







I, JOHN WILSON, DECLARE THAT I HAVE REVIEWED AND TAKEN RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THIS DESIGN UNDER DIVISION 1, PART 3 SUBSECTION 1.1.4 OF THE BUILDING CODE AND I AM QUALIFIED AS A REGISTERED PROFESSIONAL ENGINEER IN THE PROVINCE OF ONTARIO.

QUALIFIED DESIGNER SIGN: **J. Wilson** 3048  
DATE: **1.17** 2017

SIGNATURE:



MAR 17 2017

FOR STRUCTURAL ONLY EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST & FLOOR LVL. SCAM DESIGNS

This is to certify that these plans comply with the applicable Architectural Design Code as approved by the City of Vaughan.

MAR 27 2017

JOHN G. WILSON, P. ENG., ARCHT. (SINCE 1988)

#	REVISIONS	DATE	BY	CHK
1	BASED FOR CLM REVIEW	4/24/17	JW	JA
2	REVISED AFTER TRUSS & TRUSS COORD.	11/24/17	JW	JW
3	REVISED AS PER CLM COMMENTS	12/28/17	JW	JW
4	REVISED AS PER CLM COMMENTS	1/24/18	JW	JW
5	REVISED AS PER CLM COMMENTS	1/24/18	JW	JW
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Gold Park Homes

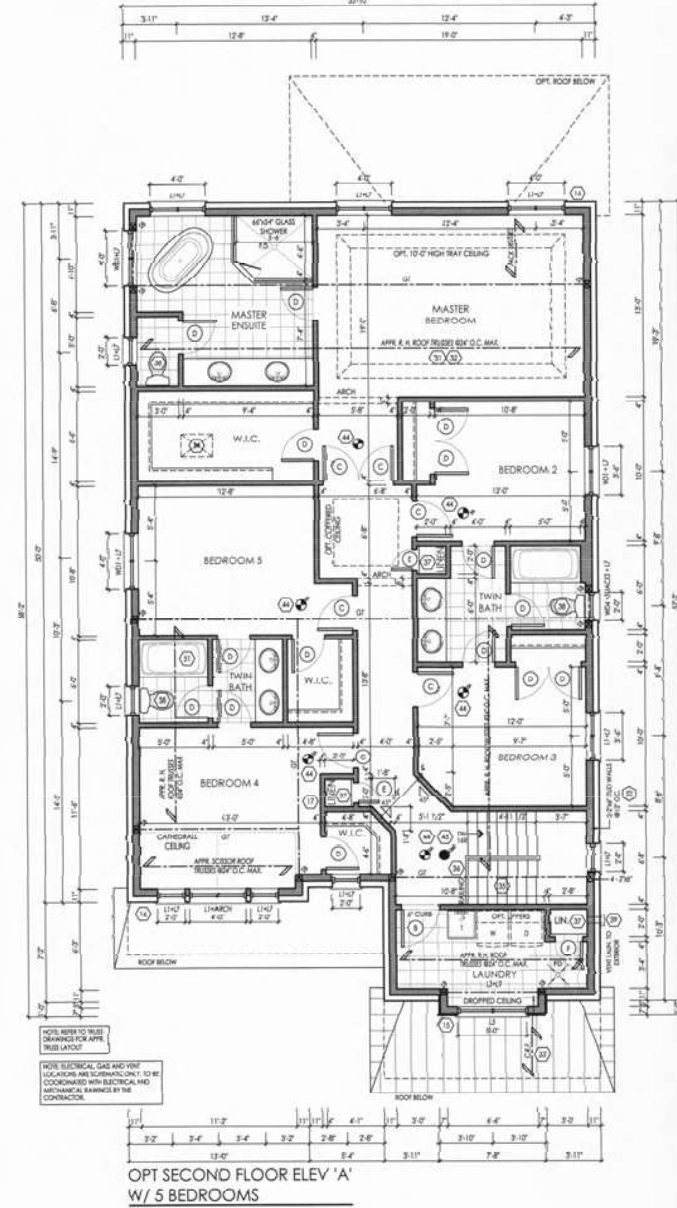
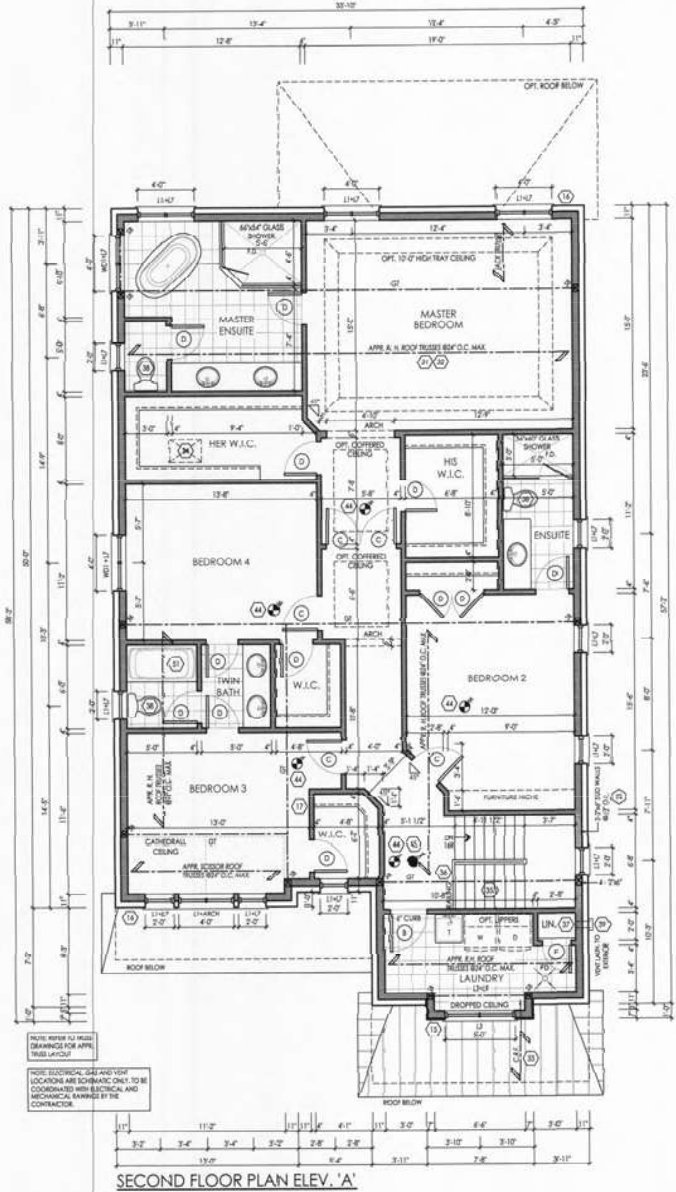
KLEINBURG GLEN PH-2 VAUGHAN, ON

42-3

14043

3/16" = 1'-0"

A2





I, SAUL PRINZ, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF AN DESIGN LTD UNDER LICENSE NUMBER 3 SUBSECTION 3.1.4 OF THE REGULATION OF PROFESSIONAL ENGINEERS AND ARCHITECTS ACT, 1997 AND THAT I AM REGISTERED IN THE APPROPRIATE CLASSIFICATION CATEGORY.

QUALIFIED DESIGNER SIGN: **S.P.** 3688  
 DRAWN BY: **S.P.** 3688  
 DATE: **1-17-17**  
 SOFTWARE:



MAR 17 2017

FOR STRUCTURAL ONLY EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST & FLOOR LVL BEAM DESIGN

In the Architect's acceptance, responsibility to ensure that all plans submitted for approval shall comply with the Architectural Guidelines including zoning conditions and any conditions of the development agreement. The Contractor is not responsible for any errors or omissions in this document or for any conditions of the building code or any other matter of that any errors do not appear on the approved plans or drawings.

This is to certify that these plans comply with the applicable provisions of the Building Code of the Province of Ontario.

ARCHITECTURAL REVIEW OFFICE  
 MAR 27 2017  
 John G. Williams, Limited, Architect

#	REVISION	DATE	BY	CHK
1	ISSUED FOR PERMIT REVIEW	2017-01-17	SP	SP
2	REVISED PER FLOOR & BASEMENT DESIGN	2017-01-18	SP	SP
3	REVISED PER FLOOR & BASEMENT DESIGN	2017-01-18	SP	SP
4	REVISED PER FLOOR & BASEMENT DESIGN	2017-01-18	SP	SP
5	REVISED PER FLOOR & BASEMENT DESIGN	2017-01-18	SP	SP
6	REVISED PER FLOOR & BASEMENT DESIGN	2017-01-18	SP	SP
7	REVISED PER FLOOR & BASEMENT DESIGN	2017-01-18	SP	SP
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Gold Park  
Homes

PROJECT: KLEINBURG  
GLEN PH-2  
VAUGHAN, ON

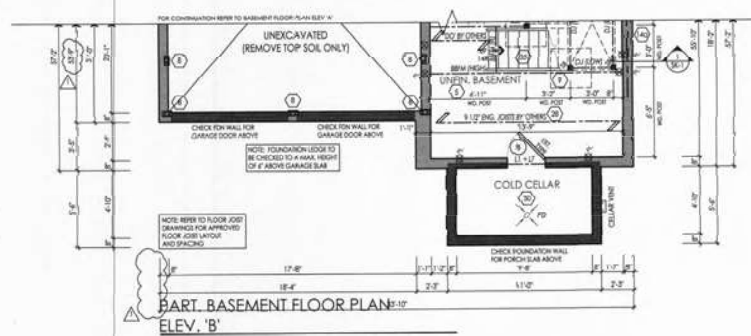
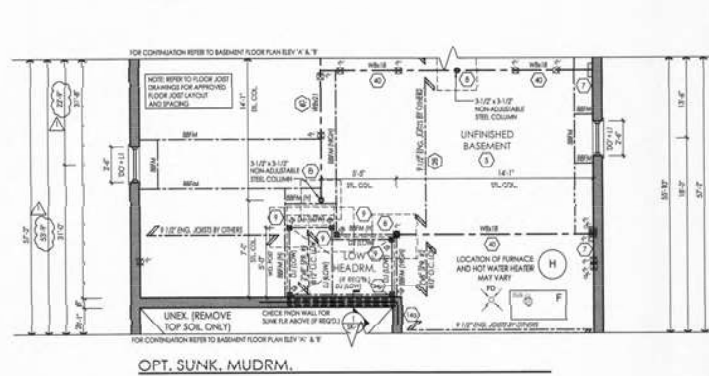
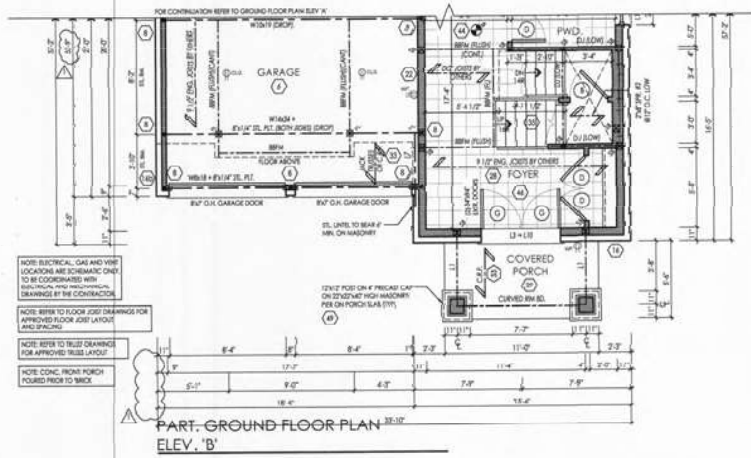
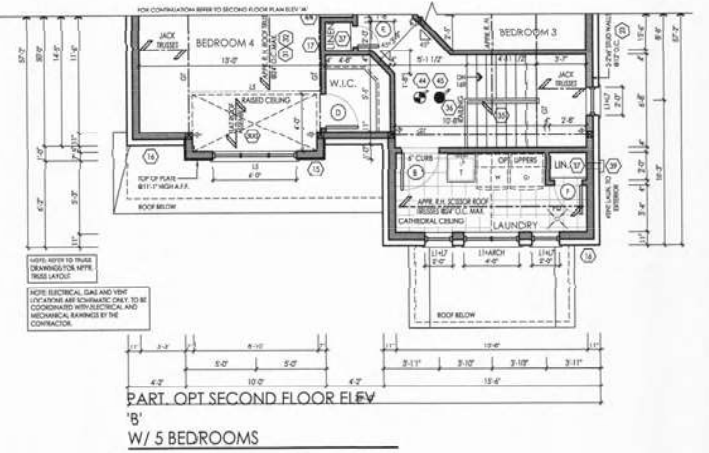
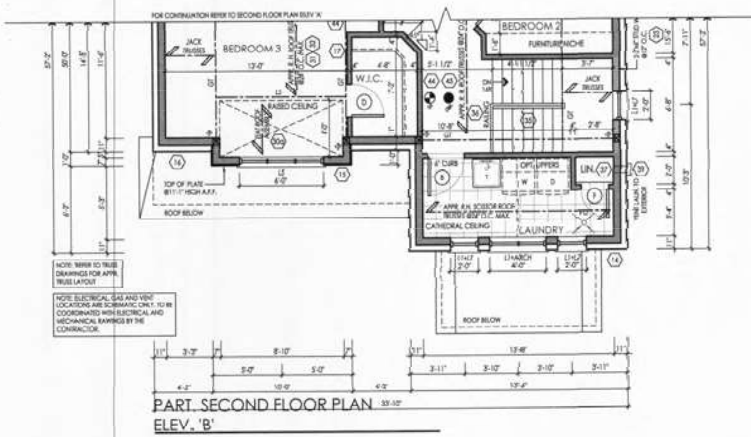
HOUSE: 42-3

SHEET # 14043

SCALE: 3/16" = 1'-0"

DATE:

A3



**GROSS GLAZING AREA  
EL. 'A' - STD. SEC. FLR. PLAN**

TOTAL PERIPHERAL WALL AREA	3512.35 SF	326.30 SF
FRONT GLAZING AREA	75.45 SF	7.01 SF
LEFT SIDE GLAZING AREA	61.42 SF	5.71 SF
RIGHT SIDE GLAZING AREA	65.92 SF	6.12 SF
REAR GLAZING AREA	173.87 SF	16.15 SF
<b>TOTAL GLAZING AREA</b>	<b>376.66 SF</b>	<b>34.99 SF</b>
<b>TOTAL GLAZING PERCENTAGE</b>	<b>10.72 %</b>	

**GROSS GLAZING AREA  
EL. 'A' - OPT. SEC. FLR. PLAN**

TOTAL PERIPHERAL WALL AREA	3512.35 SF	326.30 SF
FRONT GLAZING AREA	75.45 SF	7.01 SF
LEFT SIDE GLAZING AREA	61.42 SF	5.71 SF
RIGHT SIDE GLAZING AREA	74.00 SF	6.89 SF
REAR GLAZING AREA	173.87 SF	16.15 SF
<b>TOTAL GLAZING AREA</b>	<b>384.82 SF</b>	<b>36.75 SF</b>
<b>TOTAL GLAZING PERCENTAGE</b>	<b>10.95 %</b>	

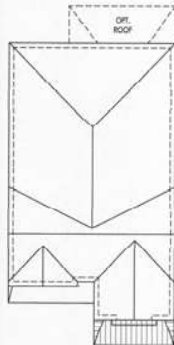
**RN design**  
Imagine • Inspire • Create



DESIGN RESPONSIBILITY: I HAVE REVIEWED AND I AM DESIGN RESPONSIBLE FOR THE DESIGN WORK ON BEHALF OF RN DESIGN INC. I HAVE REVIEWED THIS SUBSECTION AS A PART OF THE BUILDING PERMITS PROCESS AND THE PERMITS REQUIRED TO CONSTRUCT CLASS 1 CARPOUSES.

QUALIFIED DESIGNER:  
DATE:

SCHEDULE:



**ROOF PLAN 'A'**

NOTE: REFER TO BLUE DRAWINGS FOR APPROVED ELEVATIONS.

NOTE: REFER TO SHEET 'A' FOR POSSIBLE MATCH CHANGES DUE TO CHANGING CONDITIONS.

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE CBC. ROOF AND/OR TRUSS SYSTEMS OR OTHER TRUSS SYSTEMS ARE TO BE 2x4 SP @ 24" O.C. WITH 1/2" x 2" x 8" VERTICAL ROOF JOIST BRACES AT EACH CROSS POINT. JOISTS LONGER THAN 8' TO BE BRACKETED TO THE JOIST BRACE BETWEEN THE POINTS & BETWEEN ROOF OF BRACING DOES NOT EXCEED 8'.



**FRONT ELEVATION 'A'**

It is the builder's complete responsibility to ensure that all plans submitted for approval are in accordance with the applicable building codes and all applicable regulations and requirements, including zoning codes and other provisions in the applicable agreements. The Contractor is responsible for ensuring that all work is performed in accordance with the approved plans and specifications. The Contractor is responsible for obtaining all necessary permits and for ensuring that all work is performed in accordance with the applicable building codes and regulations. The Contractor is responsible for ensuring that all work is performed in accordance with the approved plans and specifications.

APPROVED FOR PERMITS BY:  
**MAR 27 2011**  
JOHN G. WILLIAMS, P.E., ARCHITECT

#	REVISIONS	DATE	BY	CHK
1	ISSUED FOR PERMITS	3/28/11	JG	CR
2	ISSUED FOR PERMITS	3/28/11	JG	CR
3	ISSUED FOR PERMITS	3/28/11	JG	CR
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Client: **Gold Park Homes**

Project: **KLEINBURG GLEN PH-2 VAUGHAN/LOX**

Model: **42-3**

Project #: **14043**

Scale: **3/16" = 1'-0"**

Page: **A4**



I, JESSIE PRITCHARD, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF THE DESIGN PROFESSIONAL LICENSED UNDER THE BOARD OF ARCHITECTURE OF THE BUILDING CODE - I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASS / CATEGORY.

QUALIFIED DESIGNER'S SIGNATURE: *Jessie Pritchard* DATE: 03/08/2017



RIGHT SIDE ELEVATION 'A'

It is the builder's complete responsibility to ensure that all items submitted for approval comply with the requirements, conditions and all applicable regulations and requirements as set forth in the applicable City of Vaughan Architectural Review Guidelines. The Architect is not responsible for any structural engineering or structural steel design or other work not shown or indicated on these drawings. The Architect is not responsible for any other work not shown or indicated on these drawings. The Architect is not responsible for any other work not shown or indicated on these drawings.

ARCHITECTURAL REVIEW & APPROVAL  
MAR 27 2017  
JAMES G. WILLIAMS LICENSED ARCHITECT

#	REVISION	DATE	BY	CHK
1	ISSUE FOR PERMIT	03/08/17	J.P.	J.P.
2	REVISED AS PER CLIENT COMMENTS	03/08/17	J.P.	J.P.
3	ISSUE FOR PERMIT	03/08/17	J.P.	J.P.
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Client: Gold Park Homes  
Project: KLENBURG GLEN PH 2 VAUGHAN, ON  
Model: 42-3  
Project #: 14043  
Scale: 3/16" = 1'-0"  
Date: 03/08/17





I, JUDY PRINCE, DECLARE THAT I HAVE REVIEWED AND TAKEN TECHNICAL RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF MY EMPLOYER UNDER THE PROFESSIONAL ENGINEERING ACT OF THE BUILDING CODE, (M.A. GUARANTEED) AND THE REG. IS REGISTERED IN THE APPROPRIATE CLASS / CATEGORY.

QUALIFIED DESIGNER NO. 38888  
DATE: 11-17-2017  
SIGNATURE: [Signature]



MAR 17 2017

FOR STRUCTURAL ONLY EXCLUSIVELY  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST & FLOOR/LA DIAPHRAGM DESIGN

It is the builder's complete responsibility to fully comply with the Architectural Guidelines and an applicable requirement of the Ontario Building Code and the City of Vaughan's Zoning By-Law and the City of Vaughan's Planning and Development Act. Any deviation from the Architectural Guidelines or the Ontario Building Code or the City of Vaughan's Zoning By-Law or the City of Vaughan's Planning and Development Act, without the approval of the City of Vaughan, may result in the building being deemed to be in violation of the applicable laws and regulations. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Vaughan.

ARCHITECTURAL REVIEW SIGNATURE  
MAR 27 2017  
[Signature]

NO.	REVISION	DATE	BY	CHK
1	ISSUE FOR PERMIT	11/17/17	J.P.	J.P.
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Gold Park  
Homes

KLEINBERG  
GLEN PH-2  
VAUGHAN, ON

42-3

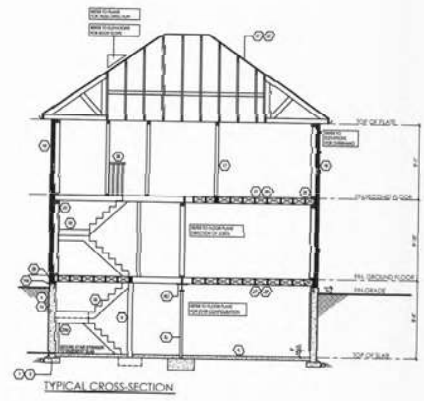
14043

3/16" = 1'-0"

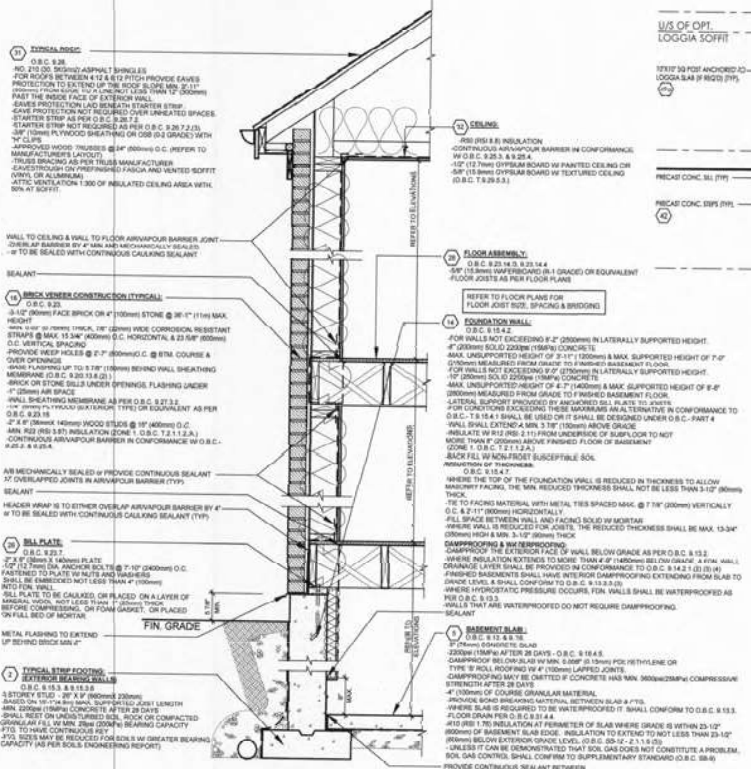
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REAR ELEVATION 'A' & 'B'



TYPICAL CROSS-SECTION



TYPICAL EXTERIOR WALL  
SECTION-BRICK  
SCALE: 3/4" = 1'-0"

17 EXTERIOR ROOF  
O.B.C. 9.3.8  
NO. 15 (20) SIKERWY ASPHALT SHINGLES  
FOR ROOF BETWEEN 1/2" & 1/4" FROM PROVIDE GAVES  
PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 6" UP  
FROM THE ROOF FACE OF EXTERIOR WALL  
EAVES PROTECTION LAD BENEATH STARTER STRIP  
STARTER STRIP AS PER O.B.C. 9.3.2.2  
STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.3.2.2.3  
1/2" (12mm) PLYWOOD SHEATHING OR OSB (24 GRADE) WITH  
1" LAP  
LAPPED WOOD JOISTS @ 24" (600mm) O.C. REFER TO  
MANUFACTURER'S LAYOUT  
TRUSS BRACING AS PER TRUSS MANUFACTURER  
LAUSTRONG ON PIER (PREFERRED) FANGA AND VENTED SOFFIT  
DRYS OR ALUMINUM  
ATTIC VENTILATION 1.3% OF INSULATED CEILING AREA WITH  
60% AT SOFFIT

WALL TO CEILING & WALL TO FLOOR AIR/VAPOUR BARRIER JOINT  
OVERLAP BARRIERS BY 4" MIN AND MECHANICALLY SEALED  
- IF TO BE SEALED WITH CONTINUOUS CALKING SEALANT

SEALANT

18 BRICK VENEER CONSTRUCTION (TYPICAL)  
O.B.C. 9.2.8  
3/4" (30mm) FACE BRICK OR 4" (100mm) STONE @ 36" (914) MAX.  
HEIGHT  
MIN. 1/2" (12mm) THICK, 1/2" (12mm) WIDE CORROSION RESISTANT  
STRAIP @ MAX. 12" (300mm) O.C. HORIZONTAL & 22" (560mm)  
O.C. VERTICAL SPACING  
OVER OPENINGS  
BRICK FINISH UP TO 1/2" (12mm) BEYOND WALL SHEATHING  
MEMBRANE (O.B.C. 9.2.8.3.1 & 2.1)  
BRICK ON STONE SILL (UNDER SPYING) FLASHING UNDER  
- 1/2" (12mm) AIR SPACE  
WALL SHEATHING MEMBRANE AS PER O.B.C. 9.2.8.3.1  
- 1/2" (12mm) PLYWOOD (6X TYPICAL) TYPICAL EQUIVALENT AS PER  
O.B.C. 9.2.8.3.1  
- 1/2" (12mm) BRICK (40mm) WOOD FLOOR @ 12" (300mm) O.C.  
MIN. R15 (R15) INSULATION (O.B.C. 9.2.8.3.1.2, 1.2.1.1)  
CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C.  
9.2.8.3.1.2

AIR MECHANICALLY SEALED OR PROVIDE CONTINUOUS SEALANT  
1X OVERLAP JOINTS IN AIR/VAPOUR BARRIER (TYP)

SEALANT

HEADER WRAP IS TO EITHER OVERLAP AIR/VAPOUR BARRIER BY 4"  
OR TO BE SEALED WITH CONTINUOUS CALKING SEALANT (TYP)

19 SILL PLATE  
O.B.C. 9.2.3.1  
2" (51mm) x 4" (102mm) SILL PLATE  
TOP (12mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C.  
FASTENED TO PLATE IN NUTS AND WASHERS  
SHALL BE EMBEDDED NOT LESS THAN 4" (100mm)  
IN SILL PLATE  
SILL PLATE TO BE CALKED OR PLACED ON LAYER OF  
BEFORE CONCRETE OR FOM GASKET, OR PLACED  
ON SILL BED OF MORTAR

METAL FLASHING TO EXTEND  
UP BEYOND BRICK MAN 4"

20 TYPICAL STRIP FOOTING  
(EXTERIOR BRICKS) (TYPICAL)  
O.B.C. 9.13.3 & 9.13.4  
3 STOREY STRIP - 28" X 16" (700mm X 250mm)  
SLOPED 1:10 TO EXTERIOR  
MIN. 200mm (8") CONCRETE JOINT LENGTH  
MIN. 200mm (8") CONCRETE AFTER 28 DAYS  
FINISH TO CHANG CONTINUED TO 10"  
CONCRETE FILL W/ MIN. 28mm (1 1/8") BEARING CAPACITY  
FILL TO BE REINFORCED (REINFORCING IS NOT GREATER BEARING  
CAPACITY AS PER SOILS ENGINEERING REPORT)

21 CEILING  
O.B.C. 9.2.8.1 INSULATION  
CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE  
WITH O.B.C. 9.2.8.3.1.2  
- 1/2" (12mm) OPTIMUM BOARD W/ PAINTED CEILING OR  
- 1/2" (12mm) OPTIMUM BOARD W/ TEXTURED CEILING  
(O.B.C. 9.2.8.3.1)

22 FLOOR ASSEMBLY  
O.B.C. 9.2.8.1.4 & 9.2.8.1.4.4  
REFER TO FLOOR PLANS FOR  
FLOOR JOIST SIZE, SPACING & BRIDGING

23 FOUNDATION WALL  
O.B.C. 9.13.4.2  
FOR WALLS NOT EXCEEDING 8'-0" (2400mm) IN LATERALLY SUPPORTED HEIGHT  
- 8" (200mm) SOLID CONCRETE (8000 PSI) CONCRETE  
MAX. UNSUPPORTED HEIGHT OF 3'-11" (1200mm) & MAX. SUPPORTED HEIGHT OF 7'-0"  
(2100mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR  
FOR WALLS NOT EXCEEDING 8'-0" (2400mm) IN LATERALLY SUPPORTED HEIGHT  
- 10" (250mm) SOLID CONCRETE (8000 PSI) CONCRETE  
MAX. UNSUPPORTED HEIGHT OF 8'-0" (2400mm) & MAX. SUPPORTED HEIGHT OF 8'-0"  
(2400mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR  
LATERAL SUPPORT PROVIDED BY ANCHORED BR. BOLTS TO WALL  
- 4" (100mm) CONCRETE JACKING THESE WALLS AS AN ALTERNATIVE IN CONFORMANCE TO  
O.B.C. 9.13.4.1 SHALL BE USED (IF SPALLS BE DESIGNED UNDER O.B.C. - PART 4  
WALL SHALL EXCEED A MIN. 3'-0" (900mm) ABOVE GRADE  
INSULATE W/ R15 (R15) FROM UNDERSIDE OF SUSPLOOR TO NOT  
MORE THAN 4" (100mm) ABOVE FINISHED FLOOR OF BASEMENT  
- BACK FILL W/ NON-FROST SUSCEPTIBLE SOIL  
- MINIMUM OF 3' (900mm)  
O.B.C. 9.13.4.2  
WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO ALLOW  
HANDY PAGING, THE MIN. REDUCED THICKNESS SHALL NOT BE LESS THAN 3'-0" (900mm)  
THICK  
- 1/2" (12mm) TO FACE MATERIAL WITH METAL TIE SPACED MAX. @ 7'-0" (2100mm) VERTICALLY  
- FILL SPACE BETWEEN WALL AND FACE SOLID W/ MORTAR  
- WHERE WALL IS REDUCED FOR 20% THE REDUCED THICKNESS SHALL BE MAX. 13'-0"  
(3900mm) HIGH & MIN. 3'-0" (900mm) THICK  
DAMP-PROOFING & WEATHERING  
DAMP-PROOF THE EXTERIOR FACE OF WALL BELOW GRADE AS PER O.B.C. 9.13.3  
WHERE INSULATION EXTENDS TO MORE THAN 8" (200mm) BELOW GRADE - 2" (51mm) WALL  
DRAINAGE LAYER SHALL BE PROVIDED IN CONFORMANCE TO O.B.C. 9.14.2.1 (2) (b) (4)  
FINISHED FLOOR FINISHES SHALL HAVE WEATHER DAMPROOFING EXTENDING FROM SLAB TO  
GRADE LEVEL & SHALL CONFORM TO O.B.C. 9.13.3.2.1  
WHERE HYDROSTATIC PRESSURE OCCURS, FIN WALLS SHALL BE WATERPROOFED AS  
PER O.B.C. 9.13.3  
SEALANT  
SEALANT

24 BASEMENT SLAB  
O.B.C. 9.13.3.1.2  
2" (51mm) CONCRETE SLAB  
200mm (8") CONCRETE AFTER 28 DAYS - O.B.C. 9.13.4.4  
DAMP-PROOF BELOW SLAB W/ MIN. 8" (200mm) POLYETHYLENE OR  
TYPIC W/ ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS  
DAMP-PROOFING MAY BE OMITTED IF CONCRETE HAS MIN. 5000psi (35MPa) COMPRESSION  
STRENGTH AFTER 28 DAYS  
- 4" (100mm) OF COURSE GRANULAR MATERIAL  
- PROVIDE WEATHERING MATERIAL BETWEEN SLAB & FILL  
- WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO O.B.C. 9.13.3  
- FLOOR DRAIN PER O.B.C. 9.13.3.1  
- 1/2" (12mm) INSULATION AT PERIMETER OF SLAB WHERE GRADE IS WITHIN 25'-0"  
(7600mm) OF BASEMENT SLAB EDGE. INSULATION TO EXTEND TO NOT LESS THAN 24" (610mm)  
BELOW EXTERIOR GRADE LEVEL (O.B.C. 9.13.3.2 - 2.1.1.3.1)  
UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM,  
SOIL GAS CONTROL SHALL CONFORM TO SUPPLEMENTARY STANDARD (O.B.C. 9.13.3.2)  
- PROVIDE CONTINUOUS SEALANT BETWEEN  
FOUNDATION WALL AND FOUNDATION WALL



I, LLOYD PUGH (DRAWER) HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF R.N. DESIGN INC. (REGISTERED ARCHITECTS) OF THE PROVINCE OF ONTARIO, CANADA, IN ACCORDANCE WITH THE REGULATION OF THE BUILDING CODE, I AM QUALIFIED AND THE WORK IS REGISTERED IN THE APPROPRIATE CLASS / CATEGORY.

QUALIFIED DESIGNER RCH: [Signature] 3888 3895  
FIRM SIGN: [Signature]  
DATE: [Signature]  
SIGNATURE: [Signature]



It is the builder's complete responsibility to ensure that all work complies with the applicable Building Code and all applicable regulations and requirements. The City of Vaughan is not responsible for any work that is not properly built or installed on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

PROFESSIONAL REVIEW & APPROVAL  
MAR 27 2017  
John G. Williams Limited Architect

NO.	DESCRIPTION	DATE	BY	CHK
1	ISSUED FOR PERMIT	2017-03-27	BN	CR
2	REVISIONS			
3	ISSUED FOR PERMIT	2017-03-27	BN	CR
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Client: Gold Park Homes  
Project: KLEINBURG CLEN PH-2 VAUGHAN, ON  
Module: 42-3  
Project #: 14043  
Scale: 3/16" = 1'-0"  
Date: [Signature]  
Page: [Signature]



**GROSS GLAZING AREA  
EL. 'B' - STD. SEC. FLR. PLAN**

TOTAL PERIPHERAL WALL AREA	3494.19 SF	324.01 m <sup>2</sup>
FRONT GLAZING AREA	106.68 SF	9.91 m <sup>2</sup>
LEFT SIDE GLAZING AREA	61.42 SF	5.71 m <sup>2</sup>
RIGHT SIDE GLAZING AREA	65.92 SF	6.12 m <sup>2</sup>
REAR GLAZING AREA	173.87 SF	16.15 m <sup>2</sup>
<b>TOTAL GLAZING AREA</b>	<b>407.89 SF</b>	<b>37.99 m<sup>2</sup></b>
<b>TOTAL GLAZING PERCENTAGE</b>	<b>11.67 %</b>	

**GROSS GLAZING AREA  
EL. 'B' - OPT. SEC. FLR. PLAN**

TOTAL PERIPHERAL WALL AREA	3494.19 SF	324.01 m <sup>2</sup>
FRONT GLAZING AREA	106.68 SF	9.91 m <sup>2</sup>
LEFT SIDE GLAZING AREA	61.42 SF	5.71 m <sup>2</sup>
RIGHT SIDE GLAZING AREA	74.08 SF	6.89 m <sup>2</sup>
REAR GLAZING AREA	173.87 SF	16.15 m <sup>2</sup>
<b>TOTAL GLAZING AREA</b>	<b>416.05 SF</b>	<b>38.65 m<sup>2</sup></b>
<b>TOTAL GLAZING PERCENTAGE</b>	<b>11.91 %</b>	

**FN design**  
Imagine • Inspire • Create

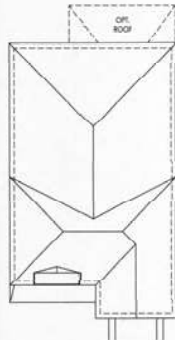


I, **JOHN G. WILLIAMS**, ARCHITECT, DECLARE THAT I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF MY FIRM, **FN DESIGN**, UNDER CONTRACT NO. **2017-01-01** OF 112 BAYVIEW AVENUE, SUITE 200, SCARBOROUGH, ONTARIO M1S 5B7, CANADA. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPLICABLE JURISDICTION.

QUALIFIED DESIGNER SIGN: **J.G.W.** DATE: **2017**

PROJECT NO: **14043**

SIGNATURE: **J.G.W.**



**ROOF PLAN 'B'**

NOTE: REFER TO BLUE DRAWINGS FOR ANY OTHER DETAILS OR REVISIONS TO THIS PLAN.

NOTE: REFER TO STRUCTURAL DRAWINGS FOR ANY OTHER DETAILS OR REVISIONS TO THIS PLAN.

NOTE: ALL CONVENTIONAL ROOF FRAMING TO BE CONFORM TO RFP FOR THE CON. ROOF FRAMING THAT HAS BEEN REVIEWED AND APPROVED BY THE CITY OF VAUGHAN.

NOTE: ALL ROOF FRAMING TO BE CONFORM TO RFP FOR THE CON. ROOF FRAMING THAT HAS BEEN REVIEWED AND APPROVED BY THE CITY OF VAUGHAN.



**FRONT ELEVATION 'B'**

It is the architect's complete responsibility to ensure that all plans submitted for approval are in accordance with the applicable regulations and requirements of the City of Vaughan and the Province of Ontario. The architect shall be responsible for ensuring that all plans submitted for approval are in accordance with the applicable regulations and requirements of the City of Vaughan and the Province of Ontario.

This is to certify that these plans comply with the applicable Architectural Energy Guidelines approved by the City of Vaughan.

ARCHITECTURAL SEAL & SIGNATURE  
**MAR 27 2017**  
**John G. Williams, Architect**

#	REVISION	DATE	CHK	CRK
1	ISSUED FOR PERMITS	04/04/17	JG	CR
2	ISSUED FOR PERMITS AND PRODUCTION DRAWING	10/04/17	JG	CR
3	ISSUED AS PER CLIENT COMMENTS	10/09/17	JG	CR
4	ISSUED FOR PERMITS	04/04/17	JG	CR
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client: **Gold Park Homes**

project: **KLEINBURG GLEN PH-2 VAUGHAN, ON**

model: **42-3**

project #: **14043**

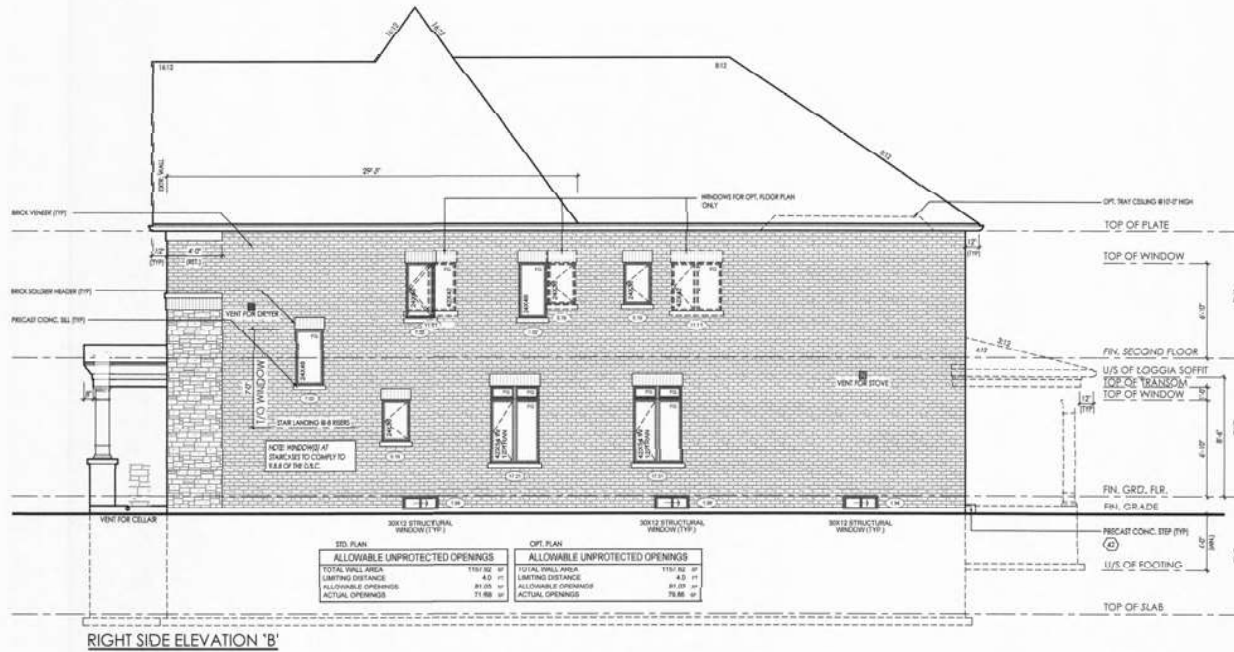
scale: **3/16" = 1'-0"**

page: **A8**



I, JARED PRISON, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF MR. BRISA DE VERA, DESIGNER C.A.M.A. LICENSE NO. 22,244 OF THE BUILDING CODE, I AM (VAUGHAN) AND THE WORK IS REGISTERED IN THE APPROPRIATE CLASSIFICATION CATEGORIES.

QUALIFIED DESIGNER SIGN: *J. P.* 2048 2095  
DATE: 03/03/2017  
SIGNATURE:



RIGHT SIDE ELEVATION 'B'

It is the builder's complete responsibility to ensure that all plans submitted for approval and all work meets regulations and requirements including zoning conditions and other provisions in the applicable zoning bylaws. The contractor is responsible for obtaining all necessary permits and ensuring compliance with all applicable laws and regulations. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

ARCHITECTURAL REVIEW OFFICIAL  
MAR 3 2017  
JARED G. PRISON, ARCHITECT

#	REVISIONS	DATE	BY	CHK
1	ISSUED FOR CONSTRUCTION	03/03/2017	CA	CR
2	ISSUED FOR CONSTRUCTION	03/03/2017	CA	CR
3	ISSUED FOR PERMIT	04/18/16	J.P.	J.P.
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Client: Gold Park Homes

Project: KLEINBURG GLEN PH-2 VAUGHAN, ON

Model: 42-3

Project #: 14043

Scale: 3/16" = 1'-0"

Page:



I, JEDD PRICH DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF THE ENGINEER-IN-CHARGE (E.I.C.) IN SUBSECTION 2.1.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED BY THE APPROPRIATE GOVERNING JURISDICTION.

QUALIFIED DESIGNER NO. 3688  
FIRM NO. 24793  
DATE: 11/7/17  
SIGNATURE: [Signature]



It is the builder's absolute responsibility to ensure that all plans submitted for approval and all construction operations and installations comply with applicable codes and regulations. The undersigned hereby certifies that the construction shown on these drawings was inspected and approved by the undersigned on 11/7/2017. The undersigned hereby certifies that the construction shown on these drawings was inspected and approved by the undersigned on 11/7/2017.

MAK 2/7/2017  
John G. Vaughan, Architect

#	DESCRIPTION	DATE	BY	CHK
1	ISSUED FOR CONSTRUCTION	11/7/17	JEDD	CR
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Client: Gold Park Homes  
Project: KLEINBURG CLEN PH-2 VAUGHAN/CH  
Model: 42-3  
Project #: 14043  
Scale: 3/16" = 1'-0"  
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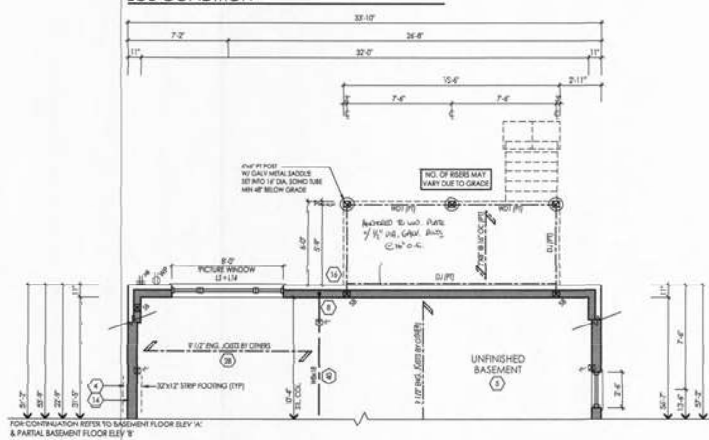




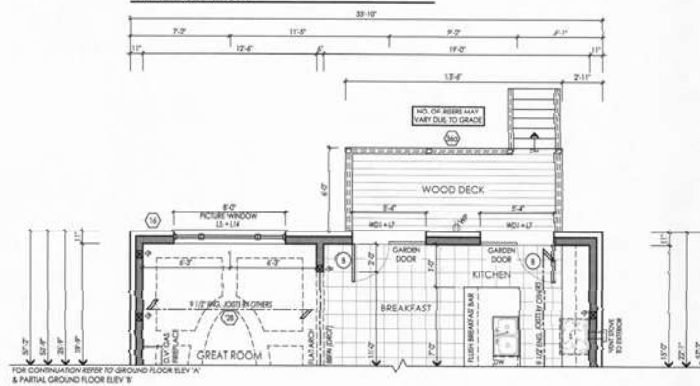
I, SEED PRINCE, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF MR. SEED PRINCE DESIGN CONSULTANTS S.L.P. OF THE BUILDING CODE, I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSIFICATION CATEGORIES.

QUALIFIED DESIGNER: KCH, 3648  
FIRM: BCH, 3895  
DATE: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_

PARTIAL BASEMENT FLOOR PLAN  
ELEV. 'B'  
LOB CONDITION



PARTIAL GROUND FLOOR PLAN  
ELEV. 'B'  
LOB CONDITION



MAR 17 2017  
This structural design complies with the applicable Ontario Building Code & Provincial Building Regulations.

It is the holder's complete responsibility to ensure that all plans submitted for approval and all applicable provisions and requirements of the Building Code are met. The holder of this permit is not responsible for any errors or omissions in the drawings or specifications or for any damage or liability resulting from the use of these drawings or specifications. The holder of this permit is not responsible for any damage or liability resulting from the use of these drawings or specifications.

This is to certify that these plans comply with the applicable Ontario Building Code & Provincial Building Regulations.

ARCHITECTURAL REVIEW APPROVAL  
MAR 27 2017  
John G. Vaughan (holder, Architect)

NO.	REVISIONS	DATE	BY	CHK
1	ISSUED FOR REVIEW	20-09-16	JK	AK
2	ISSUED FOR PERMIT SUBMISSION	16-09-16	JK	AK
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Client: Gold Park Homes

PROJECT: KLEINBURG GLEN PH-2 VAUGHAN, ON

PROJ#: 42-3

PROJECT #: 14043

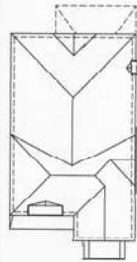
SCALE: 3/16" = 1'-0"

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ROOF PLAN 'B'

NOTE: REFER TO SHEET ARCH-01 FOR APPROVED FINISHES FOR APPROVED MATERIALS. FINISH CHANGES DUE TO LOGGING CONDITIONS.

NOTE: REFER TO SHEET ARCH-01 FOR APPROVED FINISHES FOR APPROVED MATERIALS. FINISH CHANGES DUE TO LOGGING CONDITIONS.

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 5 OF THE IRC. ROOF RAFTERS SHALL BE 2x12 OR 2x10 (OR 2x8) ARE TO BE 24" ON CENTER WITH A 2x6 OR 2x8 (OR 2x10) PERPENDICULAR TO EACH OTHER. ROOF JOISTS SHALL BE 2x10 OR 2x8 (OR 2x12) ON CENTER. BRACKETS BETWEEN JOISTS & BETWEEN ROWS OF BRACKETS DOES NOT EXCEED 4".



FRONT ELEVATION 'B' UPGRADE

**GROSS GLAZING AREA**

TOTAL PERIPHERAL WALL AREA	3712.92 SF	344.93 m <sup>2</sup>
FRONT GLAZING AREA	118.96 SF	11.02 m <sup>2</sup>
LEFT SIDE GLAZING AREA	70.2 SF	6.53 m <sup>2</sup>
RIGHT SIDE GLAZING AREA	143.89 SF	13.37 m <sup>2</sup>
REAR GLAZING AREA	193.04 SF	17.93 m <sup>2</sup>
TOTAL GLAZING AREA	526.39 SF	48.90 m <sup>2</sup>
TOTAL GLAZING PERCENTAGE	14.18 %	

**RN design**  
Imagine • Inspire • Create



I, JESSIE FINCH, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF MY FIRM (RN DESIGN GROUP, L.P.) AND I AM A LICENSED ARCHITECT OF THE STATE OF TEXAS. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASS / CATEGORY.

DESIGNED: JESSIE FINCH  
DATE: 03/27/2017

SIGNATURE: *Jessie Finch*

It is the builder's complete responsibility to ensure that all work conforms to the approved plans and specifications and to obtain all necessary permits and approvals from the appropriate authorities. The Contractor shall be responsible for obtaining all necessary permits and approvals. The Contractor shall be responsible for obtaining all necessary permits and approvals. The Contractor shall be responsible for obtaining all necessary permits and approvals.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

ARCHITECTURAL REVIEW APPROVAL:  
MAR 27 2017  
John G. Williams, Architect

#	REVISION	DATE	BY	CHK
1	ISSUE FOR PERMITS	3/27/17	JF	JF
2	ISSUE FOR PERMITS	3/27/17	JF	JF
3	ISSUE FOR PERMITS	3/27/17	JF	JF
4	ISSUE FOR PERMITS	3/27/17	JF	JF
5	ISSUE FOR PERMITS	3/27/17	JF	JF
6	ISSUE FOR PERMITS	3/27/17	JF	JF
7	ISSUE FOR PERMITS	3/27/17	JF	JF
8	ISSUE FOR PERMITS	3/27/17	JF	JF
9	ISSUE FOR PERMITS	3/27/17	JF	JF
10	ISSUE FOR PERMITS	3/27/17	JF	JF
11	ISSUE FOR PERMITS	3/27/17	JF	JF
12	ISSUE FOR PERMITS	3/27/17	JF	JF

Client: **Gold Park Homes**

Project: **KLEINBURG GLEN PH-2 VAUGHAN, TX**

Package: **42-3**

Project #: **14043**

Scale: **3/16" = 1'-0"**

Page:



I, JOHN PRICH, DECLARE THAT I HAVE REVIEWED AND GIVE MY DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF ME OR MY DESIGN PROFESSIONAL LICENSED UNDER THE BOARD OF ARCHITECTURE, ENGINEERING AND SURVEYING OF THE STATE OF TEXAS, AND THE PLAN IS REGISTERED IN THE APPROPRIATE CATEGORY CATEGORIES.

QUALIFIED DESIGNER SIGN: **J.P.** 3688  
DATE: 3/16/17  
SIGNATURE:



RIGHT SIDE ELEVATION 'B'  
UPGRADE

It is the builder's complete responsibility to ensure that all work complies with applicable codes and all applicable regulations and requirements including zoning ordinances and that all construction is in accordance with the approved plans and specifications for the project. The builder shall be responsible for obtaining all necessary permits and ensuring that all work is done in accordance with the applicable codes and regulations. The City of Vaughan is not responsible for any errors or omissions on the plans.

ARCHITECTURAL REVIEW & APPROVAL  
MAR 27 2017  
JOHN G. WILSON, CHAIRMAN, ARCHITECT

#	REVISIONS	DATE	BY	CHK
1	ISSUED FOR CONSTRUCTION	3/16/17	J.P.	J.P.
2	ISSUED AT THE COUNCIL	3/16/17	J.P.	J.P.
3	ISSUED FOR THE REVIEW	3/16/17	J.P.	J.P.
4	ISSUED FOR THE REVIEW	3/16/17	J.P.	J.P.
5	ISSUED FOR THE REVIEW	3/16/17	J.P.	J.P.
6	ISSUED FOR THE REVIEW	3/16/17	J.P.	J.P.
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Project: Gold Park Homes

Address: KLEINBURG GLEN PH-2 VAUGHAN, TX

Room: 42-3

Project #: 14043

Scale: 3/16" = 1'-0"

Page:



I, JESSIE PRITCH, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF THE ARCHITECT FOR THE BUILDING OF THE BUILDING CODE OF THE BUILDING CODE. I AM A LICENSED ARCHITECT AND THE PLAN IS REGISTERED IN THE APPROPRIATE CLASS / CATEGORY.

QUANTIFIED DESIGNER BLOCK: 20000 SHEETS  
 DESIGNER: J.P.P.  
 DATE: 11.17.18

SIGNATURE: \_\_\_\_\_



REAR ELEVATION 'B'  
UPGRADE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Administrative Code and all applicable regulations and requirements. As such, no work shall be approved. All work shall be in accordance with the applicable Administrative Code. The Architect is not responsible for any errors or omissions in the drawings or for any change in building codes or zoning matters or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Administrative Code and all applicable regulations and requirements approved by the City of VAUGHAN, ON.

ARCHITECTURAL REVIEW & APPROVAL  
 MAR 27 2019

#	DATE	DESCRIPTION	BY	CHK
1	2018-05-15	ISSUED FOR CONSTRUCTION	J.P.P.	J.P.P.
2	2018-05-15	ISSUED FOR CONSTRUCTION	J.P.P.	J.P.P.
3	2018-05-15	ISSUED FOR CONSTRUCTION	J.P.P.	J.P.P.
4	2018-05-15	ISSUED FOR CONSTRUCTION	J.P.P.	J.P.P.
5	2018-05-15	ISSUED FOR CONSTRUCTION	J.P.P.	J.P.P.
6	2018-05-15	ISSUED FOR CONSTRUCTION	J.P.P.	J.P.P.
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Client: Gold Park Homes

Project: KLEINBURG CLEN PH-2 VAUGHAN, ON

Number: 42-3

Project #: 14043

Scale: 3/16" = 1'-0"

Stage: \_\_\_\_\_



I, JACOB FINCH, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF MY FIRM AND UNDER MY PERSONAL SEAL AND SIGNATURE, IN ACCORDANCE WITH THE REQUIREMENTS OF THE REGULATION OF PROFESSIONAL ENGINEERS ACT AND THE REGULATIONS MADE THEREUNDER BY THE ENGINEERING COUNCIL OF ONTARIO.

QUALIFIED DESIGNER SIGN: *J.F.* NAME: JACOB FINCH  
DATE: MAR 27 2017  
SIGNATURE:



MAR 17 2017

FOR STRUCTURAL ONLY EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST & FLOOR L.V. BEAM DESIGN

It is the builder's complete responsibility to ensure that all work conforms to applicable codes and all applicable regulations and requirements including zoning, provincial and city bylaws. The contractor shall be responsible to verify that the building is constructed in accordance with the approved drawings and specifications. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities.

This is to certify that these plans comply with the applicable Provincial Code of Ontario and have been approved by the Provincial Engineer.

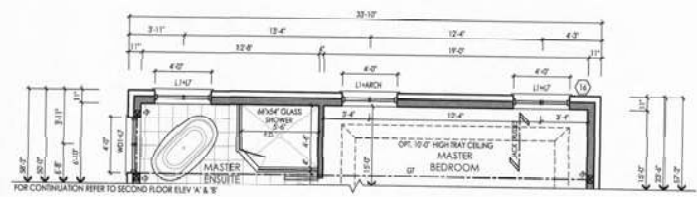
APPROXIMATE REVIEW & APPROVAL  
MAR 27 2017  
JACOB G. FINCH, P. ENG. (STRUCTURAL)

#	REVISIONS	DATE	BY	CHK
1	ISSUED FOR CLIENT REVIEW			
2	ISSUED FOR PERMIT			

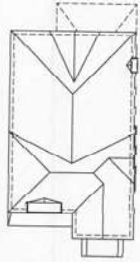
23841  
Gold Park Homes  
PROJECT  
KLEINBURG GLEN  
PH-2  
VAUGHAN, ON  
FOOTPRINT  
42.3  
PROPERTY #  
14043  
SCALE  
PAGE



REAR ELEVATION 'B'  
WOB UPGRADE



PARTIAL SECOND FLOOR PLAN  
ELEV. 'B' - REAR UPGRADE



ROOF PLAN ELEV 'A' UPGRADE



REAR ELEVATION 'A' UPGRADE



I, **JOHN G. WILLIAMS**, DECLARE THAT I HAVE REVIEWED AND MADE DESIGN IMPROVEMENTS FOR THE DESIGN WORK ON BEHALF OF RN DESIGN (FOR/ON BEHALF OF) IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE, LAW, QUALIFIED AND THE DESIGN IS REGISTERED IN THE APPROPRIATE CLASSIFICATION CATEGORY.

QUALIFIED DESIGNER:  
NAME: **JOHN G. WILLIAMS**  
DATE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_

I, the holder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Act and all applicable regulations and requirements, including zoning, setbacks and any provisions of the subdivision agreement. The holder is not responsible for any errors or omissions in the drawings or for any building costs or delays caused by the holder or the holder's agent.

ARCHITECTURAL REVIEW  
AND APPROVAL  
CITY OF VAUGHAN

Signed: \_\_\_\_\_  
Date: **MAR 27 2017**  
JOHN G. WILLIAMS LIMITED, ARCHITECT

NO.	REVISION	DATE	BY	CHK
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Client: **Gold Park Homes**

Project: **KLEINBURG GLEN  
PH-2  
VAUGHAN, ON**

Project #: **42-3**

Project #: **14043**

Scale: \_\_\_\_\_

Sheet: \_\_\_\_\_



