBC 9.19.1.2. VENTING NOT LESS THAN 1/150 OF CEILING AREA]
- ADD R31 (RSI 5.46) INSULATION BETWEEN JOISTS
- ADD CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
- ADD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR
- ADD 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. -T.9.29.5.3.)
- 30a** **EXTERIOR FLAT ROOF ASSEMBLY:**
- SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- 1/4" EXTERIOR GRADE WOOD PANEL TYPE UNDERLAY TAPERED PURLINS SLOPED MIN. 2% TO ROOF SCUPPER.
- 3/8" EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x8" ROOF JOISTS @ 12" O.C. (OR AS NOTED ON PLAN)
- REQUIRED FOR OVER HEATED SPACES:
- ADD 2"x2" (38mm x 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR VENTILATION OVER JOISTS [OBC 9.19.1.2. VENTING NOT LESS THAN 1/150 OF CEILING AREA]
- ADD R31 (RSI 5.46) INSULATION BETWEEN JOISTS
- ADD CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
- ADD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR
- ADD 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. T.9.29.5.3.)
- ROOF ASSEMBLIES**
- 31** **TYPICAL ROOF:**
- O.B.C. 9.26.
- NO. 210 (30. 5KG/m2) ASPHALT SHINGLES
- FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.
- EAVES PROTECTION LAID BENEATH STARTER STRIP.
- EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES.
- STARTER STRIP AS PER O.B.C. 9.26.7.2.
- STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)
- 3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS
- APPROVED WOOD TRUSSES @ 24" (600mm) O.C. (REFER TO MANUFACTURER'S LAYOUT)
- TRUSS BRACING AS PER TRUSS MANUFACTURER
- EAVES TROUGH ON PREFINISHED FASCIA AND VENTED SOFFIT (VINYL OR ALUMINUM)
- ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH, 50% AT SOFFIT.
- 32** **CEILING:**
- R60 (RSI 10.56) INSULATION
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
- 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR
- 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. T.9.29.5.3.)
- 32a** **VAULTED OR CATHEDRAL CEILING:**
- O.B.C. 9.26. & TABLE A4
- NO. 210 (30. 5KG/m2) ASPHALT SHINGLES
- FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.
- EAVES PROTECTION LAID BENEATH STARTER STRIP.
- EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES OR WHERE ROOF SLOPES ARE 8:12 OR GREATER PER O.B.C. 9.26.5.1.
- STARTER STRIP AS PER O.B.C. 9.26.7.2.
- STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)
- 3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS.

-2"x8" (38mm x 184mm) @ 16" O.C. W/ 2"x2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 13'-3" (4050mm) OR

-2"x10" (38mm x 235mm) @ 16" O.C. W/ 2"x2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 17'-0" (5180mm)

-R31 (RSI 5.46) INSULATION

-MIN. 3" CLEARANCE FROM U/S OF ROOF SHEATHING TO INSULATION

-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C. 9.25.3. & 9.25.4.

-1/2" (12.7mm) GYPSUM BOARD

33 **CONVENTIONAL FRAMING:**

O.B.C. TABLE A6 OR A7

-2" X 6" (38mm X 140mm) RAFTERS @ 16" (400mm) O.C. MAX. SPAN 12'-9" (3890mm)

-2"x4" (38mm X 89mm) COLLAR TIES AT MIDSPANS

CEILING JOISTS TO BE 2" X 6" (38mmX 140mm) @ 16" (400mm) O.C. UNLESS OTHERWISE NOTED.

-HIP & VALLEY RAFTERS TO BE MIN. 2" (50mm) LARGER THAN COMMON RAFTERS & MIN. 1 1/2" (38mm) THICK.

34 **ATTIC ACCESS HATCH:**

OBC 9.19.2.1. & SB-12 3.1.1.B.(1)

-19 3/4" X 27 1/2" (500mm X 700mm) ATTIC HATCH WITH WEATHERSTRIPPING & BACKED W/ R20 (RSI 3.52) INSULATION

GENERAL:

35 **PRIVATE STAIRS:**

O.B.C. 9.8.4.

-MAX. RISE	= 7-7/8"	(200mm)
-MIN. RUN	= 8-1/4"	(210mm)
-MIN. TREAD	= 9-1/4"	(235mm)
-MAX. NOSING	= 1"	(25mm)
-MIN. HEADROOM	= 6'-5"	(1950mm)
-MIN. WIDTH	= 2'-10"	(860mm)
(BETWEEN WALL FACES)		
-MIN. WIDTH	= 2'-11"	(900mm)
(EXIT STAIRS, BETWEEN GUARDS)		

ANGLED TREADS:

-MIN. RUN	= 5 7/8"	(150mm)
-MIN. AVG. RUN	= 7 7/8"	(200mm)

-FINISHED RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS

-EXTERIOR CONC. STEPS TO HAVE MIN. 9 1/4" (235mm) TREAD & MAX. 7 7/8" (200mm) RISE

-FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2

-FIG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE

HANDRAILS:

O.B.C. 9.8.7

-ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm)

-TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3'-7" (1100mm)

-ONE HANDRAIL IS REQUIRED ON CURVED STAIRS OF ANY WIDTH WITHIN DWELLING UNITS

-HANDRAILS ARE TO BE CONTINUOUS EXCEPT WHERE INTERRUPTED BY DOORWAYS, LANDINGS OR POSTS AT CHANGES IN DIRECTION

HEIGHT:

O.B.C. 9.8.7.4

-2'-10" (865mm) MIN. TO 3'-2" (965mm) MAX.

-3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS

-MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

PROJECTIONS:

O.B.C. 9.8.7.6

-HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED WIDTH OF THE STAIR

35a **PUBLIC STAIRS:**

O.B.C. 9.8.4.

-MAX. RISE	= 7-3/32"	(180mm)
-MIN. RUN	= 11"	(280mm)
-MIN. TREAD	= 11"	(280mm)
-MAX. NOSING	= 1"	(25mm)
-MIN. HEADROOM	= 6'-9"	(2050mm)
-MIN. WIDTH	= 2'-11"	(900mm)
(EXIT STAIRS, BETWEEN GUARDS)		

-FINISHED RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS

-FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2

-FIG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE

HANDRAILS:

O.B.C. 9.8.7

-ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm)

-TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3'-7" (1100mm)

-TWO HANDRAILS ARE REQUIRED ON CURVED STAIRS OF ANY WIDTH

-HANDRAILS ARE TO BE CONTINUOUS INCLUDING AT LANDINGS EXCEPT WHERE INTERRUPTED BY DOORWAYS OR NEWEL POSTS AT CHANGES IN DIRECTION

HEIGHT:

O.B.C. 9.8.7.4

-2'-10" (865mm) MIN. TO 3'-2" (965mm) MAX.

-3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS

-MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

PROJECTIONS:

O.B.C. 9.8.7.6

-HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED WIDTH OF THE STAIR

TERMINATION:

O.B.C. 9.8.7.3

-ONE HAND RAIL SHALL EXTEND HORIZONTALLY NOT LESS THAN 11 3/4" (300mm) BEYOND THE TOP & BOTTOM OF EACH STAIR

FINISH:

O.B.C. 9.8.9.6

-TREADS ARE TO BE WEAR AND SLIP RESISTANT, SMOOTH, EVEN AND FREE FROM DEFECTS PER OBC 9.8.9.6.(4)

-STAIRS AND RAMPS SHALL HAVE A COLOUR CONTRAST OR DISTINCTIVE VISUAL PATTERN TO DEMARCAT E THE LEADING EDGE OF THE TREADS, LANDING AND THE BEGINNING AND END OF A RAMP.

36 **INTERIOR GUARDS:**

O.B.C. SB-7 & 9.8.8.3.

-GUARDS TO BE 3'-6" (1070mm) HIGH

-FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH

-INCLUDES WINDOWS OVER STAIRS, RAMPS AND LANDINGS

-PICKETS TO HAVE 4" (100mm) MAX. SPACING

-GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH

36a **EXTERIOR GUARDS:**

O.B.C. SB-7 & 9.8.8.3.

-GUARDS ARE REQUIRED WHEN WALKING SURFACE TO GRADE IS GREATER THAN 23 5/8" (600mm).

-GUARDS TO BE 3'-6" (1070mm)

-FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH

-FOR DWELLING UNITS GUARDS TO BE 3'-6" (1070mm) HIGH WHERE WALKING SURFACE IS MORE THAN 5'-11" (1800mm) ABOVE ADJACENT GRADE.

-PICKETS TO HAVE 4" (100mm) MAX. SPACING

-PROVIDE MID-SPAN POSTS AS PER SB-7.

-GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH

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◆ **CLIENT SPECIFIC REVISIONS**

File C:\R\ Standards\em\2017\03h_9452013090_41-41\041.dwg Plotted: May 03, 2017 By: Lauren O

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C.PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 19-Apr-17

SIGNATURE:

client

Gold Park Homes

project

Mclaughlin and Mayfield

location

Brampton

marketing name

The Bach

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW.	30/01/2015	REM	RPA	5				
2	ISSUED FOR PERMIT	1/26/2016	hz	jp	6				
3	REVISED AS PER OBC SB-12 2017 UPDATE	6-Apr-17	es	es	7				
4	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT	19-Apr-17	MM	JP	8				

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model
41-4

scale project #
3/16" = 1'0" 13098

page

D2

- 36b) **EXTERIOR GUARDS @ JULIET BALCONY:**
-FOR RAILING SPANNING MAXIMUM OF 6'-0".
-PROVIDE PREFIN. METAL RAILING W/ 76mm VERTICAL OPENING TO CONFORM WITH O.B.C. APPENDIX A-9.8.8.5.
-GUARDS TO BE 3'-6" (1070mm)
-FOR DWELLING UNITS GUARDS TO BE 2'-11" (900mm) WHERE FLOOR TO GRADE DIFFERENCE IS LESS THAN 5'-11" (1800mm) AS PER O.B.C. 9.8.8.2. OR
-FOR DWELLING UNITS GUARDS TO BE 3'-6" WHERE FLOOR TO GRADE DIFFERENCE IS 5'-11" (1800mm) OR GREATER AS PER O.B.C. 9.8.8.2.
-VERTICAL END RAILING ANCHORED TO CORNER DOUBLE STUDS USING 3 ROWS OF 3/8"Ø MIN. ANCHOR BOLTS EQUALLY SPACED WITH 3" MIN. EMBEDMENT TO STUDS.
-PROVIDE SAME ANCHOR BOLTS @ 36" O.C. FOR BASE PLATE CONNECTION.
- 37) -LINEN CLOSET 4 SHELVES MIN. 1'-2" (350mm) DEEP
- 38) -WASHROOMS TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR, O.B.C.- 9.32.1.3.(3)
- 39) -CAPPED DRYER VENT
- 40) -1"x2" (19mmX38mm) BOTH SIDES OF STEEL.
- 41) -WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE IN CONTACT WITH GROUND OR FILL SHALL BE PRESSURE TREATED OR SEPARATED FROM CONCRETE W/ 6 mil POLYETHYLENE.
- 42) -PRECAST CONC. STEP
-2 RISERS MAXIMUM PERMITTED TO BE LAID ON GROUND
- 44) SMOKE ALARM, O.B.C.- 9.10.19.
-PROVIDE 1 ON EACH FLOOR INCLUDING BASEMENTS
-PROVIDE 1 IN EACH BEDROOM
-PROVIDE 1 IN EACH HALLWAY SERVICING BEDROOMS
-INSTALLED AT OR NEAR CEILING
-ALARMS TO BE CONNECTED IN CIRCUIT AND INTERCONNECTED SO ALL ALARMS WILL BE ACTIVATED IF ANY ONE OF THEM SOUNDS AND HAVE A VISUAL SIGNALLING COMPONENT
-ALARMS MUST BE HARDWIRED AND HAVE AN ALTERNATE POWER SOURCE THAT CAN POWER ALARM FOR 7 DAYS, FOLLOWED BY 4 MINUTES OF ALARM
- 45) CARBON MONOXIDE ALARM (CMA), O.B.C.- 9.33.4.
-WHERE THERE IS A FUEL BURNING APPLIANCE A CMA SHALL BE PROVIDED ADJACENT TO EACH SLEEPING AREA.
-CMA TO BE WIRED IN CIRCUIT TO SOUND SMOKE ALARMS WHEN ACTIVATED.
- 46) -MAIN DOOR TO BE OPERABLE FROM INSIDE W/OUT KEY
-PROVIDE A VIEWER WITH A VIEWING ANGLE OF NOT LESS THAN 160 DEG. UNLESS GLAZING IS PROVIDED IN DOOR OR A SIDELIGHT IS PRESENT.
-R4 (RSI 0.70) WHERE A STORM DOOR IS NOT PROVIDED
- 47) -GARAGE MAIN DOORS TO BE GAS PROOFED WITH SELF CLOSER, WEATHERSTRIPPING, THRESHOLD & DEAD BOLT PER O.B.C. 9.10.13.15.
-R4 (RSI 0.70)
- 48) -TRAVEL FROM A FLOOR LEVEL TO AN EXIT OR EGRESS DOOR SHALL BE LIMITED TO ONE FLOOR EXCEPT:
1) WHERE THAT FLOOR LEVEL HAS ACCESS TO A BALCONY OR
2) WHERE THAT FLOOR LEVEL HAS A WINDOW PROVIDING AN UNOBSTRUCTED OPENING OF NOT LESS THAN 3'-3" (1000mm) IN HEIGHT AND 21 5/8" (550mm) IN WIDTH; SUCH WINDOW SHALL BE LOCATED SO THAT THE SILL IS NOT MORE THAN 3'-3" (1000mm) ABOVE FLOOR AND 23'-0" (7.0m) ABOVE ADJACENT GROUND LEVEL.

- 49) **EXTERIOR COLUMN W/ MASONRY PIER:**
-MIN. 6"x6" (140mm X 140mm) WOOD POST ANCHORED TO PORCH SLAB W/ METAL SADDLE.
-TOP PORTION OF POST CLAD W/ DECOR. SURROUND PER ELEVATION DRAWINGS.
-14" X 14" MASONRY VENEER SURROUND W/ PRECAST CONCRETE CAP.
-REFER TO ELEVATION DRAWINGS FOR HEIGHT OF CAP.
-SURROUND TO BE TIED W/ METAL TIES @ 16" (400mm) O.C. VERT. INSTALLED PER O.B.C. 9.20.9.4.
-3/4" AIR SPACE AROUND POST.
OR
-MIN. 6"x6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO CONC. CAP W/ METAL SADDLE.
-14" X 14" MASONRY PIER TO BE CONSTRUCTED SOLID W/ PRECAST CONCRETE CAP.
-REFER TO ELEVATION DRAWINGS FOR HEIGHT OF CAP.
NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" POST PROVIDED THAT THEY ARE IN CONFORMANCE WITH O.B.C. 9.17.4.

- 49a) **EXTERIOR COLUMN:**
-MIN. 6"x6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO PORCH SLAB W/ METAL SADDLE
NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" ABOVE PROVIDED THAT THEY ARE IN ACCORDANCE WITH O.B.C. 9.17.4.
- 50) **COLD CELLARS:**
FOR COLD CELLARS PROVIDE THE FOLLOWING:
-VENTING AREA TO BE EQUIVALENT TO 0.2% OF COLD CELLAR AREA.
-COVER VENT W/ BUG SCREEN
-WALL MOUNTED LIGHT FIXTURE
-L1+L7 FOR DOOR OPENING
-2'-8" X 6'-8" EXTERIOR TYPE DOOR (MIN.R-4 RSI 0.7)
-INSULATE FULL HEIGHT OF INTERIOR BASEMENT WALL W/ MIN. R12 (RSI 2.11)

- 51) **STUD WALL REINFORCEMENT:**
O.B.C. 9.5.2.3.
-WALL STUDS ADJACENT TO WATER CLOSETS & SHOWER BATH TUBS IN MAIN BATHROOM ARE TO BE REINFORCED TO PERMIT THE FUTURE INSTALLATION OF GRAB BARS AS PER O.B.C. 3.8.3.8.(3)(a)&(c) & 3.8.3.13.(2)(f) & 3.8.3.13.(4)(c)
-GRAB BARS TO BE INSTALLED AS PER O.B.C. 9.8.7.7.(2)

FRAME CONSTRUCTION:

- ALL FRAMING LUMBER TO BE No. 1 AND No. 2 SPF UNLESS NOTED OTHERWISE.
-ROOF LOADING IS BASED ON 1.5kPa SPECIFIED COMPOSITE SNOW AND RAIN LOADS.
-JOISTS TO HAVE MIN. 1-1/2" (38mm) END BEARING
-BEAMS TO HAVE MIN. 3-1/2" (89mm) END BEARING
-DOUBLE STUDS @ OPENINGS
-DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 3'-11" (1200mm) AND 10'-6" (3200mm)
-DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH IS BETWEEN 2'-7" (800mm) AND 6'-7" (2000mm)
-DOUBLE JOISTS OR SOLID BLOCKING UNDER NON-LOAD BEARING PARALLEL PARTITIONS
-BEAMS TO BE PLACED UNDER LOADBEARING WALLS WHEN WALLS ARE PARALLEL TO FLOOR JOISTS

- BEAMS MAY BE A MAX. 24" (600mm) FROM LOADBEARING WALLS WHEN WALLS ARE PERPENDICULAR TO FLOOR JOISTS
-APPROVED METAL HANGERS TO BE USED FOR JOISTS AND BEAMS WHEN THEY FRAME INTO SIDES OF BEAMS, TRIMMERS AND HEADERS
-FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 15 3/4" (400mm) BEYOND SUPPORTS FOR 2" X 8" (38mm X 184mm)
-FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 23 5/8" (600mm) BEYOND SUPPORTS FOR 2" X 10" (38mm X 235mm) OR LARGER.

WINDOWS:

- WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER
-WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 1.6 W/(m2.K) OR
-AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS
-BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING
-SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 2.8 W/(m2.K)
-FOR GROSS GLAZED AREAS LESS THAN AND EQUAL TO 17%



MAY 04 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGN

◆ CLIENT SPECIFIC REVISIONS

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SCHEDULES

DOORS

- A 865x2030x45 (2'10"x6'8"x1-3/4")
B 815x2030x35 (2'8"x6'8"x1-3/8")
C 760x2030x35 (2'6"x6'8"x1-3/8")
D 710x2030x35 (2'4"x6'8"x1-3/8")
E 460x2030x35 (1'6"x6'8"x1-3/8")
F 610x2030x35 (2'0"x6'8"x1-3/8")
G OVER SIZED EXTERIOR DOOR

STEEL BEAMS

- ST1 W 6 X 15
ST2 W 6 X 20
ST3 W 8 X 18
ST4 W 8 X 21
ST5 W 8 X 24

WOOD BEAMS

- WD1 3/ 2" X 8" SPR
WD2 4/ 2" X 8" SPR
WD3 5/ 2" X 8" SPR
WD4 3/ 2" X 10" SPR
WD5 4/ 2" X 10" SPR
WD6 5/ 2" X 10" SPR
WD7 3/ 2" X 12" SPR
WD8 4/ 2" X 12" SPR
WD9 5/ 2" X 12" SPR

LINTELS

- L1 2/ 2" X 8" SPR
L3 2/ 2" X 10" SPR
L5 2/ 2" X 12" SPR
L7 3-1/2" X 3-1/2" X 1/4" L
L8 4-7/8" X 3-1/2" X 1/4" L
L9 4" X 3-1/2" X 1/4" L
L10 4-7/8" X 3-1/2" X 5/16" L
L11 4-7/8" X 3-1/2" X 3/8" L
L12 4-7/8" X 3-1/2" X 1/2" L
L13 5-7/8" X 3-1/2" X 3/8" L
L14 5-7/8" X 3-1/2" X 1/2" L
L15 5-7/8" X 4" X 1/2" L
L16 7-1/8" X 4" X 3/8" L
L17 7-1/8" X 4" X 1/2" L

- SMOKE ALARM 44
WATERPROOF DUPLEX OUTLET
VENTS AND INTAKES
HOSE BIB
EXHAUST FAN 38
COLD CELLAR VENT 50
STOVE VENT
FIRE PLACE VENT
DRYER VENT

PLAN/ELEVATION LEGEND

- CARBON MONOXIDE ALARM (CMA) 45
DOUBLE JOIST
PRESSURE TREATED LUMBER
GIRDER TRUSS
ABOVE FINISHED FLOOR
BEAM BY FLOOR MANUF (FL)
DROPPED
REPEAT SAME JOIST SIZE
UNDER SIDE
FIXED GLAZING
GLASS BLOCK
BLACK GLASS
FLOOR DRAIN
SOLID BEARING (TO BE SAME WIDTH AS SUPPORTED AREA/BEAM)
POINT LOAD
FLAT ARCH
2 STORY WALL
EXT. LIGHT FIXTURE (WALL MOUNTED)
HYDRO METER
GAS METER

File C:\RN_Standards\templates\plan_647\13095_41-41.dwg, printed May 01, 2017 by Lauren D

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 19-Apr-17

SIGNATURE:

client
Gold Park Homes

project
Mclaughlin and Mayfield

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW.	30/01/2015	REM	RPA	5				
2	ISSUED FOR PERMIT	1/26/2016	hz	jp	6				
3	REVISED AS PER OBC 58-12 2017 UPDATE	6-Apr-17	as	as	7				
4	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT	19-Apr-17	AM	JP	8				

location
Brampton

marketing name
The Bach

RN design
Imagine • Inspire • Create



model
41-4

scale
3/16" = 1'0"

project #
13098

page

D3