



FRONT ELEVATION 'A'



FRONT ELEVATION 'B'



FRONT ELEVATION 'C'

UNIT 4202 - 'THE ROSEDALE'

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PRESCRIPTIVE COMPLIANCE		SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A	
PACKAGE A1		SPACE HEATING FUEL	
		<input checked="" type="checkbox"/> GAS	<input type="checkbox"/> OIL
		<input type="checkbox"/> ELECTRIC	<input type="checkbox"/> PROPANE
		<input type="checkbox"/> EARTH	<input type="checkbox"/> SOLID FUEL
BUILDING COMPONENT	REQUIRED	PROPOSED	
INSULATION RSI (R) VALUE			
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)	
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)	
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)	
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)	
BASEMENT WALLS	3.52 ci (R20 ci) *	3.52 ci (R20 ci) *	
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)			
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-	
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)	
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)	
WINDOWS & DOORS			
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6	
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8	
APPLIANCE EFFICIENCY			
SPACE HEATING EQUIP. (AFUE%)	96%	96%	
HRV EFFICIENCY (%)	75%	75%	
DHW HEATER (EF)	0.8	0.8	

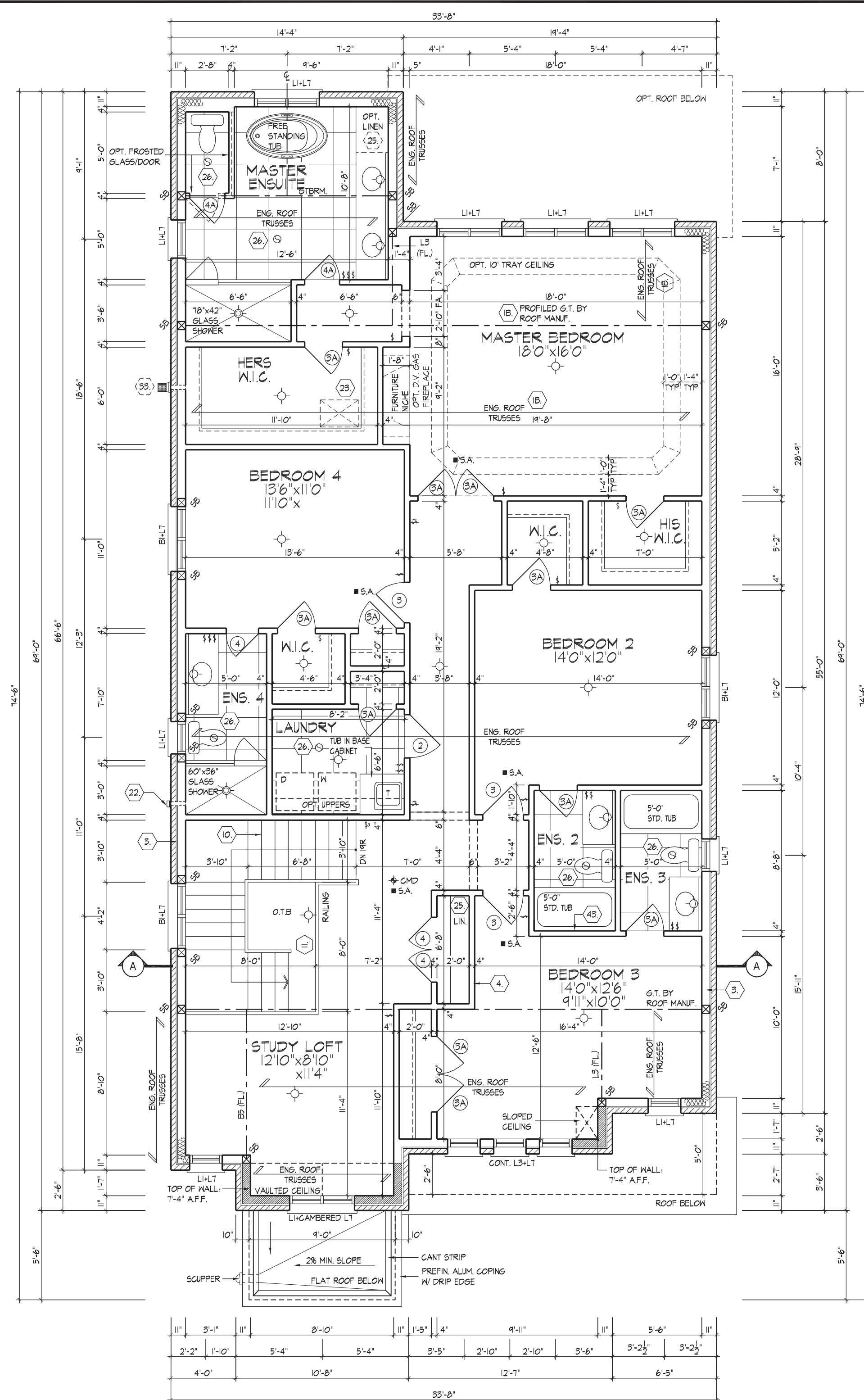
AREA CALCULATIONS	EL. 'A'	EL. 'B'	EL. 'C'	EL. 'A'	EL. 'B'	EL. 'C'
	STD. PLAN	STD. PLAN	STD. PLAN	OPT. GRD FLR	OPT. GRD FLR	OPT. GRD FLR
GROUND FLOOR AREA	1540 sq. ft. (143.07 sq. m.)	1508 sq. ft. (140.10 sq. m.)	1511 sq. ft. (140.38 sq. m.)	1733 sq. ft. (161.00 sq. m.)	1701 sq. ft. (158.03 sq. m.)	1704 sq. ft. (158.31 sq. m.)
SECOND FLOOR AREA	2076 sq. ft. (192.87 sq. m.)	2059 sq. ft. (191.29 sq. m.)	2039 sq. ft. (189.43 sq. m.)	2076 sq. ft. (192.87 sq. m.)	2059 sq. ft. (191.29 sq. m.)	2039 sq. ft. (189.43 sq. m.)
SUBTOTAL	3616 sq. ft. (335.94 sq. m.)	3567 sq. ft. (331.39 sq. m.)	3550 sq. ft. (329.81 sq. m.)	3809 sq. ft. (353.87 sq. m.)	3760 sq. ft. (349.32 sq. m.)	3743 sq. ft. (347.74 sq. m.)
DEDUCT ALL OPEN AREAS	24 sq. ft. (2.23 sq. m.)	24 sq. ft. (2.23 sq. m.)	24 sq. ft. (2.23 sq. m.)	24 sq. ft. (2.23 sq. m.)	24 sq. ft. (2.23 sq. m.)	24 sq. ft. (2.23 sq. m.)
TOTAL NET AREA	3592 sq. ft. (333.71 sq. m.)	3543 sq. ft. (329.16 sq. m.)	3526 sq. ft. (327.58 sq. m.)	3785 sq. ft. (351.64 sq. m.)	3736 sq. ft. (347.09 sq. m.)	3719 sq. ft. (345.51 sq. m.)
FINISHED BASEMENT AREA	73 sq. ft. (6.78 sq. m.)	73 sq. ft. (6.78 sq. m.)	73 sq. ft. (6.78 sq. m.)	73 sq. ft. (6.78 sq. m.)	73 sq. ft. (6.78 sq. m.)	73 sq. ft. (6.78 sq. m.)
COVERAGE W/OUT PORCH	2139 sq. ft. (198.72 sq. m.)	2109 sq. ft. (195.93 sq. m.)	2112 sq. ft. (196.21 sq. m.)	2139 sq. ft. (198.72 sq. m.)	2109 sq. ft. (195.93 sq. m.)	2112 sq. ft. (196.21 sq. m.)
COVERAGE W/ PORCH	2189 sq. ft. (203.36 sq. m.)	2167 sq. ft. (201.32 sq. m.)	2159 sq. ft. (200.58 sq. m.)	2189 sq. ft. (203.36 sq. m.)	2167 sq. ft. (201.32 sq. m.)	2159 sq. ft. (200.58 sq. m.)
COVERAGE W/ OPT. LOGGIA	2344 sq. ft. (217.76 sq. m.)	2322 sq. ft. (215.72 sq. m.)	2314 sq. ft. (214.98 sq. m.)	2344 sq. ft. (217.76 sq. m.)	2322 sq. ft. (215.72 sq. m.)	2314 sq. ft. (214.98 sq. m.)

- 1 - TITLE PAGE
- 2 - BASEMENT & GROUND FLOOR PLANS - ELEV. 'A'
- 3 - SECOND & OPT. SECOND FLOOR PLANS - ELEV. 'A'
- 4 - PARTIAL FLOOR PLANS - ELEV. 'B'
- 5 - PARTIAL FLOOR PLANS - ELEV. 'C'
- 6 - PARTIAL BASEMENT & GROUND FLOOR PLAN W/ LIBRARY - ELEV. 'A'
- 7 - FRONT ELEVATION 'A'
- 8 - LEFT SIDE ELEVATION 'A'
- 9 - RIGHT SIDE ELEVATION 'A'
- 10 - REAR ELEVATION 'A/B/C'
- 11 - FRONT ELEVATION 'B'
- 12 - LEFT SIDE ELEVATION 'B'
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- 17 - CROSS SECTION A-A
- 18 - CONSTRUCTION NOTES
- W1 - DECK CONDITIONS
- W2 - DECK CONDITIONS
- W3 - DECK DETAILS
- W4 - DECK DETAILS

WINDOW / WALL AREA CALCULATIONS	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'B'	EL. 'B'	EL. 'B'	EL. 'B'	EL. 'C'	EL. 'C'	EL. 'C'	EL. 'C'
	STD. PLAN	OPT. 5 BED	OPT. GRND	OPT. 5 BED & GRND	STD. PLAN	OPT. 5 BED	OPT. GRND	OPT. 5 BED & GRND	STD. PLAN	OPT. 5 BED	OPT. GRND	OPT. 5 BED & GRND
GROSS WALL AREA	4553.26 sq. ft. (423.01 sq. m.)	4553.26 sq. ft. (423.01 sq. m.)	4553.26 sq. ft. (423.01 sq. m.)	4553.26 sq. ft. (423.01 sq. m.)	4526.08 sq. ft. (420.49 sq. m.)	4526.08 sq. ft. (420.49 sq. m.)	4526.08 sq. ft. (420.49 sq. m.)	4526.08 sq. ft. (420.49 sq. m.)	4457.33 sq. ft. (414.10 sq. m.)	4457.33 sq. ft. (414.10 sq. m.)	4457.33 sq. ft. (414.10 sq. m.)	4457.33 sq. ft. (414.10 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	442.86 sq. ft. (41.14 sq. m.)	441.41 sq. ft. (41.01 sq. m.)	465.52 sq. ft. (43.25 sq. m.)	464.08 sq. ft. (43.11 sq. m.)	438.55 sq. ft. (40.74 sq. m.)	437.11 sq. ft. (40.61 sq. m.)	461.22 sq. ft. (42.85 sq. m.)	459.77 sq. ft. (42.71 sq. m.)	469.05 sq. ft. (43.58 sq. m.)	467.60 sq. ft. (43.44 sq. m.)	491.71 sq. ft. (45.68 sq. m.)	490.27 sq. ft. (45.55 sq. m.)
TOTAL WINDOW %	9.73 %	9.69 %	10.22 %	10.19 %	9.69 %	9.66 %	10.19 %	10.16 %	10.52 %	10.49 %	11.03 %	11.00 %
GROSS WALL AREA	EL. 'A' - WOD STD. PLAN	EL. 'A' - WOD OPT. 5 BED	EL. 'A' - WOD OPT. GRND	EL. 'A' - WOD OPT. 5 BED & GRND	EL. 'B' - WOD STD. PLAN	EL. 'B' - WOD OPT. 5 BED	EL. 'B' - WOD OPT. GRND	EL. 'B' - WOD OPT. 5 BED & GRND	EL. 'C' - WOD STD. PLAN	EL. 'C' - WOD OPT. 5 BED	EL. 'C' - WOD OPT. GRND	EL. 'C' - WOD OPT. 5 BED & GRND
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	4585.04 sq. ft. (425.96 sq. m.)	4585.04 sq. ft. (425.96 sq. m.)	4585.04 sq. ft. (425.96 sq. m.)	4585.04 sq. ft. (425.96 sq. m.)	4557.86 sq. ft. (423.44 sq. m.)	4557.86 sq. ft. (423.44 sq. m.)	4557.86 sq. ft. (423.44 sq. m.)	4557.86 sq. ft. (423.44 sq. m.)	4489.11 sq. ft. (417.05 sq. m.)	4489.11 sq. ft. (417.05 sq. m.)	4489.11 sq. ft. (417.05 sq. m.)	4489.11 sq. ft. (417.05 sq. m.)
TOTAL WINDOW %	9.73 %	9.70 %	10.23 %	10.19 %	9.69 %	9.66 %	10.19 %	10.16 %	10.52 %	10.49 %	11.03 %	11.00 %
GROSS WALL AREA	EL. 'A' - LOD STD. PLAN	EL. 'A' - LOD OPT. 5 BED	EL. 'A' - LOD OPT. GRND	EL. 'A' - LOD OPT. 5 BED & GRND	EL. 'B' - LOD STD. PLAN	EL. 'B' - LOD OPT. 5 BED	EL. 'B' - LOD OPT. GRND	EL. 'B' - LOD OPT. 5 BED & GRND	EL. 'C' - LOD STD. PLAN	EL. 'C' - LOD OPT. 5 BED	EL. 'C' - LOD OPT. GRND	EL. 'C' - LOD OPT. 5 BED & GRND
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	4674.42 sq. ft. (434.27 sq. m.)	4674.42 sq. ft. (434.27 sq. m.)	4674.42 sq. ft. (434.27 sq. m.)	4674.42 sq. ft. (434.27 sq. m.)	4647.24 sq. ft. (431.74 sq. m.)	4647.24 sq. ft. (431.74 sq. m.)	4647.24 sq. ft. (431.74 sq. m.)	4647.24 sq. ft. (431.74 sq. m.)	4578.49 sq. ft. (425.36 sq. m.)	4578.49 sq. ft. (425.36 sq. m.)	4578.49 sq. ft. (425.36 sq. m.)	4578.49 sq. ft. (425.36 sq. m.)
TOTAL WINDOW %	9.80 %	9.76 %	10.28 %	10.25 %	9.76 %	9.73 %	10.25 %	10.22 %	10.57 %	10.54 %	11.07 %	11.04 %
GROSS WALL AREA	EL. 'A' - WOB STD. PLAN	EL. 'A' - WOB OPT. 5 BED	EL. 'A' - WOB OPT. GRND	EL. 'A' - WOB OPT. 5 BED & GRND	EL. 'B' - WOB STD. PLAN	EL. 'B' - WOB OPT. 5 BED	EL. 'B' - WOB OPT. GRND	EL. 'B' - WOB OPT. 5 BED & GRND	EL. 'C' - WOB STD. PLAN	EL. 'C' - WOB OPT. 5 BED	EL. 'C' - WOB OPT. GRND	EL. 'C' - WOB OPT. 5 BED & GRND
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	4970.35 sq. ft. (461.76 sq. m.)	4970.35 sq. ft. (461.76 sq. m.)	4970.35 sq. ft. (461.76 sq. m.)	4970.35 sq. ft. (461.76 sq. m.)	4943.17 sq. ft. (459.24 sq. m.)	4943.17 sq. ft. (459.24 sq. m.)	4943.17 sq. ft. (459.24 sq. m.)	4943.17 sq. ft. (459.24 sq. m.)	4874.42 sq. ft. (452.85 sq. m.)	4874.42 sq. ft. (452.85 sq. m.)	4874.42 sq. ft. (452.85 sq. m.)	4874.42 sq. ft. (452.85 sq. m.)
TOTAL WINDOW %	11.61 %	11.58 %	12.07 %	12.04 %	11.59 %	11.56 %	12.04 %	12.02 %	12.38 %	12.35 %	12.84 %	12.81 %

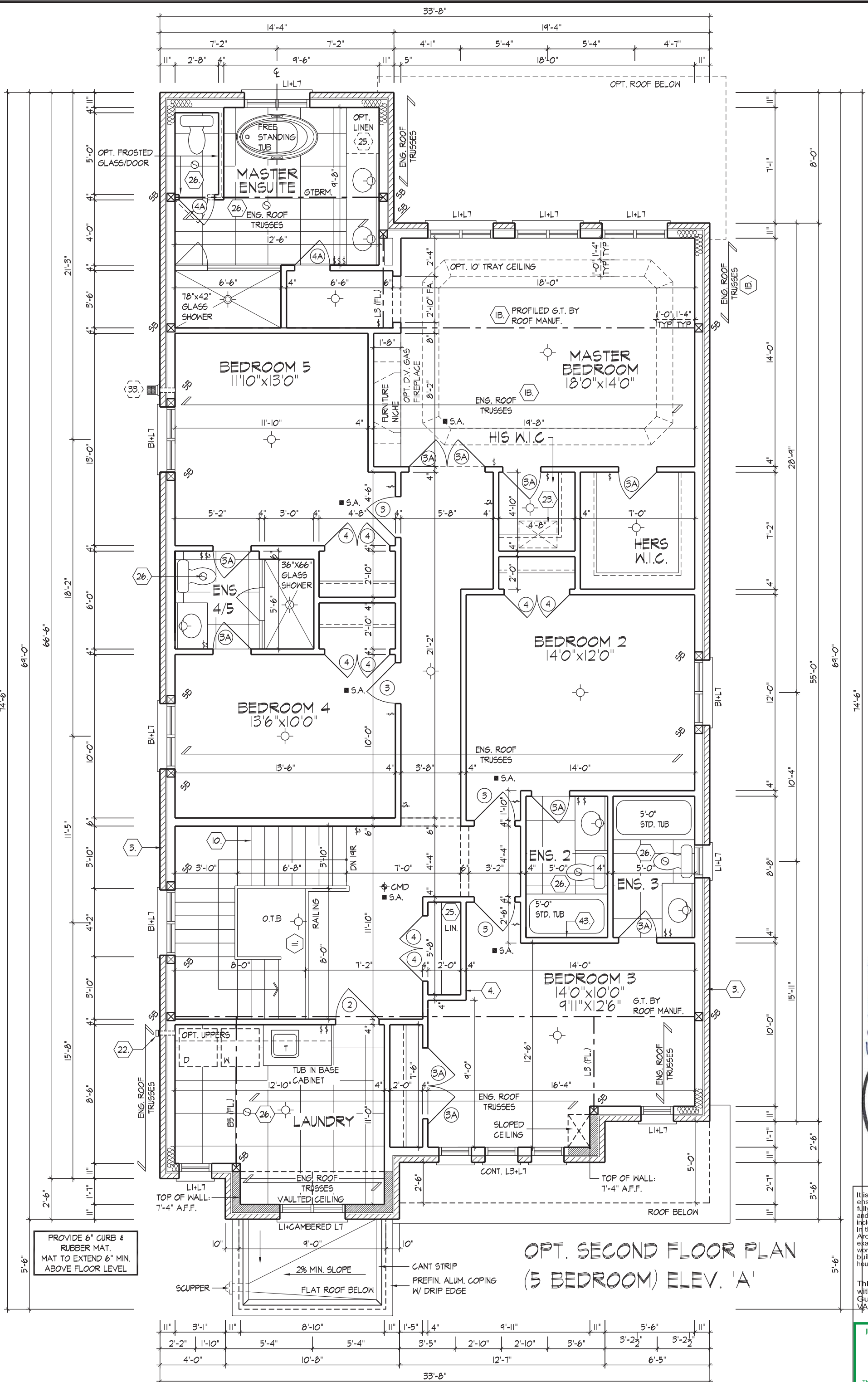


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NAME	DATE	2020	2020	GOLDPARK HOMES - 217020 UNIT 4202 - THE ROSEDALE			
REGISTRATION INFORMATION	DATE	2020	2020	PINE VALLEY, VAUGHAN ONT. REV. 2018/09/18			
HUNT DESIGN ASSOCIATES INC.	19695	19695	19695	8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326			
Down By	Checked By	Scale	File Number	Page Number			
RAAM	OF	3/16"=1'-0"	217020WS4202.DWG	1	of 18		
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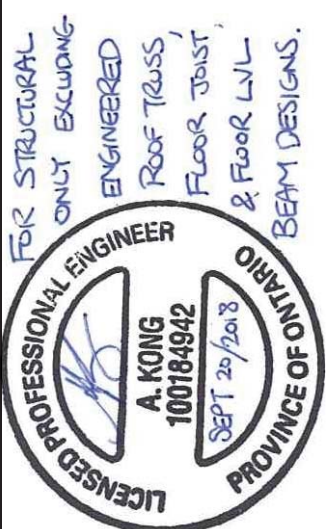


SECOND FLOOR PLAN ELEV. 'A'

REFER TO ROOF TRUSS
MANUFACTURER'S DRAWINGS FOR
LAYOUT, SPACING, INSTALLATION
DETAILS AND HANGER SIZES



OPT. SECOND FLOOR PLAN
(5 BEDROOM) ELEV. 'A'



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: SEP 20, 2018

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Orin Fairbairn 201

NAME	SIGNATURE	DATE
REGISTRATION INFORMATION		
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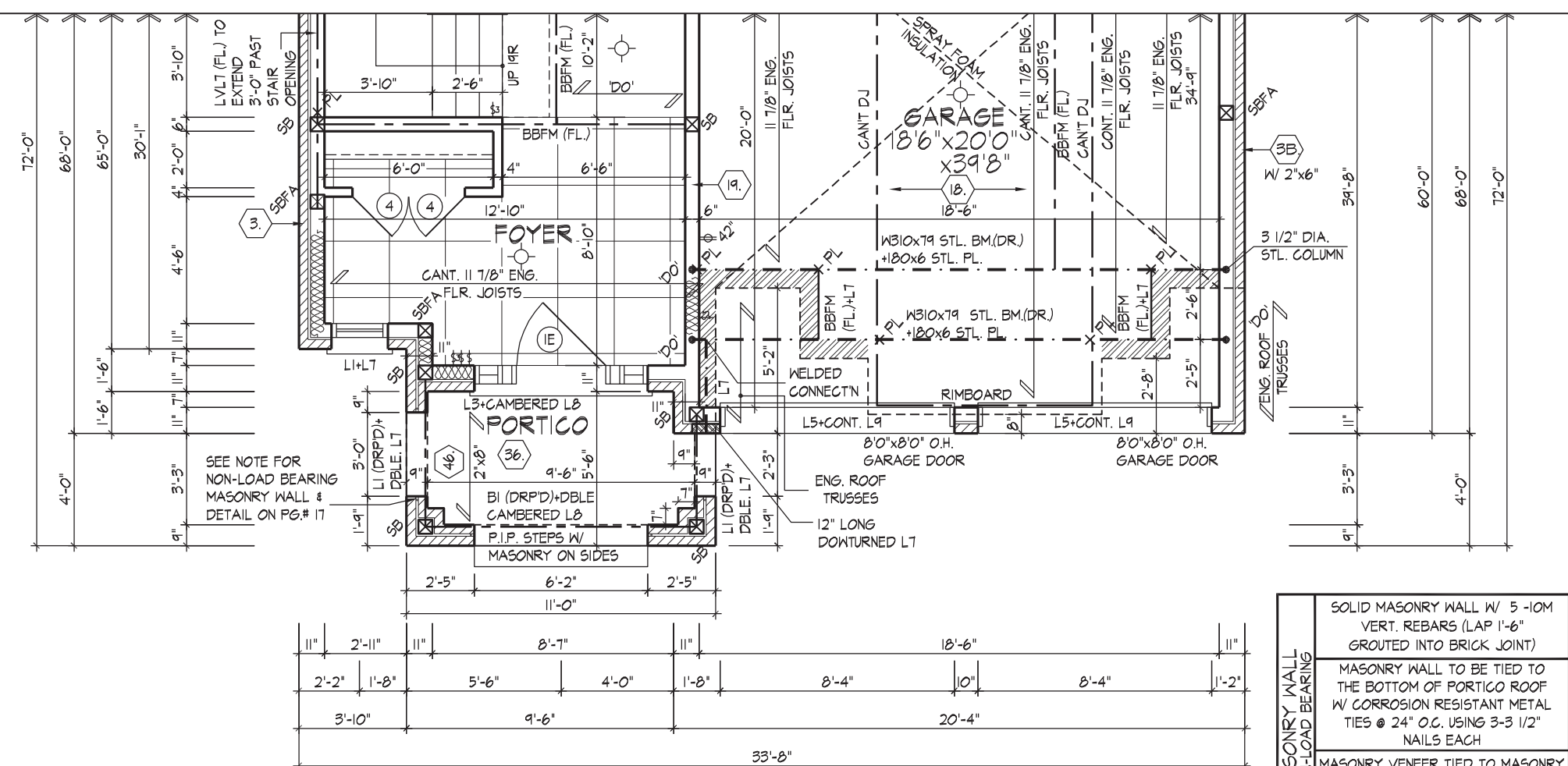
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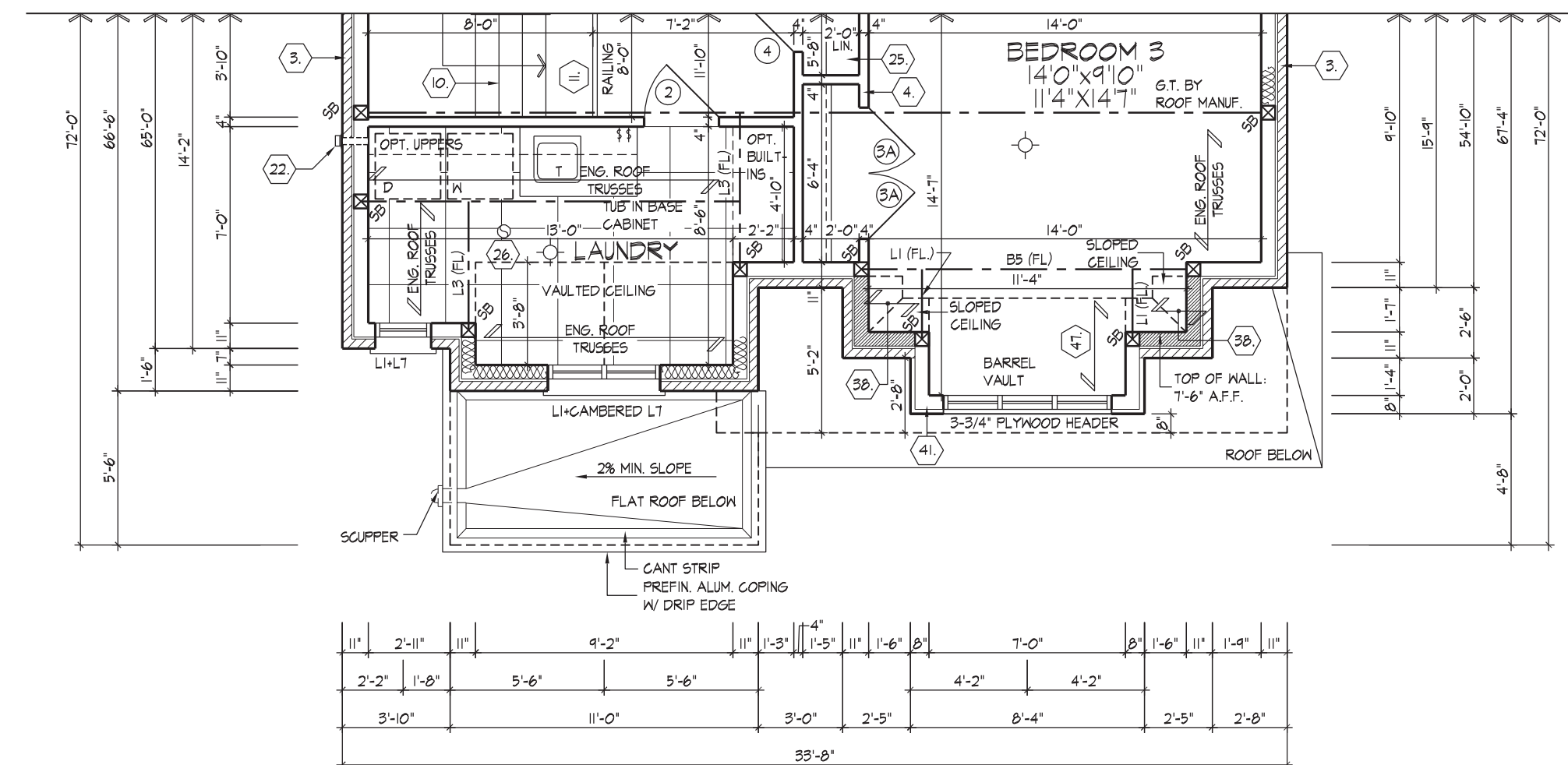
SECOND & OPT. SECOND FLOOR PLANS - ELEV. 'A'
GOLDPARK HOMES - 217020 **UNIT 4202 - THE ROSEDALE**
 PINE VALLEY, VAUGHAN ONT. REV. 2018/09/18

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8966 Woodbine Ave. Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326				

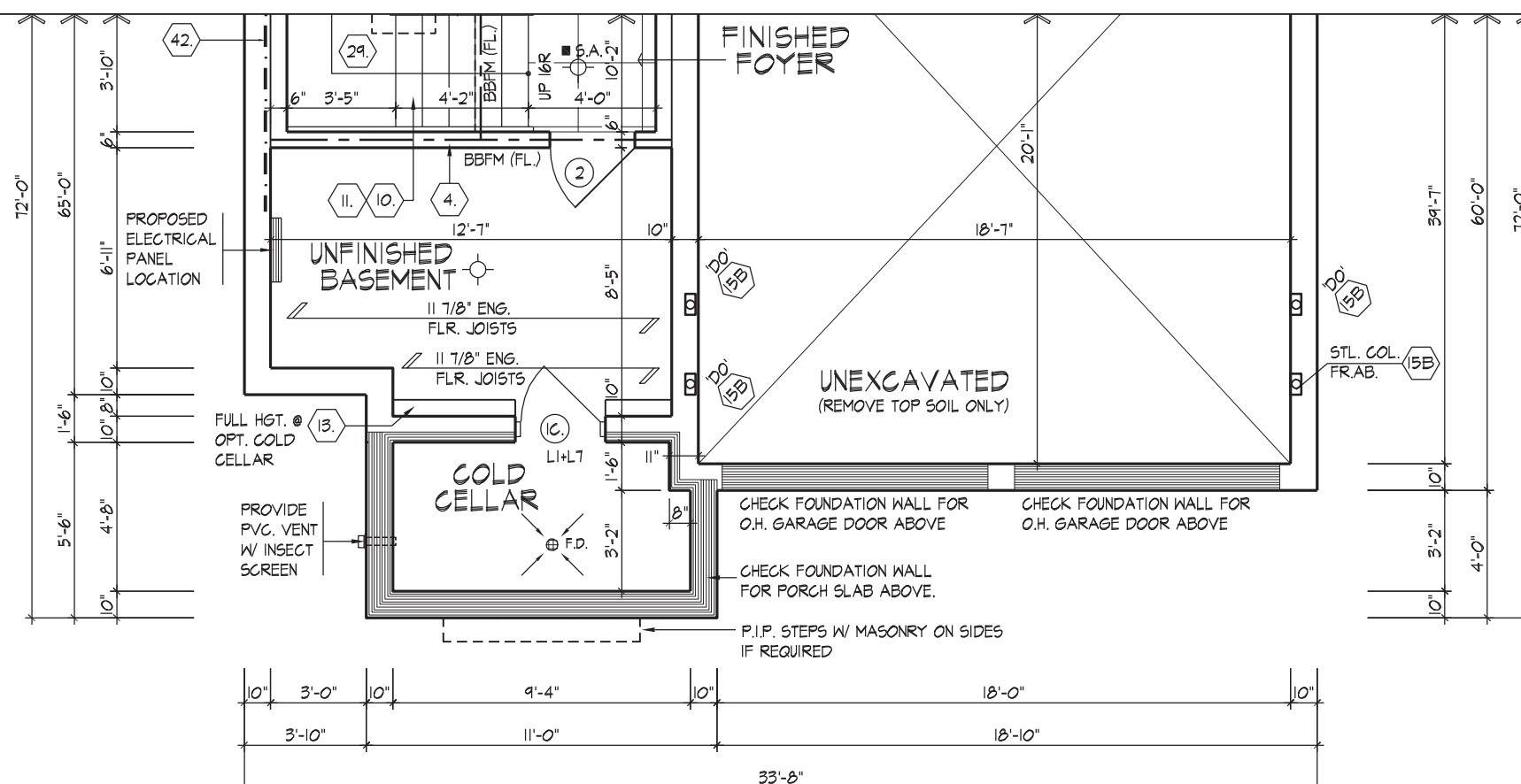
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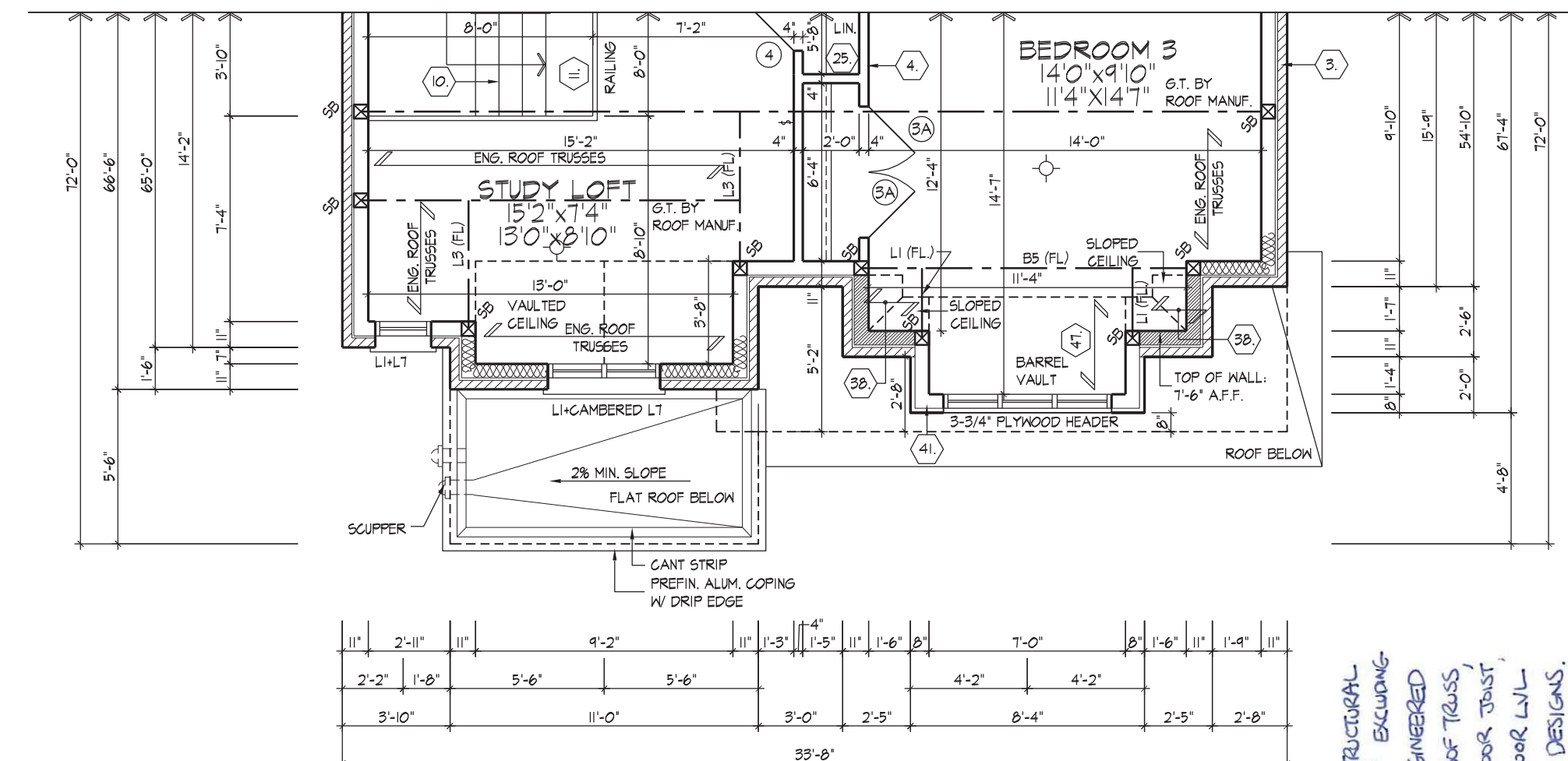
PARTIAL GROUND FLOOR PLAN - ELEVATION 'B'



PARTIAL OPT. SECOND FLOOR PLAN - ELEVATION 'B'



PARTIAL BASEMENT PLAN - ELEVATION 'B'



PARTIAL SECOND FLOOR PLAN - ELEVATION 'B'

SPACE ALL FLOOR JOISTS @
12" O.C. UNDER ALL CERAMIC
TILE AREAS.

PROVIDE SOLID WOOD BLOCKING @
24" O.C. FOR FIRST JOIST SPAN
WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST
MANUFACTURER'S DRAWINGS FOR
LAYOUT, SPACING, BLOCKING &
STRAPPING REQUIREMENTS,
INSTALLATION DETAILS AND HANGER
SIZES & SUBFLOOR THICKNESS

REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES
& DIMENSIONS

REFER TO ROOF TRUSS
MANUFACTURER'S DRAWINGS FOR
LAYOUT, SPACING, INSTALLATION
DETAILS AND HANGER SIZES.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or regulatory requirements. Any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: SEP 20, 2018

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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATION AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE AS THE DESIGNER.

QUALIFICATION INFORMATION

Orin Fairbairn 20

NAME SIGNATURE

REGISTRATION INFORMATION

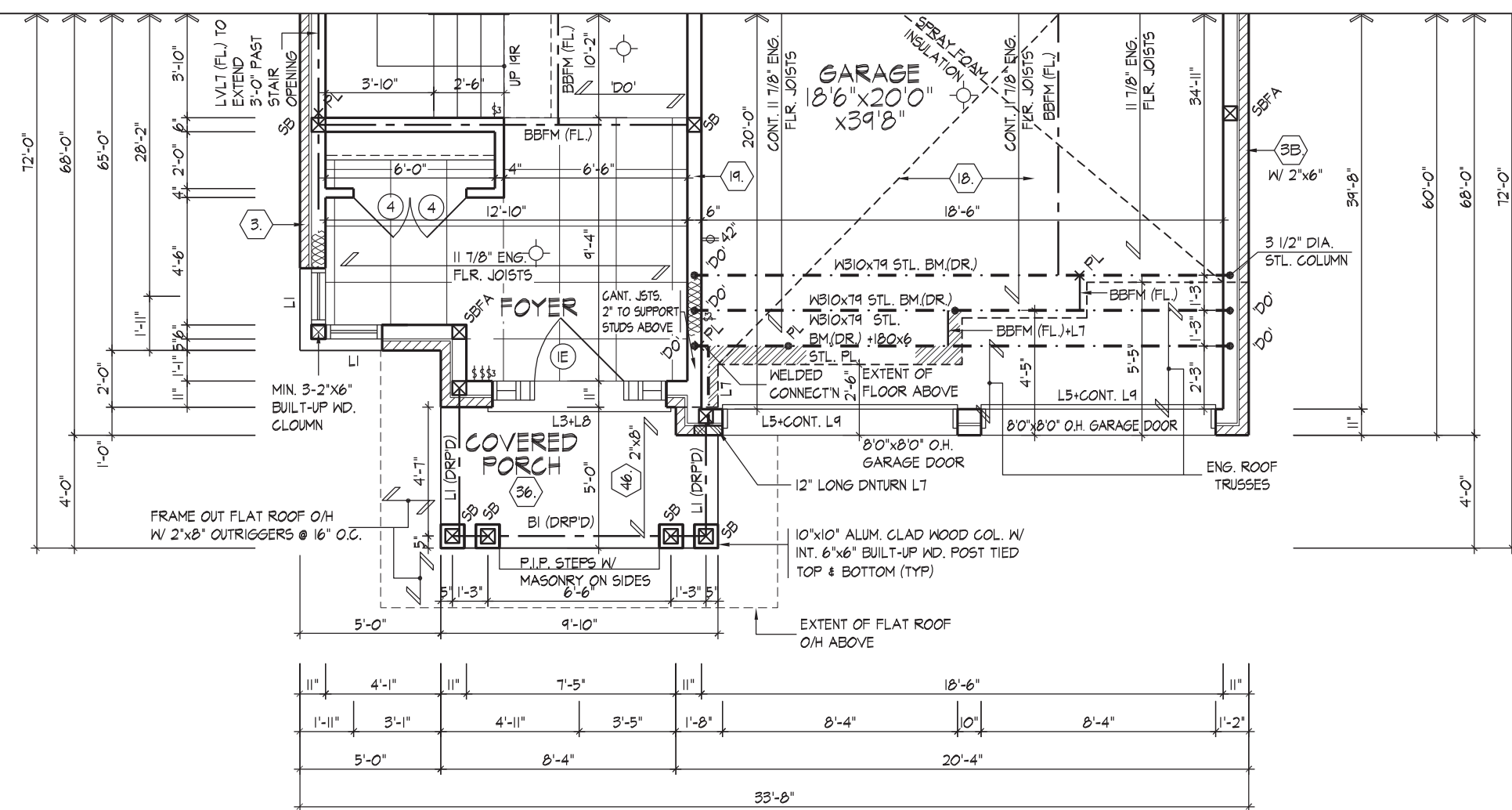
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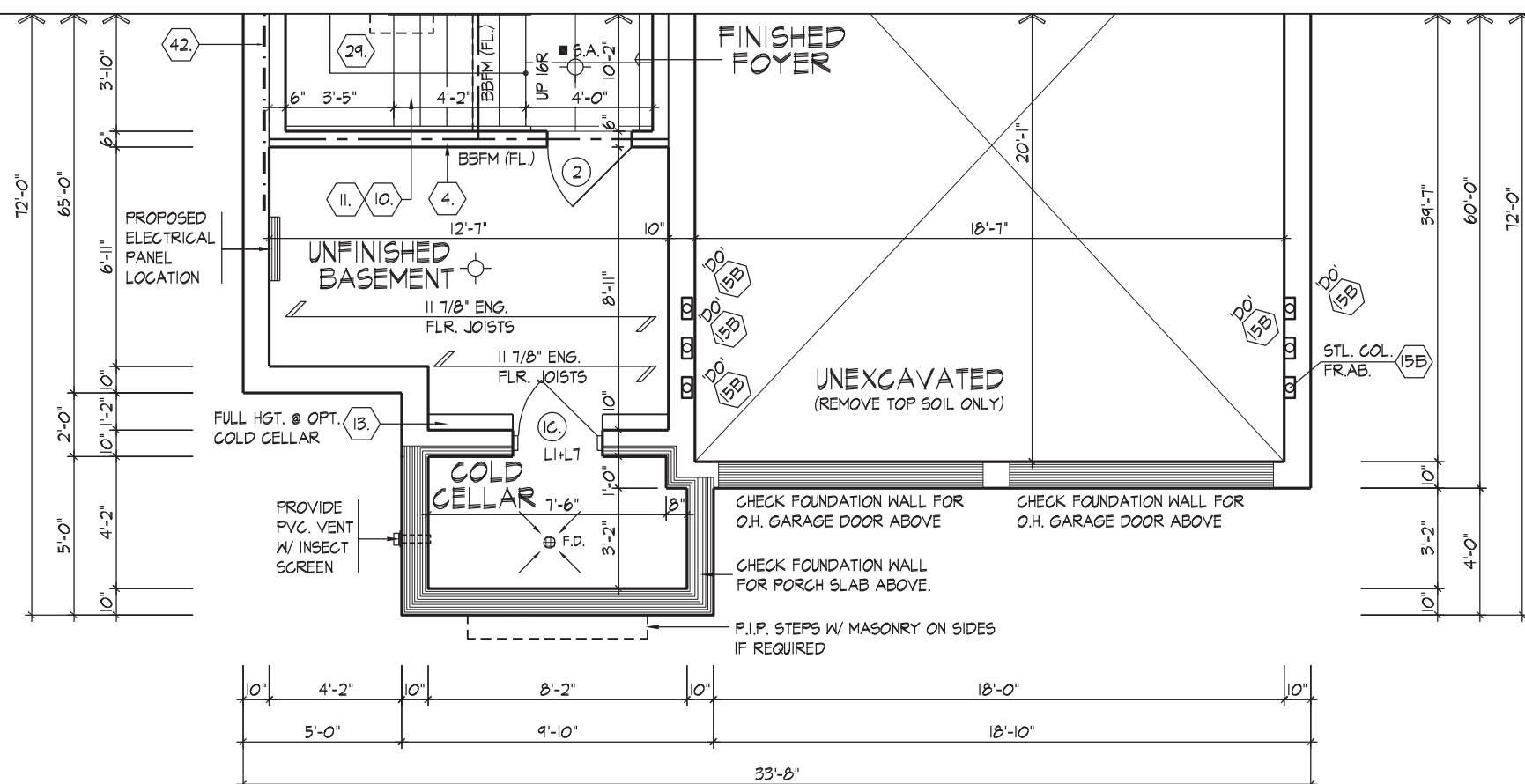
GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

PARTIAL FLOOR PLANS - ELEV. 'B'
020 UNIT 4202 - THE ROSEDALE
NT. REV. 2018/09/18

Drawn By	Checked By	Scale	File Number	Page Number
RAAM	OF	3/16"=1'-0"	217020WS4202.DWG	4 of 18
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326				

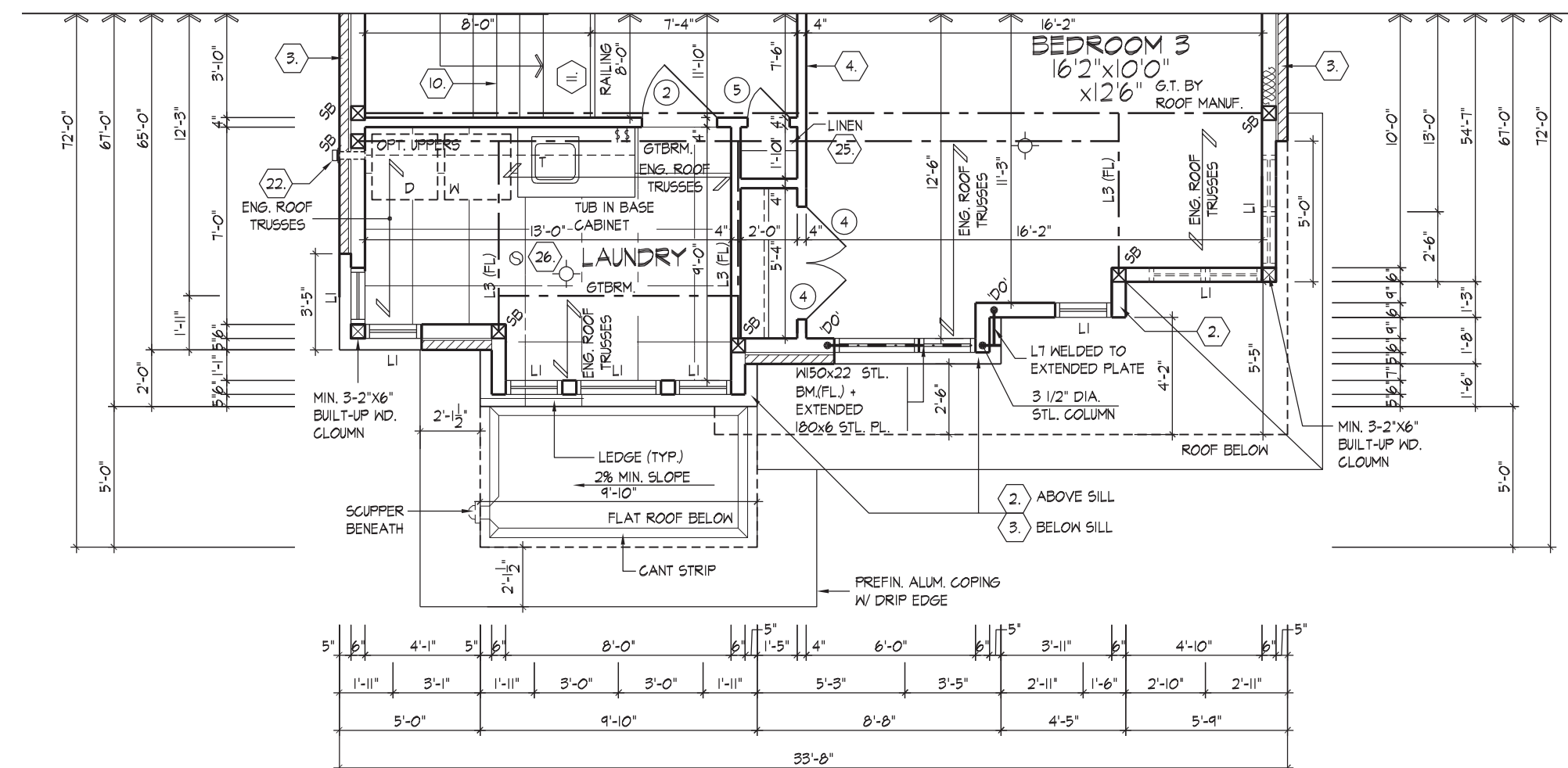


PARTIAL GROUND FLOOR PLAN - ELEVATION 'C'

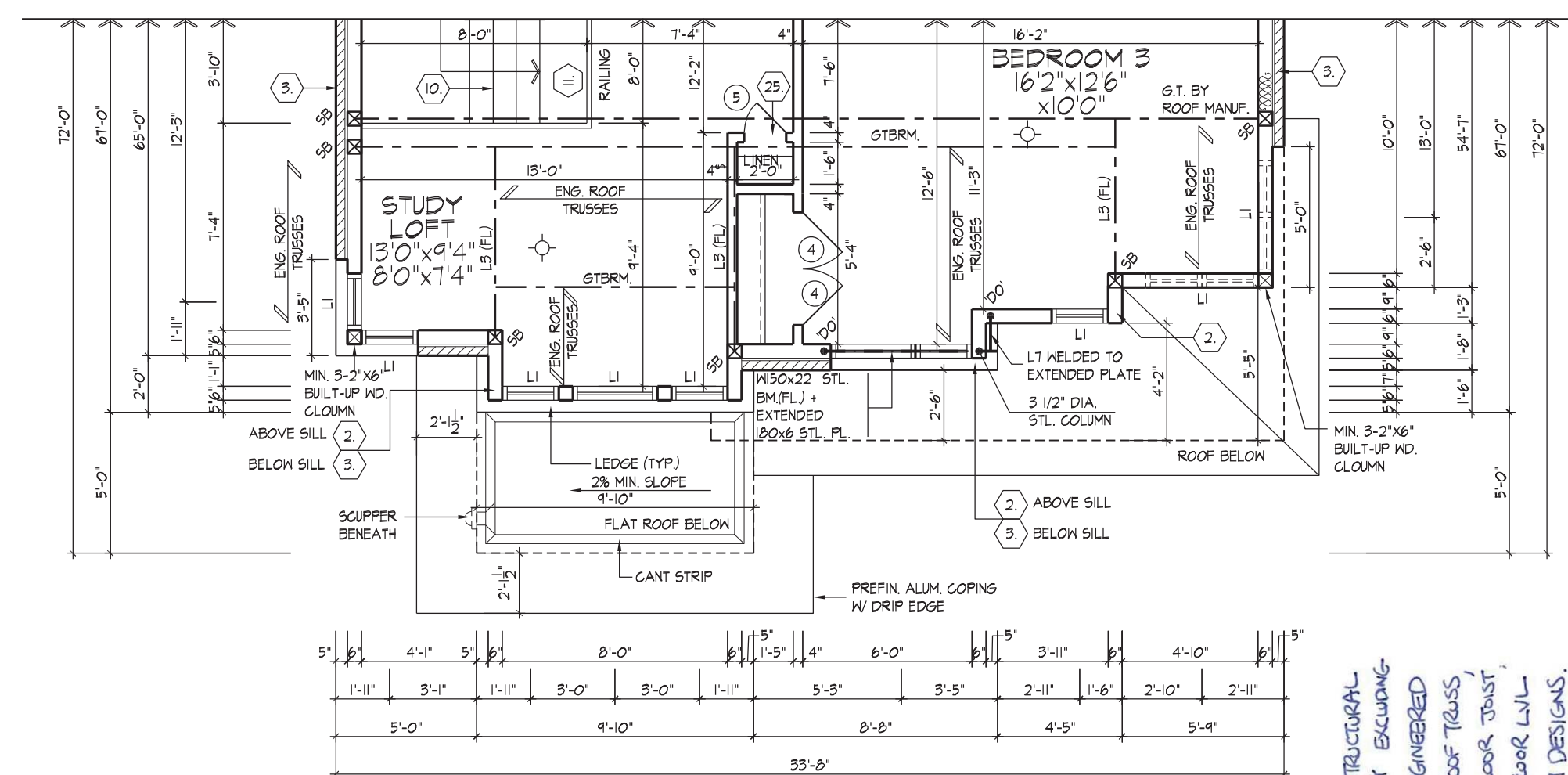


PARTIAL BASEMENT PLAN - ELEVATION 'C'

SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.
PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL
REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS. INSTALLATION DETAILS AND HANGER SIZES & SUBFLOOR THICKNESS



PARTIAL OPT. SECOND FLOOR PLAN (5 BEDROOM)
ELEV. 'C'



PARTIAL SECOND FLOOR PLAN - ELEVATION 'C'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: _____ SEP _____

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QUALIFICATION INFORMATION

Ordn Fairbairn 202

NAME SIGNATURE

REGISTRATION INFORMATION

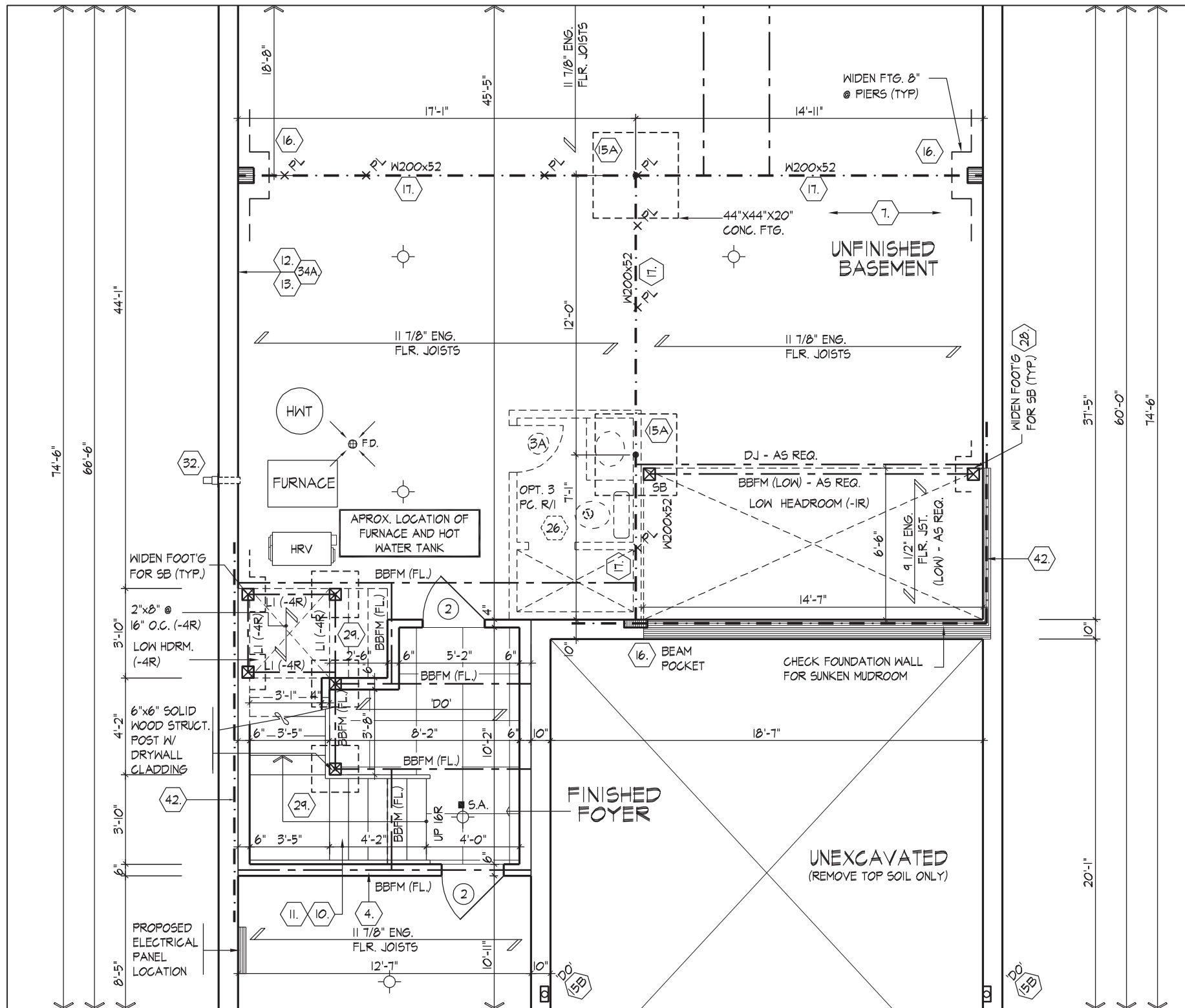
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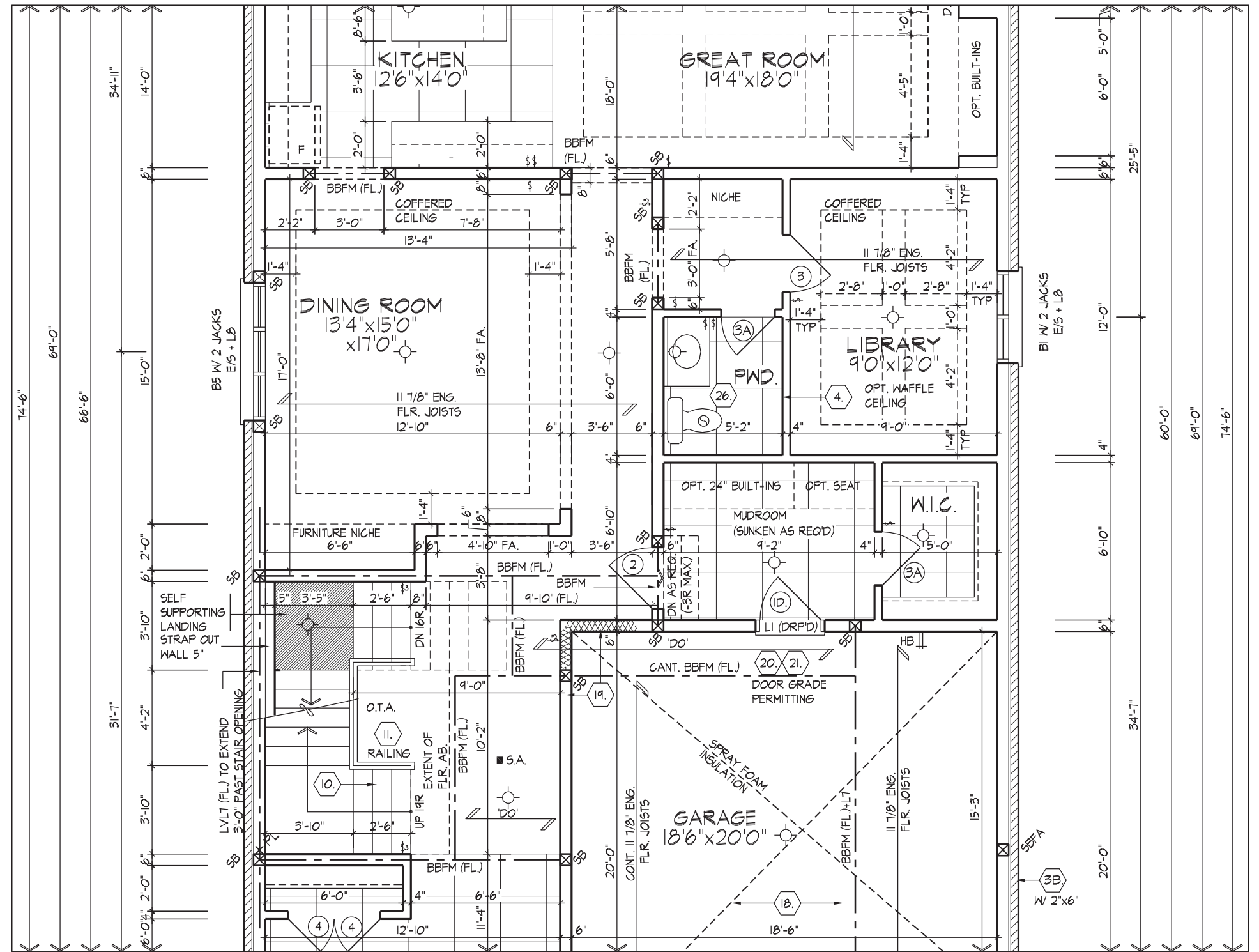
GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

UNIT 4202 - THE ROSEDALE
REV. 2018/09/18

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RAAM	OF	3/16"=1'-0"	217020WS4202.DWG	5 of 18
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326				



PARTIAL BASEMENT PLAN ELEV. 'A' (ELEV. 'B'/'C' SIMILAR)
FOR OPT. GROUND FLOOR PLAN W/ LIBRARY



PARTIAL OPT. GROUND FLOOR PLAN ELEV. 'A'
(ELEV. 'B'/'C' SIMILAR) W/ LIBRARY



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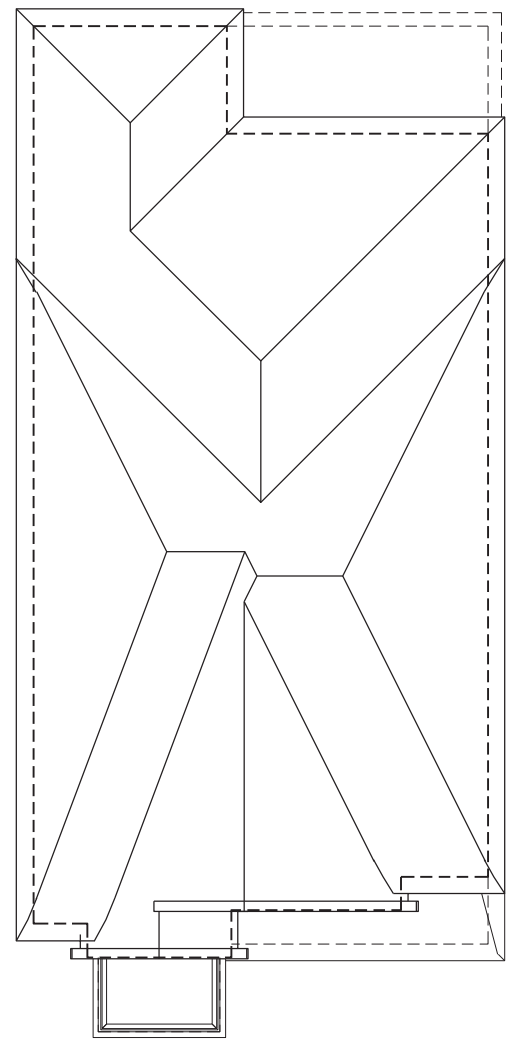
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QUALIFICATION INFORMATION
Orin Fairbairn 20201 BCN
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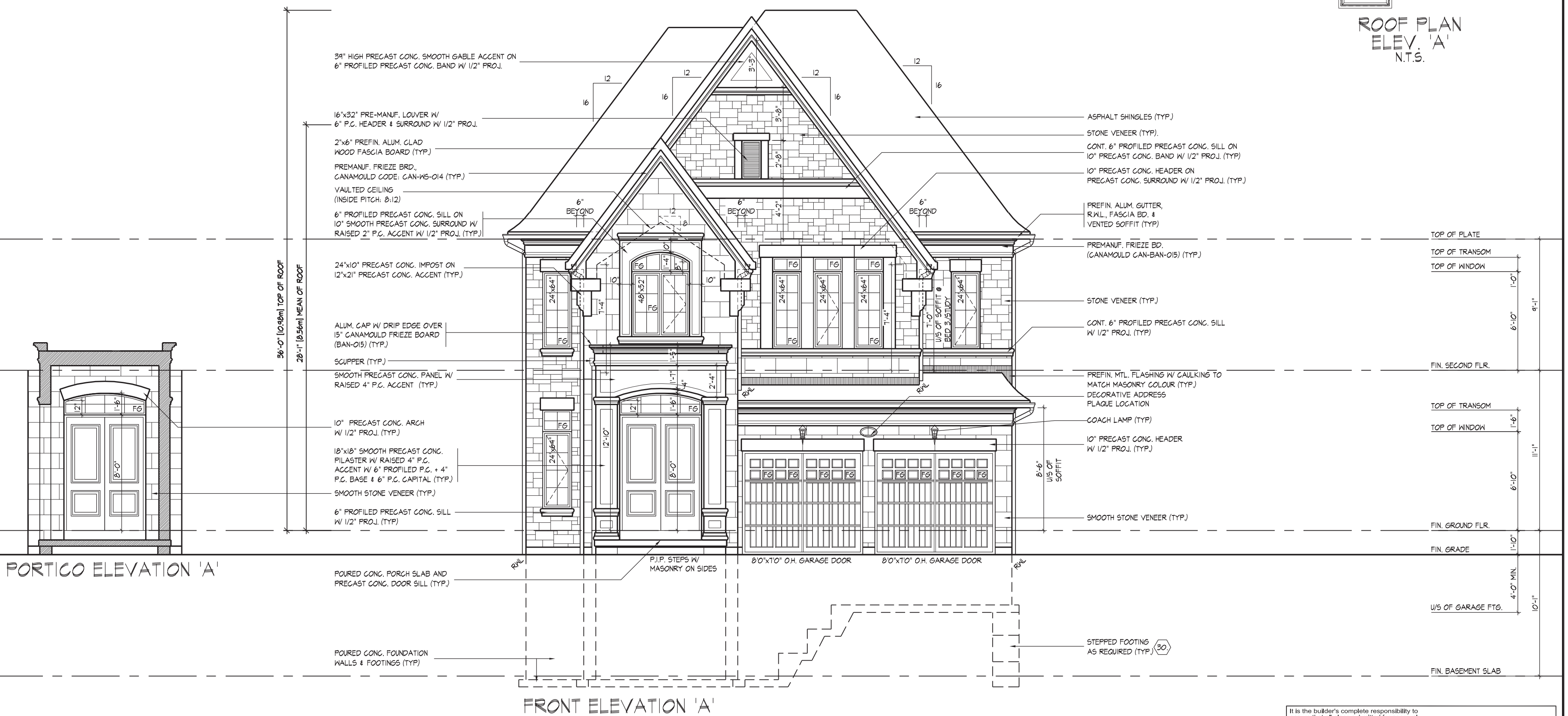
PARTIAL BASEMENT & GROUND FLOOR PLAN W/ LIBRARY - ELEV. 'A'
GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.
UNIT 4202 - THE ROSEDALE
REV. 2018/09/18
Drawn By: RAAM OF 3/16"=1'-0"
Checked By: Scale: 217020WS4202.DWG
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ROOF OVERHANGS ARE TO BE 15" UNLESS NOTED OTHERWISE



ROOF PLAN
ELEV. 'A'
N.T.S.



PORTICO ELEVATION 'A'

FRONT ELEVATION 'A'

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY:
DATE: SEP 20, 2018
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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE AS A DESIGNER.
QUALIFICATION INFORMATION
Orin Fairbairn 20201
NAME OF FIRM
HUNT DESIGN ASSOCIATES INC. 19695

HUNT
DESIGN ASSOCIATES INC.
www.hunt-design.ca

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

Drawn By: RAAM OF 3/16"=1'-0" Scale: 217020WS4202.DWG
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326
Page Number: 7 of 18

FRONT ELEVATION 'A'
UNIT 4202 - THE ROSEDALE
REV. 2018/09/18

ROOF OVERHANGS ARE TO
BE 15" UNLESS NOTED
OTHERWISE

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.

WINDOW SUMMARY			
PER D.O.C. TABLE 3.9.15.4.1			
LEFT SIDE ELEVATION 'A'			
(& OPT. GROUND FLOOR)			
QUANTITY	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	28.52		8.60
1	48.52		14.67
1	24.52		6.62
1	72.68		30.27
1	48.60		17.11
0	0	0	0.00
0	0	0	0.00
0	0	0	0.00
0	0	0	0.00
0	0	0	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING		1510.58	S.F.
FACE AREA		161.34	S.F.
PORTION WALL AREA		134.85	S.F.
LIMITING WALL AREA		134.85	S.F.
MAX. % OPENINGS		7.12	%
% OPENINGS ALLOWED		101.63	S.F.
OPENINGS PROVIDED		78.67	S.F.
GLAZED AREA CALCULATED IN FRAME SIZE			
MINUS 2' x 4' UNDER PERIMETER			

WINDOW SUMMARY			
PER O.C. TABLE 9.0.15.4			
LEFT SIDE ELEV. A/F (O) 5 BED			
O/F. GROUND FLOOR			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
0	0	0	0.00
2	48	52	29.33
0	0	0	0.00
1	72	68	30.22
1	48	60	17.11
0	0	0	0.00
0	0	0	0.00
0	0	0	0.00
0	0	0	0.00
0	0	0	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00

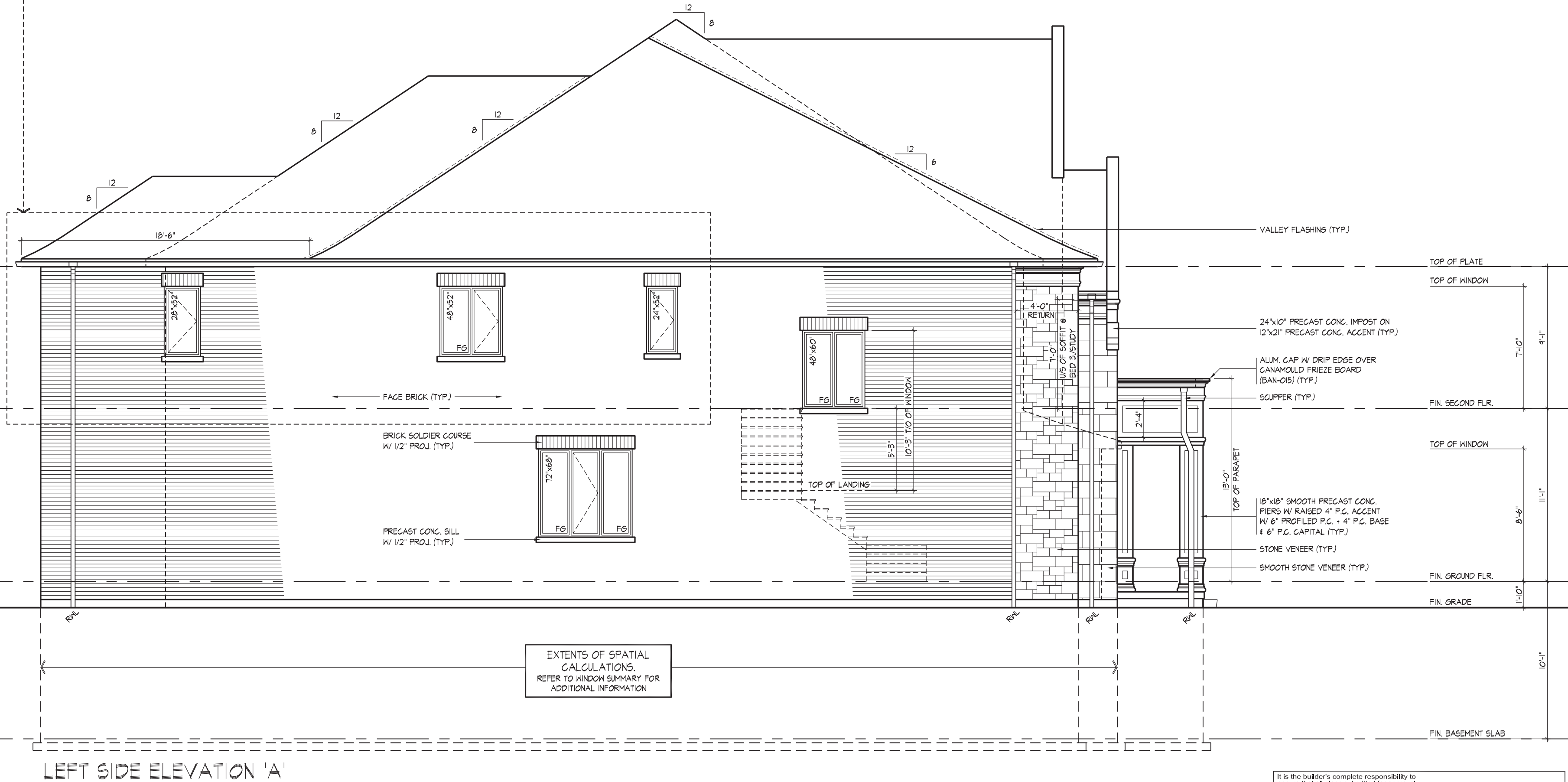
SPATIAL CALCULATION		
EXISTING BUILDING	1510.58	S.F.
POSSIBLE AREA	140.34	S.F.
MAX. ALLOWED	145.52	S.F.
PORTION VIAL AREA	134.89	S.F.
LIMITING DISTANCE	12	ft.
MAX. X-CHANGES	10	
OPENINGS ALLOWED	101.63	S.F.
OPENINGS PROVIDED	76.67	S.F.

ADDITIONAL NOTES

GLAZED AREA CALCULATED IN FRAME SIZE

MINUS 2' X 4' ZONE AROUND PERIMETER

PART. LEFT SIDE ELEVATION 'A'
FOR OPT. 5 BEDROOM



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: SEP 20, 2018

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Design Guidelines only and bears no further
professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE AS THE DESIGNER.

QUALIFICATION INFORMATION

Orin Fairbairn 2012

NAME SIGNATURE

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC. 1988

HUNT 
DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

LEFT SIDE ELEVATION 'A'
UNIT 4202 - THE ROSEDALE
REV. 2018/09/18

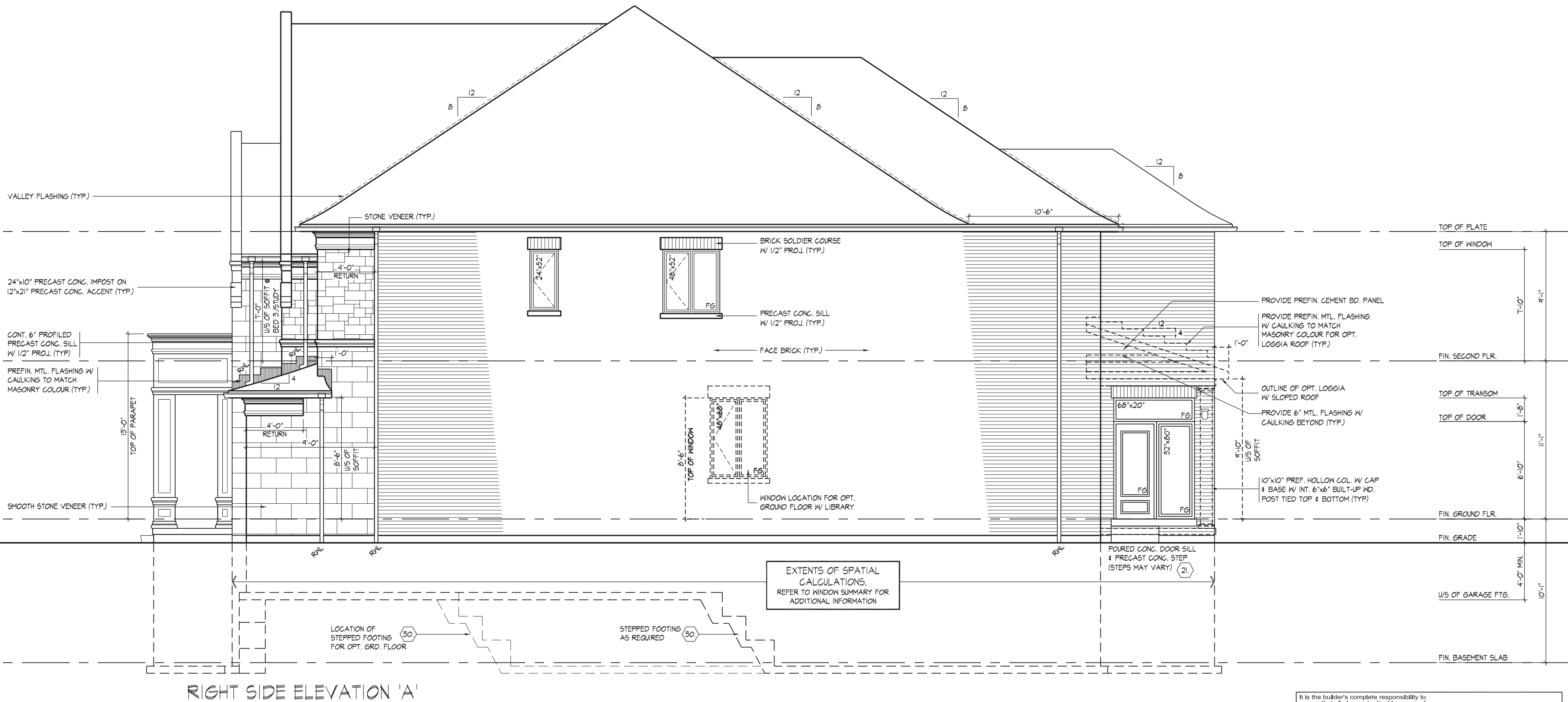
Drawn By	Checked By	Scale	File Number
RAAM	OF	3/16"=1'-0"	217020WS42
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326			

DEARBARN | TUE SEP 18 4:08:01 AM | K:\PROJECTS\2017\217020.GOI\WORKING\SINGLES\21717020\WS\2017-BOSE\DW.F.DWG

ROOF OVERHANGS ARE TO BE 15" UNLESS NOTED OTHERWISE
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
RIGHT SIDE ELEVATION 'A' (& OPT. 2ND FLOOR)				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
1	24	52	6.67	
1	48	52	14.67	
1	32	80	14.78	
1	68	20	7.11	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
1	DOOR	7.60	7.60	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING	1510.58		S.F.	
FACE AREA	140.34		S.M.	
PORTION WALL AREA	1251.67		S.F.	
	116.26		S.M.	
LIMITING DISTANCE	12 m			
MAX. % OPENINGS	7		%	
OPENINGS ALLOWED	87.62		S.F.	
OPENINGS PROVIDED	50.82		S.F.	
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
RIGHT SIDE ELEVATION 'A' W/ OPT. GROUND FLOOR & OPT. 2ND FLOOR				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
1	24	52	6.67	
1	48	52	14.67	
1	48	68	19.56	
1	32	80	14.78	
1	68	20	7.11	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
1	DOOR	7.60	7.60	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING	1510.58	S.F.		
FACE AREA	140.34	S.M.		
PORTION WALL AREA	1251.67	S.F.		
	116.26	S.M.		
LIMITING DISTANCE	12 m			
MAX. % OPENINGS	7	%		
OPENINGS ALLOWED	87.62	S.F.		
OPENINGS PROVIDED	70.38	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: SEP 20, 2018
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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE.
QUALIFICATION INFORMATION:
Orin Fairbairn 20201
NAME: ORIN FAIRBAIRN
REGISTRATION INFORMATION: BCIN
HUNT DESIGN ASSOCIATES INC. 19695

HUNT DESIGN ASSOCIATES INC.
8966 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326
www.huntdesign.ca

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

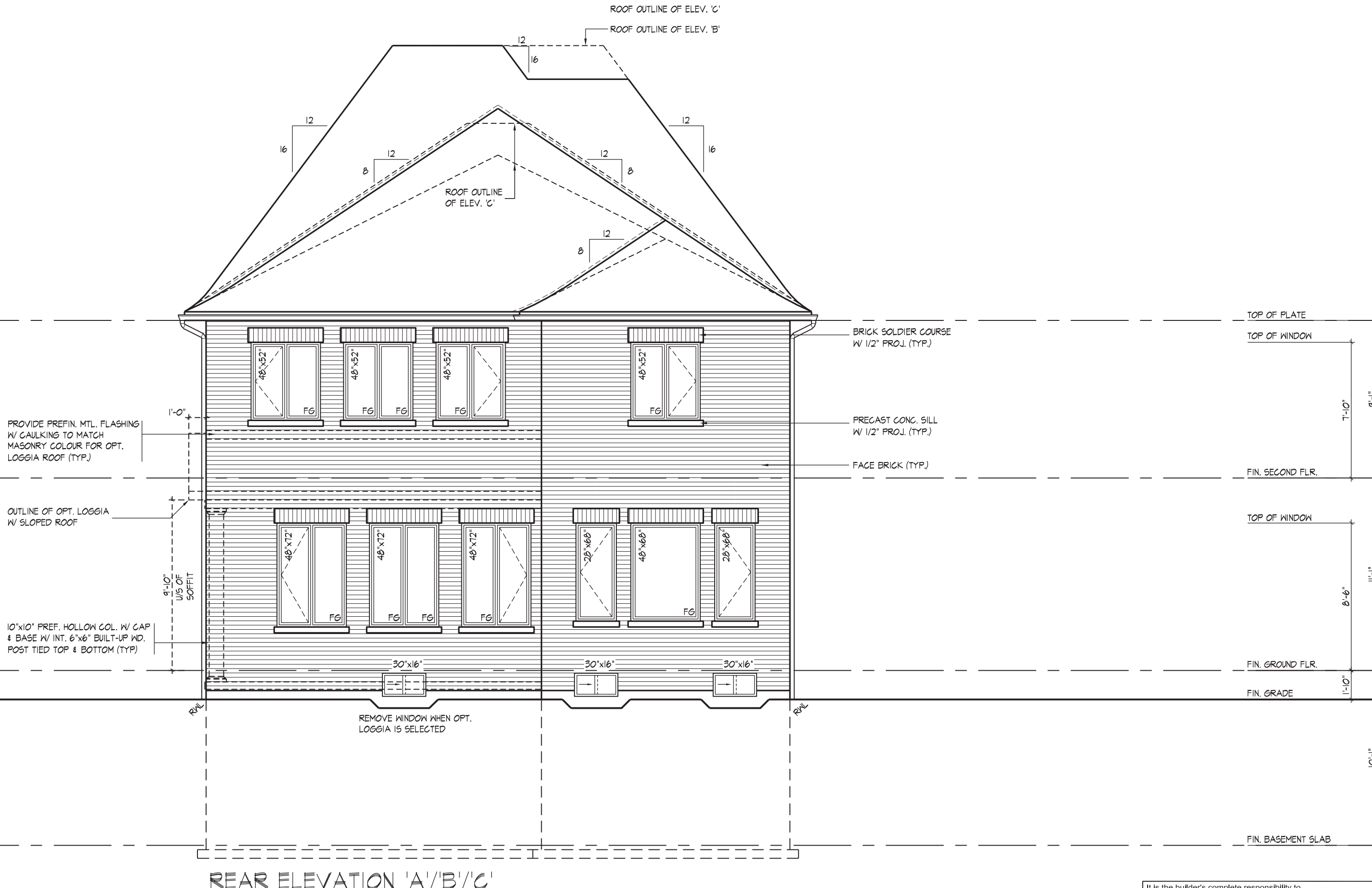
RIGHT SIDE ELEVATION 'A'
UNIT 4202 - THE ROSEDALE
REV. 2018/09/18

Drawn By: RAAM OF 3/16"=1'-0"
Checked By: [Signature]
Scale: 3/16"=1'-0"
File Number: 217020WS4202.DWG
Page Number: 9 of 18

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REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.

WINDOW SUMMARY				WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
REAR ELEV. A - STD./OPT.				REAR ELEV. B - STD./OPT.				REAR ELEV. C - STD./OPT.			
QUAN.	UNIT	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	UNIT	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	UNIT	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
4	48"	52"	58.67	4	48"	52"	58.67	4	48"	52"	58.67
3	48"	72"	62.33	3	48"	72"	62.33	3	48"	72"	62.33
2	28"	68"	21.33	2	28"	68"	21.33	2	28"	68"	21.33
1	48"	68"	19.56	48"	68"	19.56	48"	68"	19.56	48"	68"
3	30"	16"	6.50	3	30"	16"	6.50	3	30"	16"	6.50
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING FACE AREA		737.10	S.F.	EXPOSING BUILDING FACE AREA		704.51	S.F.	EXPOSING BUILDING FACE AREA		735.06	S.F.
PORTION WALL AREA		68.48	S.F.	PORTION WALL AREA		70.43	S.F.	PORTION WALL AREA		66.29	S.F.
LIMITING DISTANCE		7.50 m		LIMITING DISTANCE		7.50 m		LIMITING DISTANCE		7.50 m	
MAX. # OF OPENINGS		362.84	S.F.	MAX. # OF OPENINGS		362.84	S.F.	MAX. # OF OPENINGS		362.84	S.F.
OPENINGS ALLOWED		372.24	S.F.	OPENINGS ALLOWED		382.84	S.F.	OPENINGS ALLOWED		371.21	S.F.
OPENINGS PROVIDED		168.39	S.F.	OPENINGS PROVIDED		168.39	S.F.	OPENINGS PROVIDED		168.39	S.F.
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: SEP 20, 2018

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Design Guidelines only and bears no further
professional responsibility.

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QUALIFICATION INFORMATION

Orin Fairbairn 20

NAME SIGNATURE

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC. 19

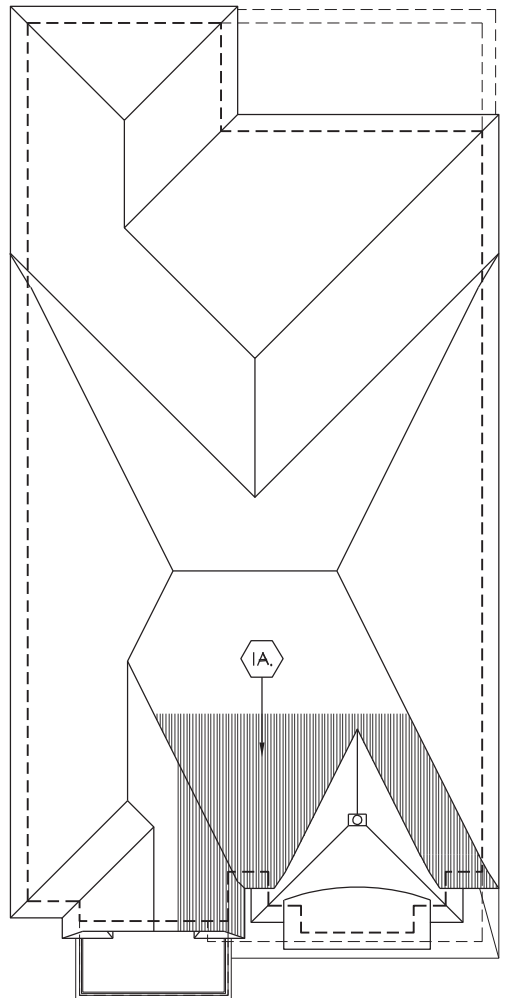
HUNT 
DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

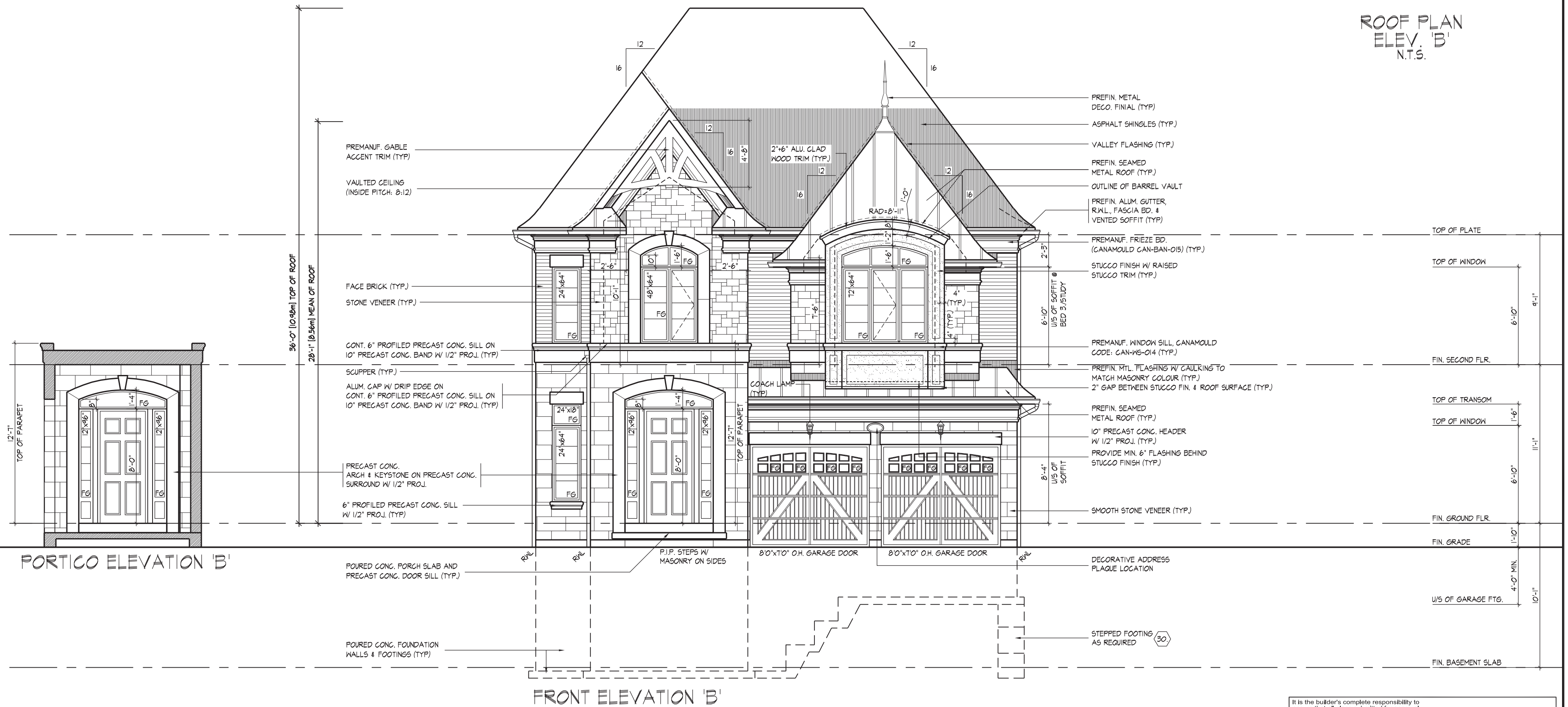
REAR ELEVATION 'A'/'B'/'C
UNIT 4202 - THE ROSEDALE
REV. 2018/09/18

ROOF OVERHANGS ARE TO BE 15" UNLESS NOTED OTHERWISE

ROOF AREA TO HAVE ADDITIONAL ICE & WATER SHIELD (TYP.)



ROOF PLAN
ELEV. 'B'
N.T.S.



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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY:
DATE: SEP 20, 2018
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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS TO MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE. QUALIFICATION INFORMATION:
NAME: Olin Fairbairn
REGISTRATION NUMBER: 20201
SIGNATURE:
HUNT DESIGN ASSOCIATES INC. 19695

HUNT
DESIGN ASSOCIATES INC.
www.hunt-design.ca

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.
Drawn By: RAAM
Checked By: OF
Scale: 3/16"=1'-0"
8966 Woodbine Ave, Markham, ON L3R 0J7
F 905.737.5133 F 905.737.7326

FRONT ELEVATION 'B'
UNIT 4202 - THE ROSEDALE
REV. 2018/09/18

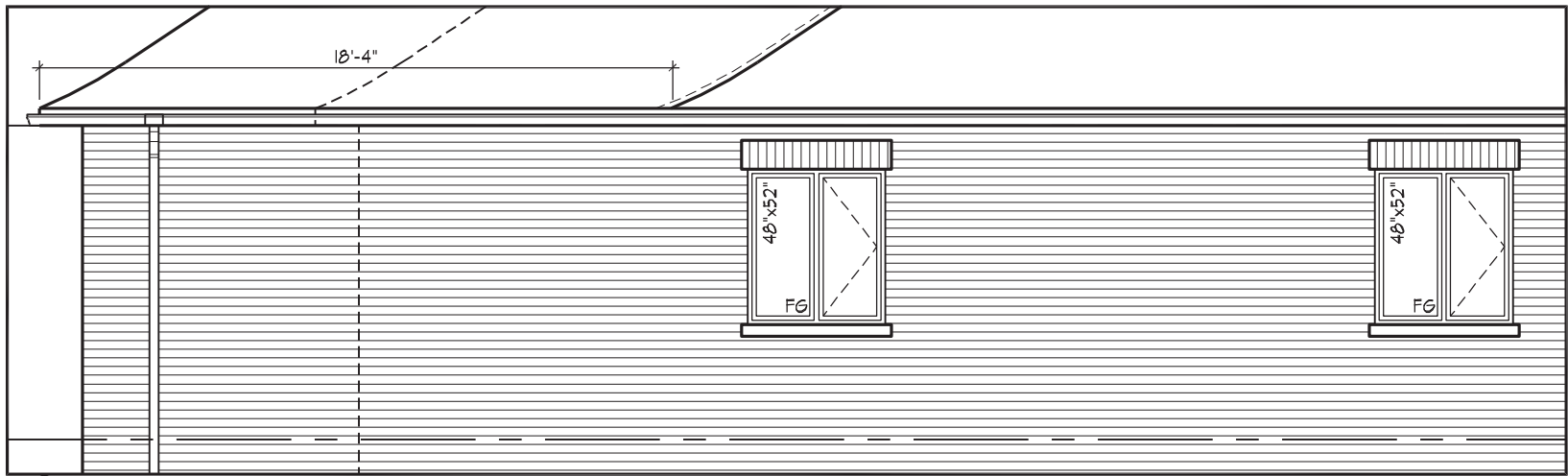
File Number: 217020WS4202.DWG
Page Number: 11 of 18

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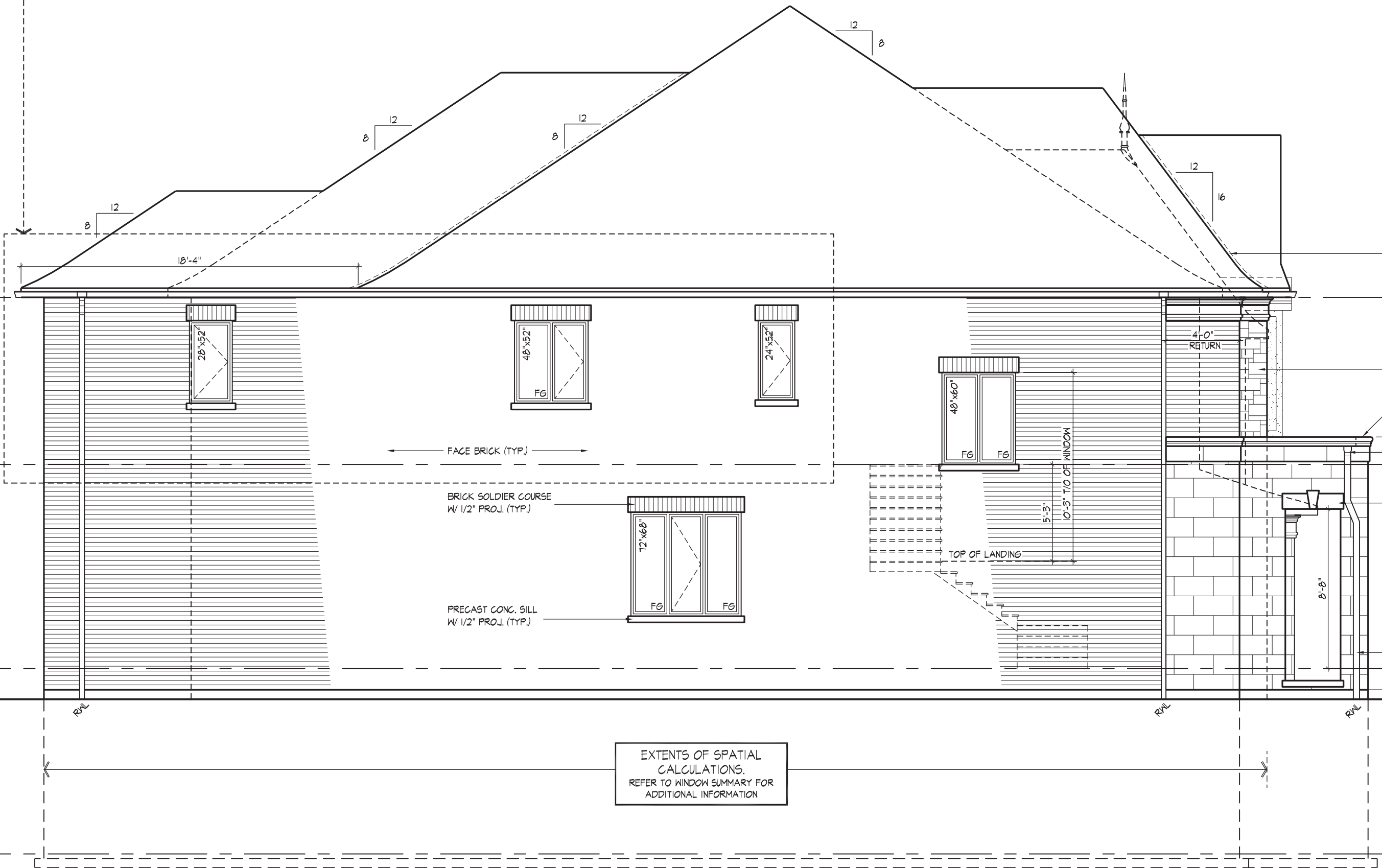
ROOF OVERHANGS ARE TO BE 15" UNLESS NOTED OTHERWISE
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
LEFT SIDE ELEVATION 'B' (8 OPT. GROUND FLOOR)				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
1	28	52	8.00	
1	48	52	14.67	
1	24	52	6.67	
1	72	68	30.22	
1	48	60	17.11	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING	1495.45	S.F.		
FACE AREA	138.93	S.M.		
PORTION WALL AREA	1419.17	S.F.		
PORTION WALL AREA	131.85	S.M.		
LIMITING DISTANCE	12 m			
MAX. % OPENINGS	7	%		
OPENINGS ALLOWED	99.34	S.F.		
OPENINGS PROVIDED	76.67	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
LEFT SIDE ELEV. 'B' (OPT 5 BED & OPT. GROUND FLOOR)				
QUANTITY	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
0	0	0	0.00	
2	48	52	29.33	
0	0	0	0.00	
1	72	68	30.22	
1	48	60	17.11	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
0	ARCH		0.00	
0	ARCH		0.00	
0	ARCH		0.00	
0	ARCH		0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING	1495.45	S.F.		
FACE AREA	138.93	S.M.		
PORTION WALL AREA	1419.17	S.F.		
PORTION WALL AREA	131.85	S.M.		
LIMITING DISTANCE	7	12 m		
MAX. % OPENINGS	99.34	%		
OPENINGS ALLOWED	76.67	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				



PART. LEFT SIDE ELEVATION 'B'
FOR OPT. 5 BEDROOM



LEFT SIDE ELEVATION 'B'

VALLEY FLASHING (TYP.)

TOP OF PLATE

TOP OF WINDOW

9'-1"

STONE VENEER (TYP.)

ALUM. CAP W/ DRIP EDGE ON
CONT. 6" PROFILED PRECAST CONC. SILL ON
10" PRECAST CONC. BAND W/ 1/2" PROJ. (TYP.)

SCUPPER (TYP.)

FIN. SECOND FLR.

10" PRECAST CONC. HEADER + KEYSTONE
W/ 1/2" PROJ. (TYP.)

TOP OF WINDOW

11'-1"

SMOOTH STONE VENEER (TYP.)

FIN. GROUND FLR.

1'-0"

10'-1"

FIN. BASEMENT SLAB

EXTENTS OF SPATIAL
CALCULATIONS.
REFER TO WINDOW SUMMARY FOR
ADDITIONAL INFORMATION

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: SEP 20, 2018

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Orin Fairbairn
NAME
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC.
19695

HUNT DESIGN ASSOCIATES INC.
www.hunt-design.ca

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.
Down By
Checked By
Scale
3/16"=1'-0"

LEFT SIDE ELEVATION 'B'
UNIT 4202 - THE ROSEDALE
REV. 2018/09/18
217020WS4202.DWG
12 of 18

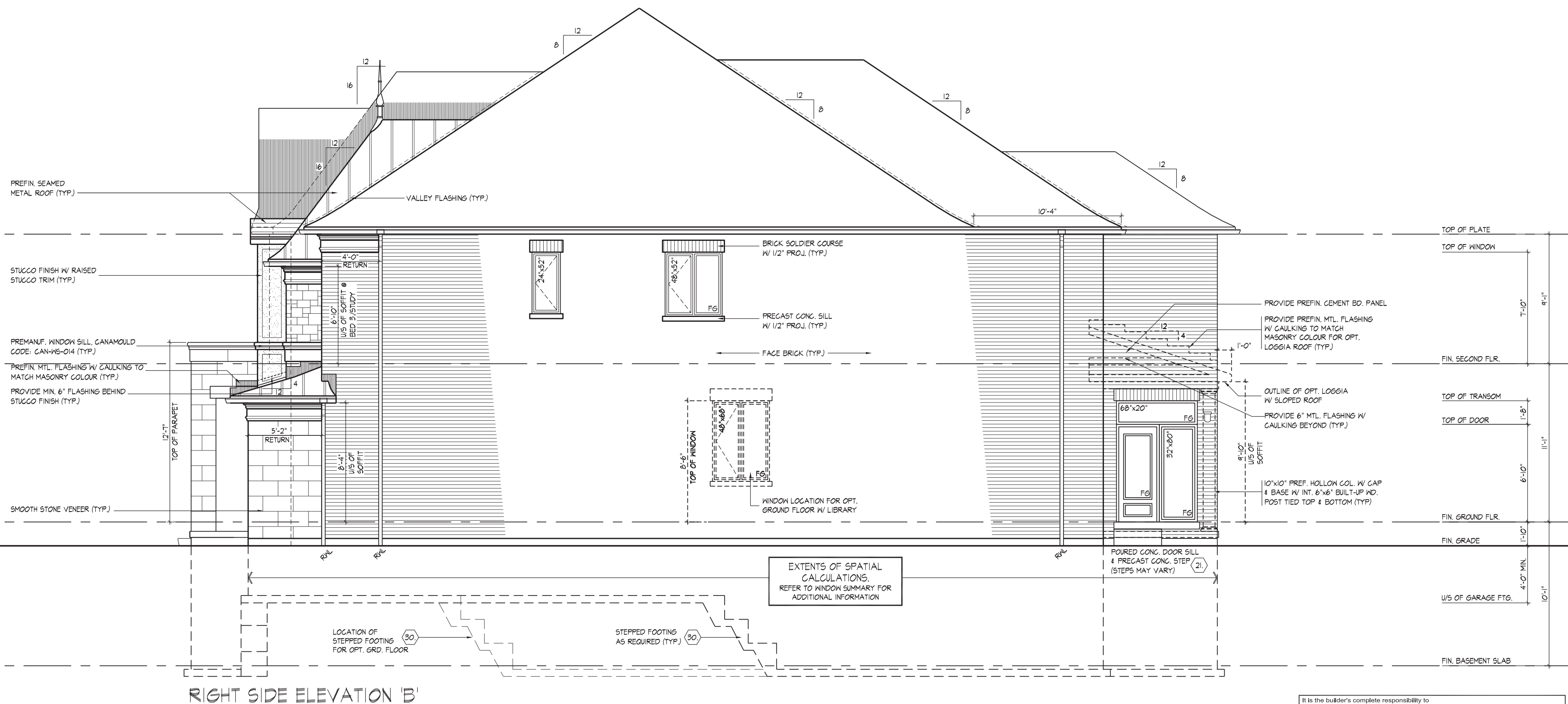
ROOF OVERHANGS ARE TO
BE 15" UNLESS NOTED
OTHERWISE

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.

WINDOW SUMMARY				
PER O.B.C. TABLE 5.10.15.4				
RIGHT SIDE ELEVATION 'B'				
(& OPT. 2ND FLOOR)				
QUANT.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
1	24	52	6.67	
1	48	52	16.67	
1	32	80	14.78	
1	68	20	7.11	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
0	0	0	0.00	
1	DOOR	7.60	7.60	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	

SPATIAL CALCULATION		
EXPOSING BUILDING	1495.45	S.F.
FACE AREA	136.93	S.F.
PORTION WALL AREA	249.72	S.F.
LIMITING DISTANCE	116.10	S.F.
MAX. EX. SURVIVINGS	7	7.12 m
OPENINGS ALLOWED	87.48	S.F.
OPENINGS PROVIDED	50.82	S.F.
ADDITIONAL NOTES		
GLAZED AREA CALCULATED BY FRAME SIZE		
MINUS 2' ROUND ENTIRE PERIMETER		

WINDOW SUMMARY			
PER O.B.C. TABLE 3.10.15.4			
RIGHT SIDE ELEVATION 'B' W/			
O.P.T. GROUND FLOOR & 2ND FLOOR.			
Q.UANT.	WIDTH	HEIGHT	WINDOW DOOR FRAME SIZE (S.F.)
1	24	52	6.67
1	48	52	14.66
1	48	68	19.57
1	32	80	7.11
1	68	20	14.78
0	0	0	0.00
0	0	0	0.00
0	0	0	0.00
0	0	0	0.00
0	0	0	0.00
1	DOOR	7.60	7.60
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING FACE AREA		1495.45	S.F.
GLAZED AREA		1138.93	S.M.
PORTAL WALL AREA		1268.72	S.F.
LIMITING DISTANCE		116.10	S.M.
OPENING DISTANCE		7	S.F.
OPENINGS ALLOWED		87.48	S.F.
OPENINGS PROVIDED		70.38	S.F.
ADDITIONAL NOTES			
GLAZED AREA CALCULATED IN FRAME SIZE			
MINS 2' AROUND ENTIRE PERIMETER			



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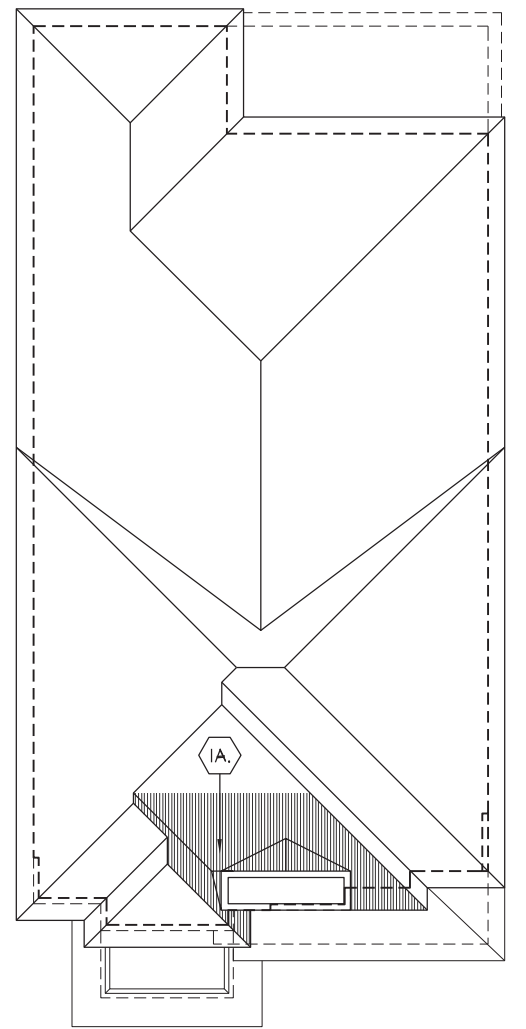
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: SEP 20, 2018

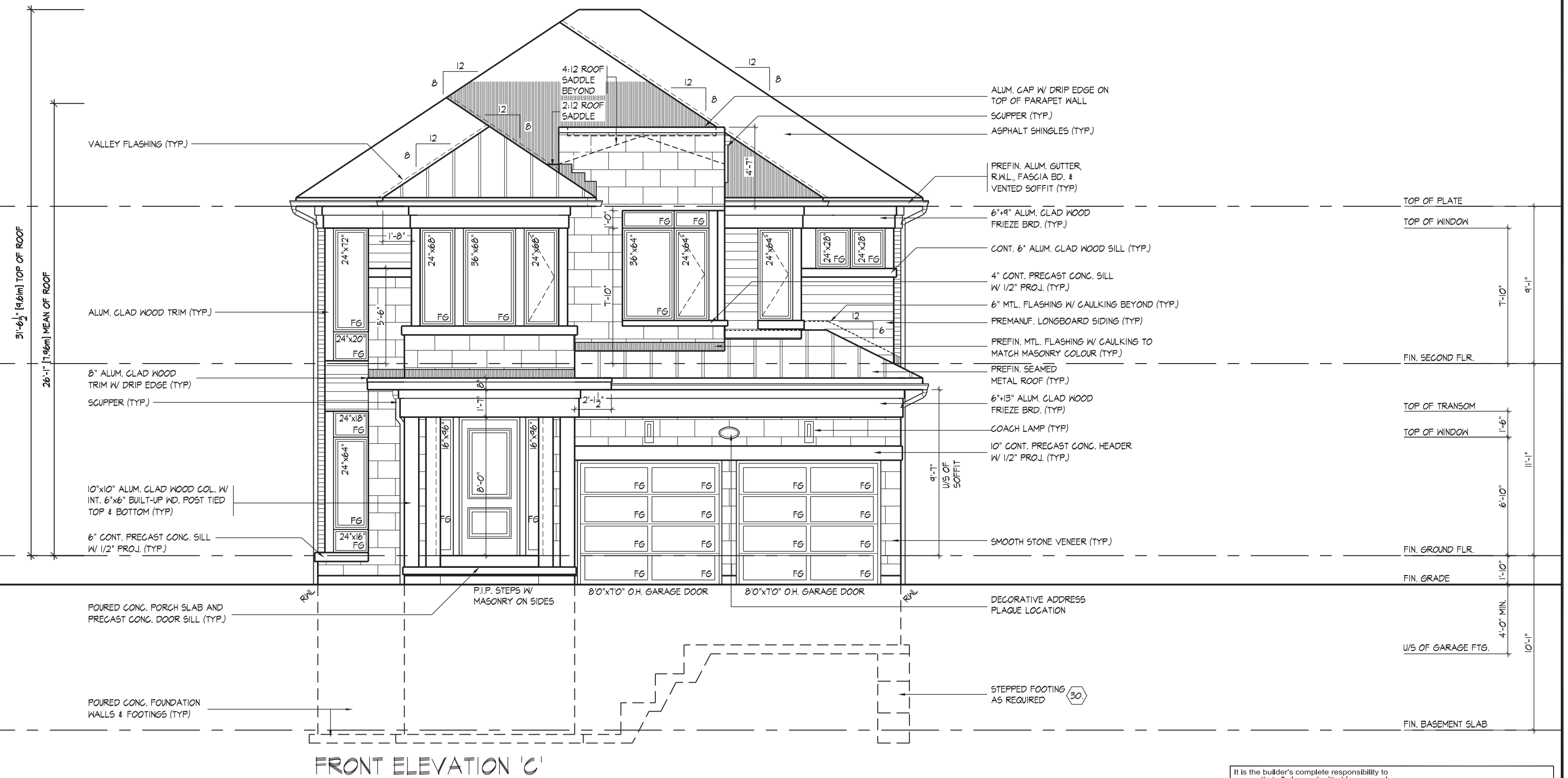
This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

ROOF OVERHANGS ARE TO BE 15" UNLESS NOTED OTHERWISE



ROOF PLAN
ELEV. 'C'
N.T.S.

ROOF AREA TO HAVE ADDITIONAL
ICE & WATER SHIELD (TYP.)



FRONT ELEVATION 'C'

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AND APPROVAL
APPROVED BY:
DATE: SEP 20, 2018
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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE.
QUALIFICATION INFORMATION:
NAME: Olin Fairbairn
REGISTRATION NUMBER: 20201
SIGNATURE:
HUNT DESIGN ASSOCIATES INC.
19695

HUNT
DESIGN ASSOCIATES INC.
www.hunt-design.ca

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

Drawn By: RAAM
Checked By: OF
Scale: 3/16"=1'-0"
8966 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326

FRONT ELEVATION 'C'
UNIT 4202 - THE ROSEDALE
REV. 2018/09/18

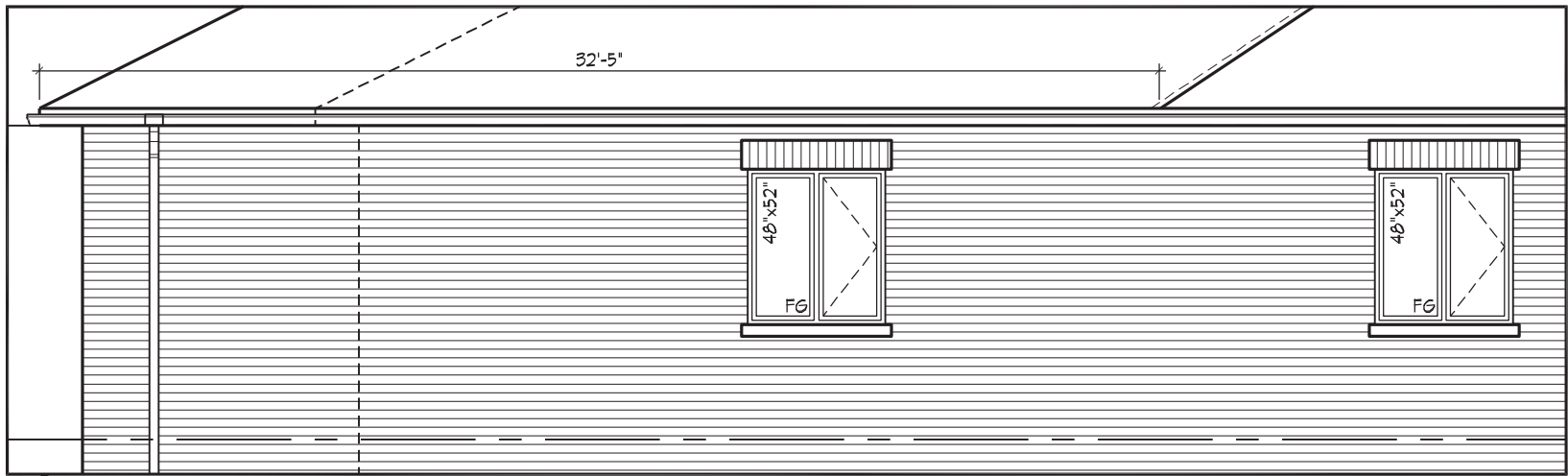
File Number: 217020WS4202.DWG
Page Number: 14 of 18

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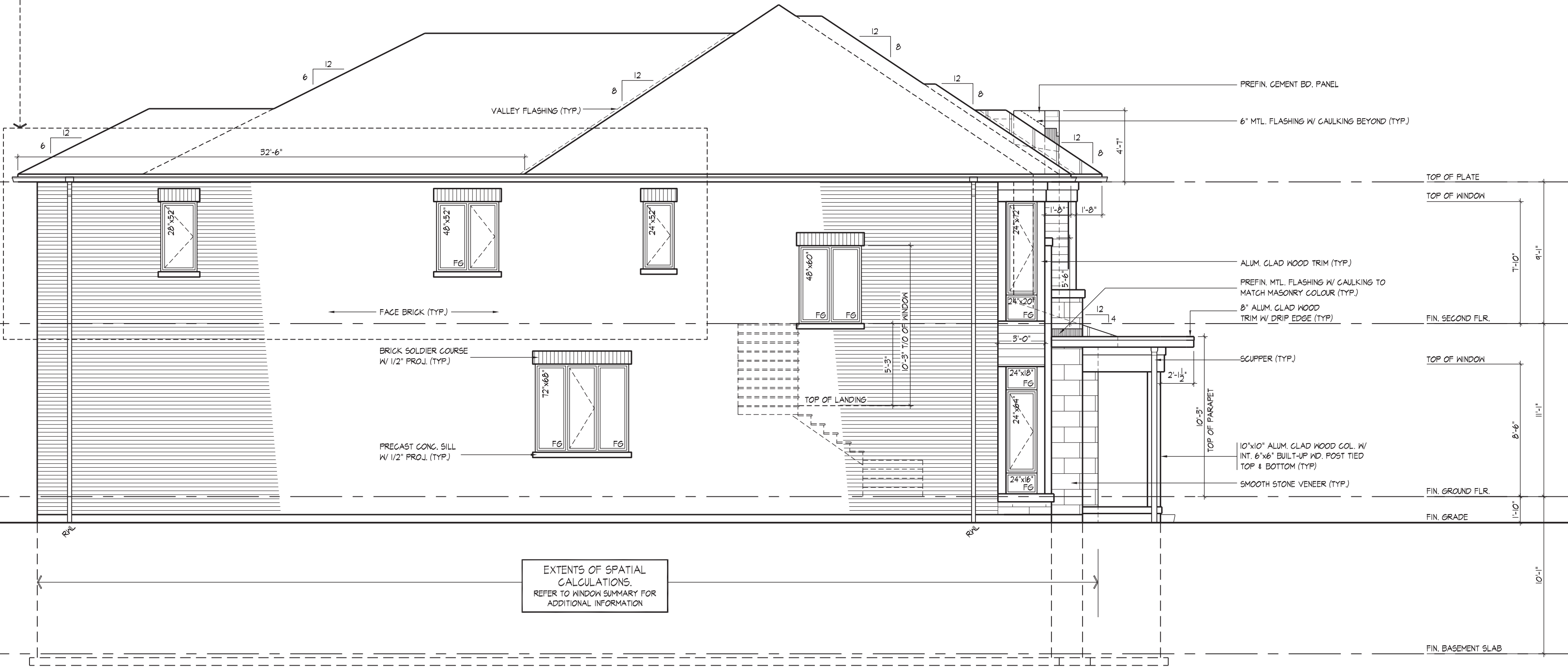
ROOF OVERHANGS ARE TO BE 15" UNLESS NOTED OTHERWISE
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
LEFT SIDE ELEV. 'C' (OPT. 5 BED & OPT. GROUND FLOOR)				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
1	28	52		8.00
1	48	52		14.67
1	24	52		6.67
1	72	68		30.22
1	48	60		17.11
1	24	72		9.44
1	24	22		2.50
1	24	64		8.33
2	24	18		3.89
0	0	0		0.00
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING	1471.20	S.F.		
FACE AREA	136.68	S.M.		
PORTION WALL AREA	1471.20	S.F.		
	136.68	S.M.		
LIMITING DISTANCE	12 m			
MAX. % OPENINGS	%			
OPENINGS ALLOWED	102.98	S.F.		
OPENINGS PROVIDED	100.83	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
LEFT SIDE ELEV. 'C' (OPT. 5 BED & OPT. GROUND FLOOR)				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
0	0	0		0.00
2	48	52		29.33
0	0	0		0.00
1	72	68		30.22
1	48	60		17.11
1	24	72		9.44
1	24	22		2.50
1	24	64		8.33
2	24	18		3.89
0	0	0		0.00
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING	1471.20	S.F.		
FACE AREA	136.68	S.M.		
PORTION WALL AREA	1471.20	S.F.		
	136.68	S.M.		
LIMITING DISTANCE	12 m			
MAX. % OPENINGS	%			
OPENINGS ALLOWED	102.98	S.F.		
OPENINGS PROVIDED	100.83	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				



PART. LEFT SIDE ELEVATION 'C'
FOR OPT. 5 BEDROOM



LEFT SIDE ELEVATION 'C'

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APPROVED BY:
DATE: SEP 20, 2018
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Olin Fairbairn 20201
NAME: Olin Fairbairn
REGISTRATION INFORMATION: BCIN
HUNT DESIGN ASSOCIATES INC. 19695

HUNT
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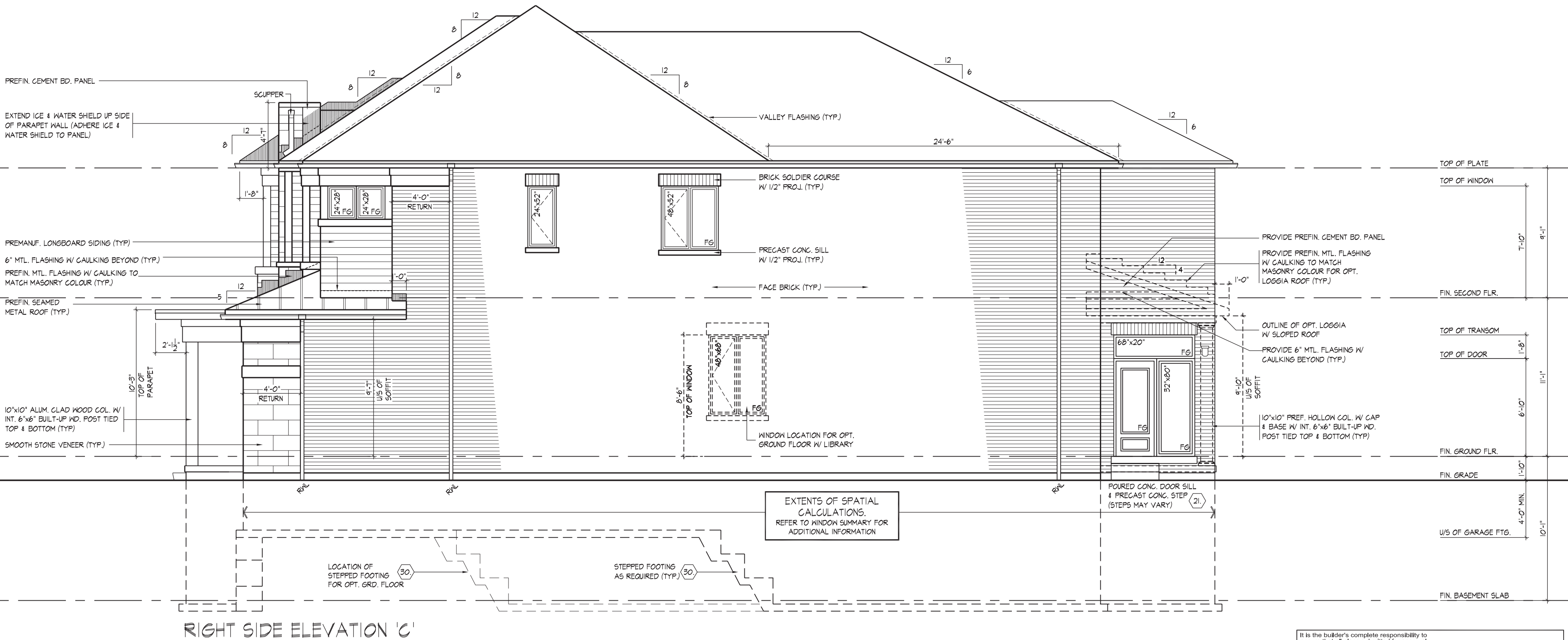
LEFT SIDE ELEVATION 'C'
UNIT 4202 - THE ROSEDALE
REV. 2018/09/18
File Number: 217020WS4202.DWG
Page Number: 15 of 18

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ROOF OVERHANGS ARE TO BE 15" UNLESS NOTED OTHERWISE
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
RIGHT SIDE ELEVATION 'C' (& OPT. 2ND FLOOR)			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	24	52	6.67
1	48	52	14.67
1	32	80	14.78
1	68	20	7.11
2	24	28	6.67
0	0	0	0.00
0	0	0	0.00
0	0	0	0.00
0	0	0	0.00
0	0	0	0.00
1	DOOR	7.60	7.60
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	1471.20	S.F.	
FACE AREA	136.68	S.M.	
PORTION WALL AREA	1252.67	S.F.	
	116.38	S.M.	
LIMITING DISTANCE	12 m		
MAX. % OPENINGS	7	%	
OPENINGS ALLOWED	87.89	S.F.	
OPENINGS PROVIDED	97.49	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
RIGHT SIDE ELEVATION 'B' W/ OPT. GROUND FLOOR & OPT. 2ND FLOOR			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	24	52	6.67
1	48	52	14.67
1	48	68	19.56
1	32	80	14.78
1	68	20	7.11
2	24	28	6.67
0	0	0	0.00
0	0	0	0.00
0	0	0	0.00
0	0	0	0.00
1	DOOR	7.60	7.60
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	1471.20	S.F.	
FACE AREA	136.68	S.M.	
PORTION WALL AREA	1252.67	S.F.	
	116.38	S.M.	
LIMITING DISTANCE	12 m		
MAX. % OPENINGS	7	%	
OPENINGS ALLOWED	87.89	S.F.	
OPENINGS PROVIDED	77.04	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



RIGHT SIDE ELEVATION 'C'

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Olin Fairbairn 20201
NAME: Olin Fairbairn
REGISTRATION INFORMATION: BCIN
HUNT DESIGN ASSOCIATES INC. 19695

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GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.
RAAM OF 3/16"=1'-0"

RIGHT SIDE ELEVATION 'C'
UNIT 4202 - THE ROSEDALE
REV. 2018/09/18
217020WS4202.DWG
16 of 18

No. 210 ASPHALT SHINGLES, 3/8" EXTERIOR TYPE SHEATHING WITH 1" CLIPS, APPROVED WOOD TRUSSES @ 24" O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 3'-0" FROM EDGE OF ROOF AND MIN. 12" BEYOND INNER FACE OF EXTERIOR WALL. 2"x4" TRUSS BRACING 6'-0" O.C. AT BOTTOM CHORD.

PRE-FINISHED ALUMINUM FASCIA, RAINWATER LEADER AND VENTED SOFFIT TIED TO BRICK VENEER. PROVIDE ATTIC VENTILATION - 1/300 OF INSULATED CEILING AREA WITH 50% AT THE EAVES.

2"x6" FASCIA BOARD

PRE-FINISHED FRIEZE BOARD, VARIES PER ELEVATION

3 1/2" MASONRY VENEER TIED TO 3 1/2" MASONRY VENEER WITH 1/8"x1"x20" GALV. METAL TIES @ 16" O.C. AND 24" VERTICAL. PROVIDE VOID 1" AIR SPACE BETWEEN BRICK VENEER WYTHES (TYP.)

EXTERIOR
SOLDER HEADER WITH 1/2" PROJECTION

KEEP HOLES @ 32" O.C. AT BASE FLASHING AND OVER ALL OPENINGS. PROVIDE P.V.C. BRICK VENTILATOR @ ALL KEEP HOLE LOCATIONS.

HIDDEN LINE INDICATES 3 1/2" Ø SINGLE TUBE ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" STEEL PLATE TOP & BOTTOM. PROVIDE 3"x6"x3/8" ANCHOR PLATE FIELD WELDED TO TOP OF STEEL PLATE AT EDGE OF WOOD BEAM. ANCHOR WOOD BEAM TO PLATE WITH 3-3" LONG SCREWS.

PORTICO

UNEXCAVATED /
COLD CELLAR

KNEE WALL AS REQUIRED, 2"x4" STUDS @ 16" O.C.
BEAM AS PER PLAN
2"x4" CEILING JOISTS @ 16" O.C.

VENTED SOFFIT TIED TO CEILING JOISTS

DOUBLE STEEL ANGLE AS PER PLAN, LENGTH VARIES AS PER ELEVATION.

BRICK WYTHE BEYOND OUTLINE OF OPENING BEYOND

TYPICAL FOUNDATION WALL CONSTRUCTION

TYPICAL PORCH SLAB

2"x4" FT. DECKING W/ 1/4" GAPS LAID FLAT PARALLEL TO JOISTS ON 2"x4" FT. SLEEPERS @ 12" O.C. LAID FLAT PERP TO JOISTS ON A TWO PLY BITUMINOUS (OR ONE PLY RUBBER) MEMBRANE ADHERED TO EXT. TYPE 5/8" EXT. SHEATHING ON 2"x2" SLEEPERS (SLOPED TO SCUPPER) ON 2"x8" SPR. #2 FLOOR JOISTS @ 16" O.C. W/ ALUM. SOFFIT ON U/S.

24 GA PRE-FINISHED METAL FLASHING W/ HEMMED EDGE. EDGE TO BE PLACED FIRMLY ON SURFACE OF DECK MEMBRANE. FASTENERS TO HAVE NEOPRENE HEADS & TO BE FASTENED THROUGH BUTYL TAPE.

TRIM AS PER ELEVATIONS
FURR OUT BEAM AS REQUIRED

SELF SUPPORTED BRICK AND PRECAST CONC. ARCH

PROVIDE METAL HANGERS IF SPAN EXCEEDS 4'-0". HANGERS TO BE SECURED TO STUDS OR BUILT-UP WOOD BLOCKING INSTALLED IN BETWEEN STUD SPACING AS REQUIRED PER LOCATION OF METAL HANGERS.

HIDDEN LINE INDICATES 3 1/2" Ø SINGLE TUBE ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" STEEL PLATE TOP & BOTTOM. PROVIDE 3"x6"x3/8" ANCHOR PLATE FIELD WELDED TO TOP OF STEEL PLATE AT EDGE OF WOOD BEAM. ANCHOR WOOD BEAM TO PLATE WITH 3-3" LONG SCREWS.

PORTICO WALL W/ FLAT ROOF ABOVE

1/2" = 1'-0"

TYPICAL BRICK VENEER WALL CONSTRUCTION

FLUSH WOOD BEAM AS PER CONSTRUCTION DRAWINGS

SPRAY FOAM INSULATION W/ REQUIRED CEILING WITHOUT ATTIC R-VALUE

SELF SUPPORTED BRICK AND PRECAST CONC. ARCH

HIDDEN LINE INDICATES 3 1/2" Ø SINGLE TUBE ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" STEEL PLATE TOP & BOTTOM. PROVIDE 3"x6"x3/8" ANCHOR PLATE FIELD WELDED TO TOP OF STEEL PLATE AT EDGE OF WOOD BEAM. ANCHOR WOOD BEAM TO PLATE WITH 3-3" LONG SCREWS.

PORTICO WALL W/ HEATED SPACE ABOVE

1/2" = 1'-0"

PROVIDE CONTINUOUS APPROVED AIR/WATER BARRIER AROUND HEADERS, UNDER BASE PLATES AND UP STUD WALL BEHIND GYPSUM WALLBOARD. PROVIDE GULKING AT JOINTS.

2"x6" BASE PLATE

TYPICAL FLOOR CONSTRUCTION

FLUSH WOOD BEAM AS PER CONSTRUCTION DRAWINGS

PRE-FIN. ALUM. SOFFIT TIED TO U/S OF JOISTS.

VENTED SOFFIT

FLUSH WOOD BEAM AS PER CONSTRUCTION DRAWINGS

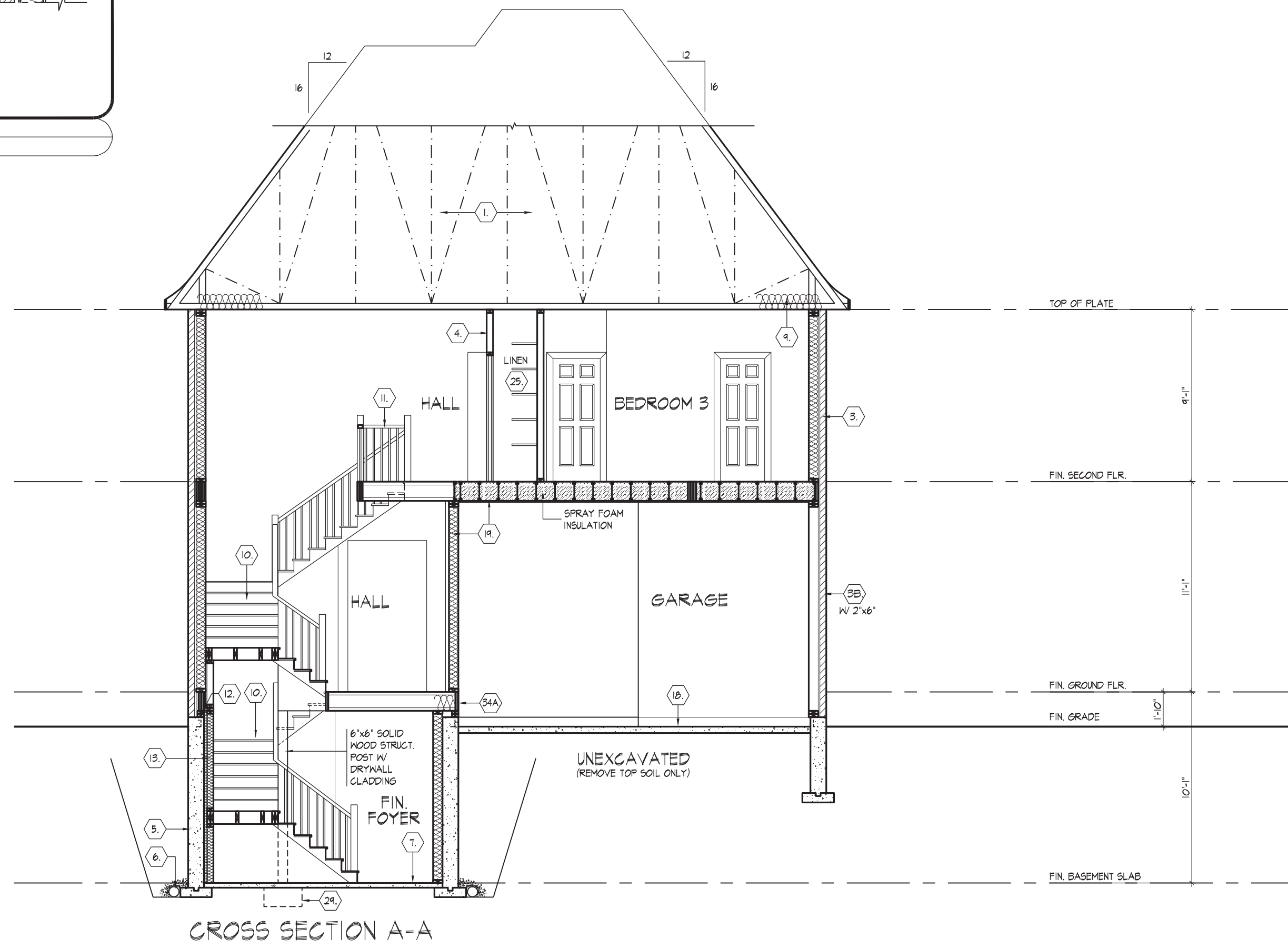
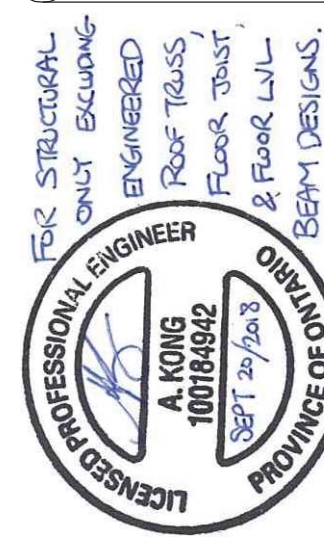
SECOND FLOOR

INSULATE MIN. 12" BEYOND BEAM

14

TYPICAL BRICK PORTICO WALL (DOUBLE BRICK VENEER WYTHE WALL)

1/2" = 1'-0"



SECTION 1.0. CONSTRUCTION NOTES

- 1 ROOF CONSTRUCTION** (9.19, 9.23.1.3, 9.23.1.5)
NO. 210 (10.25 KG/M2) ASPHALT SHINGLES. 3/8" (9.5) PLYWOOD SHEATHING WITH #4 CLIPS. APPROVED WOOD TRUSSES @ 24" (610) O.C. MAX. APPROVED EAVES PROTECTION TO EXCEED 2'-11" (660) AND END LAPS A MINIMUM 6" (152). MIN. 12" (305) BEYOND INNER FACE OF EXTERIOR WALL. 2"x4"x36" TRUSS BRACING @ 6'-0" (1830) O.C. AT BOTTOM CHORD. PREFIN. ALUM. EAVESTROUGH (FASCO, RWL & VENTED SOFFIT. ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% OF REQUIRED OPENINGS LOCATED AT TOP OF SPACE & MIN. 25% OF REQUIRED OPENINGS LOCATED AT BOTTOM OF SPACE. EAVESTROUGH TO BE 4" MIN. WITH RIGID DISCHARGING ONTO 2"x4" (50x100) SILL PLATE. 1"x4" (25x100) SILL PLATE. 1"x4" (25x100) SILL PLATE. TO HAVE 5" MIN. EAVESTROUGH WITH ELEC. TRACED HEATER CABLE ALONG EAVESTROUGH AND DOWN RWL.
- 1A ICE AND WATER SHEILD**
PROVIDE ICE AND WATER SHEILD IN THE AREAS INDICATED. THE ICE AND WATER SHEILD SHALL BE A SELF-ADHERING AND SELF-SEALING MEMBRANE. SIDE LAPS MUST BE A MINIMUM 3'-12" (96) AND END LAPS A MINIMUM 6" (152). AND TO EXTEND UP DORMER WALLS A MINIMUM 12" (305).
- 1B PROFILED ROOF TRUSSES**
ROOF TRUSSES SHALL BE PROFILED AND/OR STEPPED AT RAISED COPPER/TRAY CEILINGS. ANGLED TRAY CEILINGS WILL BE SHEATHED W/ 3/8" (9.5) PLYWOOD.
- 2 SIDING WALL CONSTRUCTION**
SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS. FURNISH MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1) & SECTION 1.1. INSULATION, APPROVED 6 MIL POLYETHYLENE AIRVAPOUR BARRIER. ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. GYPSUM SHEATHING. RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.1.1) (REFER TO 35 NOTE AS REQ.)
- 2A SIDING WALL CONSTRUCTION W/ CONTIN. INSULATION**
SIDING MATERIAL AS PER ELEVATION ATTACHED TO FURNISH MEMBERS ON APPROVED AIRWATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION JOINTS UNTAPED. MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS ON 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1) & SECTION 1.1. INSULATION, APPROVED 6 MIL POLYETHYLENE AIRVAPOUR BARRIER. ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. GYPSUM SHEATHING. RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.1.1) (REFER TO 35 NOTE AS REQ.)
- 2B SIDING WALL @ GARAGE CONSTRUCTION**
SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS. FURNISH MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1) & SECTION 1.1. INSULATION, APPROVED 6 MIL POLYETHYLENE AIRVAPOUR BARRIER. ON 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.1.1) (REFER TO 35 NOTE AS REQ.)
- 3 BRICK VENEER WALL CONSTRUCTION**
3 1/2" (90) BRICK VENEER (1" (25) AIR SPACE. 7/8"x7/8"x3" (22x180x76) GALV. METAL TIES @ 16" (406) O.C. HORIZ. 2"x4" (50x100) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.23.2.3. ON APPROVED AIRWATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION JOINTS UNTAPED. MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS. ON 3/8" (9.5) EXTERIOR TYPE SHEATHING. STUDS CONFORMING TO O.B.C. (9.23.10.1) & SECTION 1.1. INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (152) BEHIND BUILDING PAPER (9.20.13.6) (REFER TO 35 NOTE AS REQUIRED)
- 3A BRICK VENEER WALL CONSTRUCTION W/ CONTIN. INSULATION**
3 1/2" (90) BRICK VENEER (1" (25) AIR SPACE. 7/8"x7/8"x3" (22x180x76) GALV. METAL TIES @ 16" (406) O.C. HORIZ. 2"x4" (50x100) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.23.2.3. ON APPROVED AIRWATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION JOINTS UNTAPED. MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS. ON 3/8" (9.5) EXTERIOR TYPE SHEATHING. STUDS CONFORMING TO O.B.C. (9.23.10.1) & SECTION 1.1. INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (152) OVER RIGID INSULATION (9.20.13.6) (REFER TO 35 NOTE AS REQUIRED)
- 3B BRICK VENEER WALL @ GARAGE CONSTRUCTION**
3 1/2" (90) BRICK VENEER. MIN. 1" (25) AIR SPACE. 7/8"x7/8"x3" (22x180x76) GALV. METAL TIES @ 16" (406) O.C. HORIZ. 2"x4" (50x100) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.23.2.3. ON APPROVED SHEATHING PAPER. 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1) & SECTION 1.1. INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. AT BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP 1" (25) MIN. BEHIND BUILDING PAPER (9.20.13.6) (REFER TO 35 NOTE AS REQ.)
- 4 INTERIOR STUD PARTITIONS** (9.23.9.8, 9.23.10)
BEARING PARTITIONS SHALL BE A MINIMUM 2"x4" (38x89) @ 16" (406) O.C. FOR 2 STOREY AND 12" (305) O.C. FOR 3 STOREY. NON-BEARING PARTITIONS 2"x4" (38x89) @ 24" (610) O.C. PROVIDE 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE 1/2" (12.7) (12.7) INT. DRYWALL, BOTH SIDES OF STUDS. PROVIDE 3/8"x4" (30x104) STUDS WHERE NOTED. PROVIDE 2"x4" (38x89) @ 24" (610) O.C. LADDER FRAMING WHERE WALLS INTERSECT PERPENDICULAR TO ONE ANOTHER. PROVIDE 2"x4" (38x89) WOOD BLOCKING ON PLATE @ 1'-11" (314) O.C. MAX. BETWEEN FLOOR JOISTS WHEN NON-ADJACENT WALLS ARE PARALLEL TO FLOOR JOISTS.
- 4A EXT. LOFT WALL CONSTRUCTION - NO CLADDING**
3/8" (9.5) EXTERIOR TYPE SHEATHING. STUDS CONFORMING TO O.B.C. (9.23.10.1) & SECTION 1.1. INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23)
- 4B EXT. LOFT WALL CONSTRUCTION - NO CLADDING W/ CONTINUOUS INSULATION**
APPROVED AIRWATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION JOINTS UNTAPED. MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS. ON 3/8" (9.5) EXTERIOR TYPE SHEATHING. STUDS CONFORMING TO O.B.C. (9.23.10.1) & SECTION 1.1. INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23)
- 5 FOUNDATION WALL/FOOTINGS**
POURED CONC. FOUNDATION WALL AS PER CHART BELOW ON CONTINUOUS KEYED CONCRETE FOOTING. FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 6" (150) ABOVE FINISHED GRADE. THE OUTSIDE OF THE FOUNDATION SHALL BE DAMPROOFED FROM THE TOP OF THE FOOTING TO FINISHED GRADE AND BRUSH COAT FROM THE TOP TO 2" BELOW GRADE. PROVIDE A DRAINAGE LAYER ON THE OUTSIDE OF THE FOUNDATION WALL. SEAL THE DRAINAGE LAYER AT THE TOP. THE TOP OF THE CONC. FINISHING SHALL BE DAMPROOFED. CONCRETE FOOTINGS SUPPORTING JOIST SPANS GREATER THAN 16'-1" (4800) SHALL BE SIZED IN ACCORDANCE WITH 9.15.3.4.1 (1) (2) OF THE O.B.C. (REFER TO CHART BELOW FOR RESPECTIVE SIZE). BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 125kPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125kPa S.L.S. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED. ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL ENGINEERING REPORT.
REFER TO CONSTRUCTION DRAWINGS AND DETAILS FOR FOUNDATION WALL STRENGTH AND THICKNESS AND 9.15.4.
FOUNDATION WALLS SHALL NOT EXCEED 9'-10" (3.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. (9.15.4.2.1,1)
- UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2)
MAX. HEIGHT FROM FIN. SLAB TO GRADE
- | HEIGHT | THICKNESS | UP TO TOP | 2'-2.5m & 3'-0.3m |
|--------|----------------|---------------|-------------------|
| 8" | 3'-11" (1.20m) | 7'-6" (2.15m) | 7'-0" (2.15m) |
| 10" | 4'-7" (1.40m) | 7'-6" (2.30m) | 8'-6" (2.60m) |
| 12" | 4'-11" (1.50m) | 7'-6" (2.30m) | 9'-3" (2.85m) |
| 14" | 3'-11" (1.20m) | 7'-6" (2.30m) | 7'-6" (2.30m) |
| 16" | 4'-7" (1.40m) | 7'-6" (2.30m) | 8'-6" (2.60m) |
| 18" | 4'-11" (1.50m) | 7'-6" (2.30m) | 9'-3" (2.85m) |
- *9" MIN. THICK FOUNDATION WALL IS REQUIRED FOR MASONRY VENEER FINISHED EXTERIOR WALLS WITH CONTINUOUS INSULATION CONDITION. TO PROVIDE MIN. BEARING FOR SILL PLATES, BEAMS AND FLOOR JOIST AS PER 9.23.7.2, 9.23.8.1, & 9.23.9.1. OF THE O.B.C.
- MINIMUM STRIP FOOTING SIZES (9.15.3)
UNLESS NOTED OTHERWISE ON PLANS
- | NUMBER FLOORS SUPPORTED | SUPPORTING INT. MASONRY WALLS | SUPPORTING EXTERIOR PARTIAL WALLS |
|-------------------------|-------------------------------|-----------------------------------|
| 1 | 12" WIDE x 8" THICK | 12" WIDE x 8" THICK |
| 2 | 24" WIDE x 8" THICK | 24" WIDE x 8" THICK |
| 3 | 36" WIDE x 14" THICK | 36" WIDE x 8" THICK |

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

- 5A FOUNDATION REDUCTION IN THICKNESS FOR MASONRY**
WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF EXTERIOR FINISHING, THE REDUCED SECTION SHALL BE NOT LESS THAN 3'-12" (96) THICK. THE BRICK VENEER SHALL BE TIED TO THE FOUNDATION WALL WITH CORROSION RESISTANT METAL TIES @ 7'-8" (200) VERTICAL AND 2'-11" (559) HORIZONTAL. FILL VOID WITH MORTAR BETWEEN WALL AND BRICK VENEER @ 15.4.7.2(1) & 9.20.9.4(5)
- 5B FOUNDATION REDUCTION IN THICKNESS FOR JOISTS**
WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF EXTERIOR FINISHING, THE REDUCED SECTION SHALL BE NOT LESS THAN 13'-3" (350) HIGH AND NOT LESS THAN 3'-12" (96) THICK (9.15.4.7(1))
- 6 WEEPING TIE** (9.14.3)
4" (100) Ø WEEPING TIE W/ FILTER CLOTH W/RAIP & 6" (152) CRUSHED STONE COVER
- 7 BASEMENT SLAB OR SLAB ON GRADE** (9.16.4.3)
3" (80) MIN. 25MPa (3600psi) CONC. SLAB ON 4" (100) COARSE GRANULAR FILL OR 20MPa (2900psi) CONC. WITH DAMPROOFING BELOW SLAB. PROVIDE 1/2" (12.7) IMPERVIOUS BOARD FOR BOND BREAK AT EDGE. (9.13) WHERE A BASEMENT SLAB IS WITHIN 2'-4" (610) OF THE EXTERIOR GRADE PROVIDE RIGID INSUL. AROUND THE PERIMETER EXTENDING MIN. 24" (610) BELOW GRADE. FOR SLAB ON GRADE CONDITIONS RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB. (9.8-12) 3.1.1.7.6) & (6)
- 8 EXPOSED FLOOR TO EXTERIOR** (9.10.17.10, & CANULC-S705.2)
PROVIDE SPRAY FOAM INSULATION BETWEEN CANT. AND INSTALL FIN. SOFFIT OR CLADDING AS PER ELEVATION TO U/S OF EXPOSED CANT. JOIST.
- 9 EXPOSED CEILING TO EXTERIOR W/ ATTIC** (9.25.2.4)
INSULATION, 6 mil POLYETHYLENE VAPOUR BARRIER. 1/2" (12.7) GYPSUM BOARD INTERIOR FINISH OR APPROVED E.C.
- 9A EXPOSED CEILING TO EXTERIOR W/O ATTIC**
JOIST/STRUSSES AS PER PLANS W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO JOISTS (PURLINS NOT REQ. W/ SPRAY FOAM OR ROOF TRUSSES). ON 20MPa (2900psi) CONC. WITH DAMPROOFING BELOW SLAB. PROVIDE 1/2" (12.7) IMPERVIOUS BOARD FOR BOND BREAK AT EDGE. (9.13) WHERE A GYPSUM BOARD INT. FINISH OR APPROVED E.C. (CANULC-S705.2 9.19.1, 9.10.17.10)
- 10 ALL STAIRS/EXTERIOR STAIRS** (9.8.1.2, 9.8.2, 9.8.4)
MAX. RISE, MIN. RISE, MAX. RUN, MIN. RUN, MAX. TREAD, MIN. TREAD
- | PRIVATE | 7'-8" (200) | 7'-12" (200) | 7'-12" (200) | 7'-12" (200) | 7'-12" (200) | 7'-12" (200) | 7'-12" (200) |
|---------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|
| PUBLIC | 7'-18" (510) | 7'-12" (200) | 7'-12" (200) | 7'-12" (200) | 7'-12" (200) | 7'-12" (200) | 7'-12" (200) |
- MIN. STAIR WIDTH, CURVED STAIRS, ALL STAIRS
- | PRIVATE | 2'-10" (600) | MIN. AVG. RUN | 7'-8" (200) | MAX. NOSING | 1" (25) |
|---------|--------------|---------------|-------------|-------------|---------|
| PUBLIC | 2'-11" (600) | MIN. AVG. RUN | 7'-8" (200) | MAX. NOSING | 1" (25) |
- ** HEIGHT OVER STAIRS (HEADROOM) IS MEASURED VERTICALLY ACROSS WIDTH OF STAIRS FROM A STRAIGHT LINE TO THE TREAD & LANDING NOSING TO LOWEST POINT ABOVE AND NOT LESS THAN 6'-5" (1950) FOR SINGLE DWELLING UNIT & 6'-4-3/4" (2050) FOR EVERYTHING ELSE. (9.8.2.2)
REQUIRED LANDING IN GARAGE (9.8.2.3)
FOR AN EXTERIOR STAIR SERVING A GARAGE W/ MORE THAN 3 RISERS, GUARDS, HANDRAILS & STEPS AS PER CONSTRUCTION HIDE 10 & 11.
- 11 GUARDS/RAILINGS** (9.8.7, 9.8.8)
GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX. OPENING CONFORMING TO O.B.C. 9.8.8.5, & 9.8.8.6, AND BE ABLE TO RESIST LOADS AS PER TABLE 9.8.8.2.
GUIDE HEIGHTS - O.B.C. 9.8.8
INTERIOR GUARDS: 2'-11" (600) MIN.
EXTERIOR GUARDS: 3'-0" (914) MIN. (LESS THAN 5'-11" (1800) TO GRADE)
3'-4" (1070) MIN. (MORE THAN 5'-11" (1800) TO GRADE)
GUARDS FOR EXTER. STAIRS: 3'-0" (914) MIN.
GUARDS FOR LANDING: 3'-0" (914) MIN.
GUARDS FOR FLOORS & RAMPS IN GARAGES (SERVICE STAIRS)
FLOOR OR RAMP W/ EXTERIOR WALLS THAT IS 23'-5" (690) OR MORE ABOVE ADJACENT SURFACE REQUIRES CONT. CURB MIN. 6" (150) HIGH, AND GUARD MIN. 3'-6" (1070) HIGH
REQUIRED GUARDS
BETWEEN WALKING SURFACE & ADJACENT SURFACE WITH A DIFFERENCE IN ELEVATION MORE THAN 23'-5" (690) OR ADJACENT SURFACE WITHIN 3'-11" (1200) & WALKING SURFACE W/ A SLOPE MORE THAN 1 IN 12 SHALL BE PROTECTED WITH 3'-0" (914) HIGH CONT. CURB. (9.8.2.3)
HANDRAIL HEIGHTS - O.B.C. 9.8.7 - REQUIRED AS PER 9.8.7.1.3
MIN. HEIGHT AT STAIRS OR RAMP: 2'-10" (600)
MAX. HEIGHT AT STAIRS OR RAMP: 3'-2" (965)
MIN. HEIGHT AT LANDING AND OVER OPENINGS: PROVIDE BASE FLASHING UP 1" (25) MIN. BEHIND BUILDING PAPER (9.20.13.6) (REFER TO 35 NOTE AS REQ.)
- 12 SILL PLATES**
2"x4" (38x89) SILL PLATE WITH 1/2" (12.7) Ø ANCHOR BOLTS 8" (200) LONG. EMBEDDED MIN. 4" (100) INTO CONC. @ 4'-0" (1220) O.C. CAULKING OR GASKET BETWEEN PLATE AND TOP OF FOUNDATION WALL. USE NON-SHRINK GROUT TO FILL JOINT. PLATE VENEER TO EXTERIOR FINISH. TOP OF PLATE MUST BE HANDRAIL HEIGHTS - O.B.C. 9.8.7 - REQUIRED AS PER 9.8.7.1.3
MIN. HEIGHT AT STAIRS OR RAMP: 2'-10" (600)
MAX. HEIGHT AT STAIRS OR RAMP: 3'-2" (965)
MIN. HEIGHT AT LANDING AND OVER OPENINGS: PROVIDE BASE FLASHING UP 1" (25) MIN. BEHIND BUILDING PAPER (9.20.13.6) (REFER TO 35 NOTE AS REQ.)
- 13 BASEMENT INSULATION** (9.8-12) 3.1.1.7
PROVIDE CONTINUOUS BLANKET INSULATION W/ BUILT IN 6 mil POLYETHYLENE VAPOUR BARRIER. INSULATION TO EXTEND NO MORE THAN 8" (200) ABOVE FINISHED BASEMENT FLOOR. DAMPROOFED WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL.
- 14 BEARING STUD PARTITION IN BASEMENT** (9.15.3.6, 9.23.10.1)
2"x4" (38x89) STUDS @ 16" (406) O.C. 2"x4" (38x89) SILL PLATE (2"x6" (38x140) AS REQUIRED) ON DAMPROOFED MATERIAL. 2"x2" (38x38) STUDS @ 16" (406) O.C. OR ANCHOR BOLTS 8" (200) LONG. EMBEDDED 4" (100) MIN. INTO CONC. @ 7'-10" (2390) O.C. @ 4" (100) HIGH CONC. CURB ON CONC. FOOTING. FOR SIZE REFER TO HEX NOTE 5. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.
- 15 ADJUSTABLE STEEL BASEMENT COLUMN** (9.15.3.4)
9'-10" (3000) MAX. SPAN. STEEL COLUMN CONFORMING TO CAN/C388-2M. AND WITH 6"x6"x3/8" (152x152x9.5) STEEL TOP & BOTTOM. FIELD WELD BASEMENT COLUMN CONNECTION. POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 125kPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125kPa S.L.S. AS PER SOILS REPORT. SUPPORTING 2 STOREY FLR. LOAD PROVIDE 34"x34"x16" (870x870x410) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 40"x40"x19" (1000x1000x480) CONC. FOOTING
- 15A NON-ADJUSTABLE STEEL BASEMENT COLUMN**
3'-12" (900) x 10'-18" (478) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) STEEL TOP & BOTTOM. BOTTOM PLATE C/W 2' (200) x 12' (3600) x 2" (50) HOOK ANCHORS. FIELD WELD BASEMENT COLUMN CONNECTION. POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 125kPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125kPa S.L.S. AS PER SOILS REPORT. SUPPORTING 2 STOREY FLR. LOAD PROVIDE 42"x42"x18" (1070x1070x450) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48"x48"x24" (1220x1220x610) CONC. FOOTING
- 15B NON-ADJUSTABLE STL. COLUMN AT FOUNDATION WALL**
3'-12" (900) x 10'-18" (478) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) STEEL TOP & BOTTOM. BOTTOM PLATE C/W 2' (200) x 12' (3600) x 2" (50) HOOK ANCHORS. FIELD WELD COLUMN TO BASE PLATE & STEEL BM. (2-12.70x305x50), FIELD WELD COLUMN TO BASE PLATE & STEEL BM.
- 16 STEEL BEAM BEARING AT FOUNDATION WALL** (9.23.8.1)
BEAM POCKET OR 8"x8" (200x200) POURED CONC. NB WALLS. MIN. BEARING 3'-12" (900).
- 17 WOOD STRAPPING AT STEEL BEAMS** (9.23.4.3, 9.23.9.3)
1"x3" (19x64) CONTIN. WOOD STRAPPING BOTH SIDES OF STEEL BEAM.
- 18 GARAGE SLAB** (9.16, 9.35)
4" (100) 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 2"x4" (50x100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT @ 1% MIN.
- 19 GARAGE TO HOUSE WALLS/CEILING** (9.10.16.6)
1/2" (12.7) GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE. PLUS REQUIRED INSULATION IN WALLS AND SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.17.10, CANULC-S705.2)
- 19A GARAGE TO HOUSE WALLS/CEILING W/ CONTIN. INSULATION**
1/2" (12.7) GYPSUM BOARD ON CEILING AND ON WALLS INSTALLED OVER EXTERIOR TYPE RIGID INSULATION JOINTS UNTAPED. MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS ON 3/8" EXTERIOR GRADE SHEATHING ON STUDS BETWEEN HOUSE AND GARAGE. PLUS REQUIRED INSULATION IN WALLS & SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.16.6, 9.10.17.10, CANULC-S705.2)
- 20 GARAGE DOOR TO HOUSE** (9.10.19.6, 9.10.13.10, 9.10.13.15)
GAS-PROOF DOOR AND FRAME. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIPPING.

STAMP

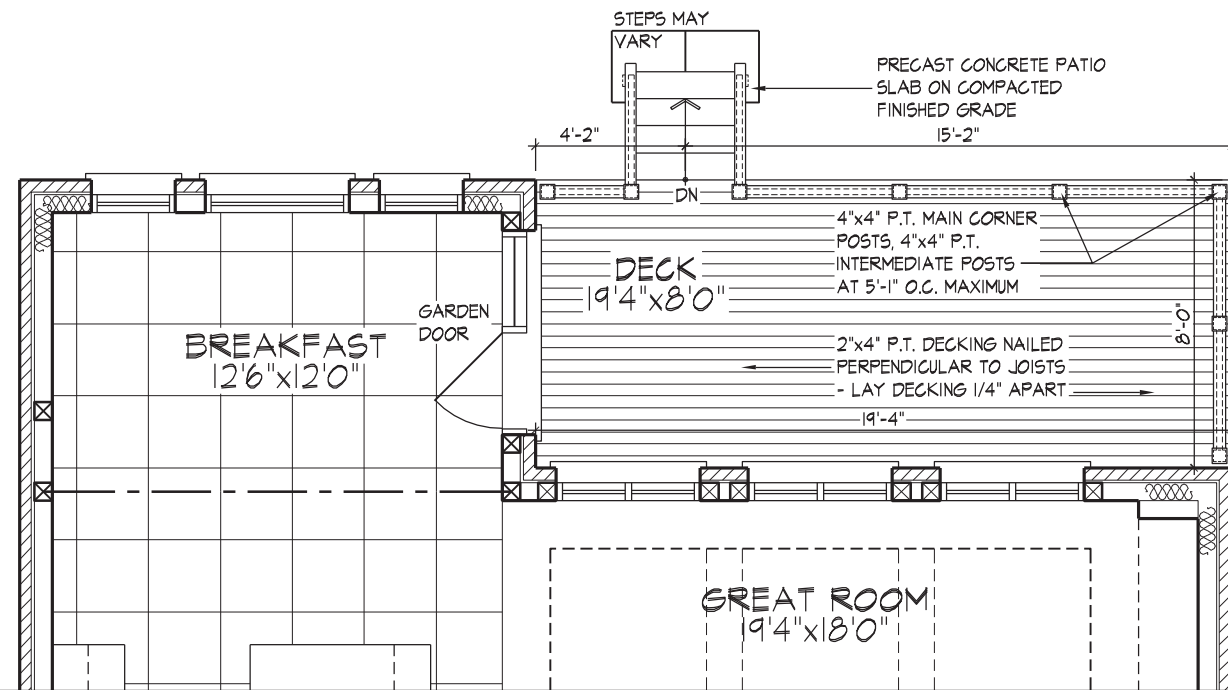
cont. SECTION 1.0. CONSTRUCTION NOTES

- 40 1 HR. PARTY WALL (CONC. BLOCK)** (9.8-3) WALL TYPE 966 & (B10)
1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 80% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OR FURRED WITH 2"x2" (38x38) WID. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.
- 40 1 HR. PARTY WALL (DOUBLE STUD)** (9.8-3) WALL TYPE W134
5/8" (15.9) TYPE X GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2"x2" (38x38) STUDS. STUDS TO BE 12" (305) APART. ON 2"x2" (38x38) STUDS. SILL PLATES, 2"x6" (38x140) AS REQUIRED. FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 80% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE FILL AND SAND ALL GYPSUM JOINTS.
- 40A 2 HR. FIREWALL** (9.8-3) WALL TYPE 966 & (B10)
1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK 75% SOLID. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 80% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONCRETE BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)
- 41 STUCCO WALL CONSTRUCTION**
STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1/2" (38) E.F.S. MINIMUM ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C. (9.23.10.1) & SECTION 1.1. INSULATION, APPROVED 6 MIL POLYETHYLENE VAPOUR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)
- 41A STUCCO WALL CONSTRUCTION W/ CONTIN. INSULATION**
STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1/2" (38) E.F.S. MINIMUM ON APPROVED DRAINAGE MAT ON APPROVED AIRWATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION JOINTS UNTAPED. MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS. INSULATION BETWEEN TYPE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1) & SECTION 1.1. INSULATION, APPROVED 6 MIL POLYETHYLENE VAPOUR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)
- 41B STUCCO WALL @ GARAGE CONST.**
STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1/2" (38) E.F.S. MINIMUM ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C. (9.23.10.1) & SECTION 1.1. INSULATION, APPROVED 6 MIL POLYETHYLENE VAPOUR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.)
- 42 UNSUPPORTED FOUNDATION WALLS** (9.15.4.2)
REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS
2-20M BARS IN TOP PORTION OF WALL @ 16" (406) SPACING
3-20M BARS IN TOP PORTION OF WALL @ 16" (406) SPACING
4-20M BARS IN TOP PORTION OF WALL @ 16" (406) SPACING
MEZZANINES
STORAGE GARAGE
- 43 STUD WALL REINFORCEMENT**
PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.1) AND 3.8.3.3.3) (REFER TO DETAILS)
- 44 WINDOW WELLS**
WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21'-5" (650) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR TO OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TIE C/W A FILTER CLOTH W/RAIP AND FILLED WITH CRUSHED STONE. (9.8.10.1.5) 9.14.6.3)
- 45 SLOPED CEILING CONSTRUCTION** (9.8-12) 2.1.1.7, 9.23.4.2
2"x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX. UNLESS OTHERWISE NOTED. W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST. PURLINS NOT REQ. W/ SPRAY FOAM. INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED E.C. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.52 RSI).
- 46 FLAT ROOF/BALCONY CONSTRUCTION**
WATERPROOFING MEMBRANE (9.26.1.1, 9.26.1.5, 9.26.1.6) FULLY ADHERED TO 5/8" (15.9) T&G EXTERIOR GRADE PLANKS. PROVIDE 2" (50) MIN. INSULATION. 2"x6" (38x140) FLOOR JOISTS @ 16" (406) O.C. UNLESS OTHERWISE NOTED. BUILT UP CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR. CONTINUOUS 1" TRIM DRAIN EDGE TO BE PROVIDED ON EXTERIOR FACE OF CURB. SCUPPER DRAIN TO BE LOCATED 2'-4" (610) MIN. FROM FINISHED ALUMINUM OR PANEL FOR UNDERSIDE OF SOFFIT (9.23.2.3). REMOVE CURB WHERE REQ.
- BALCONY CONDITION**
SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE INCLUDE 2"x4" (38x89) PT. DECKING W/ 1/4" (6.4) GA. GA. Laid PLAT PARALLEL TO JOISTS ON 2"x4" (38x89) PT. SLEEPERS @ 12" (305) O.C. Laid PLAT PERPENDICULAR TO JOISTS
- BALCONY OVER HEATED SPACE CONDITION**
SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY. REFER TO PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9.9 FOR INSULATION AND INTERIOR FINISH
- 47 BARREL VAULT CONSTRUCTION**
CANTILEVERED 2"x4" (38x89) SPACERS Laid PLAT ON 2"x10" (38x235) SPR. #2 ROOF JOIST NAILED TO BUILT-UP 3'-4" (1019) PLYWOOD HEADER PROVIDED FOR BARREL. SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. INTERIOR FIN. (REFER TO DETAILS)
- TWO STOREY VOLUME SPACES** (9.23.10.1, 9.23.11, 9.23.16)
WALL ASSEMBLY
- | EXTERIOR | STUDS | SPACINGS | MAX HEIGHT | SPACING | MAX HEIGHT |
|----------|-----------|----------------|---------------|----------------|---------------|
| BRICK | 2"x2"x6" | 12" (305) O.C. | 18'-4" (5598) | 8" (200) O.C. | 18'-4" (5598) |
| SIDING | 2"x8"x14" | 16" (406) O.C. | 18'-4" (5598) | 12" (305) O.C. | 18'-4" (5598) |
| BRICK | 2"x2"x6" | 12" (305) O.C. | 21'-0" (6400) | 12" (305) O.C. | 21'-0" (6400) |
| SIDING | 2"x8"x14" | 16" (406) O.C. | 21'-0" (6400) | 16" (406) O.C. | 21'-0" (6400) |
- ** STUD SIZE & SPACING TO BE VERIFIED BY STRUCTURAL ENGINEER **
STUDS ARE TO BE CONTINUOUS. C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4'-0" (1220) O.C. VERTICALLY.
FOR HORIZ. DISTANCES LESS THAN 9'-4" (2866) PROVIDE 2"x6" (38x140) STUDS @ 16" (406) O.C. WITH CONTIN. 2"x2" (38x38) LAD. TOP PLATE 1" x 2" (25x50) BOTTOM PLATE & MIN. OF 3"x6" (38x184) CONT. HEADER AT GROUND FLOOR CEILING LEVEL TOE-NAILED & GLUED AT TOP. BOTTOM PLATES & HEADERS.

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

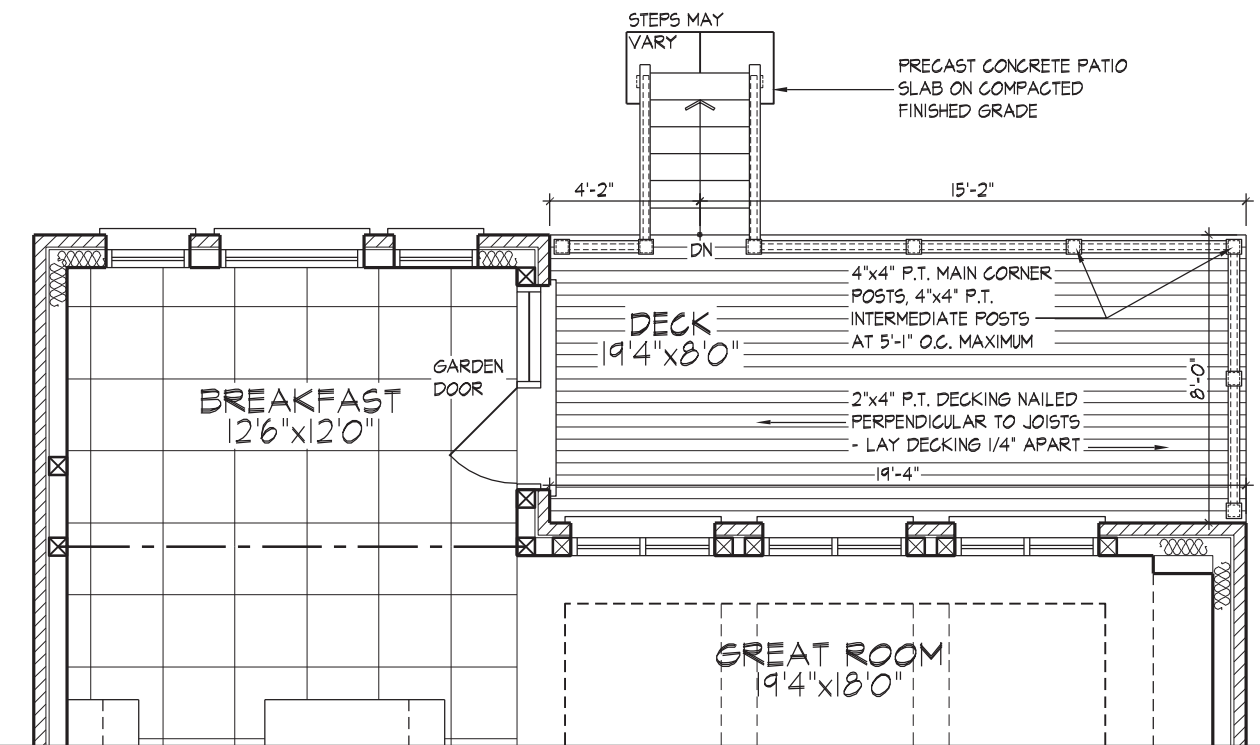
SECTION 1.1. WALL STUDS

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SISING & GRADING PLAN OF THIS CHART FOR CONFORMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.
- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.
- | MIN. STUD SIZE | ROOF W/ ATTIC | ROOF W/ OR W/O ATTIC & FLOORING | ROOF W/ OR W/O ATTIC & FLOORING | ROOF W/ OR W/O ATTIC & FLOORING | ROOF W/ OR W/O ATTIC & FLOORING |
|----------------|---------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|
| 2"x4" | 24" (610) | 16" (406) | 12" (305) | N/A | N/A |
| 2"x6" | 9'-10" (3.0) | 9'-10" (3.0) | 9'-10" (3.0) | N/A | N/A |
| 2"x8" | 9'-10" (3.0) | 24" (610) | 16" (406) | 12" (305) | N/A |
| 2"x10" | 9'-10" (3.0) | 11'-10" (3.6) | 5'-11" (1.8) | | |



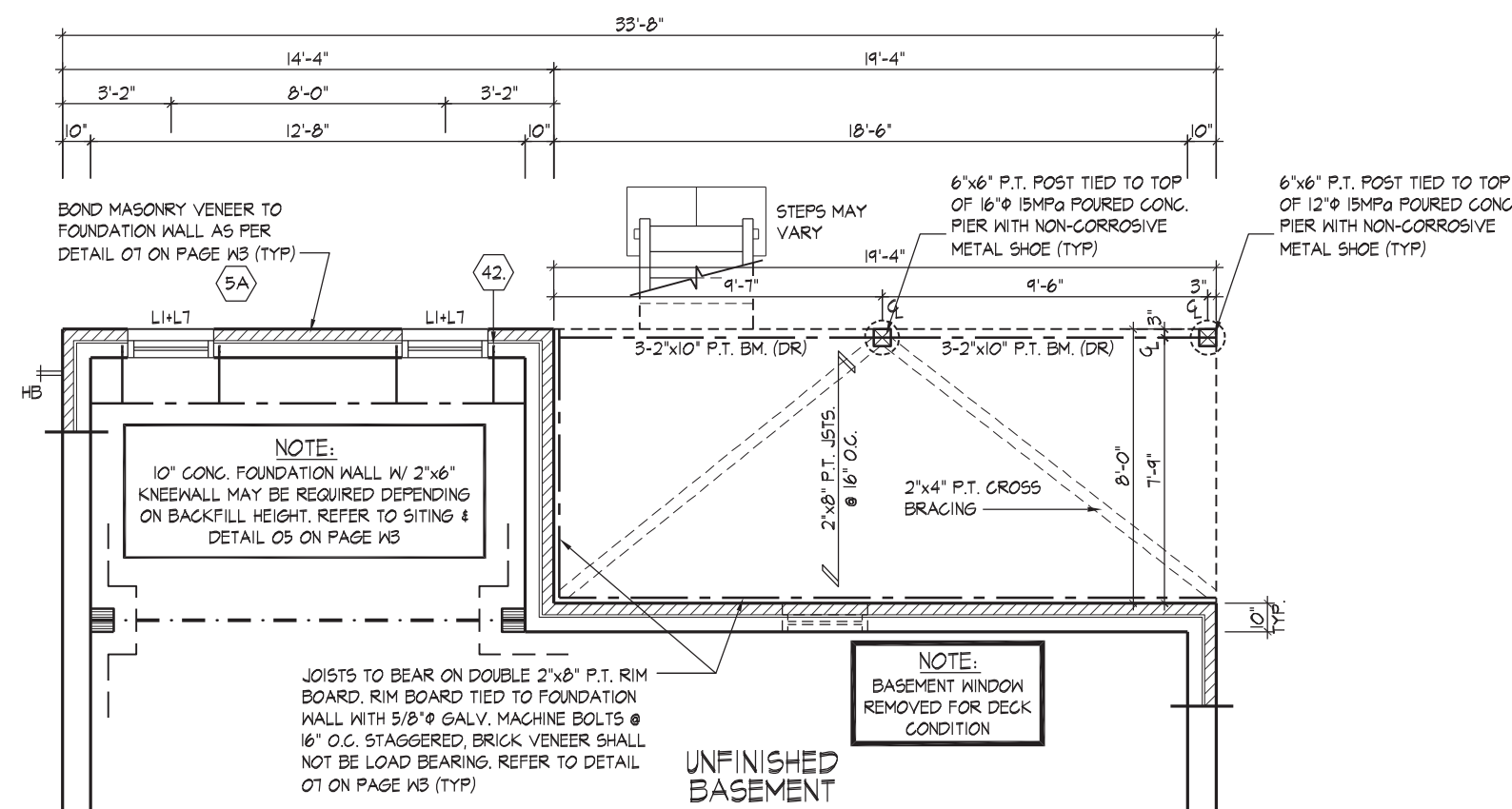
PART. GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' - W.O.D. COND.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



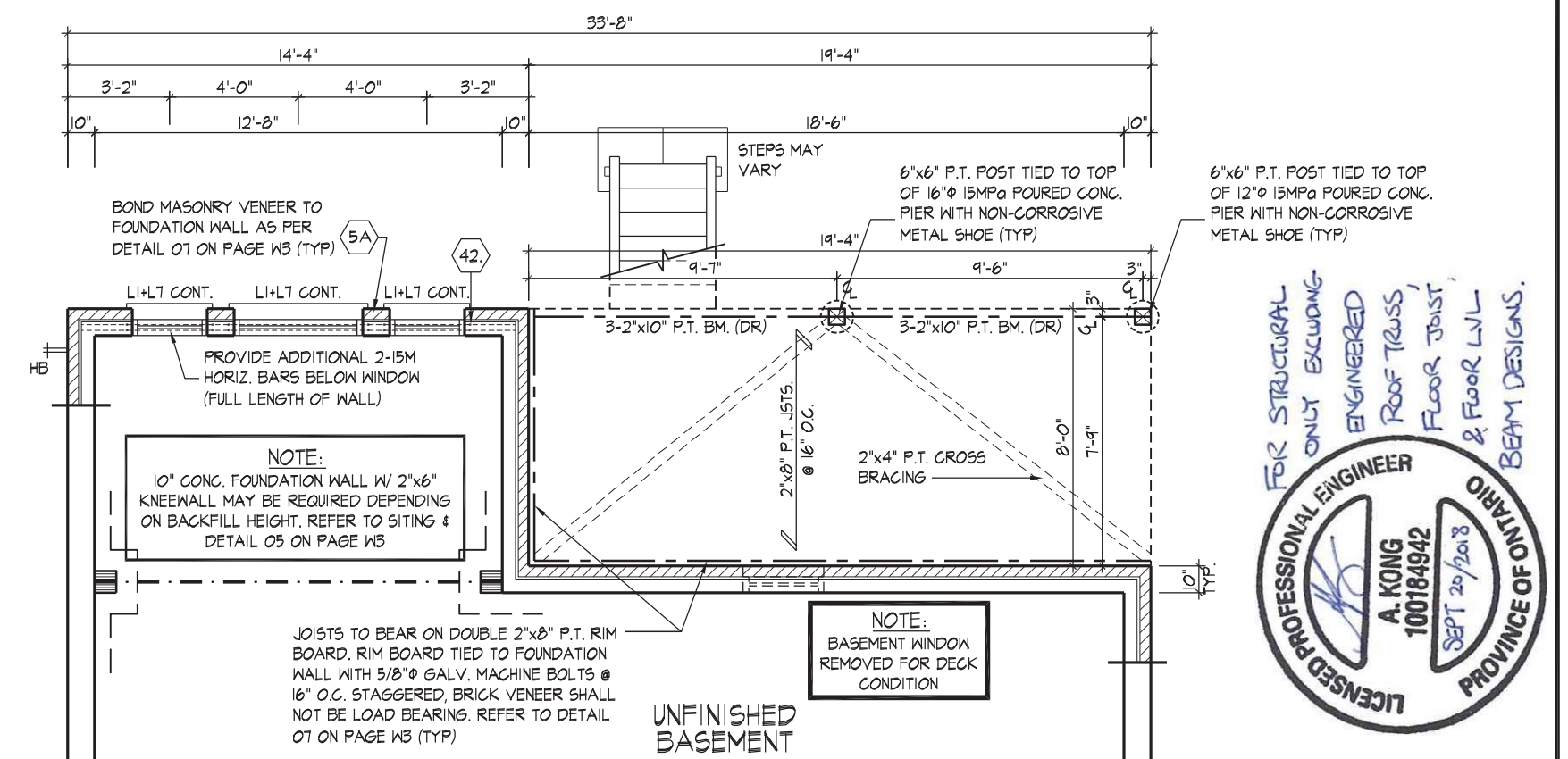
PART. GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' - L.O.D. COND.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - W.O.D. COND.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



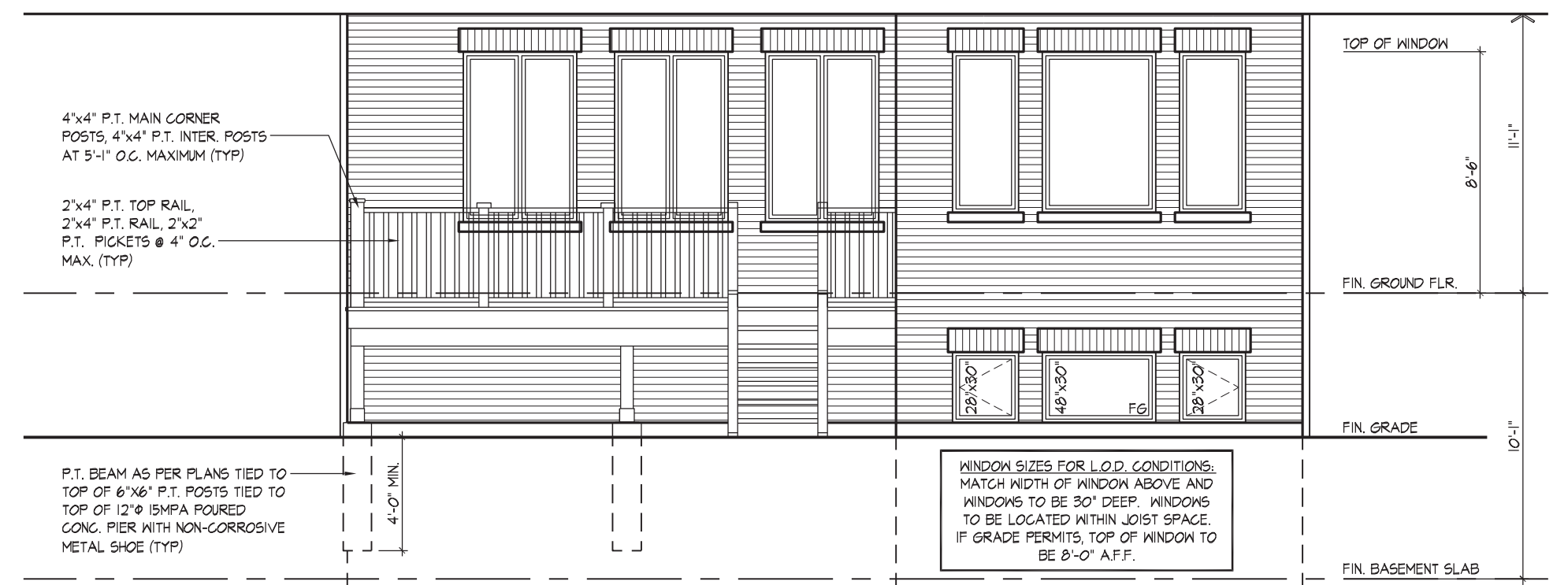
PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - L.O.D. COND.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



PART. REAR ELEVATION 'A', 'B' & 'C' - W.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.



PART. REAR ELEVATION 'A', 'B' & 'C' - L.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.

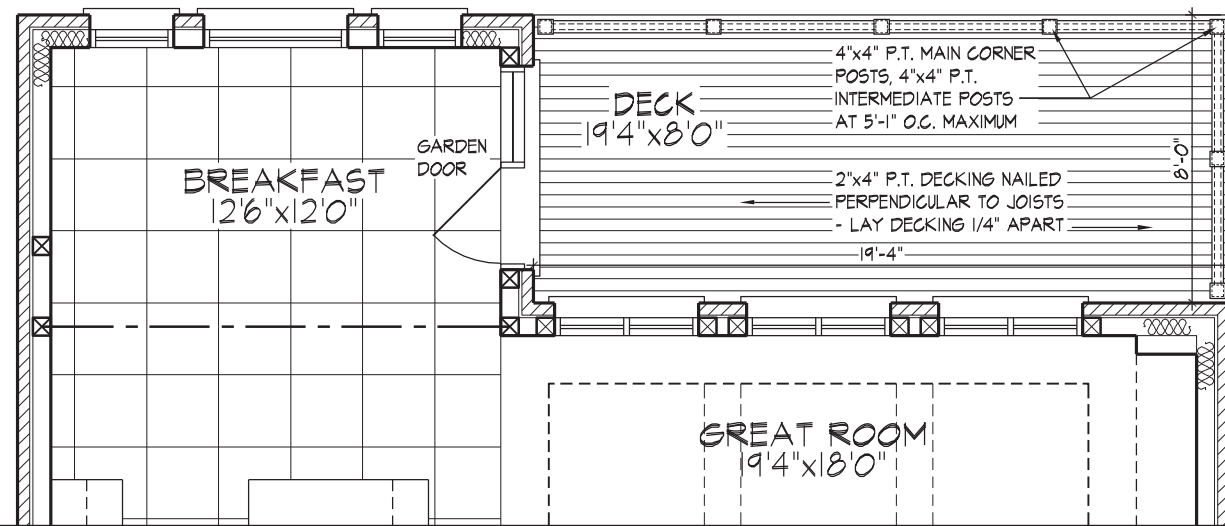
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: DATE: SEP 20, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE. THE UNDERSIGNED'S QUALIFICATION INFORMATION:
Olin Fairbairn 20201 BCN
NAME: Olin Fairbairn
REGISTRATION INFORMATION: 19695
HUNT DESIGN ASSOCIATES INC.

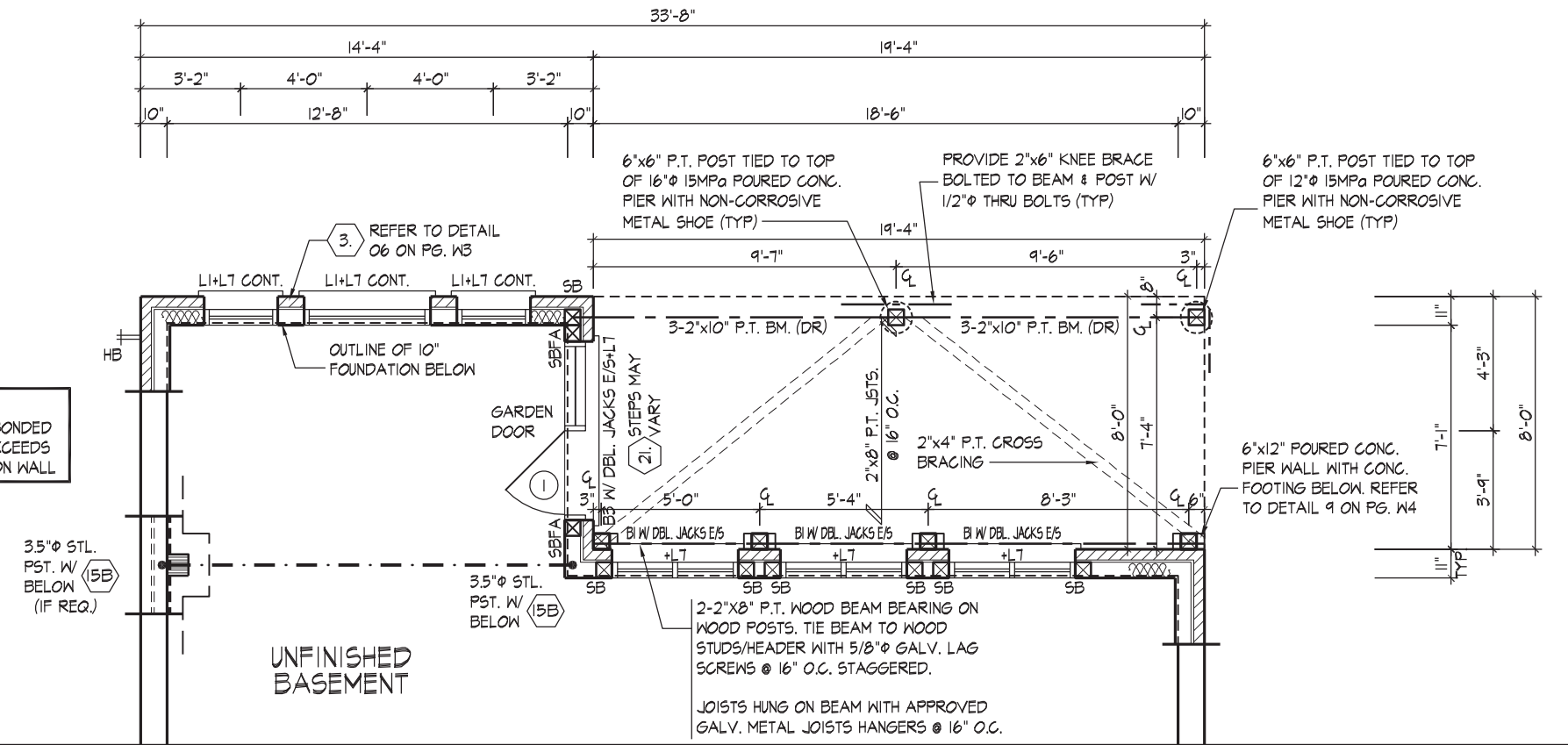
HUNT DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.
Down By: OF OF 3/16"=1'-0"
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326
217020WS4202.DWG
DECK CONDITIONS
UNIT 4202 - THE ROSEDALE
REV. 2018/09/18
Page Number W1 of W4



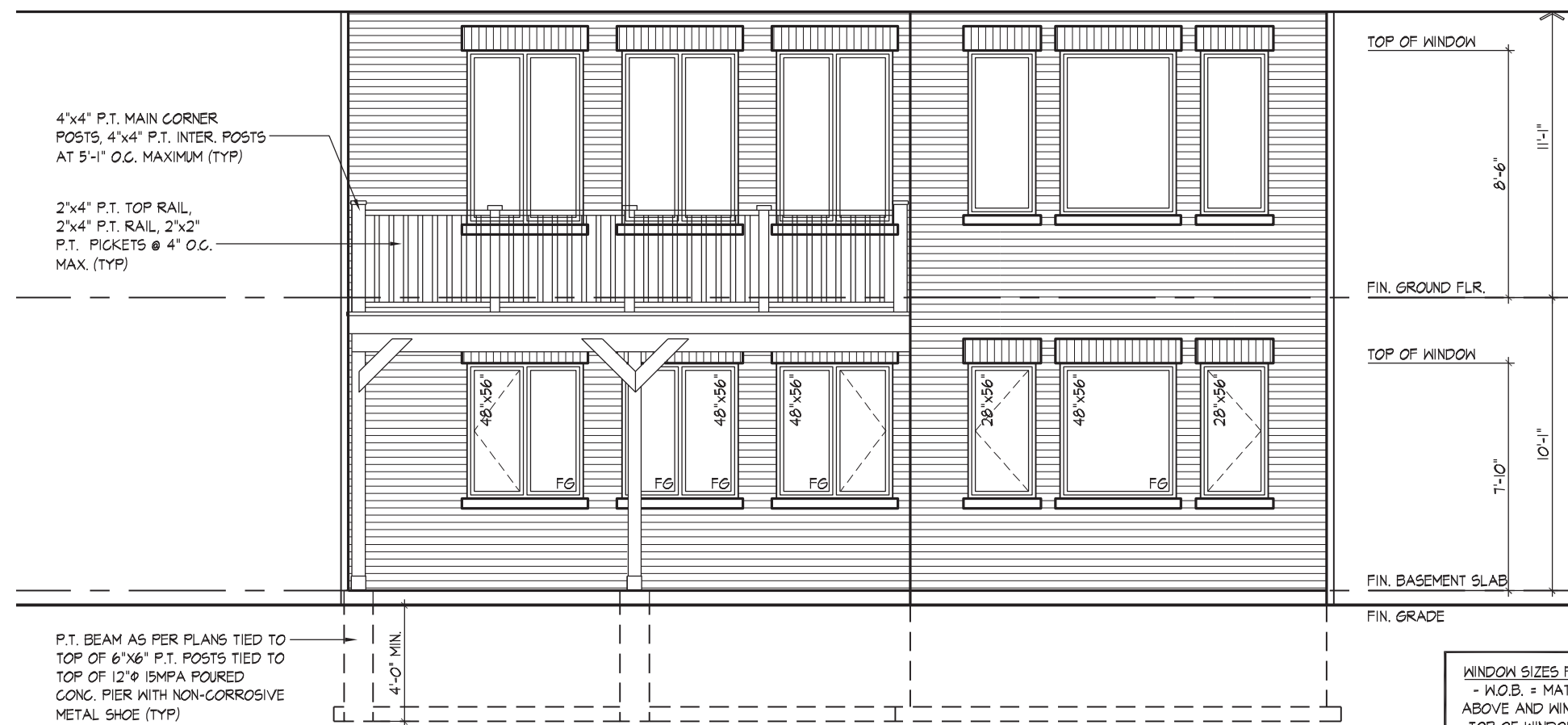
PART. GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' - W.O.B. COND.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



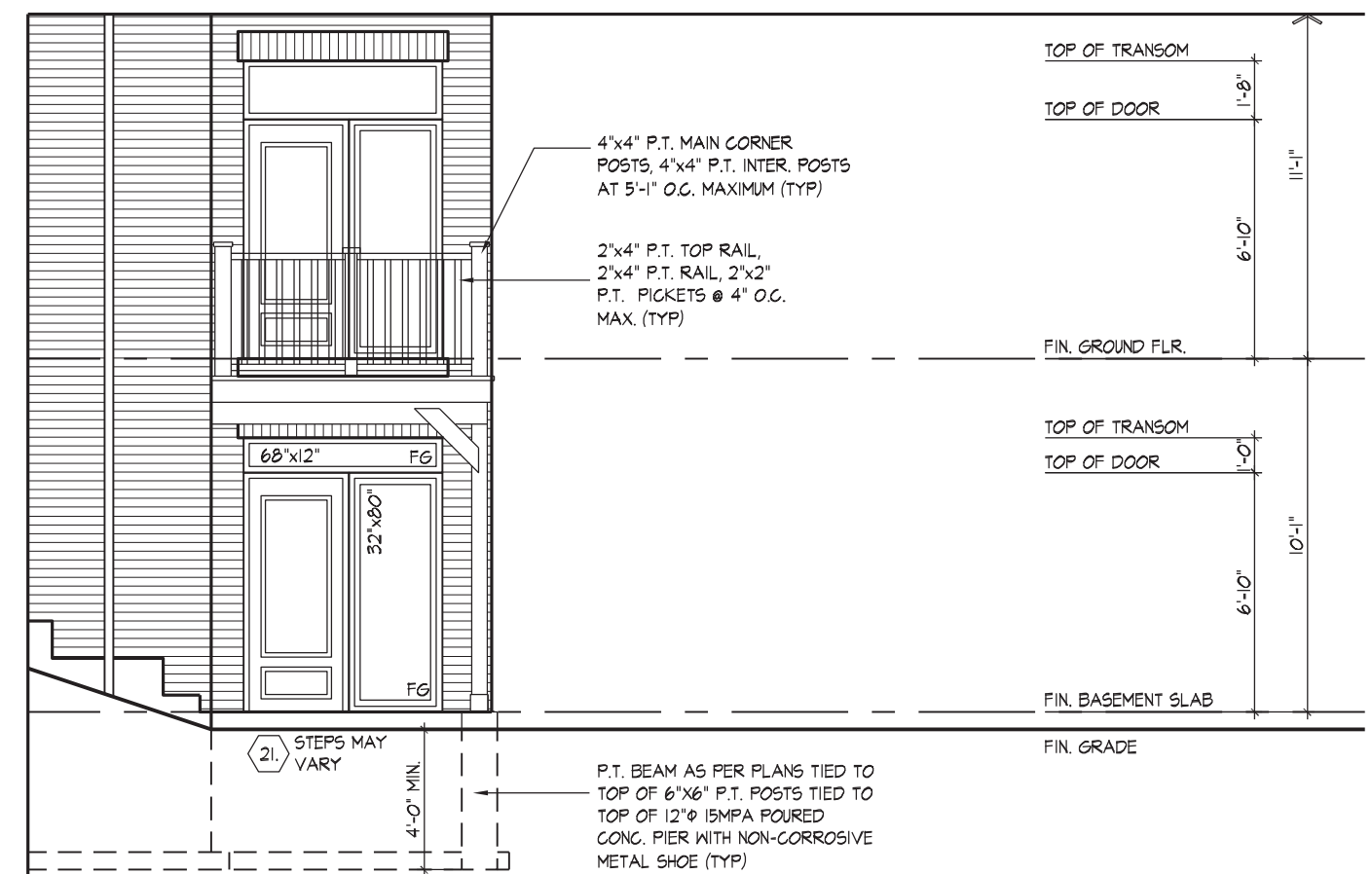
PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - W.O.B. COND.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



PART. REAR ELEVATION 'A', 'B' & 'C' - W.O.B. CONDITION

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.



PART. RIGHT SIDE ELEV. 'A', 'B' & 'C' - W.O.B. CONDITION

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.

WINDOW SIZES FOR W.O.B. CONDITIONS:
- W.O.B. = MATCH WIDTH OF WINDOW
ABOVE AND WINDOWS TO BE 56" DEEP.
TOP OF WINDOW TO BE @ 7'-10" A.F.F.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

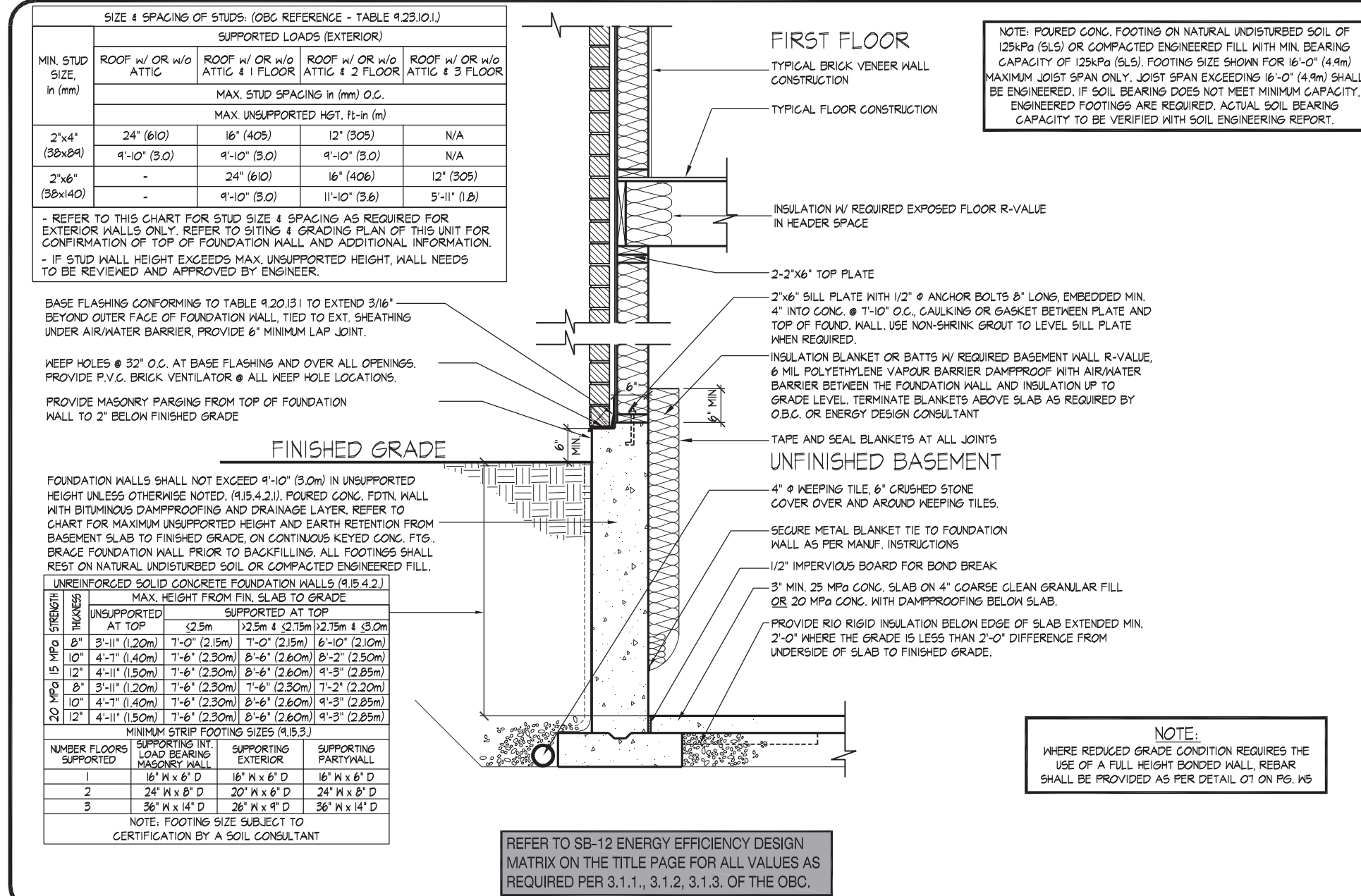
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: DATE: SEP 20, 2018
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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE.
QUALIFICATION INFORMATION
Olin Fairbairn 20201
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC. 19695

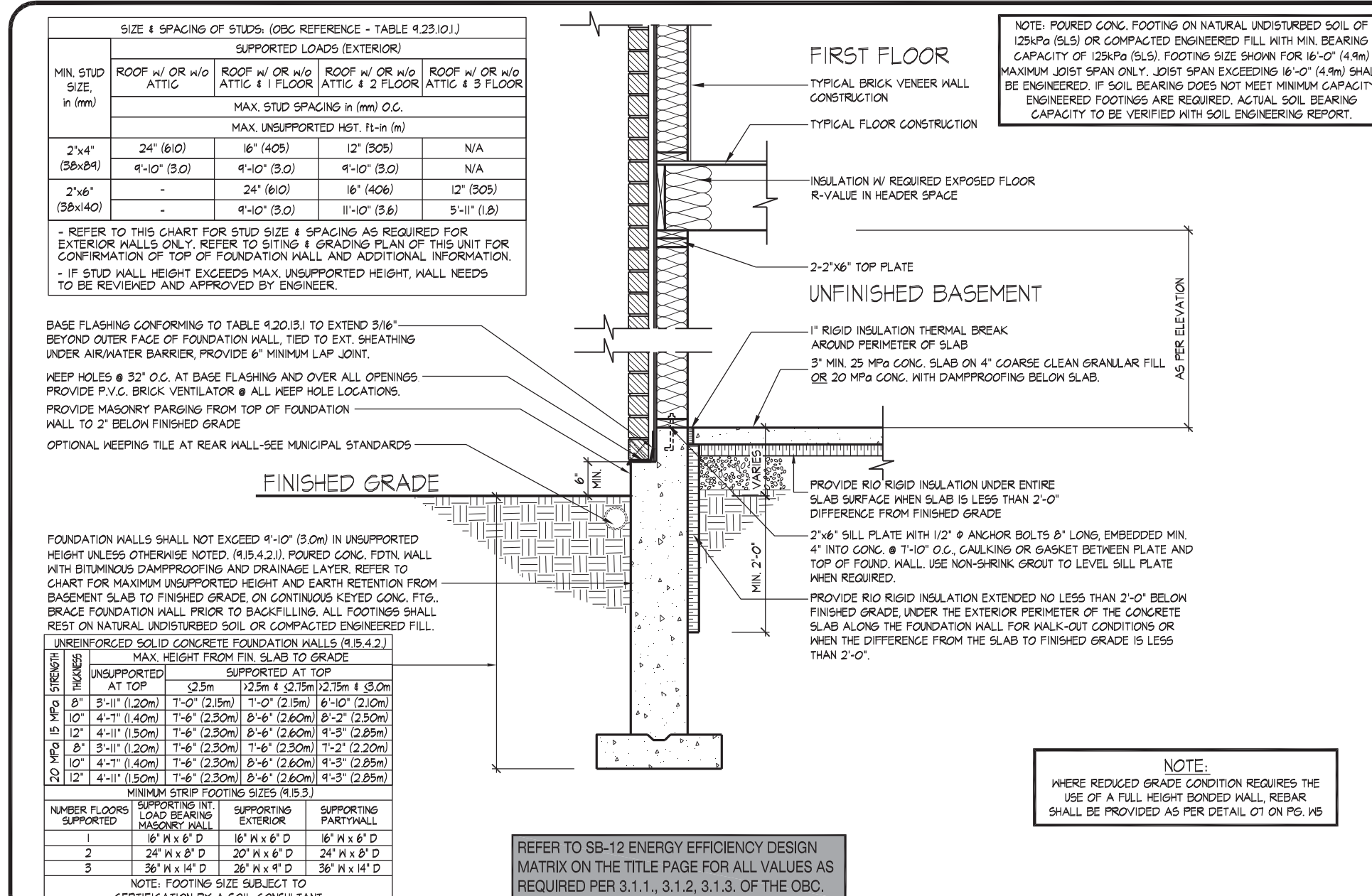
HUNT DESIGN ASSOCIATES INC.
www.hunt-design.ca

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.
Down By: HDAL Checked By: HDAL Scale: 3/16"=1'-0"

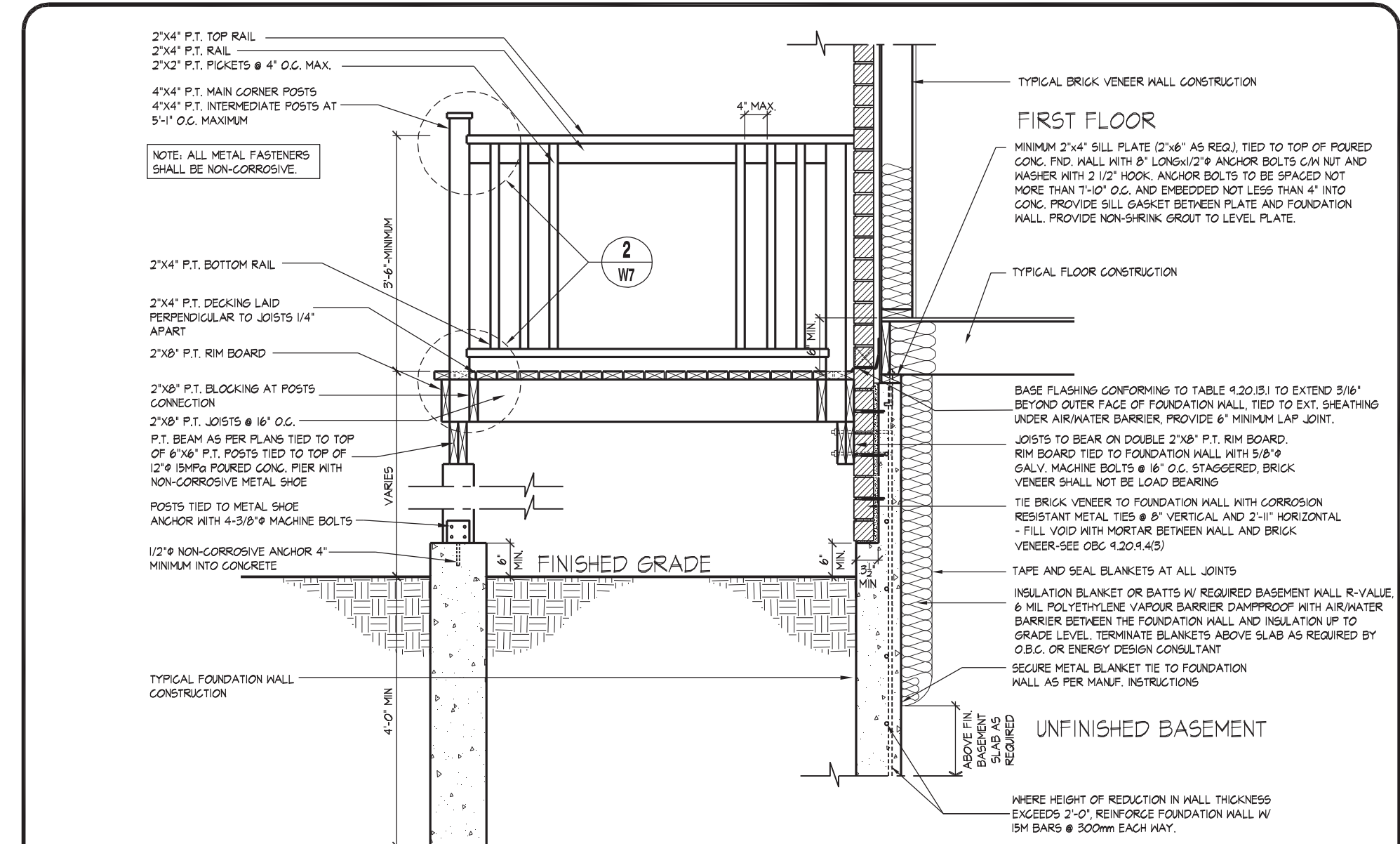
DECK CONDITIONS
UNIT 4202 - THE ROSEDALE
REV. 2018/09/18
File Number: 217020WS4202.DWG Page Number: W2 of W4



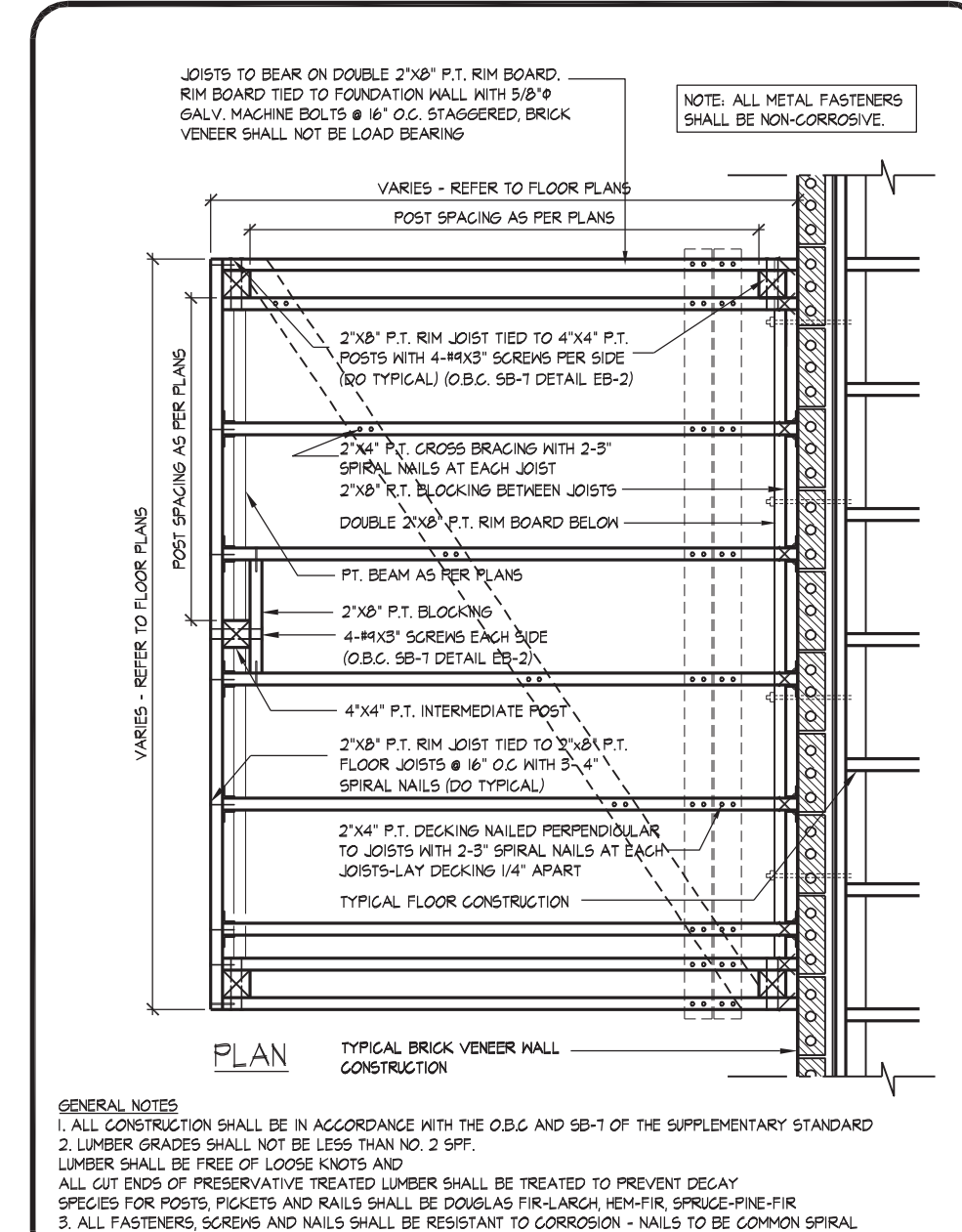
05 MASONRY VENEER, 2"x6" STUDS, 10" FOUNDATION WALL Laterally Unsupported
1/2" = 1'-0"



06 MASONRY VENEER, 2"x6" STUDS, SLAB ON GRADE / WALK OUT BASEMENT CONDITION
1/2" = 1'-0"



07 MASONRY VENEER, TYPICAL WALK/LOOK OUT WOOD DECK, SOLID MASONRY
1/2" = 1'-0"



08 TYP. DECK FRAMING ON WOOD LEDGER, BRICK VENEER
1/2" = 1'-0"



