





FRONT ELEVATION 'B'



FRONT ELEVATION 'C

UNIT 4202 - 'THE ROSEDALE'

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

RESCRIPTIVE COMPLIANCE SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A SPACE HEATING FUEL PACKAGE A1 ■ GAS □ OIL □ ELECTRIC □ PROPANE

	□ EARTH	□ SOLID FUEI
BUILDING COMPONENT	REQUIRED	PROPOSED
INSULATION RSI (R) VALUE		
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)
BASEMENT WALLS	3.52 ci *	3.52 ci
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)	(R20 ci) ×	(R20 ci) *
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-
EDGE OF BELOW GRADE SLAB \leq 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
HEATED SLAB OR SLAB \leq 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
WINDOWS & DOORS	·	
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8
APPLIANCE EFFICIENCY		
SPACE HEATING EQUIP. (AFUE%)	96%	96%
HRV EFFICIENCY (%)	75%	75%
DHW HEATER (EF)	0.8	0.8

	DHW HEATEN (EF)					0.0	0.0
	AREA CALCULATIONS	EL. 'A'	EL. 'B'	EL. 'C'	EL. 'A'	EL. 'B'	EL. 'C
		STD. PLAN	STD. PLAN	STD. PLAN	OPT. GRD FLR	OPT. GRD FLR	OPT. GRD F
	GROUND FLOOR AREA	1540 sq. ft.	1508 sq. ft.	1511 sq. ft.	1733 sq. ft.	1701 sq. ft.	1704 sq. ff
		(143.07 sq. m.)	(140.10 sq. m.)	(140.38 sq. m.)	(161.00 sq. m.)	(158.03 sq. m.)	(158.31 sq.
	SECOND FLOOR AREA	2076 sq. ft.	2059 sq. ft.	2039 sq. ft.	2076 sq. ft.	2059 sq. ft.	2039 sq. f
		(192.87 sq. m.)	(191.29 sq. m.)	(189.43 sq. m.)	(192.87 sq. m.)	(191.29 sq. m.)	(189.43 sq.
	SUBTOTAL	3616 sq. ft.	3567 sq. ft.	3550 sq. ft.	3809 sq. ft.	3760 sq. ft.	3743 sq. f
		(335.94 sq. m.)	(331.39 sq. m.)	(329.81 sq. m.)	(353.87 sq. m.)	(349.32 sq. m.)	(347.74 sq.
	DEDUCT ALL OPEN AREAS	24 sq. ft.	24 sq. ft.				
		(2.23 sq. m.)	(2.23 sq. m				
	TOTAL NET AREA	3592 sq. ft.	3543 sq. ft.	3526 sq. ft.	3785 sq. ft.	3736 sq. ft.	3719 sq.
		(333.71 sq. m.)	(329.16 sq. m.)	(327.58 sq. m.)	(351.64 sq. m.)	(347.09 sq. m.)	(345.51 sq.
	FINISHED BASEMENT AREA	73 sq. ft.	73 sq. ft.				
		(6.78 sq. m.)	(6.78 sq. m				
	COVERAGE	2139 sq. ft.	2109 sq. ft.	2112 sq. ft.	2139 sq. ft.	2109 sq. ft.	2112 sq. f
	W/OUT PORCH	(198.72 sq. m.)	(195.93 sq. m.)	(196.21 sq. m.)	(198.72 sq. m.)	(195.93 sq. m.)	(196.21 sq.
	COVERAGE	2189 sq. ft.	2167 sq. ft.	2159 sq. ft.	2189 sq. ft.	2167 sq. ft.	2159 sq.
RND	W/ PORCH	(203.36 sq. m.)	(201.32 sq. m.)	(200.58 sq. m.)	(203.36 sq. m.)	(201.32 sq. m.)	(200.58 sq.
. ft.	COVERAGE	2344 sq. ft.	2322 sq. ft.	2314 sq. ft.	2344 sq. ft.	2322 sq. ft.	2314 sq.
	W/ OPT, LOGGIA	(217.76 sq. m.)	(215.72 sq. m.)	(214.98 sq. m.)	(217.76 sq. m.)	(215.72 sq. m.)	(214.98 sa

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- 2 BASEMENT & GROUND FLOOR PLANS ELEV. 'A'
- 3 SECOND & OPT. SECOND FLOOR PLANS ELEV. 'A'
- 4 PARTIAL FLOOR PLANS ELEV. 'B'
- 5 PARTIAL FLOOR PLANS ELEV. 'C'
- 6 PARTIAL BASEMENT & GROUND FLOOR PLAN W/ LIBRARY ELEV. 'A'
- 7 FRONT ELEVATION 'A'
- 8 LEFT SIDE ELEVATION 'A'
- 9 RIGHT SIDE ELEVATION 'A'
- 10 REAR ELEVATION 'A'/B'/'C'
- 11 FRONT ELEVATION 'B'
- 12 LEFT SIDE ELEVATION 'B'
- 13 RIGHT SIDE ELEVATION 'B'
- 14 FRONT ELEVATION 'C'
- 15 LEFT SIDE ELEVATION 'C'
- 16 RIGHT SIDE ELEVATION 'C'
- 17 CROSS SECTION A-A
- 18 CONSTRUCTION NOTES
- W1 DECK CONDITIONS
- W2 DECK CONDITIONS W3 - DECK DETAILS
- W4 DECK DETAILS

WINDOW / WALL AREA	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'A'		EL. 'B'	EL. 'B'	EL. 'B'	EL. 'B'		EL. 'C'	EL. 'C'	EL. 'C'	EL. 'C'
<u>CALCULATIONS</u>	STD, PLAN	OPT, 5 BED	OPT, GRND	OPT. 5 BED & GRND)	STD, PLAN	OPT. 5 BED	OPT, GRND	OPT. 5 BED & GRNE)	STD, PLAN	OPT, 5 BED	OPT, GRND	OPT. 5 BED & GRND
GROSS WALL AREA	4553.26 sq. ft.	4553.26 sq. ft.	4553.26 sq. ft.	4553.26 sq. ft.	GROSS WALL AREA	4526.08 sq. ft.	4526.08 sq. ft.	4526.08 sq. ft.	4526.08 sq. ft.	GROSS WALL AREA	4457.33 sq. ft.	4457.33 sq. ft.	4457.33 sq. ft.	4457.33 sq. ft.
GIIOOO WALL AILA	(423.01 sq. m.)	(423.01 sq. m.)	(423.01 sq. m.)	(423.01 sq. m.)	- anos wall and	(420.49 sq. m.)	(420.49 sq. m.)	(420.49 sq. m.)	(420.49 sq. m.)	- arioos wall arila	(414.10 sq. m.)	(414.10 sq. m.)	(414.10 sq. m.)	(414.10 sq. m.)
GROSS WINDOW AREA	442.86 sq. ft.	441.41 sq. ft.	465.52 sq. ft.	464.08 sq. ft.	GROSS WINDOW AREA	438.55 sq. ft.	437.11 sq. ft.	461.22 sq. ft.	459.77 sq. ft.	GROSS WINDOW AREA	469.05 sq. ft.	467.60 sq. ft.	491.71 sq. ft.	490.27 sq. ft.
(INCL. GLASS DOORS & SKYLIGHTS	(41.14 sq. m.)	(41.01 sq. m.)	(43.25 sq. m.)	(43.11 sq. m.)	(INCL. GLASS DOORS & SKYLIGHTS)	(40.74 sq. m.)	(40.61 sq. m.)	(42.85 sq. m.)	(42.71 sq. m.)	(INCL. GLASS DOORS & SKYLIGHTS)	(43.58 sq. m.)	(43.44 sq. m.)	(45.68 sq. m.)	(45.55 sq. m.)
TOTAL WINDOW %	9.73 %	9.69 %	10.22 %	10.19 %	TOTAL WINDOW %	9.69 %	9.66 %	10.19 %	10.16 %	TOTAL WINDOW %	10.52 %	10.49 %	11.03 %	11.00 %
	EL. 'A' - WOD		EL. 'B' - WOD		EL. 'C' - WOD									
	STD, PLAN	OPT, 5 BED	OPT, GRND	OPT. 5 BED & GRND)	STD, PLAN	OPT, 5 BED	OPT, GRND	OPT. 5 BED & GRNE)	STD, PLAN	OPT. 5 BED	OPT, GRND	OPT. 5 BED & GRND
CDOCC WALL ADEA	4585.04 sq. ft.	4585.04 sq. ft.	4585.04 sq. ft.	4585.04 sq. ft.	GROSS WALL AREA	4557.86 sq. ft.	4557.86 sq. ft.	4557.86 sq. ft.	4557.86 sq. ft.	CDOCC WALL ADEA	4489.11 sq. ft.	4489.11 sq. ft.	4489.11 sq. ft.	4489.11 sq. ft.
GROSS WALL AREA	(425.96 sq. m.)	(425.96 sq. m.)	(425.96 sq. m.)	(425.96 sq. m.)	GROSS WALL AREA	(423.44 sq. m.)	(423.44 sq. m.)	(423.44 sq. m.)	(423.44 sq. m.)	GROSS WALL AREA	(417.05 sq. m.)	(417.05 sq. m.)	(417.05 sq. m.)	(417.05 sq. m.)
GROSS WINDOW AREA	446.19 sq. ft.	444.75 sq. ft.	468.86 sq. ft.	467.41 sq. ft.	GROSS WINDOW AREA	441.88 sq. ft.	440.44 sq. ft.	464.55 sq. ft.	463.11 sq. ft.	GROSS WINDOW AREA	472.38 sq. ft.	470.94 sq. ft.	495.05 sq. ft.	493.60 sq. ft.
(INCL. GLASS DOORS & SKYLIGHTS	(41.45 sq. m.)	(41.32 sq. m.)	(43.56 sq. m.)	(43.42 sq. m.)	(INCL. GLASS DOORS & SKYLIGHTS)	(41.05 sq. m.)	(40.92 sq. m.)	(43.16 sq. m.)	(43.02 sq. m.)	(INCL. GLASS DOORS & SKYLIGHTS)	(43.89 sq. m.)	(43.75 sq. m.)	(45.99 sq. m.)	(45.86 sq. m.)
TOTAL WINDOW %	9.73 %	9.70 %	10.23 %	10.19 %	TOTAL WINDOW %	9.69 %	9.66 %	10.19 %	10.16 %	TOTAL WINDOW %	10.52 %	10.49 %	11.03 %	11.00 %
	EL. 'A' - LOD		EL. 'B' - LOD		EL. 'C' - LOD									
	STD, PLAN	OPT, 5 BED	OPT. GRND	OPT. 5 BED & GRND)	STD, PLAN	OPT. 5 BED	OPT, GRND	OPT. 5 BED & GRNE)	STD, PLAN	OPT. 5 BED	OPT, GRND	OPT. 5 BED & GRND
GROSS WALL AREA	4674.42 sq. ft.	4674.42 sq. ft.	4674.42 sq. ft.	4674.42 sq. ft.	GROSS WALL AREA	4647.24 sq. ft.	4647,24 sq. ft.	4647.24 sq. ft.	4647,24 sq. ft.	GROSS WALL AREA	4578.49 sq. ft.	4578.49 sq. ft.	4578.49 sq. ft.	4578.49 sq. ft.
GROSS WALL AREA	(434.27 sq. m.)	(434.27 sq. m.)	(434.27 sq. m.)	(434.27 sq. m.)	GRUSS WALL AREA	(431.74 sq. m.)	(431.74 sq. m.)	(431.74 sq. m.)	(431.74 sq. m.)	GRUSS WALL AREA	(425.36 sq. m.)	(425.36 sq. m.)	(425.36 sq. m.)	(425.36 sq. m.)
GROSS WINDOW AREA	457.86 sq. ft.	456.41 sq. ft.	480.52 sq. ft.	479.08 sq. ft.	GROSS WINDOW AREA	453,55 sq. ft.	452,11 sq. ft.	476.22 sq. ft.	474,77 sq. ft.	GROSS WINDOW AREA	484.05 sq. ft.	482.60 sq. ft.	506.71 sq. ft.	505,27 sq. ft.
(INCL. GLASS DOORS & SKYLIGHTS	(42.54 sq. m.)	(42.40 sq. m.)	(44.64 sq. m.)	(44.51 sq. m.)	(INCL. GLASS DOORS & SKYLIGHTS)	(42.14 sq. m.)	(42.00 sq. m.)	(44.24 sq. m.)	(44.11 sq. m.)	(INCL. GLASS DOORS & SKYLIGHTS)	(44.97 sq. m.)	(44.84 sq. m.)	(47.07 sq. m.)	(46.94 sq. m.)
TOTAL WINDOW %	9.80 %	9.76 %	10.28 %	10.25 %	TOTAL WINDOW %	9.76 %	9.73 %	10.25 %	10.22 %	TOTAL WINDOW %	10.57 %	10.54 %	11.07 %	11.04 %
	EL. 'A' - WOB	EL. 'A' - WOB	EL. 'A' - WOB	EL, 'A' - WOB		EL, 'B' - WOB	EL. 'B' - WOB	EL. 'B' - WOB	EL. 'B' - WOB		EL, 'C' - WOB	EL. 'C' - WOB	EL. 'C' - WOB	EL, 'C' - WOB
	STD. PLAN	OPT. 5 BED	OPT. GRND	OPT. 5 BED & GRND)	STD. PLAN	OPT. 5 BED	OPT, GRND	OPT. 5 BED & GRNE)	STD. PLAN	OPT. 5 BED	OPT. GRND	OPT. 5 BED & GRND
0000014/411 4054	4970.35 sq. ft.	4970.35 sq. ft.	4970.35 sq. ft.	4970.35 sq. ft.	000001111111111111111111111111111111111	4943.17 sq. ft.	4943.17 sq. ft.	4943.17 sq. ft.	4943.17 sq. ft.	0000014/411 4054	4874.42 sq. ft.	4874.42 sq. ft.	4874.42 sq. ft.	4874.42 sq. ft.
GROSS WALL AREA	(461.76 sq. m.)	(461.76 sq. m.)	(461.76 sq. m.)	(461.76 sq. m.)	GROSS WALL AREA	(459.24 sq. m.)	(459.24 sq. m.)	(459.24 sq. m.)	(459.24 sq. m.)	GROSS WALL AREA	(452.85 sq. m.)	(452.85 sq. m.)	(452.85 sq. m.)	(452.85 sq. m.)
GROSS WINDOW AREA	577.02 sq. ft.	575,58 sq. ft.	599,69 sq. ft.	598.25 sq. ft.	GROSS WINDOW AREA	572.72 sq. ft.	571.27 sq. ft.	595.38 sq. ft.	593.94 sq. ft.	GROSS WINDOW AREA	603.21 sq. ft.	601.77 sq. ft.	625.88 sq. ft.	624.44 sq. ft.
(INCL. GLASS DOORS & SKYLIGHTS	(53.61 sq. m.)	(53.47 sq. m.)	(55.71 sq. m.)	(55.58 sq. m.)	(INCL. GLASS DOORS & SKYLIGHTS)	(53.21 sq. m.)	(53.07 sq. m.)	(55.31 sq. m.)	(55.18 sq. m.)	(INCL. GLASS DOORS & SKYLIGHTS)	(56.04 sq. m.)	(55.91 sq. m.)	(58.15 sq. m.)	(58.01 sq. m.)
TOTAL WINDOW %	11.61 %	11.58 %	12.07 %	12.04 %	TOTAL WINDOW %	11.59 %	11.56 %	12.04 %	12.02 %	TOTAL WINDOW %	12.38 %	12.35 %	12.84 %	12.81 %





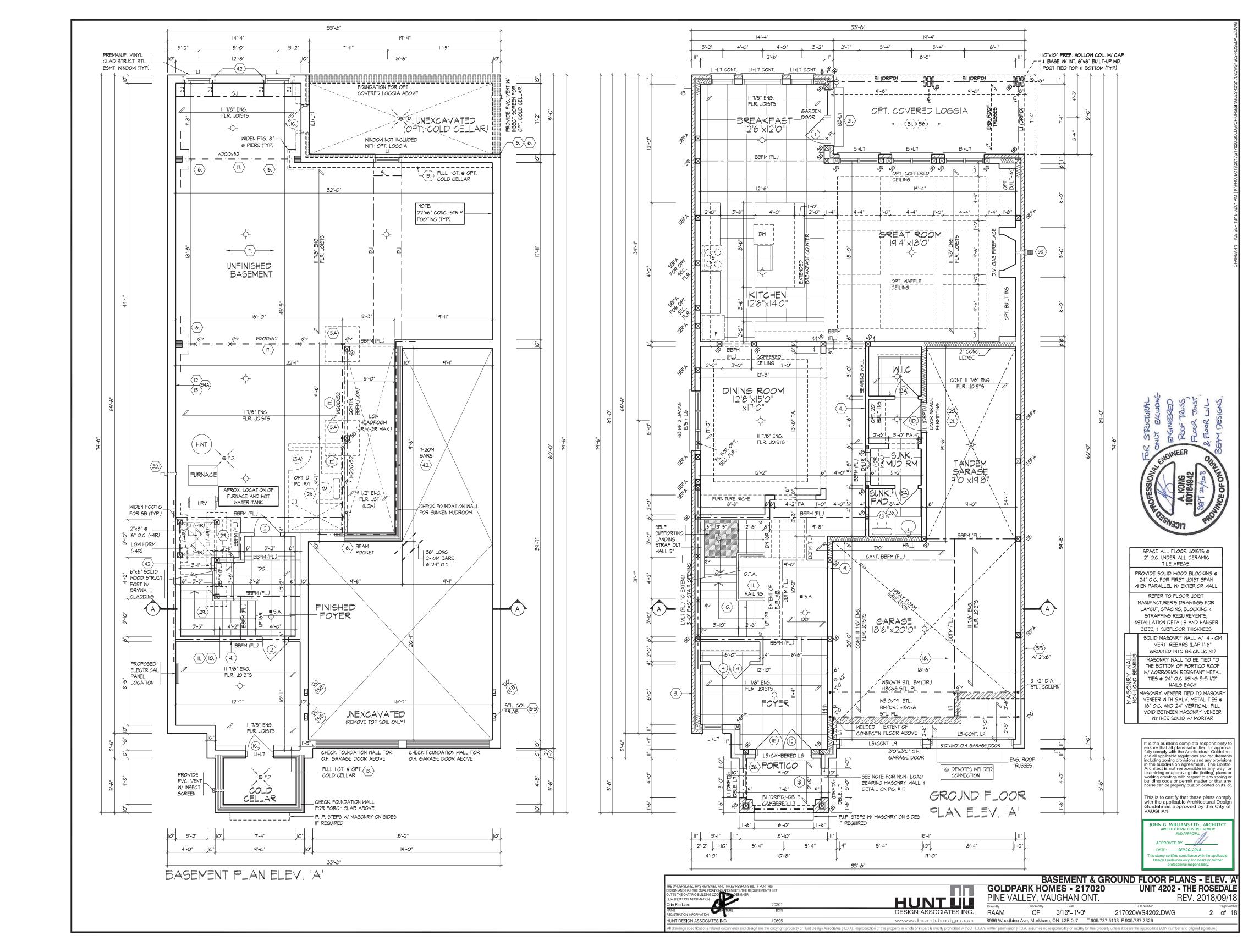
9.	REVISED AS PER CITY COMMENTS	2018/09/04	OF
8.	REVISED DESIGN AS PER CLIENT COMMENTS	2018/06/14	MC
7.	REVISED AS PER ENG. COMMENTS	2018/05/31	MC
6.	REVISED AS PER CLIENT COMMENTS	2018/05/14	OF
5.	REVISED AS PER ENG. COMMENTS	2018/04/17	MC
4.	REVISED AS PER FLOOR MANUF. LAYOUTS	2017/11/28	OF
3.	REVISED AS PER ROOF MANUF. LAYOUTS	2017/11/17	MC
2.	REVISED AS PER CLIENT COMMENTS	2017/11/03	OF
1.	ISSUED FOR CLIENT REVIEW	2017/09/18	OF
	REVISIONS	DATE (YYYY/MM/DD)	BY

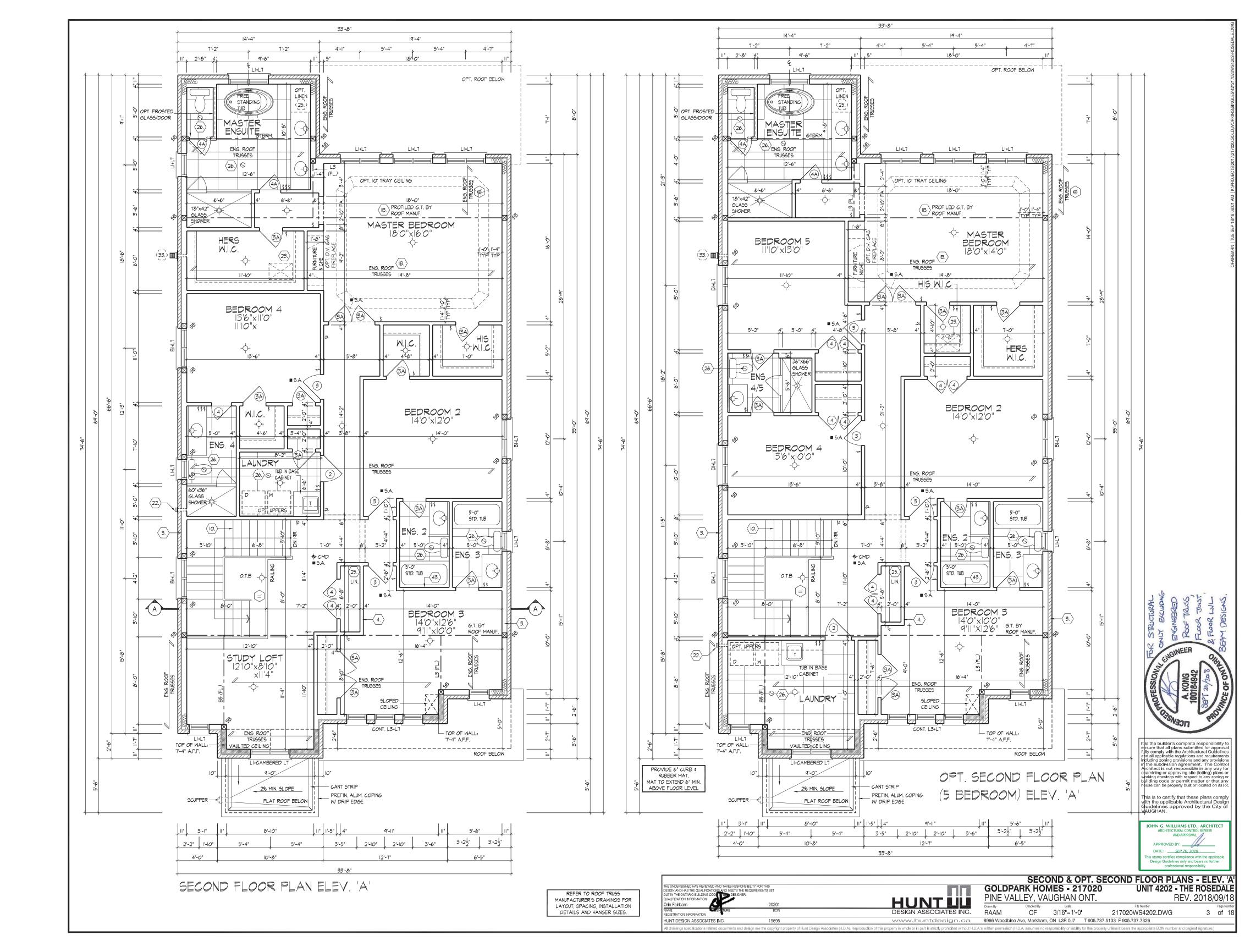
TITLE PAGE UNIT 4202 - THE ROSEDALE

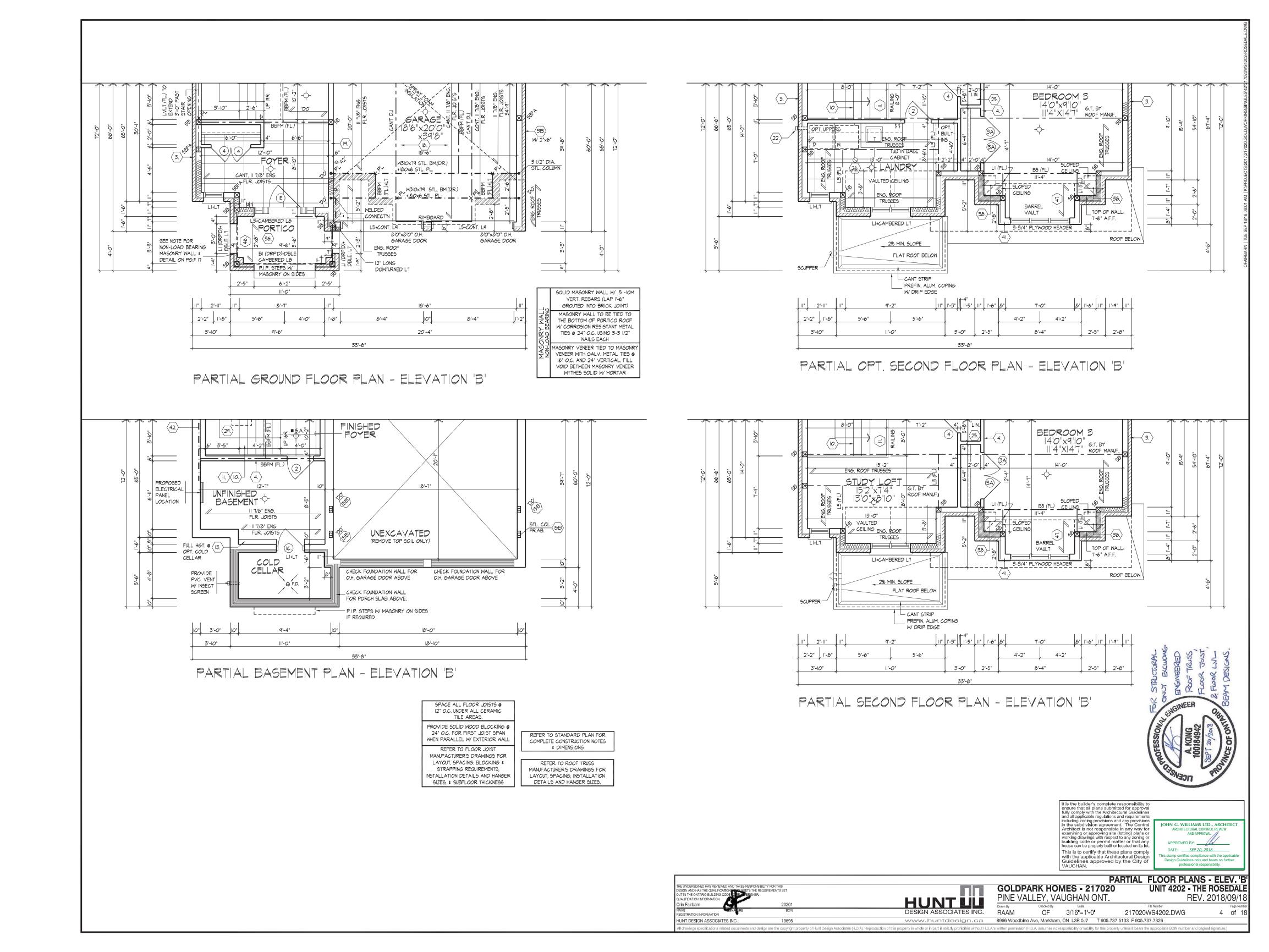
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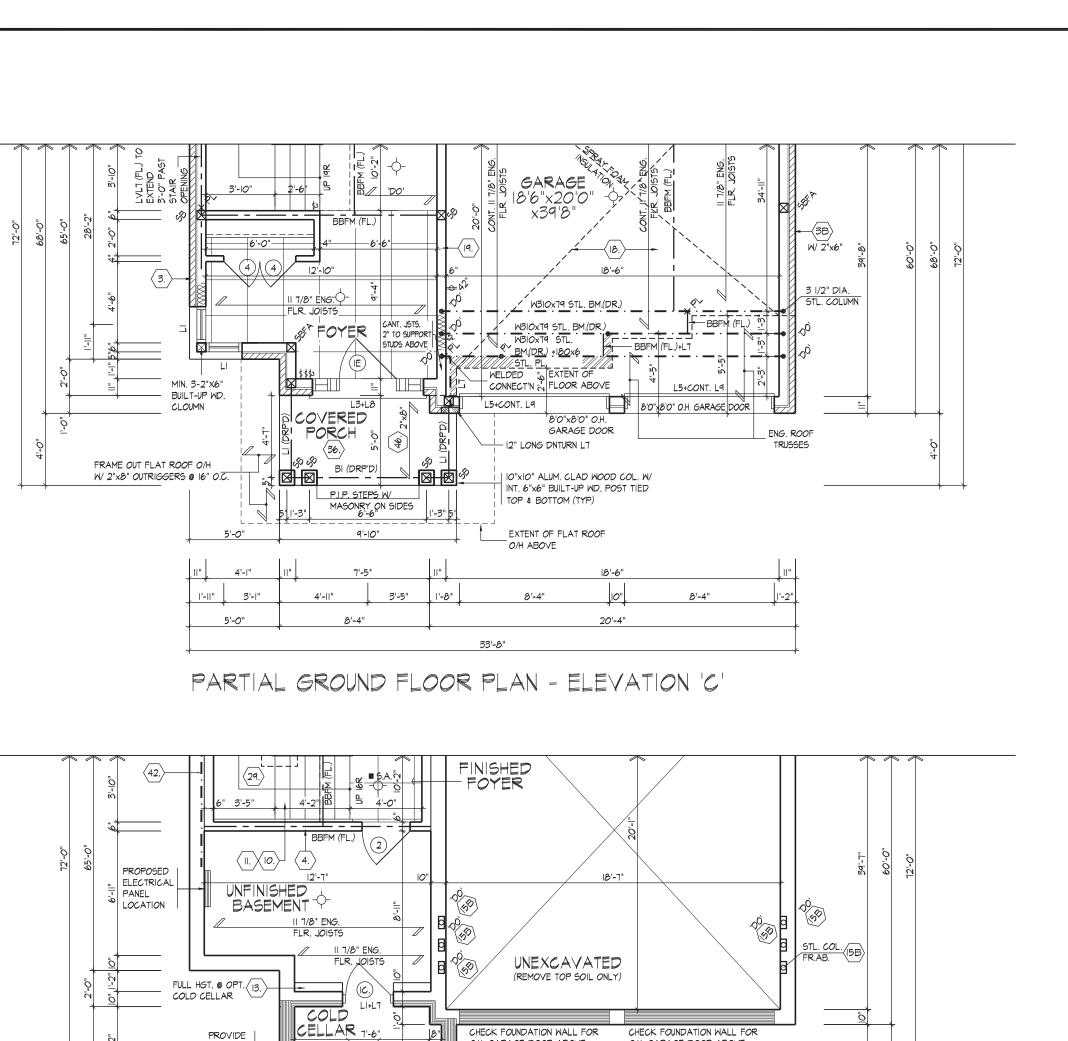
REV. 2018/09/18

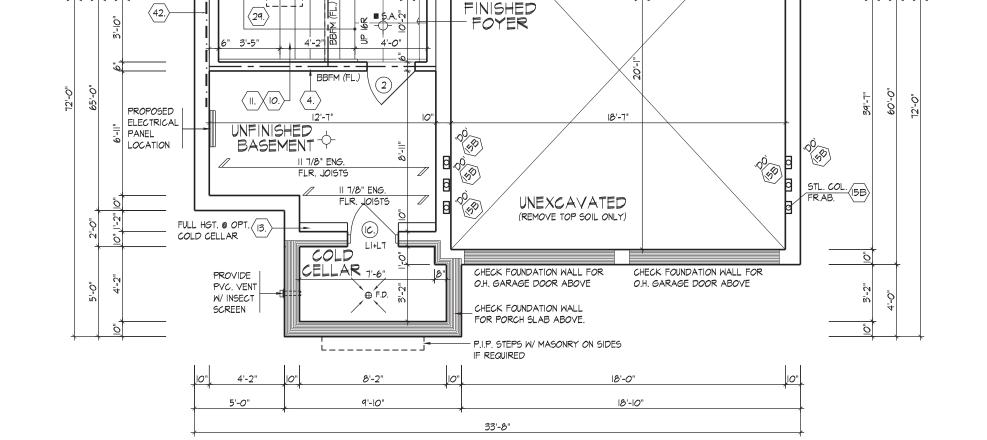
GNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET NTARIO BUILDING CODE TO EXPRESIGNER.	ПП			MES - 21		UNIT 4
IN INFORMATION 20201	HUNTIUN			<u>AUGHAN (</u>	JNT.	File Number
SENAT RE BCIN N INFORMATION	DESIGN ASSOCIATES INC.	Drawn By RAAM	OF	3/16"=1'-0	ı	217020WS4202.
IGN ASSOCIATES INC. 19695	www.huntdesign.ca	8966 Woodbine	e Ave, Markham	n, ON L3R 0J7	T 905.737.5	133 F 905.737.7326



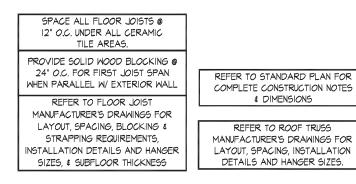


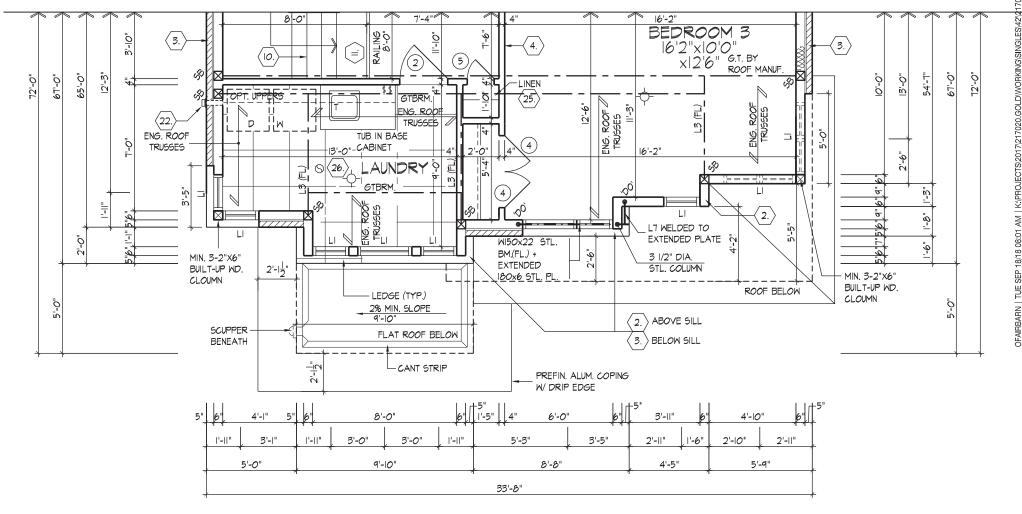




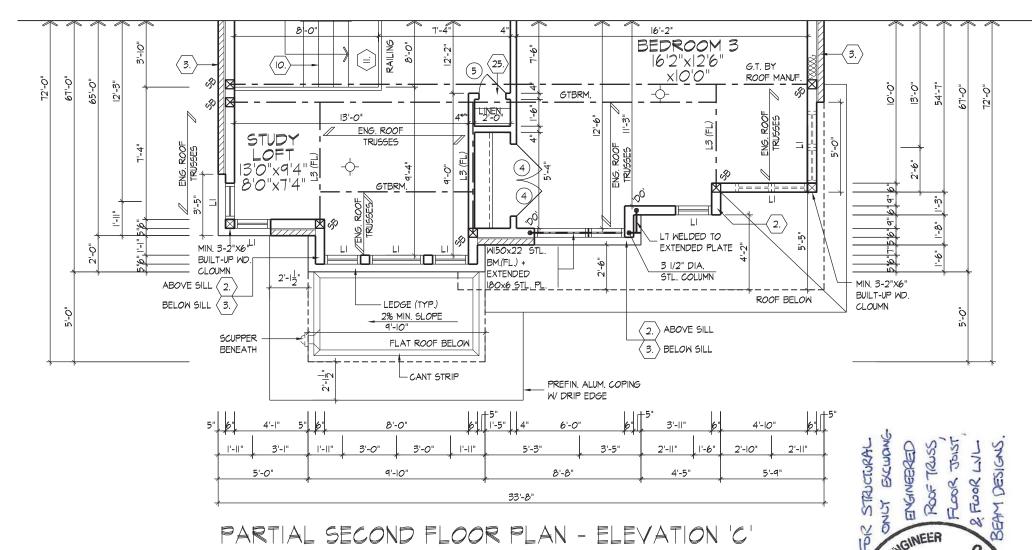


PARTIAL BASEMENT PLAN - ELEVATION 'C





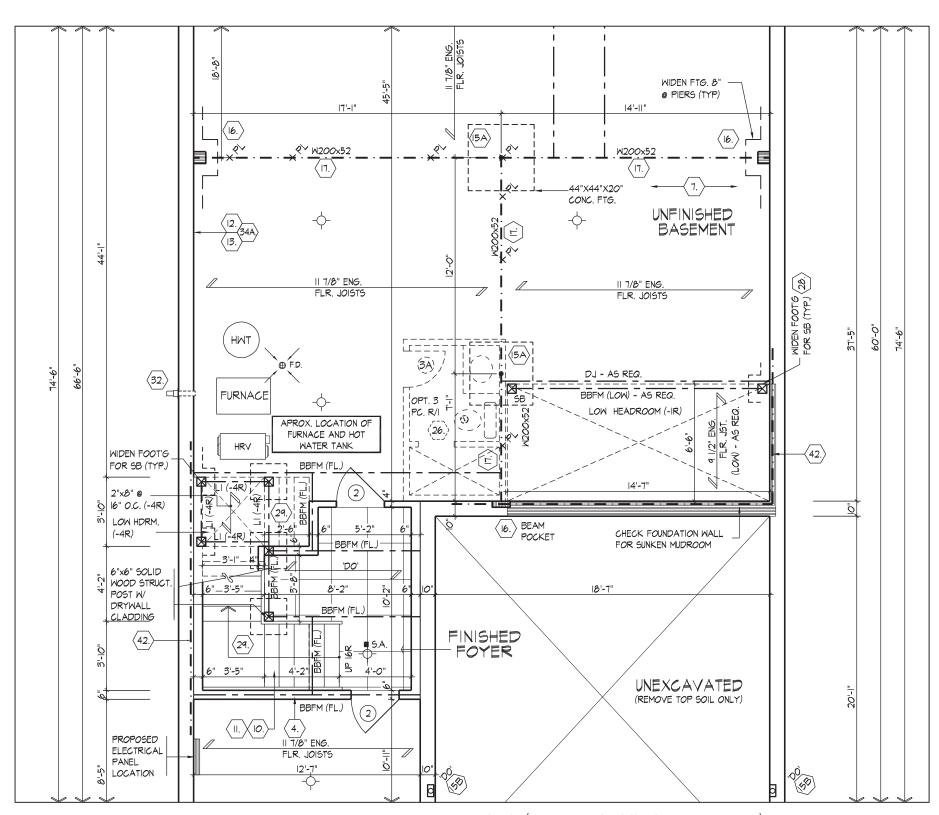
PARTIAL OPT. SECOND FLOOR PLAN (5 BEDROOM) ELEV. C



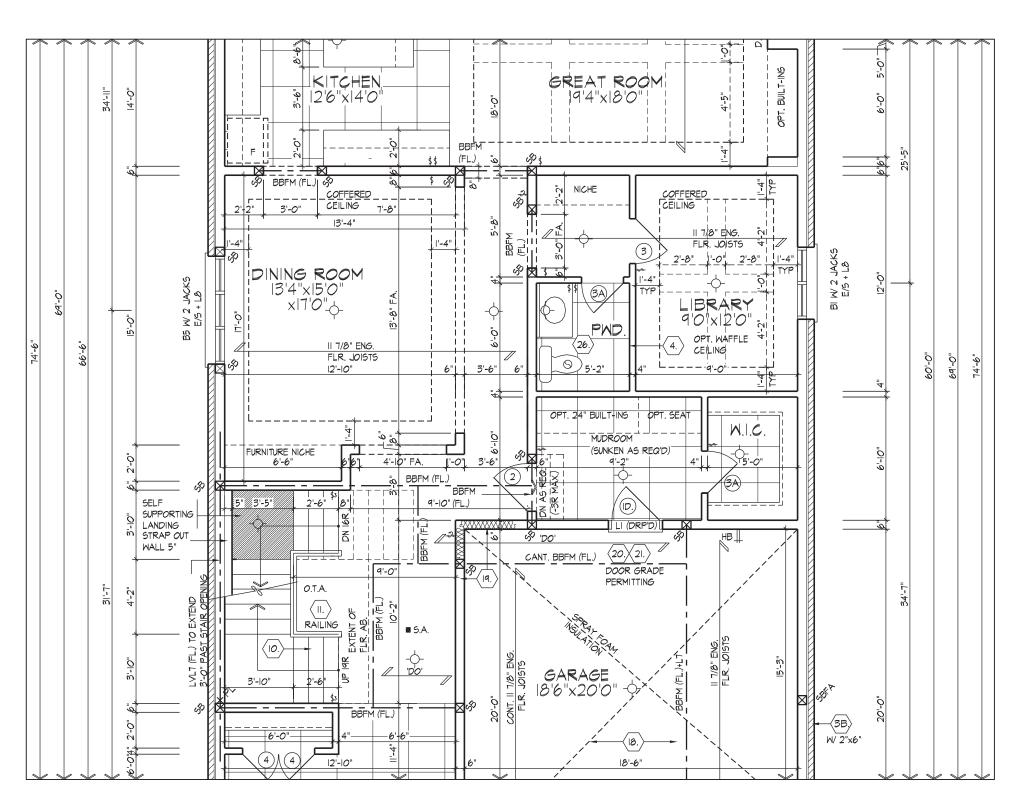
PARTIAL SECOND FLOOR PLAN - ELEVATION 'C'



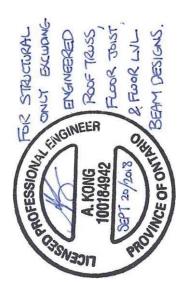




PARTIAL BASEMENT PLAN ELEV. 'A' (ELEV. 'B'/'C' SIMILAR) FOR OPT. GROUND FLOOR PLAN W/ LIBRARY

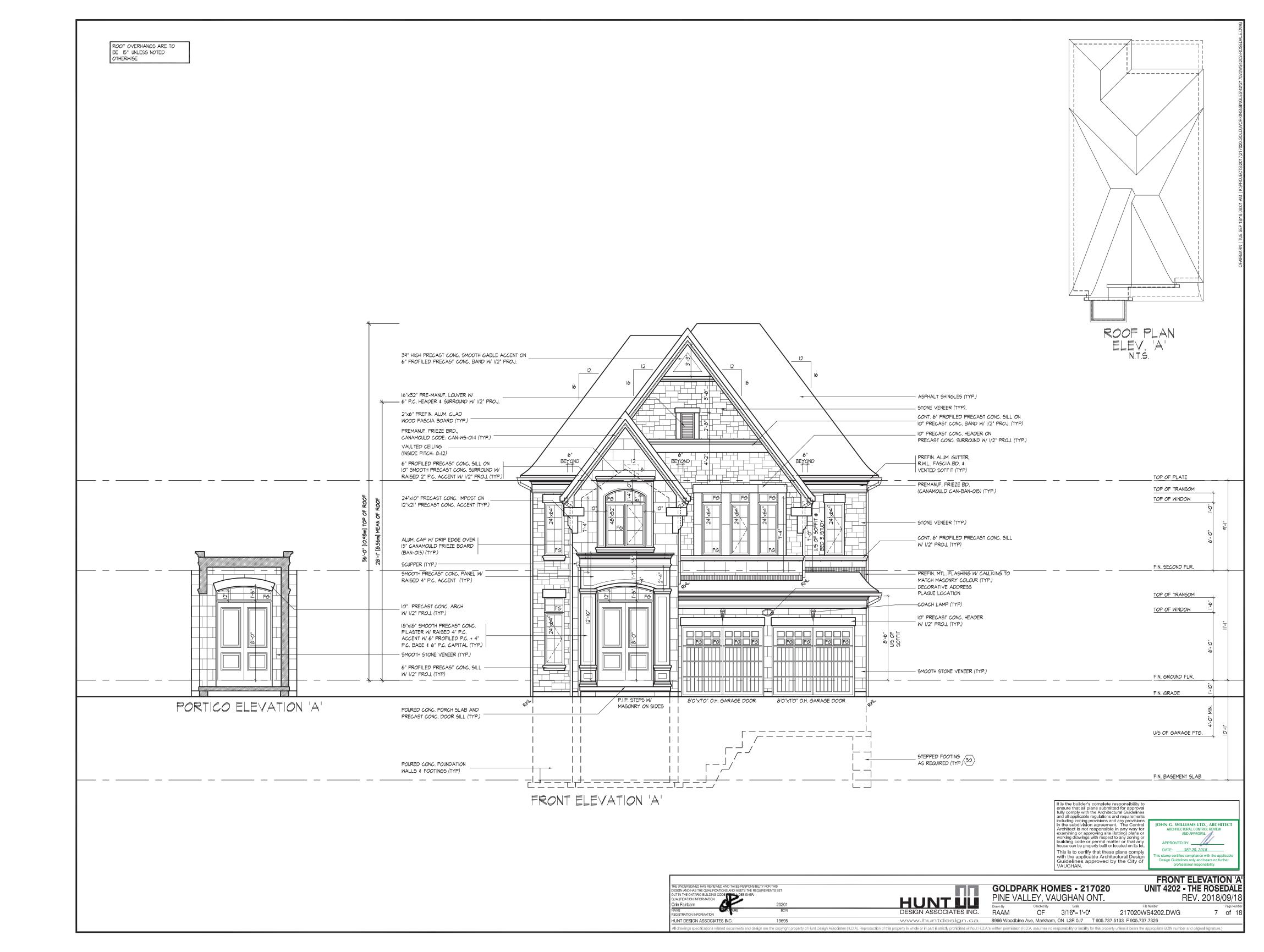


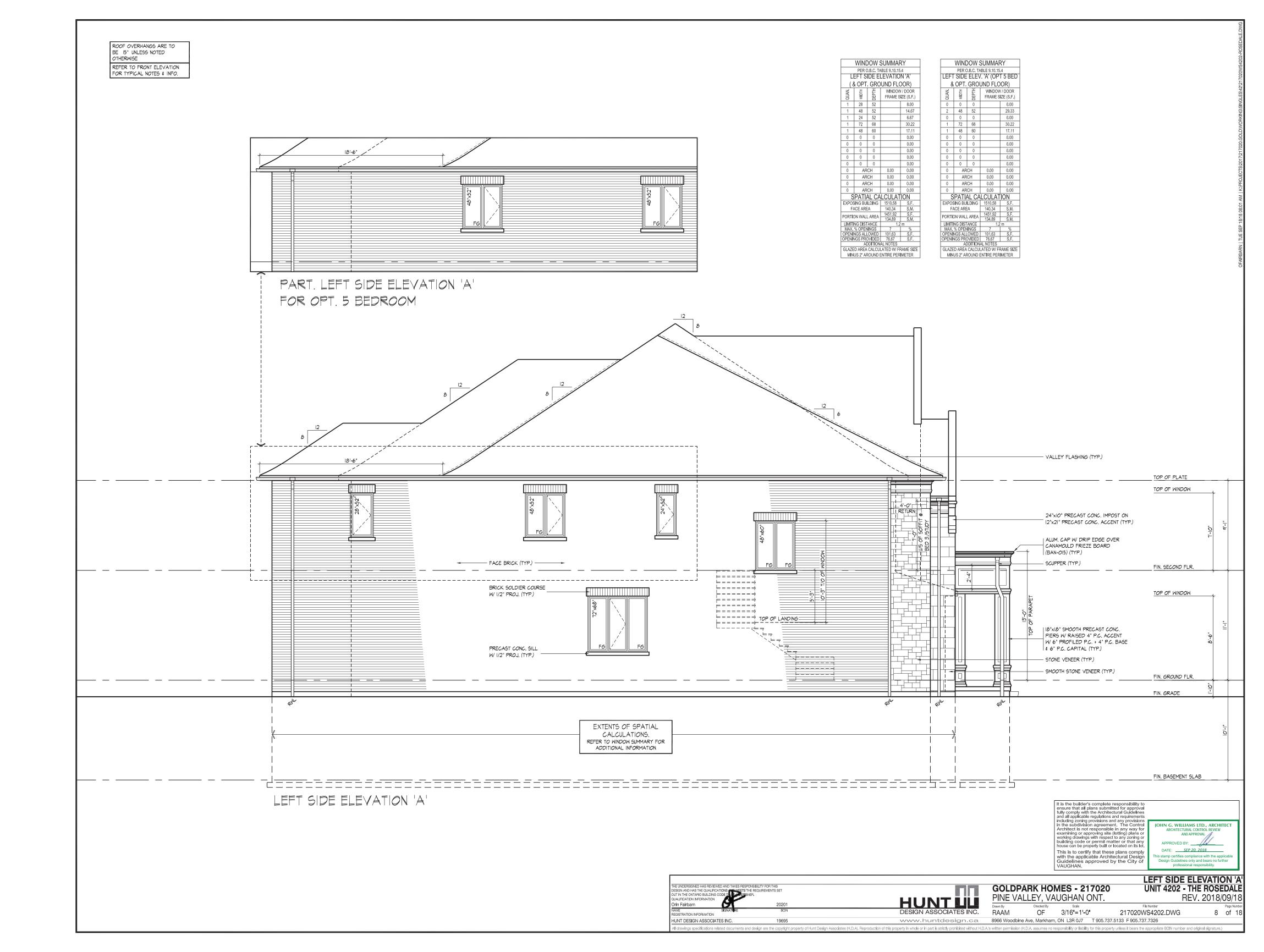
PARTIAL OPT. GROUND FLOOR PLAN ELEV. 'A' (ELEV. 'B'/'C' SIMILAR) W/ LIBRARY

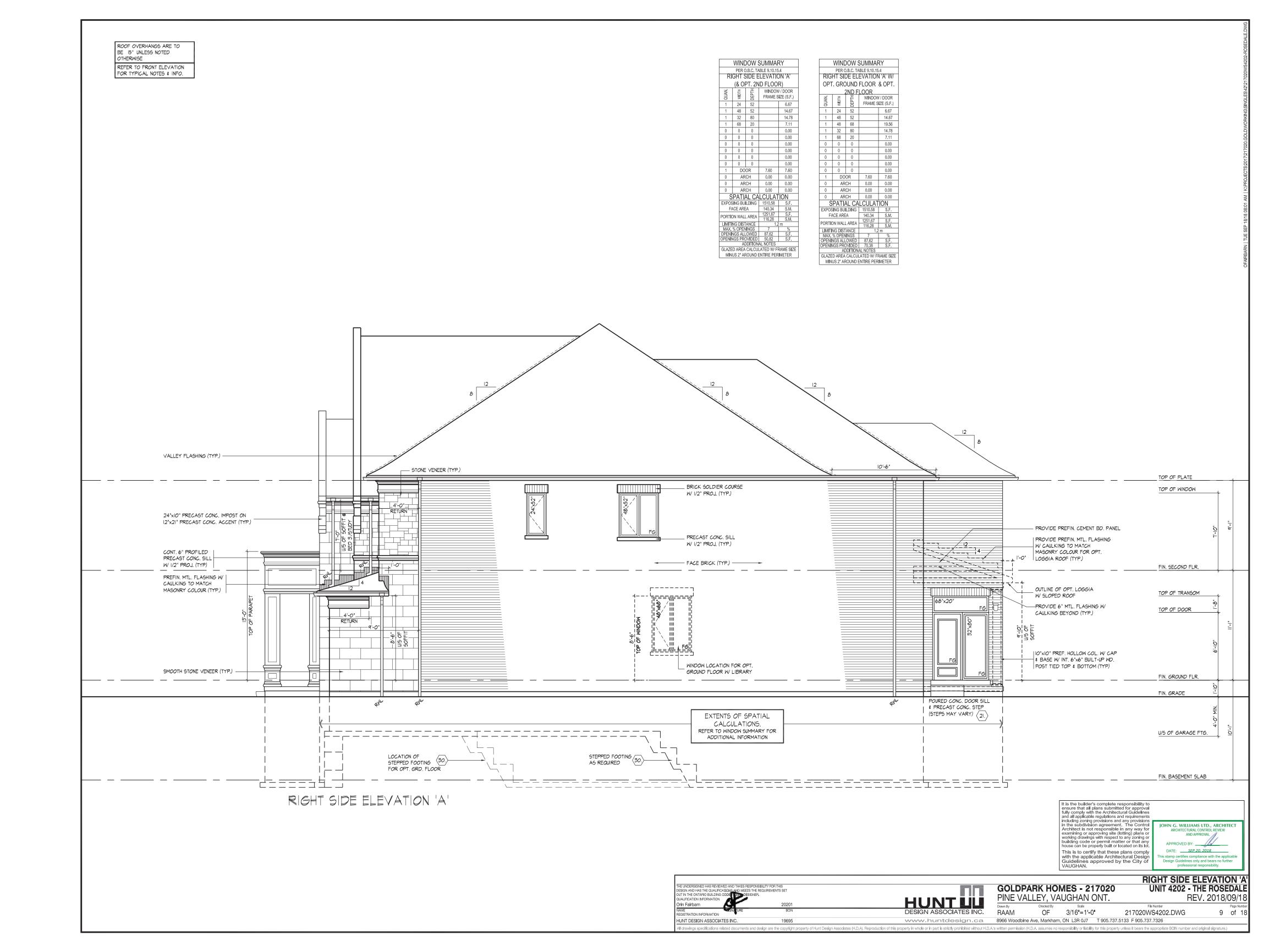




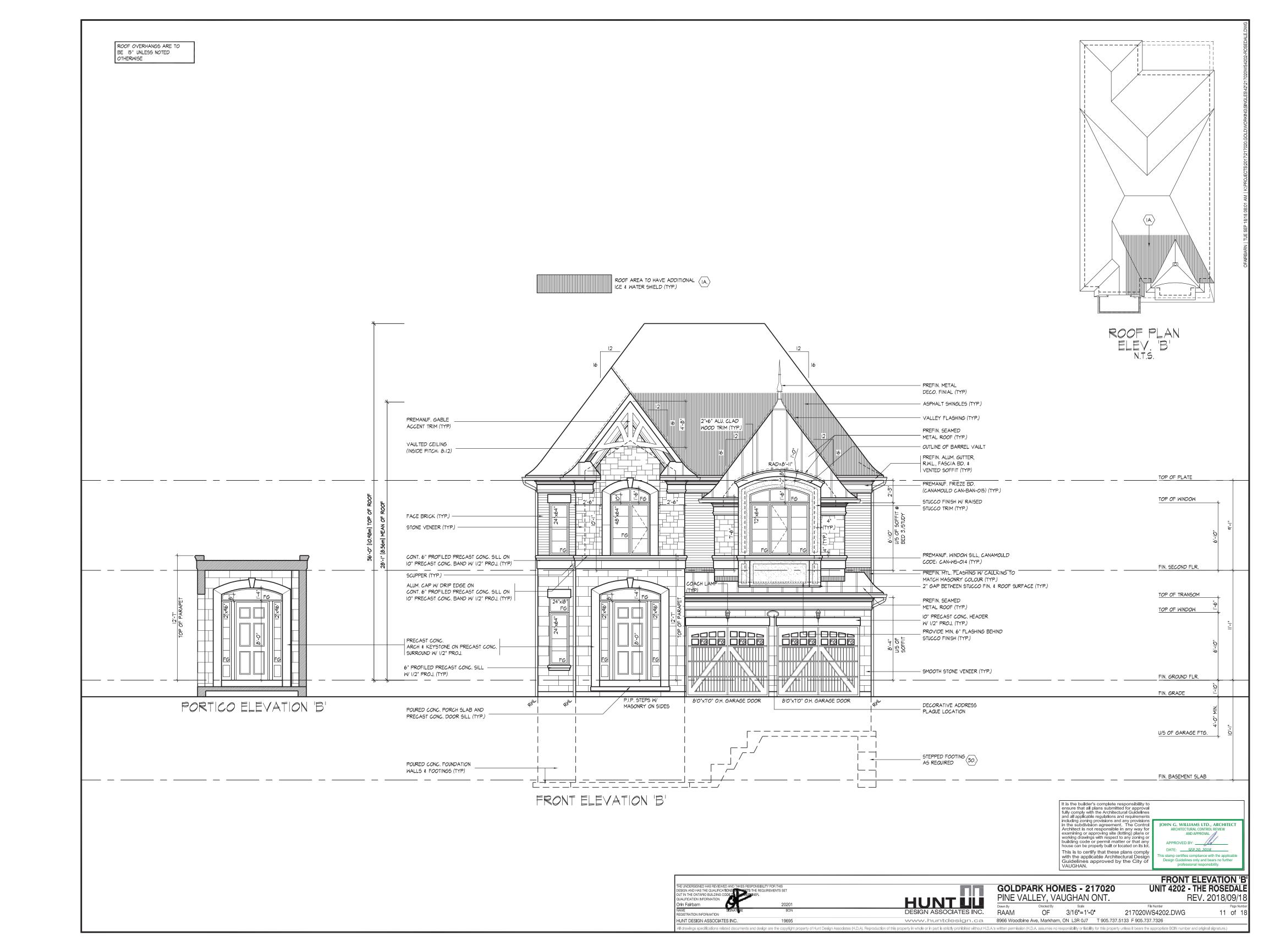


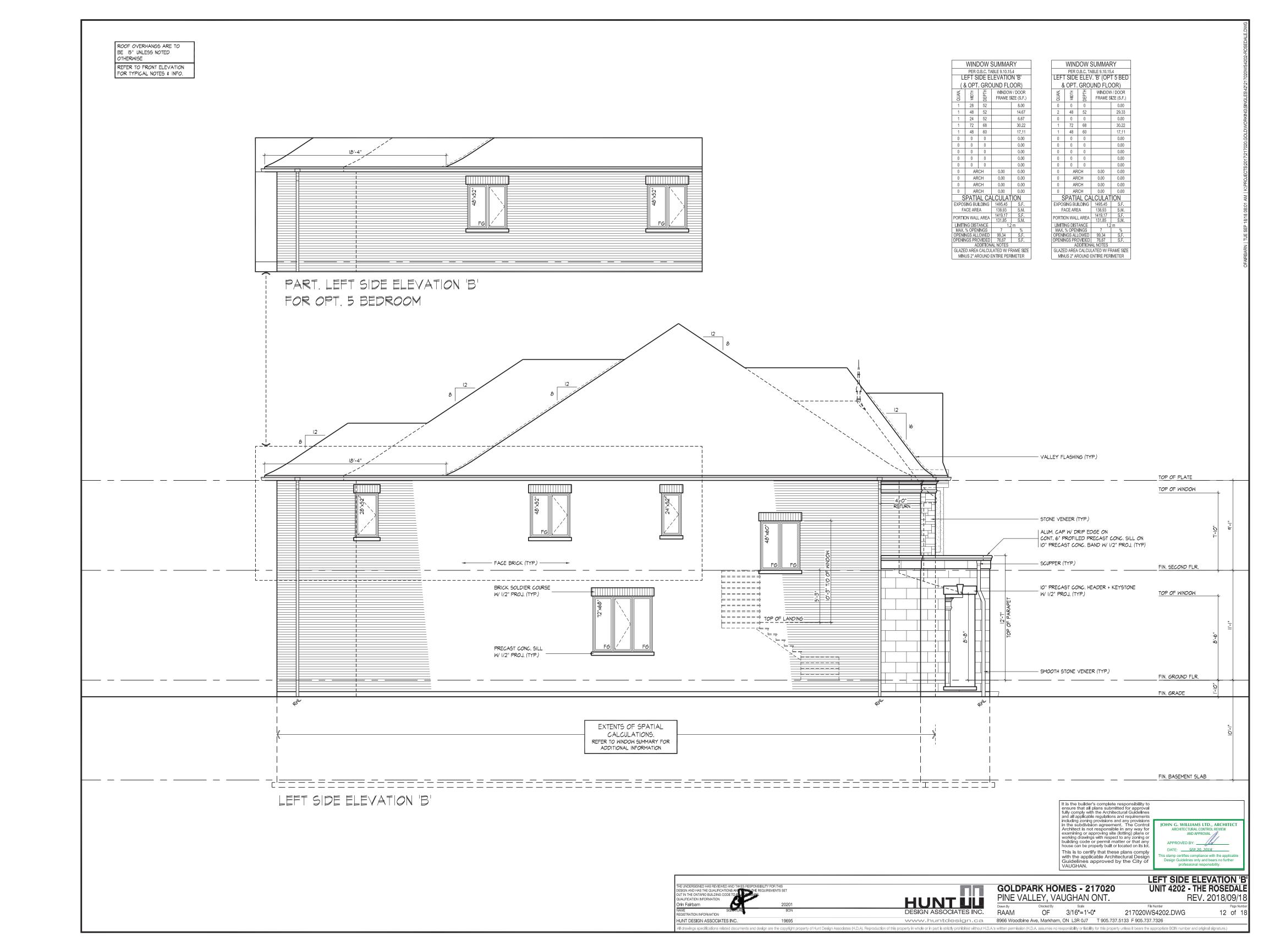


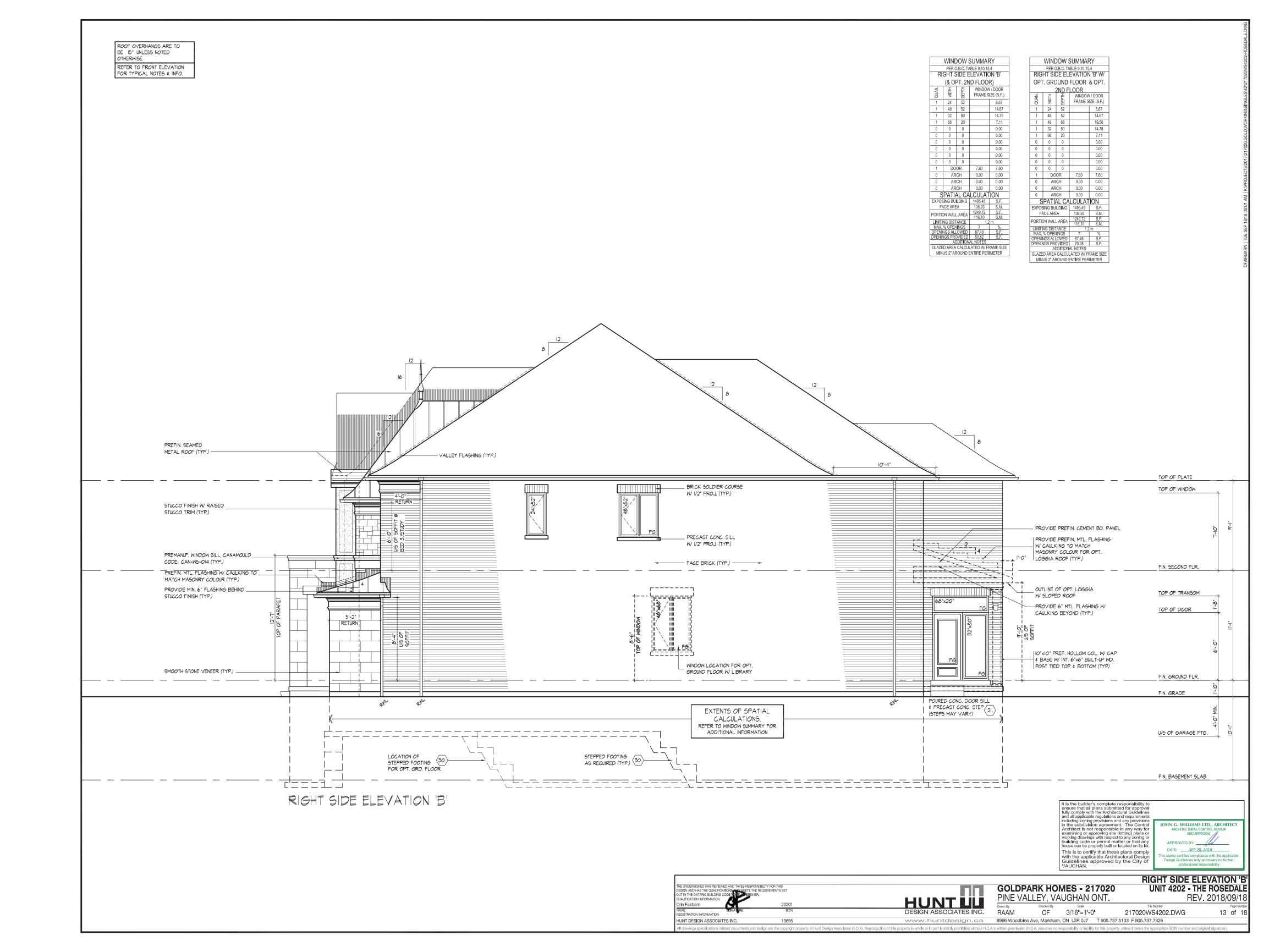


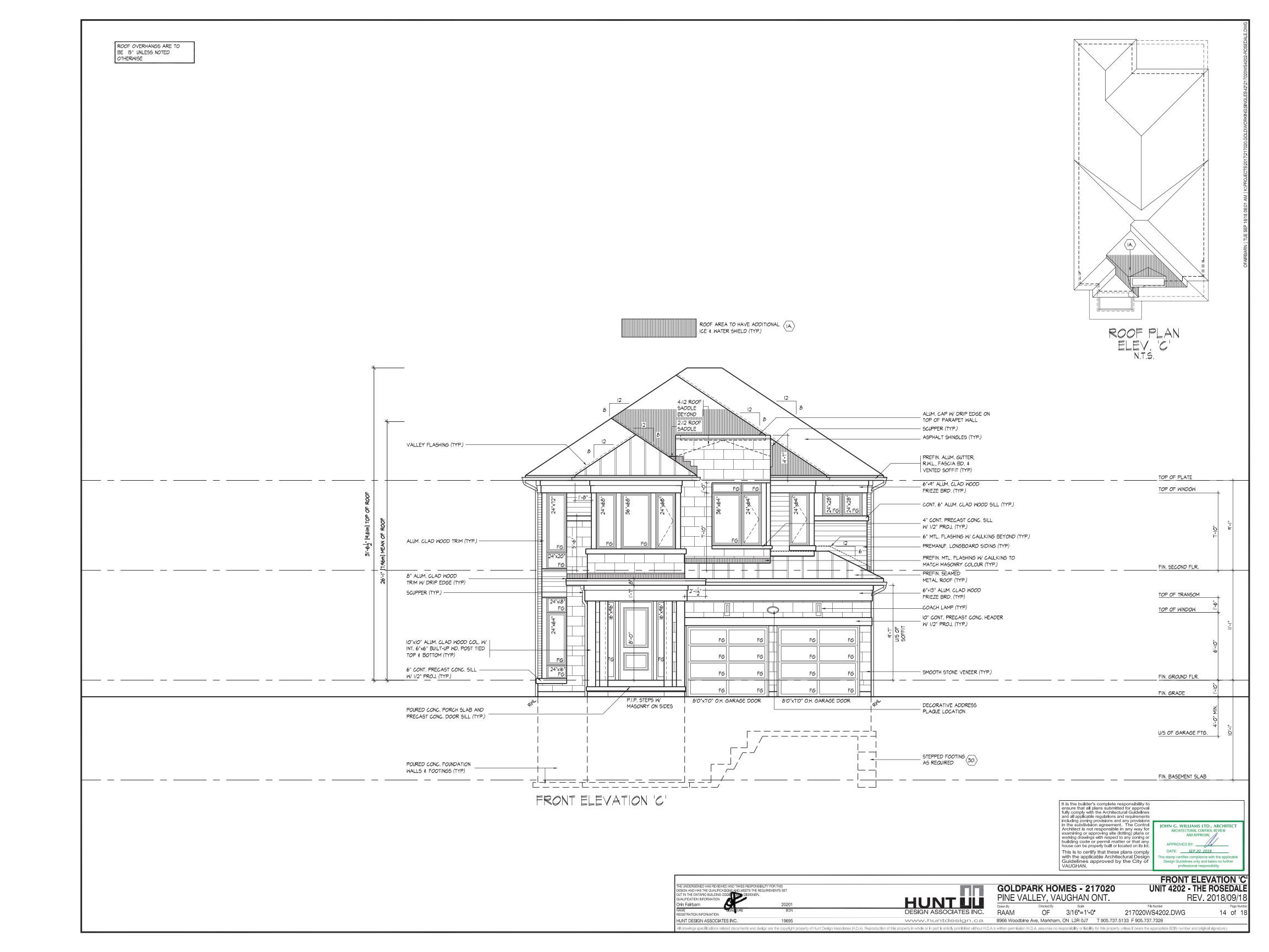


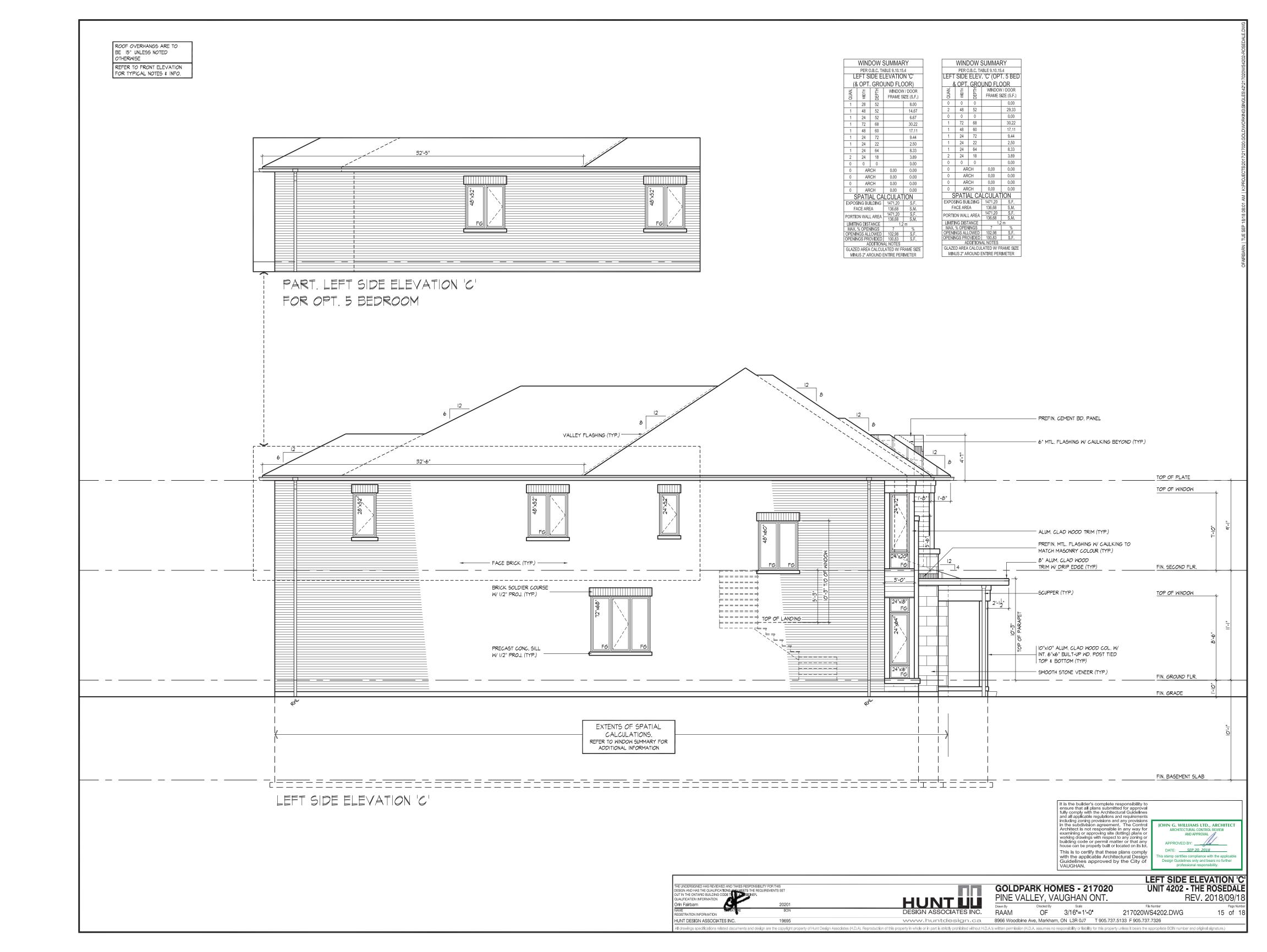


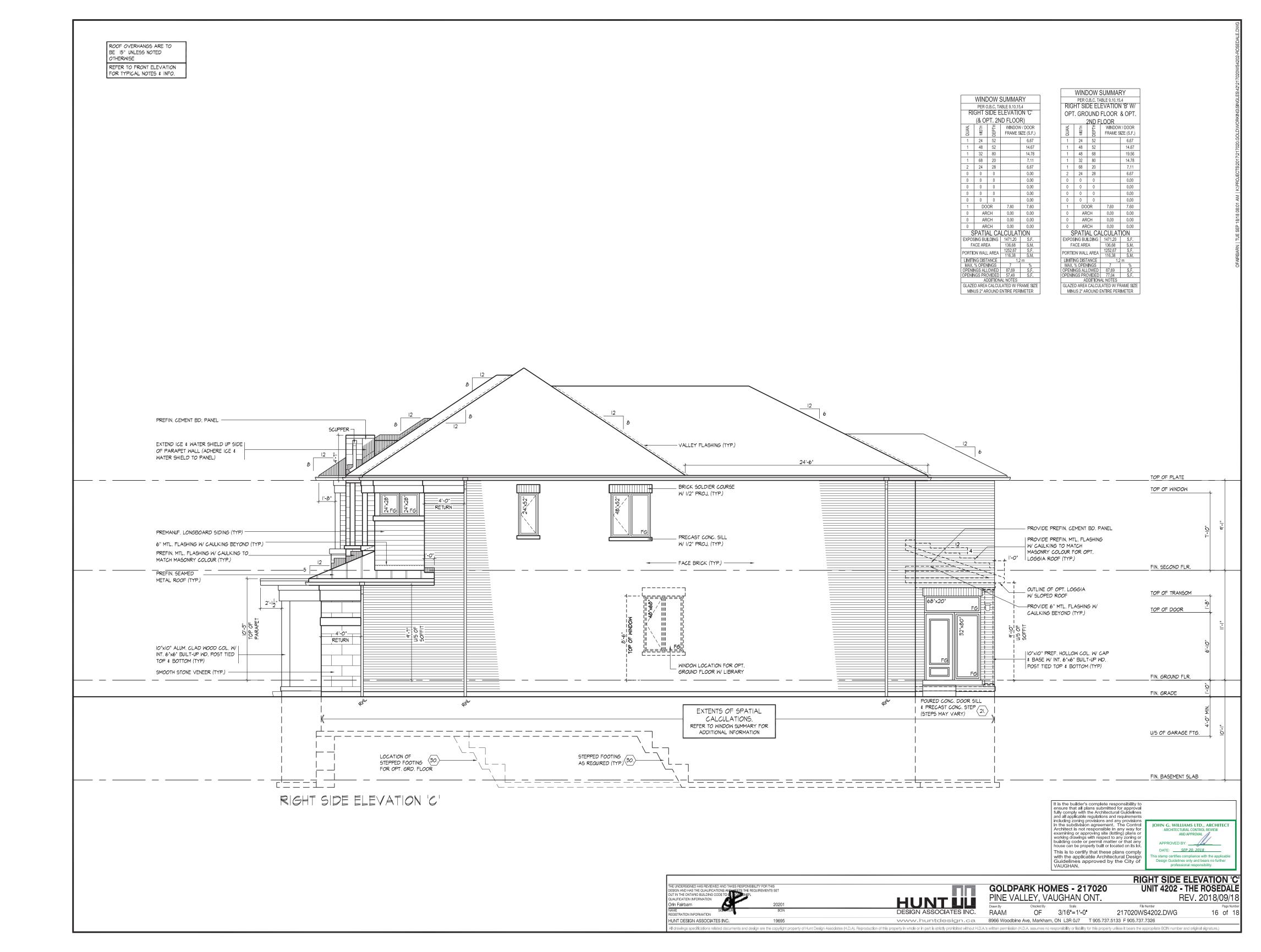


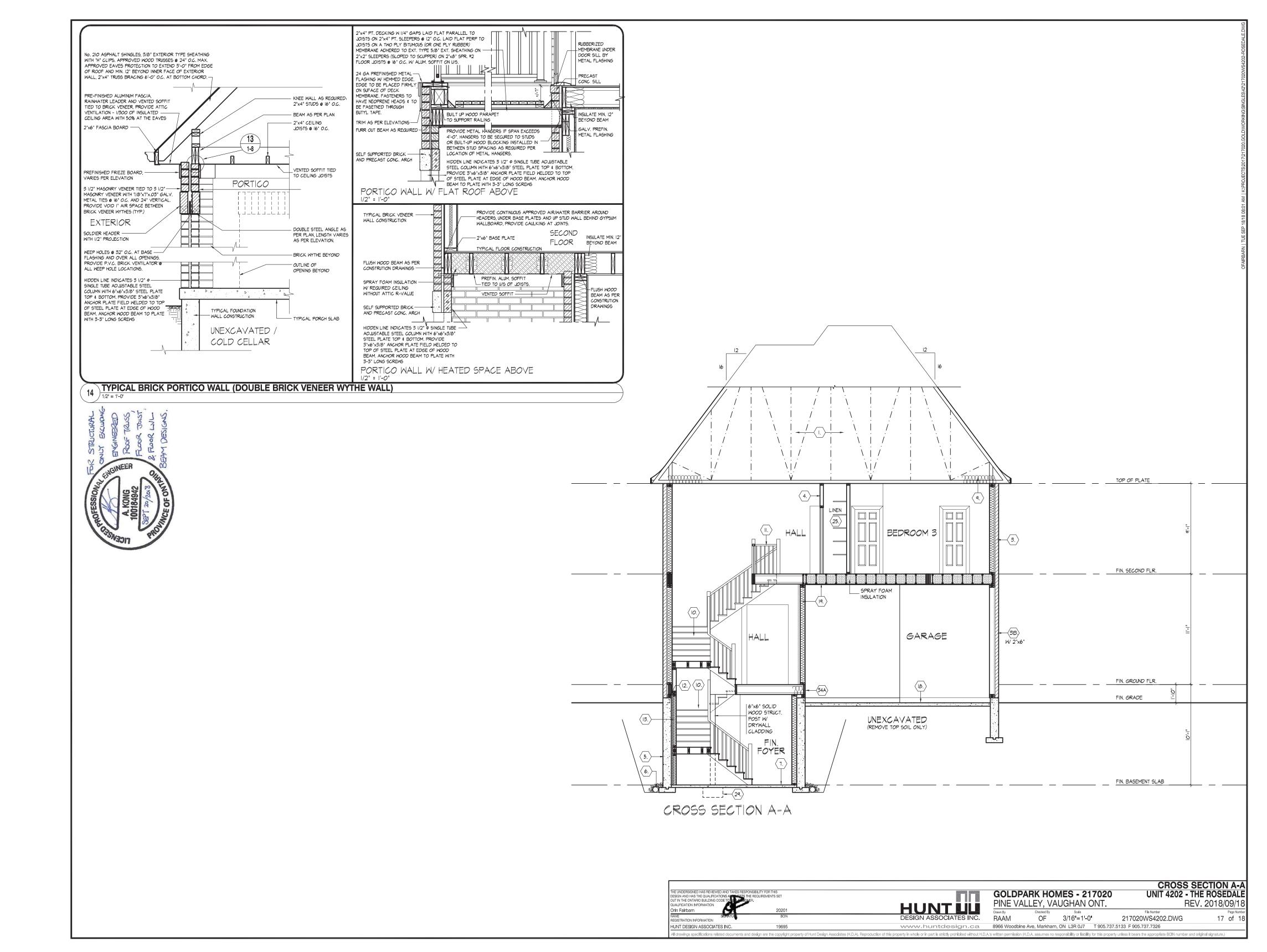












PROVIDE ICE AND WATER SHIELD IN THE AREAS INDICATED. THE ICE AND WATER SHIELD SHALL BE A SELF ADHERING AND SELF SEALING MEMBRANE. SIDE LAPS MUST BE A MINIMUM 3 1/2" (90) AND END LAPS A MINIMUM 6" (152). AND TO EXTEND UP DORMER WALLS A MINIMUM 12" (305).

1B PROFILED ROOF TRUSSES

ROOF TRUSSES SHALL BE PROFILED AND/OR STEPPED AT RAISED COFFER/TRAY CEILINGS. ANGLED TRAY CEILINGS WILL BE SHEATHED W/ 3/8" (9.5) PLYWOOD.

SIDING WALL CONSTRUCTION

SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO 0.6.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED TO SENTE A CONFORMING OF STREET OF SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)

2A SIDING WALL CONSTRUCTION W/ CONTIN. INSULATION

SIDING MATERIAL AS PER ELEVATION ATTACHED TO FURRING MEMBERS ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD

10

| MAY RISE | MIN RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RIN | MIN RIN | MAY RISE | MAY RISE | MAY RIN | MAY RISE | MAY RI NT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)

2B SIDING WALL @ GARAGE CONSTRUCTION SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS OF

APPROVED SHEATHING PAPER ON 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1.,1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. (GYPSUM SHEATHING, RIGID INSULATION AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1,)) (REFER TO 35 NOTE AS REQ.)

BRICK VENEER WALL CONSTRUCTION

3 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7'x0.03" (22x180x0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C. (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) BEHIND BUILDING PAPER (9.20.13.6.) (REFER TO 35 NOTE AS REQUIRED)

3A BRICK VENEER WALL CONSTRUCTION W/ CONTIN. INSULATION 2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL S @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR S TO CONFORM WITH 9.20.9. ON APPROVED AIR/WATER BARRIER AS PER O.B.C.

27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALL FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" 150) OVER RIGID INSULATION (9.20.13.6.) (REFER TO 35 NOTE AS REQUIRED)

3B BRICK VENEER WALL @ GARAGE CONSTRUCTION

3 1/2" (90) BRICK VENEER, MIN. 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.1) SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH, PROVIDE WEEP HOLES @ 32" (800) O.C. AT BOTTOM COURSE AND OVER OPENINGS, PROVIDE BASE FLASHING UP 6" (150) MIN. BEHIND BUILDING PAPER (9.20.13.6.) (REFER TO

INTERIOR STUD PARTITIONS (9.23.9.8., 9.23.10)

BEARING PARTITIONS SHALL BE A MINIMUM 2"x4" (38x89) @ 16" (406) O.C. FOR 2 STOREY AND 12" (305) O.C. FOR 3 STOREY, NON-BEARING PARTITIONS 2"x4" (38x89) @ 24" (610) O.C. PROVIDE 2"x4" (38x89) BOTTOM PLATE AND 2-2"x4" (2.38x89) TOP PLATE. 1/2" (12.7) INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 2"x6" (38x140) STUDS WHERE NOTED. PROVIDE 2"x4" (38x89) @ 24" (610) O.C. LADDER FRAMING WHERE WALLS INTERSECT PERPENDICULAR TO ONE ANOTHER. PROVIDE 2"x4" (38x89) WOOD BLOCKING ON FLAT @ 3-11" (1194) O.C. MAX. BETWEEN FLOOR JOISTS WHEN NON-LOADBEARING WALLS ARE PARALLEL TO FLOOR JOISTS.

 $\langle \overline{_{4A}} \rangle$ EXT. LOFT WALL CONSTRUCTION - NO CLADDING 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.)

4B EXT. LOFT WALL CONSTRUCTION - NO CLADDING W/ CONTINUOUS INSULATION APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER

MANUFACTURER'S SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" 12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.)

FOUNDATION WALL/FOOTINGS

POURED CONC. FOUNDATION WALL AS PER CHART BELOW ON CONTINUOUS KEYED CONCRETE FOOTING FOUNDATION WALLS SHALL EXTEND NOT LESS KEYED CONCRETE FOOTING FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 6" (150) ABOVE FINISHED GRADE. THE OUTSIDE OF THE FOUNDATION SHALL BE DAMPROOFED FROM THE TOP OF THE FOOTING TO FINISHED GRADE AND BRUSH COAT FROM THE TOP TO 2" BELOW GRADE. PROVIDE A DRAINAGE LAYER ON THE OUTSIDE OF THE FOUNDATION WALL. SEAL THE DRAINAGE LAYER CONTRACTOR OF THE FOUNDATION WALL. SEAL THE DRAINAGE LAYER CONTRACTOR OF THE FOUNDATION WALL. SEAL THE DRAINAGE LAYER CONTRACTOR OF THE FOUNDATION WALL. J THE TOP, THE TOP OF THE CONC. FOOTING SHALL BE DAMPROOFED CONCRETE FOOTINGS SUPPORTING JOIST SPANS GREATER THAN 16'-1" (4900 SHALL BE SIZED IN ACCORDANCE WITH 9.15.3.4 (1),(2) OF THE O.B.C. (REFER TO CHART BELOW FOR RESPECTIVE SIZE). BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 125kPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125kPa S.L.S.. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED. ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL ENGINEERING REPORT. REFER TO CONSTRUCTION DRAWINGS AND DETAILS FOR FOUNDATION

VALL STRENGTH AND THICKNESS AND 9.15.4. FOUNDATION WALLS SHALL NOT EXCEED 9-10" (3.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. [9.15.4.2.(1.)]

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	UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2.)							
厓	SS	MAX	. HEIGHT FROM	FIN. SLAB TO GF	ADE			
STRENGTH	THICKNESS	UNSUPPORTED	Sl	JPPORTED AT TO)P			
방	Ĭ	AT TOP	≤2.5m	>2.5m & ≤2.75m				
MPa	* 8"	3'-11" (1.20m)	7'-0" (2.15m)	7'-0" (2.15m)	6'-10" (2.10m)			
	10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	8-2" (2.50m)			
15	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)			
МРа	* 8"	3'-11" (1.20m)	7'-6" (2.30m)	7'-6" (2.30m)	7'-2" (2.20m)			
	10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)			
20	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)			

 \star 9" MIN. THICK FOUNDATION WALL IS REQUIRED FOR MASONRY VENEER FINISHED EXTERIOR WALLS WITH CONTINUOUS INSULATION CONDITION, TO PROVIDE MIN. BEARING FOR SILL PLATES, BEAMS AND FLOOR JOIST AS PER

9.23.7.2., 9.23.8.1., & 9.23.9.1. OF THE O.B.C.								
MINIMUM STRIP FOOTING SIZES (9.15.3.) unless noted otherwise on plans								
NUMBER FLOORS SUPPORTED	SUPPORTING INT. LOAD BEARING MASONRY WALLS	SUPPORTING EXTERIOR	SUPPORTING PARTYWALL					
1	16' WIDE x 6" THICK	16" WIDE x 6" THICK	16" WIDE x 6" THICK					
2	24' WIDE x 8" THICK	20" WIDE x 6" THICK	24" WIDE x 8" THICK					
3	36" WIDE x 14' THICK	26" WIDE x 9" THICK	36" WIDE x 14" THICK					

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

FOUNDATION REDUCTION IN THICKNESS FOR MASONRY THE FOUNDATION WALL IS RED PERMIT THE INSTALLATION OF MASONRY EXTERIOR FACING SECTION SHALL BE NOT LESS THAN 3 1/2" (90) THICK. THE BRICK VENEER SHALL BE TIED TO THE FOUNDATION WALL WITH CORROSION RESISTANT METAL TIES (9 7 7/8" (200) VERTICAL AND 2-11" (889) HORIZONTAL. FILL VOID WITH MORTAR BETWEEN WALL AND BRICK VENEER (9.15.4.7(2)(3) & 9.20.9.4(3))

FOUNDATION REDUCTION IN THICKNESS FOR JOISTS WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF FLOOR JOISTS. THE REDUCED SECTION SHALL BE NOT MORE THAN 13 3/4" (350) HIGH & NOT LESS THAN 3 1/2" (90) THICK (9.15.4.7(1)) WEEPING TILE (9.14.3.)

" (100) Ø WEEPING TILE W/ FILTER CLOTH WRAP & 6" (152) CRUSHED STONE COVER

BASEMENT SLAB OR SLAB ON GRADE (9.16.4.3.) 3" (80) MIN. 25MPa (3600psi) CONC. SLAB ON 4" (100) COARSE GRANULAR FILL, OR 20MPa (2900psi) CONC. WITH DAMPPROOFING BELOW SLAB. PROVIDE 1/2" (12.7) IMPERVIOUS BOARD FOR BOND BREAK AT EDGE. (9.13.) WHERE A BASEMENT SLAB IS WITHIN 24" (610) OF THE EXTERIOR GRADE PROVIDE RIGID INSUL. AROUND THE PERIMETER EXTENDING MIN. 24" (610) BELOW GRADE. FO SLAB ON GRADE CONDITIONS RIGID INSULATION SHALL BE APPLIED TO THE

UNDERSIDE OF THE ENTIRE SLAB. ([SB-12] 3.1.1.7.(5) & (6)) **EXPOSED FLOOR TO EXTERIOR** (9.10.17.10, & CAN/ULC-S705.2) PROVIDE SPRAY FOAM INSULATION BETWEEN CANT. JOIST AND INSTALL FIN. SOFFIT OR CLADDING AS PER ELEVATION TO U/S OF EXPOSED CANT. JOIST.

EXPOSED CEILING TO EXTERIOR w/ ATTIC (9.25.2.4) INSULATION, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INTERIOR FINISH OR APPROVED EQ.

EXPOSED CEILING TO EXTERIOR W/O ATTIC

JOISTS/TRUSSES AS PER PLANS W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO JOISTS (PURLINS NOT REQ. W/ SPRAY FOAM OR ROOF TRUSSES), W/ INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INT. FINISH OR APPROVED EQ. (CAN/ULC-S705.2, 9.19.1, 9.10.17.1)

/		MAX. RISE	MIN. F	RISE	MAX. RUN	MIN. RUN	MAX. TREAD	M	N. TREAD
	PRIVATE	7 7/8" (200)	5" (12	25)	14" (355)	8 1/4" (210)	14" (355)	9	1/4" (235)
	PUBLIC	7' (180)	5" (12	25)	NO LIMIT	11" (280)	NO LIMIT	-	1" (280)
		MIN. STAIR WIDTH		CURVED STAIF		AIRS	ALL S	ΓAIF	IS
	PRIVATE	1 /		N	IIN. RUN	5 7/8" (150)	MAX. NOSIN	G	1" (25)
	PUBLIC			MIN	. AVG. RUN	7 7/8" (200)			
	** HEIGHT OVER STAIRS (HEADROOM) IS MEASURED VERTICALLY ACROSS								

WIDTH OF STAIRS FROM A STRAIGHT LINE TO THE TREAD & LANDING NOSING TO LOWEST POINT ABOVE AND NOT LESS THAN 6-5" (1950) FOR SINGLE DWELLING UNIT & 6-8 3/4" (2050) FOR EVERYTHING ELSE. (9.8.2.2.)

REQUIRED LANDING IN GARAGE - O.B.C. 9.8.6.2.(3.)
FOR AN EXTERIOR STAIR SERVING A GARAGE W, MORE THAN 3 RISERS.
GUARDS, HANDRAILS & STEPS AS PER CONSTRUCTION HEX NOTE 10 & 11.

GUARDS/RAILINGS (9.8.7., 9.8.8.) GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX. OPENING CONFORMING TO O.B.C. 9.8.8.5. & 9.8.8.6. AND BE ABLE TO RESIST LOADS AS PER TABLE 9.8.8.2. GUARD HEIGHTS - O.B.C. 9.8.8.

INTERIOR GUARDS: 2'-11" (900) MIN. EXTERIOR GUARDS: 2'-11" (900) MIN. (LESS THAN 5'-11" (1800) TO GRADE) 3'-6" (1070) MIN. (MORE THAN 5'-11" (1800) TO GRADE) GUARDS FOR EXIT STAIRS: 3'-0" (920) MIN.

GUARDS FOR LANDINGS @ EXIT STÁIRS: 3'-6" (1070) MIN. GUARDS FOR FLOORS & RAMPS IN GARAGES (SERVICE STAIRS) FLOOR OR RAMP W/O EXTERIOR WALLS THAT IS 23 5/8" (600) OR MORE ABOVE ADJACENT SURFACE REQUIRES CONT. CURB MIN. 6" (150) HIGH, AND GUARD

TWEEN WALKING SURFACE & ADJACENT SURFACE WITH A DIFFERENCE IN ELEVATION MORE THAN 23 5/8 (600) OR ADJACENT SURFACE WITHIN 3'-11" (12 & WALKING SURFACE W/ A SLOPE MORE THAN 1 IN 12 SHALL BE PROTECTED WITH GUARDS PER CONSTRUCTION HEX NOTE 11.

HANDRAIL HEIGHTS - O.B.C. 9.8.7. - REQUIRED AS PER 9.8.7.1.(3)

MIN. HEIGHT AT STAIRS OR RAMP: 2-10" (865)

MAX. HEIGHT AT STAIRS OR RAMP: 32" (965)

MAX. HFIGHT AT LANDING: 3'-6" (1070 STAIRS OR RAMP MIN. 7'-3" (2200) WIDE: 2'-9" (865) MIN. HEIGHT

SILL PLATES 2"x4" (38x89) SILL PLATE WITH 1/2" (12.7)Ø ANCHOR BOLTS 8" (200) LONG EMBEDDED MIN. 4" (100) INTO CONC. @ 4-0" (1220) O.C., CAULKING OR GASKET BETWEEN PLATE AND TOP OF FOUNDATION WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED (9.23.7.)

BASEMENT INSULATION ([SB-12] 3.1.1.7.) PROVIDE CONTINUOUS BLANKET INSULATION W/ BUILT IN 6 mil POLYETHYLENE VAPOUR BARRIER. INSULATION TO EXTEND NO MORE THAN 8" (200) ABOVE FINISHED BASEMENT FLOOR. DAMPROOFED WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL.

BEARING STUD PARTITION IN BASEMENT (9.15.3.6., 9.23.10.1.) 2"x4" (38x89) STUDS @ 16" (406) O.C., 2"x4" (38x89) SILL PLATE (2"x6" (38x140) AS REQUIRED) ON DAMPPROOFING MATERIAL OR 2 mil POLYETHYLENE FILM, 1/2" (12.7) Ø ANCHOR BOLTS 8" (200) LONG, EMBEDDED 4" (100) MIN. INTO CONC. @ 7'-10" (2390) O.C. 4" (100) HIGH CONC. CURB ON CONC. FOOTING. FOR SIZE REFER TO HEX NOTE 5. ADD HORIZ, BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

ADJUSTABLE STEEL BASEMENT COLUMN (9.15.3.4.) 9'-10" (3000) MAX. SPAN BETWEEN COLUMNS. 3 1/2" (90)Ø SINGLE TUBE ADJUSTABLE STEEL COLUMN CONFORMING TO CAN/CGSB-7.2M, AND WITH 6"x6"x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM. FIELD WELD BASEMENT COLUMN CONNECTION. POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 125kPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125kPa S.L.S. AS PER SOILS REPORT.

JPPORTING 2 STOREY FLR. LOAD PROVIDE 34"x34"x16" (870x870x410) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 40"x40"x19" (1060x1060x480) CONC. FOOTIN NON-ADJUSTABLE STEEL BASEMENT COLUMN

3 1/2" (90)Ø x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) ANCHORS, FIELD WELD BASEMENT COLUMN CONNECTION, POURED CONCRETE FOOTING ON NATURAL UNDISTUBBED SOIL OF 125kPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125kPa S.L.S. AS PER SOILS REPORT. JPPORTING 2 STOREY FLR. LOAD PROVIDE 42"x42"x18" (1070x1070x460) CONC. FOO SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48"x48"x24" (1220x1220x610) CONC. FOOTING

15B) NON-ADJUSTABLE STL. COLUMN AT FOUNDATION WALL 3 1/2" (90)Ø x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) STEEL TOP PLATE & 6"x4"x3/8" (152x100x9.5) BOTTOM PLATE. BASE PLATE 4-1/2"x10"x1/2" (120x250x12.7) WITH 2- 1/2"0 x 12" LONG x 2" HOOK ANCHORS

(2-12.7Øx305x50). FIELD WELD COLUMN TO BASE PLATE & STEEL BM. 16 STEEL BEAM BEARING AT FOUNDATION WALL (9.23.8.1.) BEAM POCKET OR 8"x8" (200x200) POURED CONC. NIB WALLS, MIN. BEARING 3 1/2" (90).

WOOD STRAPPING AT STEEL BEAMS (9.23.4.3.(3.), 9.23.9.3.) 1"x3" (19x64) CONTIN. WOOD STRAPPING BOTH SIDES OF STEEL BEAM. **GARAGE SLAB** (9.16., 9.35.)

4" (100) 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT.
4" (100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR
COMPACTED NATIVE FILL. SLOPE TO FRONT @ 1% MIN. GARAGE TO HOUSE WALLS/CEILING (9.10.9.16.) 1/2" (12.7) GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE, PLUS REQUIRED INSULATION IN WALLS AND SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.17.10, CAN/ULC-S705.2

GARAGE TO HOUSE WALLS/CEILING W/ CONTIN. INSULATION (12.7) GYPSUM BOARD ON CEILING AND ON WALLS INSTALLED OVER ERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS ON 3/8" EXTERIOR GRADE SHEATHING ON STUDS BETWEEN HOUSE AND GARAGE, PLUS
REQUIRED INSULATION IN WALLS & SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.9.16., 9.10.17.10, CAN/ULC-S705.2)

(9.10.9.16., 9.10.13.10., 9.10.13.15.) GAS-PROOF DOOR AND FRAME. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIPPING.

EXTERIOR AND GARAGE STEPS NC. STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER MAX RISE 7 7/8" (200), MIN. TREAD 9 1/4" (235). FOR THE REQUIRED NUMBER OF STEPS REFER TO SITING AND GRADING DRAWINGS. EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS AND 2 TREADS SHALL BE PROVIDED WITH FOUNDATION AS REQUIRED BY ARTICLE 9.8.9.2. OR SHALL BE CANTILEVERED AS PER SUBSECTION 9.8.10.

DRYER EXHAUST

CAPPED DRYER EXHAUST VENTED TO EXT. CONFORMING TO PART 6, OBC 9.32. **ATTIC ACCESS** (9.19.2.1.)

ATTIC ACCESS HATCH WITH MIN. AREA OF 0.32m2 AND NO DIM. LESS THAN 21 1/2" (545) WITH WEATHER STRIPPING. HATCHWAYS TO THE ATTIC OR ROOF SPACE WILL BE FITTED WITH DOORS OR COVERS AND WILL BE INSULATED WITH MIN. R20 (RSI 3.52) ([SB-12] 3.1.1.8.(1))

FIREPLACE CHIMNEYS (9.21.) TOP OF FIREPLACE CHIMNEY SHALL BE 2-11" (889) ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 2-0" (610) ABOVE THE ROOF SURFACE WITHIN A HORIZ, DISTANCE OF 10'-0" (3048) FROM THE CHIMNEY.

LINEN CLOSET PROVIDE 4 SHELVES MIN. 14" (356) DEEP.

MECHANICAL VENTILATION (9.32.1.3.)

MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. SEE GENERAL NOTE 2.3. PARTY WALL BEARING (9.23.8)

12"x12"x5/8" (305x305x15.9) STEEL PLATE FOR STEEL BEAMS AND 12"x12"x1/2" (305x305x12.7) STEEL PLATE FOR WOOD BEAMS BEARING (MIN. 3-1/2" (89)) ON CONC. BLOCK PARTY WALL, ANCHORED WITH 2-3/4" (2-19) x 8" (200) LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL W/ NON-SHRINK GROUT. REFER TO NOTE SOLID BEARING (SECTION 3.0) FOR WD. STUD PARTY WALL. WOOD FRAMING IN CONTACT TO CONCRETE WOOD BEARING WALLS, THE UNDERSIDE OF BUILT-UP WOOD POSTS AND SILLS SHALL BE WRAPPED WITH 2 mil POLY. STRIP FOOTINGS SUPPORTING

THE FOUNDATION WALL SHALL BE WIDENED 6" (152) BELOW THE BEARING WALL AND/OR WOOD POST. (9.17.4.3.) **BUILT-UP WOOD POST AND FOOTING** (9.17.4.1., 9.15.3.7.) 3-2"x6" (3-38x140) BUILT-UP WOOD POST (UNLESS OTHERWISE NOTED) ON METAL BASE SHOE ANCHORED TO CONC. WITH 1/2" (12.7) Ø BOLT, 24"x24"x12

(610x610x305) CONC. FOOTING OR AS PROVIDED ON PLAN. REFER TO NOTE 28 STEP FOOTINGS (9.15.3.9.) MIN. HORIZ. STEP = 23 5/8" (600). MAX. VERT. STEP = 23 5/8" (600).

CONC. PORCH SLAB (9.16.4.) MIN. 4" (100) CONCRETE SLAB ON GRADE ON 4" (100) COARSE GRANULAR FILL, REINFORCED WITH 6x6xW2.9xW2.9 MESH PLACED NEAR MID-DEPTH O SLAB. CONC. STRENGTH 32MPa (4640psi) WITH 5-8% AIR ENTRAINMENT ON

FURNACE VENTING (9.32.) DIRECT VENT FURNACE TERMINAL MIN. 3-0" (915) FROM A GAS REGULATOR. MIN. 12" (305) ABOVE FIN. GRADE, FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HEV INTAKE TO BE A MIN. OF 6-0" (1830) FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.

FIREPLACE VENTING (9.32.3.) DIRECT VENT GAS FIREPLACE VENT TO BE A MIN. 12" (305) FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZÁTION CODE.

FLOOR FRAMING (9.23.3.5., 9.23.9.4., 9.23.14.) &G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION SEE O.B.C. 9.30.6. ALL JOISTS WHERE REQUIRED TO BE BRIDGED WITH 2"X2" (38x38) CROSS BRACING OR SOLID BLOCKING @ 6-11" (2108) O.C. MAX. ALL JOISTS TO BE STRAPPED WITH 1"X3" (19x64) @ 6-11" (2108) O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.

HEADER CONSTRUCTION PROVIDE CONTINUOUS APPROVED AIR/VAPOUR BARRIER (HEADER WRAP) UNDER THE SILL PLATE, AROUND THE RIM BOARD AND UNDER THE BOTTOM PLATE. THE HEADER WRAP SHALL EXTEND 6" (152) BELOW THE TOP OF FOUNDATION WALL AND WILL BE SEALED TO THE CONCRETE FOUNDATION WALL. EXTEND HEADER WRAP 6" (152) UP THE INTERIOR SIDE OF THE STUD WALL AND OVERLAP WITH THE VAPOUR BARRIER AND SEAL

THE JOINT. ALL EDGES/JOINTS MUST BE MECHANICALLY CLAMPED. EXPOSED BUILDING FACE w/ LIMITING DISTANCE <= 3'-11' (1.20m)

WALL ASSEMBLY CONTAINS INSULATION CONFORMING TO CANULC-5702 & HAVING A MASS OF NOT LESS THAN 1.22 KG/M2 OF WALL SURFACE AND 1/2' (12.7) TYPE X GYPSUM WALLBOARD INTERIOR FINISH. EXTERIOR CLADDING MUST BE NON-COMBUSTIBLE WHEN LIMITING DISTANCE IS 23 5/8' (0.60m) OR LESS. WALL ASSEMBLY REQUIRES TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES & CONFORMING TO 0.B.C. (9.10.14. OR 9.10.15.). REFER TO DETAILS FOR TYPE & SPECS. ** AN OPENING IN AN EXPOSING BUILDING FACE NOT MORE THAN (20.16.2) (1.20.75.) SHAM NOT DECONSIDERED AN UNDROTTED ORDERING AS DED ² (130cm²) SHALL NOT BE CONSIDERED AN UNPROTECTED OPENING AS PER

COLD CELLAR PORCH SLAB (9.39.) FOR MAX. 8'-2" (2500) PORCH DEPTH, 5" (127) 32 MPa (4640psi) CONC. SLAB W/ 5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 7 7/8" (200) O.C. EACH DIRECTION, W. 1 1/4" (32) CLEAR COVER FROM BOTTOM OF SLAB TO FIRST LAYER OF BARS & SECOND LAYER OF BARS LAID DIRECTLY ON TOP OF LOWER LAYER IN OPPOSITE DIR. 24"x24" (610x610) 10M DOWELS @ 23 5/8" (600) O.C.,

ANCHORED IN PERIMETER FND. WALLS. SLOPE SLAB 1.0% FROM DOOR.

RANGE HOODS AND RANGE-TOP FANS COOKING APPLIANCE EXHAUST FANS VENTED TO EXTERIOR MUST CONFORM TO OBC 9.10.22, 9.32.3.9. & 9.32.3.10.

CONVENTIONAL ROOF FRAMING (9.23.13., 9.23.15.) 2"x6" (38x140) RAFTERS @ 16" (406) O.C., 2"x8" (38x184) RIDGE BOARD. 2"x4" (38x89) COLLAR TIES AT MID-SPAN. CEILING JOISTS TO BE 2"x4" (38x89) @ 16" (406) O.C. FOR MAX. 9-3" (2819) SPAN & 2"x6" (38x140) @ 16" (406) O.C. FOR MAX. SPAN 14"-7" (4450). RAFTERS FOR BUILT UP ROOF OVER PRE-ENGINEERED ROOF TRUSSES AND OR CONVENTIONAL FRAMING TO BE 2"x4" (38x89) @ 24" (610) O.C. UNLESS OTHERWISE SPECIFIED.

TWO STOREY VOLUME SPACES (9.23.10.1., 9.23.11., 9.23.16.)
 WALL ASSEMBLY
 WND LOADS

 EXTERIOR
 STIIDS
 <= 0.5 kPA (q50)</td>
 > 0.5 kPa (q50)
 EXTERIOR STUDS SPACING MAX HEIGHT SPACING MAX HEIGHT 12" (305) O.C. 18'-4" (5588) 8" (200) O.C. 18'-4" (5588)

SIDING SPR #2 16" (406) O.C. 18'-4" (5588) 12' (305) O.C. 18'-4" (5588) 2-2"x8" | 12" (305) O.C. 21'-0" (6400) | 12' (305) O.C. 21'-0" (6400) SIDING SPR.#2 16" (406) O.C. 21'-0" (6400) 16" (406) O.C. 21'-0" (6400) ** STUD SIZE & SPACING TO BE VERIFIED BY STRUCTURAL ENGINEER ** STUDS ARE TO BE CONTINUOUS, C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4-0" (1220) O.C. VERTICALLY.

FOR HORIZ. DISTANCES LESS THAN 9'-6" (2896) PROVIDE 2"x6" (38x140) STUDS @ 16" (406) O.C. WITH CONTIN. 2-2"x6" (2-38x140) TOP PLATE + 1-2"x6" (1-38x140) BOTTOM PLATE & MIN. OF 3-2"x8" (3-38x184) CONT. HEADER AT GROUND FLOOR CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES & HEADERS.

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cont. SECTION 1.0. CONSTRUCTION NOTES

1 HR. PARTY WALL (CONC. BLOCK) ([SB-3] WALL TYPE 'B6e' & 'B1b') 1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"X2" (38x38) VERTICAL WD. STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OR FURRED WITH 2"x2" (38x38) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.

1 HR. PARTY WALL (DOUBLE STUD) ([SB-3] WALL TYPE 'W13c') 5/8" (15.9) TYPE X GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2"x4" (38x89) STUDS @ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"x4" (38x89) SILL PLATES, (2"x6" (38x140) AS REQUIRED) FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE FILL AND SAND ALL GYPSUM JOINTS.

40A) 2 HR. FIREWALL ([SB-3] WALL TYPE 'B6e' & 'B1b') 1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"X2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C ON 8" (200) CONC. BLOCK 75% SOLID. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)

41 STUCCO WALL CONSTRUCTION STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOARL ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

41A STUCCO WALL CONSTRUCTION W/ CONTIN. INSULATION STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PERMANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON APPROVED AIRWATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICAL FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 7/16" EXTERIOR TY SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED

STUCCO WALL @ GARAGE CONST. STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.I.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.),

*** FOR DWELLINGS USING CONTIN, INSULATION CONSTRUCTION,

PROVIDE APPROVED DRAINAGE MAT ON 7/16" (11) EXTERIOR TYPE SHEATHING

OVER FURRING (AS REQ.) AND STUDS IN LIEU OF 1 1/2" (38) E.F.I.S (MINIMUM)

ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD.

42 UNSUPPORTED FOUNDATION WALLS (9.15.4.2.) REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS 2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING) 3-20M BARS IN TOP PORTION OF WALL (8-0" TO 10-0" OPENING) 4-20M BARS IN TOP PORTION OF WALL (10-0" TO 15-0" OPENING - BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL @ 6" O.C REINFORCING AT BASEMENT WINDOWS 2-15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN. SILL. EXTEND BARS 24" (610) BEYOND THE OPENING. 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING.

- BARS TO EXTEND 2'-0" (610) BEYOND BOTH SIDES OF OPENING STUD WALL REINFORCEMENT
PROVIDE STUD WALL PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.(1) AND 3.8.3.8.(3)) (REFER TO DETAILS)

- BARS TO HAVE MIN. 2" (50) CONC. COVER

WINDOW WELLS WHERE A WINDOW OPENS INTO A WINDOW WELL. A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE CAVIA FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.9.10.1.(5), 9.14.6.3.)

45 SLOPED CEILING CONSTRUCTION ([SB-12] 2.1.1.7., 9.23.4.2.) 2"x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX. (UNLESS OTHERWISE NOTED) W, 2*x2* (38x38) PURLINS @ 16* (406) O.C. PERPENDICULAR TO ROOF JOIST (PURLINS NOT REQ. W/ SPRAY FOAM), W/ INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2* (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUÈ DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.52 RSI).

FLAT ROOF/BALCONY CONSTRUCTION WATERPROOFING MEMBRANE (9.26.11, 9.26.15, 9.26.16) FULLY ADHERED TO 5 (15.9) T&G EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x2" (38x38) PURLINS ANGLED TOWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2"x8" (38x184) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED). BUILT U CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR. CONTINUOUS 'L' TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPPER ORAL TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE. PREFINISHED ALUMINUM C PANEL FOR UNDERSIDE OF SOFFIT (9.23.2.3). REMOVE CURB WHERE REQ. BALCONY CONDITION

FLAT ROOF/BALCONY CONSTRUCTION NOTE, INCLUDE 2"x4" (38x89) PT SEE FLAH MOOF/BALCOINT COING INCUITING THE INTEGER 22 AT 1957.

DECKING W 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2°42" (38

PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDICULAR TO JOISTS BALCONY OVER HEATED SPACE CONDITION SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY. REFER TO PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND

47 BARREL VAULT CONSTRUCTION CANTILEVERED 2"x4" (38x89) SPACERS LAID FLAT ON 2"x10" (38x235) SPR. #2 ROOF JOIST NAILED TO BUILT-UP 3-3/4" (19) PLYWOOD HEADER PROFILED F. BARREL. SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. INTERIOR FIN. (REFER TO DETAILS)

INTERIOR FINISH

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION. IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

SIZE	SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)							
MIN.		SUPPORTED LOADS (EXTERIOR)						
STUD SIZE.	ROOF w/ OR w/o ATT I C	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR				
in (mm) MAX. STUD SPACING, in (mm) O.C.								
1 "" ("""")	M	MAX. UNSUPPOR	TED HGT., ft-in (m	٦)				
2"x4"	24" (610)	16" (405)	12" (305)	N/A				
(38x89)	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A				
2"x6"	-	24" (610)	16" (406)	12" (305)				
(38x140)	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)				

SECTION 2.0. GENERAL NOTES

SECTION 1.1. WALL STUDS

2.1. WINDOWS EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m2 UNOBSTRUCTED OPEN ORTION W/ NO DIMENSION LESS THAN 1'-3" (380). CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, CONFORMING TO 9.9.10. 2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE INISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800). (9.8.8.1 3) WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2-11" (900) [3-6" (1070) FOR ALL OTHER BUILDINGS] SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE). OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN 4.1.5.15 OR 9.8.8.2

4) REFER TO TITLE PAGE FOR MAX. U-VALUE REQUIREMENTS

2 2 CEII ING HEIGHTS

2.2. CEILING HEIGHTS							
THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1.							
ROOM OR SPACE	MINIMUM HEIGHTS						
LIVING ROOM, DINING ROOM AND KITCHEN	7'-7" OVER 75% OF REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 6'-11" AT ANY POINT						
BEDROOM	7'-7" OVER 50% OF REQUIRED FLOOR AREA OR 6'-11" OVER ALL OF THE REQUIRED FLOOR AREA.						
BASEMENT	6'-11" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-5".						
BATHROOM, LAUNDRY AREA ABOVE GRADE	6'-11" IN ANY AREA WHERE A PERSON WOULD NORMALLY BE STANDING						
FINISHED ROOM NOT MENTIONED ABOVE	6'-11"						
MEZZANINES	6'-11" ABOVE & BELOW FLOOR ASSEMBLY (9.5.3.2.)						
STORAGE GARAGE	6'-7" (9.5.3.3.)						

2.3. MECHANICAL / PLUMBING

1) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24 HOURS. WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM TO OBC 9.32.3.4. WHEN A HRV IS REQUIRED, CONFORM TO 9.32.3.11. REFER TO MECHAN**I**CAL DRAW**I**NGS.

2) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO OBC 9.31.6. 3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES.

4) DRAIN WATER HEAT RECOVERY UNIT(S) WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF 3.1.1.12. OF THE O.B.C. LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.

2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE. 3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE. 4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER.

5) JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS. 6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil POLYETHYLEN FILM, No.50 (45lbs) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND.

2.5. STEEL (9.23.4.3.)) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300W. HOLLOW STRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H". 2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

2.6. FLAT ARCHES 1) FOR 8-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 6'-10" (2080) A.F.F. 2) FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7'-10" (2400) A.F.F. 3) FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2600) A.F.F.

2.7. ROOF OVERHANGS
1) ALL ROOF OVERHANGS SHALL BE 1'-0" (305). UNLESS NOTED OTHERWISE.

) FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.

2.8. FLASHING (9.20.13., 9.26.4. & 9.27.3.)

2.9. GRADING
1) THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. CONFORM TO 9.14.6.

2.10. ULC SPECIFIED ASSEMBLIES
ALL REQUIRED INDIVIDUAL COMPONENTS THAT FORM PART OF ANY 'ULC LISTED

ASSEMBLY, SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER MATERIAL/PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED IN THAT SPECIFIED ULC LISTING. THERE SHALL BE NO DEVIATIONS UNDER ANY CIRCUMSTANCES IN ANY 'ULC LISTED ASSEMBLY' IDENTIFIED IN THESE DRAWINGS.

SECTION 3.0. LEGEND

3.1. WOOD LINTELS AND BUILT-UP WOOD (DIVISION B PART 9. TABLES A8 TO A10 AND A12, A15 & A16)

FORMING PART OF SENTENCE 9.23.4.2.(3), 9.23.4.2.(4), 9.23.12.3.(1),(3), 9.23.13.8.(2), 9.37.3.1.(1							
	2"x8" SPRUCE #2		2"x10" SPRUCE #2	2"x12" SPRUCE #2			
L1	2/2"x8" (2/38x184)	L3	2/2"x10" (2/38x235)	L5	2/2"x12" (2/38x286)		
B1	3/2"x8" (3/38x184)	ВЗ	3/2"x10" (3/38x235)	B5	3/2"x12" (3/38x286)		
B2	4/2"x8" (4/38x184)	B4	4/2"x10" (4/38x235)	B6	4/2"x12" (4/38x286)		
B7	5/2"x8" (5/38x184)	B8	5/2"x10" (5/38x235)	B9	5/2"x12" (5/38x286)		
ENGINEERED LUMBER SCHEDULE - GRADE 2.0E (UNLESS NOTED OTHERWISE)							
	1 3/4" x 9 1/2" LVL	1 3/4" x 11 7/8" LVL		1 3/4" x 14" LVL			
LVL2	1-1 3/4"x9 1/2"	LVL3	1-1 3/4"x11 7/8"	LVL10	1-1 3/4"x14"		
LVL4	2-1 3/4"x9 1/2"	LVL6	2-1 3/4"x11 7/8"	LVL11	2-1 3/4"x14"		
LVL5	3-1 3/4"x9 1/2"	LVL7	3-1 3/4"x11 7/8"	LVL12	3-1 3/4"x14"		
LVL8	4-1 3/4"x9 1/2"	LVL9	4-1 3/4"x11 7/8"	LVL13	4-1 3/4"x14"		
3.2 STEEL LINTELS SUPPORTING MASONRY VENEER							

3.2. STEEL LINTELS SUPPORTING MASONRY VENEER

(DIVISION B PART 9. TABLE 9.20.5.2.B.) FORMING PART OF SENTENCE 9.20.5.2.(2) & 9.20.5.2.(3)								
CODE	SIZE	BRICK	STONE					
L7	3 1/2" x 3 1/2" x 1/4" (89 x 89 x 6.4)	8'-1" (2.47m)	7'-6" (2.30m)					
L8	4" x 3 1/2" x 1/4" (102 x 89 x 6.4)	8'-9" (2.66m)	8'-1" (2.48m)					
L9	4 7/8" x 3 1/2" x 5/16" (127 x 89 x 7.9)	10'-10" (3.31m)	10'-1" (3.03m)					
L10	4 7/8" x 3 1/2" x 3/8" (127 x 89 x 11)	11'-5" (3.48m)	10'-7" (3.24m)					
L11	5 7/8" x 3 1/2" x 3/8" (152 x 89 x 11)	12'-6" (3.82m)	11'-7" (3.54m)					
112	7 1/8" x 4" x 3/8" (178 x 102 x 11)	14'-1" (4.30m)	13'-1" (3 99m)					

CONFORMING TO SECTIONS 9.5.11, 9.6., 9.7.2.1, 9.7.5.2, & 9.10.13.10 EXTERIOR | 2"-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) EXTERIOR | 2'-10" x 6'-8" x 1-3/4" (865 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)

EXTERIOR | 3'-0" x 6'-8" x 1-3/4" (915 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) XTERIOR | 2'-6" x 6'-8" x 1-3/4" (760 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) EXTERIOR | 2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INS. MIN. R4 (RSI 0.7) (SEE HEX NOTE 20 E | EXTERIOR | 3'-0" x 8'-0" x 1-3/4" (915 x 2440 x 45) INSULATED MIN. R4 (RSI 0.7) A EXTERIOR 2-8" x 6-8" x 1-3/4" (815 x 2030 x 45) 20 MIN. F.R.R. DOOR/FRAME WITH APP. SELF CLOSING DEVIC INTERIOR | 2'-8" x 6'-8" x 1-3/8" (815 x 2030 x 35) 3 | INTERIOR | 2'-6" x 6'-8" x 1-3/8" (760 x 2030 x 35) PROVIDE 8'-0" HIGH 3A | INTERIOR | 2'-4" x 6'-8" x 1-3/8" (710 x 2030 x 35) INTERIOR DOORS FOR ALL 10' CEILING INTERIOR | 2'-0" x 6'-8" x 1-3/8" (610 x 2030 x 35) CONDITIONS INTERIOR | 2'-2" x 6'-8" x 1-3/8" (660 x 2030 x 35)

INTERIOR | 1'-6" x 6'-8" x 1-3/8" (460 x 2030 x 35)

3.4. ACRONYMS T.IST | JOIST ABOVE FINISHED FLOOR FM BEAM BY FLOOR MANUFACTURER LIN LINEN CLOSE IG | FIXED GLASS W/ BLACK BACKING | LVL | LAMINATED VENEER LUMBER OTB/A OPEN TO BELOW/ABOVE BM BEAM BRM BEAM BY ROOF MANUFACTURER PL POINT LOAD CONVENTIONAL ROOF FRAMING PLT | PLATE COMPLETE WITH PRESSURE TREATED [J] DOUBLE JOIST/ TRIPLE JOIST PAINTED DO OVER POWDER ROOM RT | ROOF TRUSS RP | DROPPED F.S. \mid EXTERIOR INSULATION FINISH SYSTEM \mid RWL \mid RAIN WATER LEADER NG ENGINEEREI SB | SOLID BEARING WOOD POS EST | ESTIMATED SBFA SB FROM ABOVE FA | FLAT ARCH SJ | SINGLE JOIS FLOOR DRAIN SPR | SPRUCE T/O TOP OF FLR | FLOOR TYP TYPICAL GT | GIRDER TRUSS U/S UNDERSIDE HB HOSE BIB WD WOOD IRV HEAT RETURN VENTILATION UNIT WIC WALK IN CLOSET WP WEATHER PROOF WT | HOT WATER TANK 3.5. SYMBOLS LL ELECTRICAL FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 9.34 S EXHAUST VENT CLASS 'B' VENT DUPLEX OUTLET (HEIGHT AS NOTED A.F DUPLEX OUTLET (12" HIGH) → \$ SWITCH (2/3/4 WAY) HEAVY DUTY OUTLET ROUGH IN FOR LECTION (9.34.4) LIGHT FIXTURE (WALL MOUNTED)

SMOKE ALARM (9.10.19.) PROVIDE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS ARE TO BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN LEEPING ROOMS AND CONNECTING HALLWAYS AND WIRED TO BE INTERCONNECTED O ACTIVATE ALL ALARMS IF ONE SOUNDS. ALARMS ARE TO BE CONNECTED TO AN LECTRICAL CIRCUIT AND WITH A BATTERY BACKUP. ALARM SIGNAL SHALL MEET IPORAL SOLIND PATTERNS MIN. ALARMS SHALL HAVE A VISUAL SIGNALLING COMPONENT AS PER THE "NATIONAL FIRE ALARM AND SIGNALING CODE 72

TELEPHONE JACK

CHANDELIER (CEILING MOUNTE

2 HR. FIREWALL

REFER TO HEX NOTE 40A.

CMD CARBON MONOXIDE ALARM (9.33.4.)

□ LIGHT FIXTURE (PULL CHAIN)

CABLE T.V. JACK

* CHECK LOCAL BY-LAWS FOR REQUIREMENTS ** A CARBÓN MONOXIDE ALARM(S) CONFORMING TO CAN/CGA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH DWELLING UNIT ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE ALARM(S) UDIBLE WITHIN SLEEPING ROOMS WHEN THE INTERVENING DOORS ARE CLOSED.

SB SOLID BEARING (BUILT-UP WOOD COLUMNS AND STUD POSTS) THE WIDTH OF A WOOD COLUMN SHALL NOT BE LESS THAN THAN THE WIDTH OF SUPPORTED MEMBER. BUILT-UP WOOD COLUMNS SHALL BE NAILED TOGETHER WITH NOT LESS THAN 3" (76) NAILS SPACED NOT MORE THAN 11 3/4" (300) O.C. THE NUMBER OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL ONFORM TO TABLES A-34 TO A-37. (9.17.4., 9.23.10.7.)

TWO STOREY VOLUME SPACE. SEE CONSTRUCTION NOTE 39. VARYING PLATES, BUILT-OUT FLOORS, BEARING WALLS, ICE & WATER SHIELD

EXPOSED BUILDING FACE - O.B.C. 9.10.14. OR 9.10.15.
REFER TO HEX NOTE 35. & DETAILS FOR TYPE AND SPECIFICATIONS.

SECTION 4.0. CLIMATIC DATA DESIGN SNOW LOAD (9.4.2.2.):

1 HR. PARTY WALL REFER TO HEX NOTE 40.

1.01 **kPa** 0.44 **kPa** WIND LOAD (q50) (SB-1.2.):

NSTRUCTION NOTE REVISION DATE: MARCH 21, 2018

HE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS HE UNDERSIGNED HAS REVIEWED AND MEETS THE JESIGN AND HAS THE QUALIFICATIONS AND MEETS THE DUT IN THE ONTARIO BUILDING CODE TO BE 1 DESIGNED HUNTUU Orin Fairbarn STRATION INFORMATION

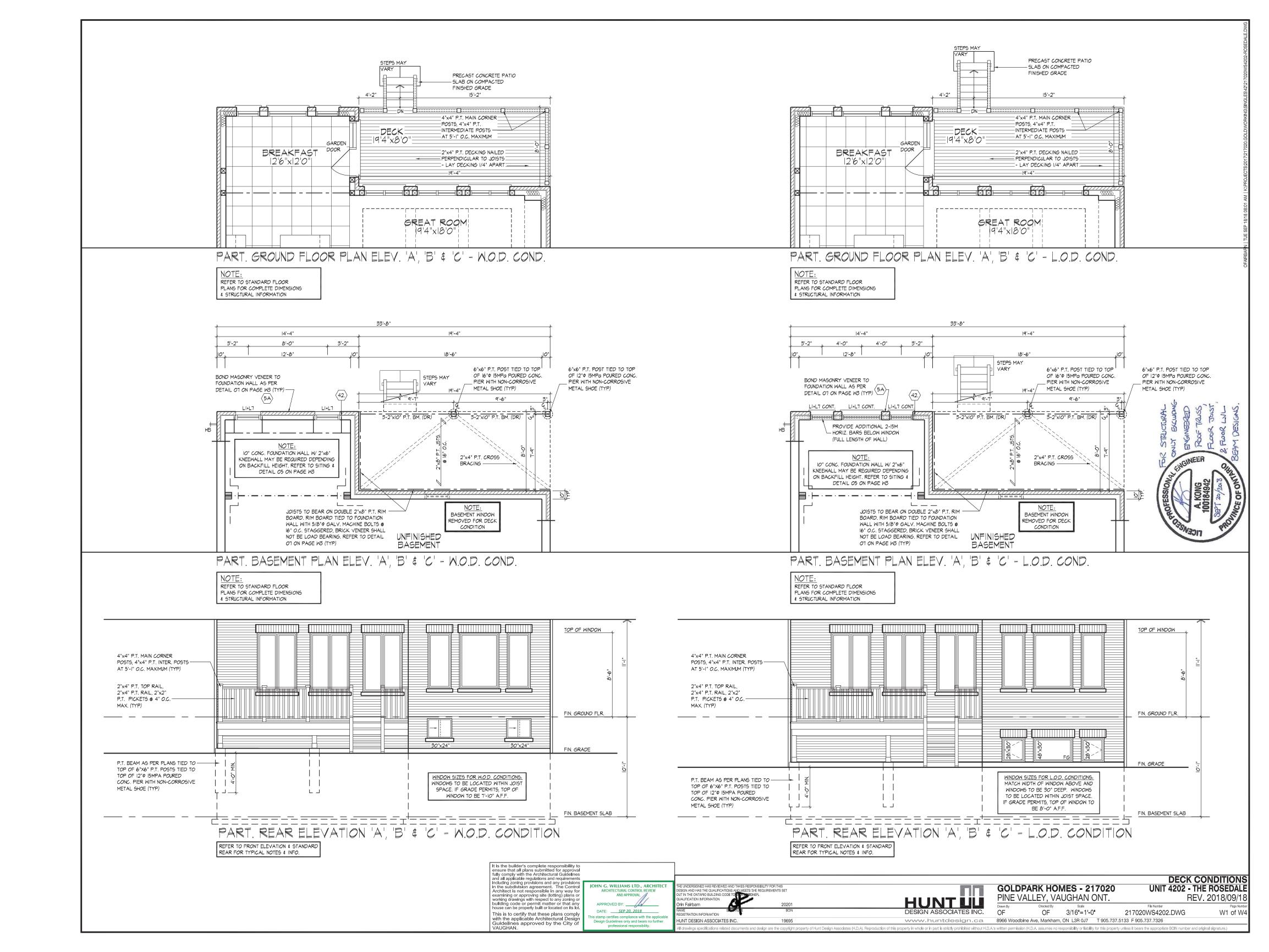
GOLDPARK HOMES - 217020 PINE VALLEY, VAUGHAN ONT.

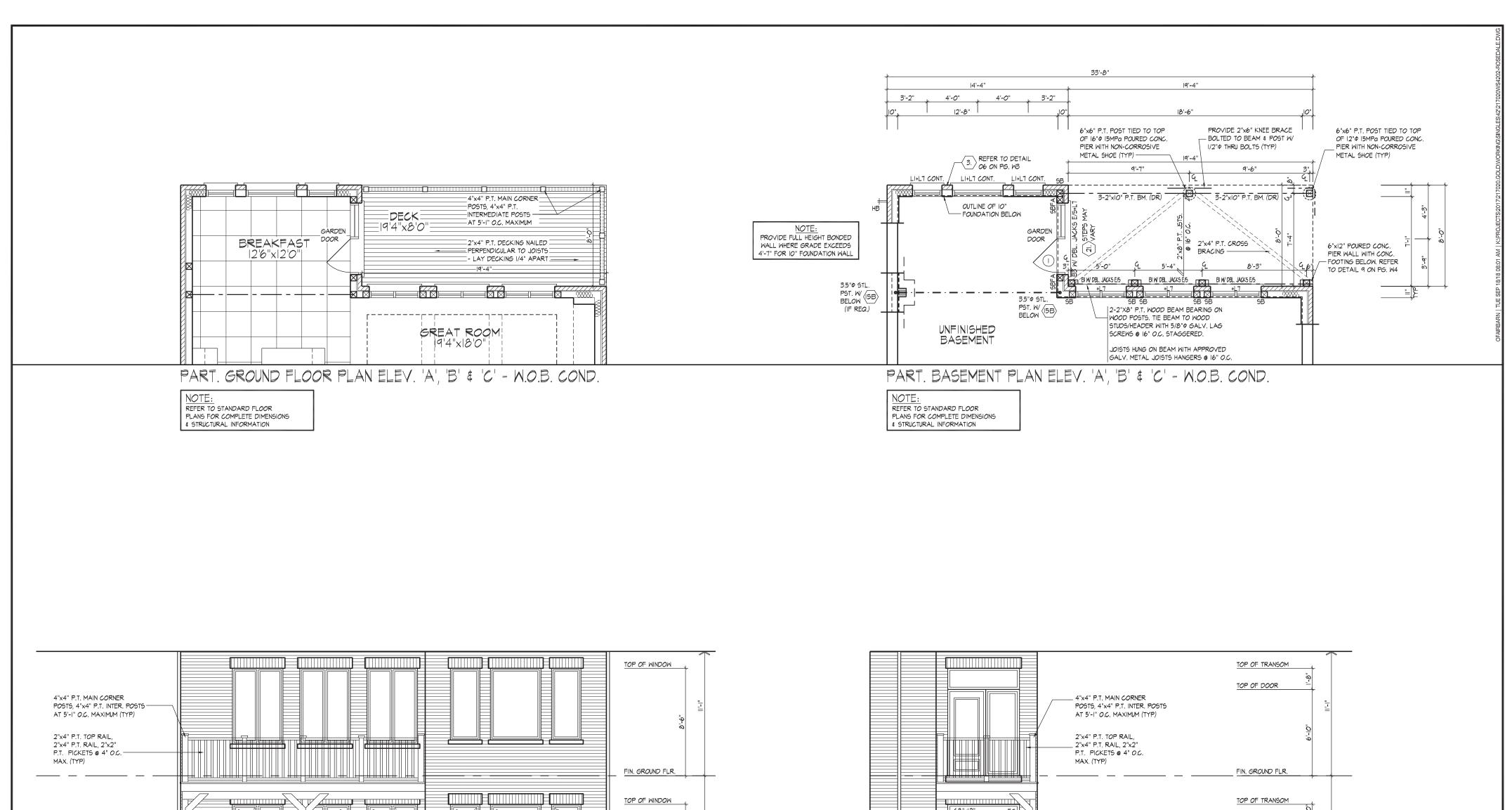
CONSTRUCTION NOTES UNIT 4202 - THE ROSEDALE REV. 2018/09/18

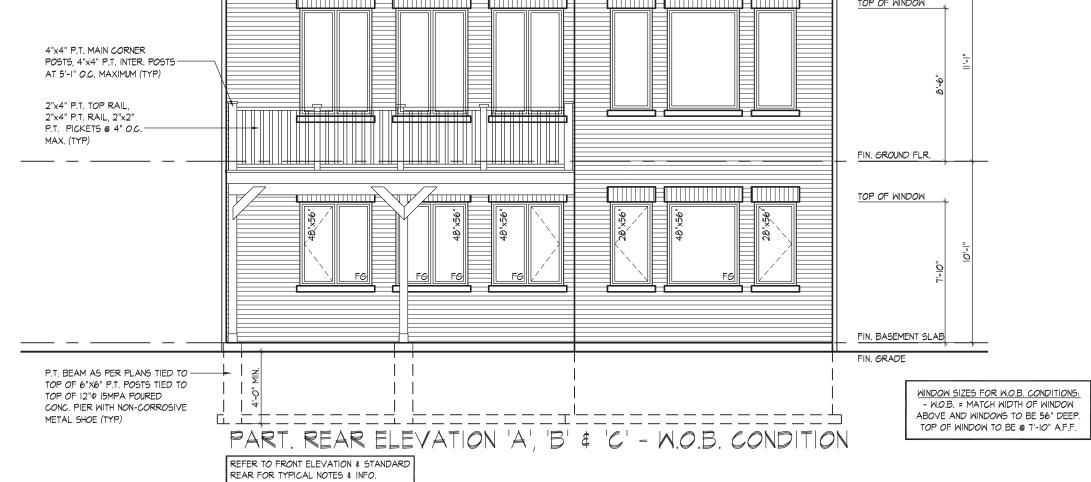
3/16"=1'-0" 217020WS4202.DWG 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

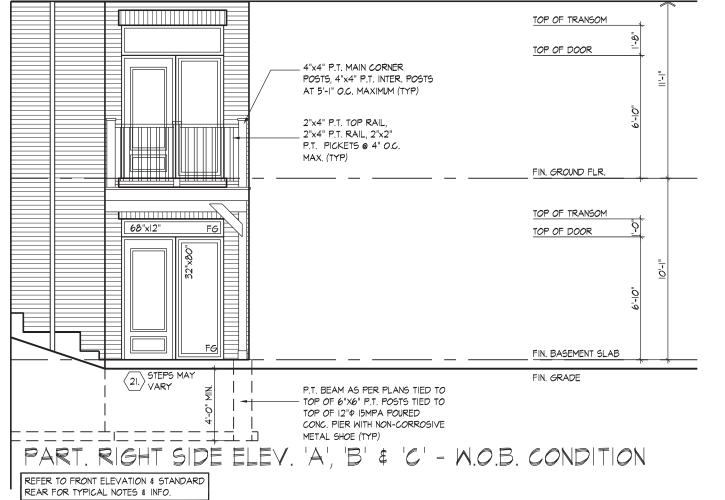
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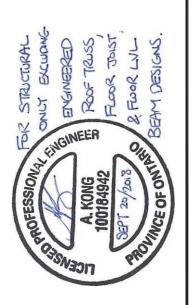
18 of 1











REV. 2018/09/18

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

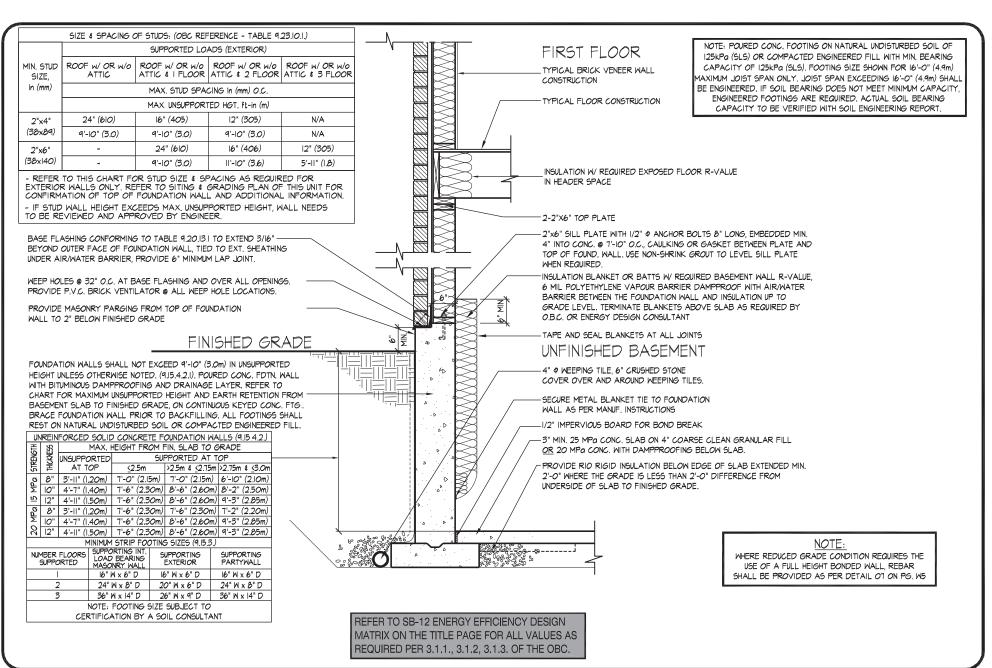




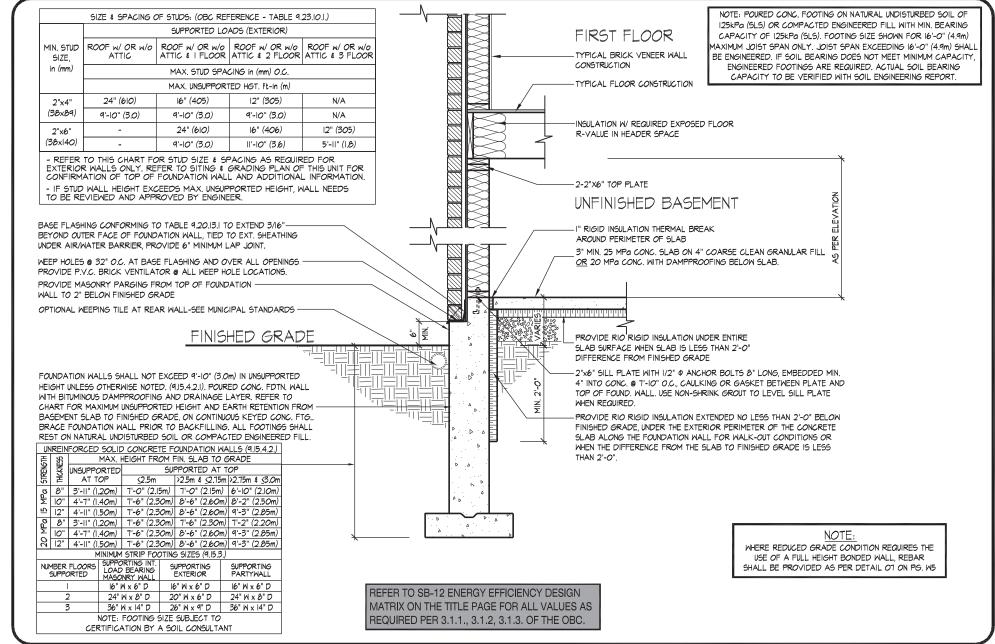
DECK CONDITIONS UNIT 4202 - THE ROSEDALE **GOLDPARK HOMES - 217020** PINE VALLEY, VAUGHAN ONT. Drawn By HDAI

File Number 217020WS4202.DWG HDAÍ 3/16"=1'-0" W2 of W4

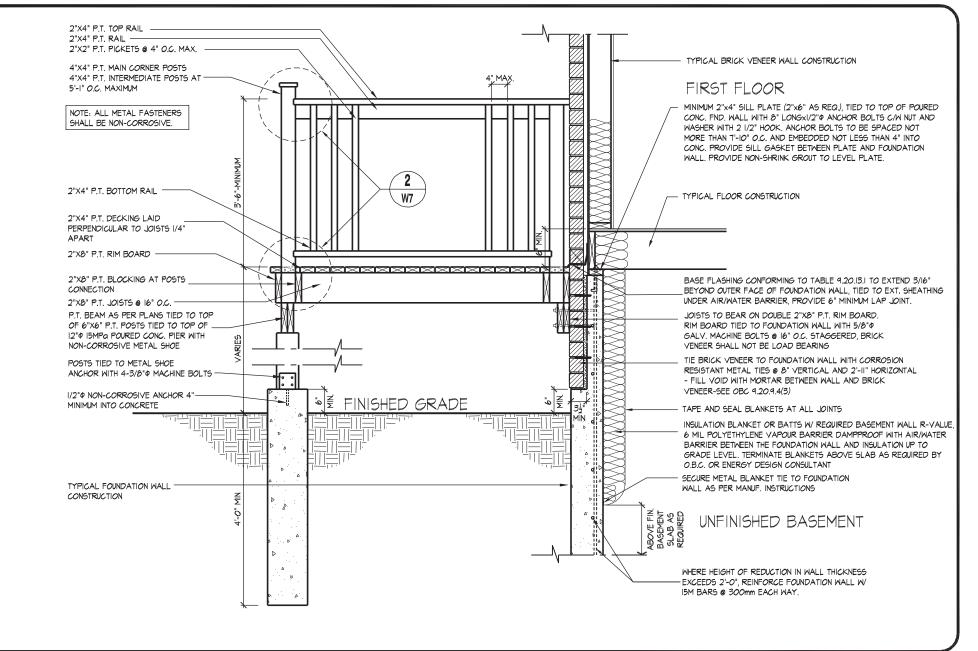
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326



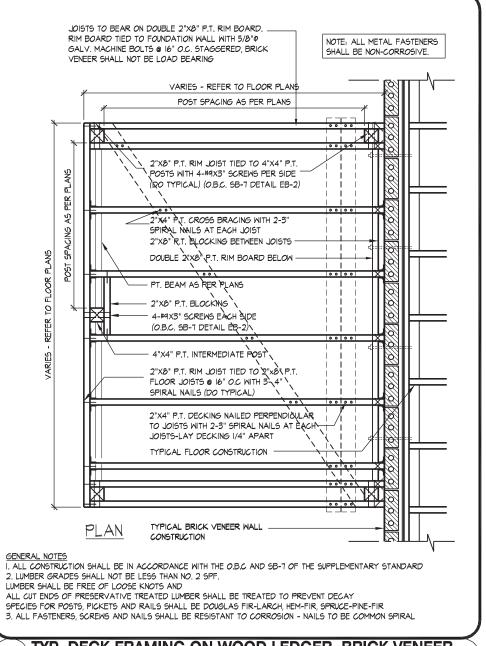
MASONRY VENEER, 2'x6" STUDS, 10" FOUNDATION WALL LATERALLY UNSUPPORTED



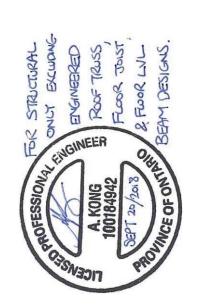
MASONRY VENEER, 2"x6" STUDS, SLAB ON GRADE / WALK OUT BASEMENT CONDITION



MASONRY VENEER, TYPICAL WALK/LOOK OUT WOOD DECK, SOLID MASONRY

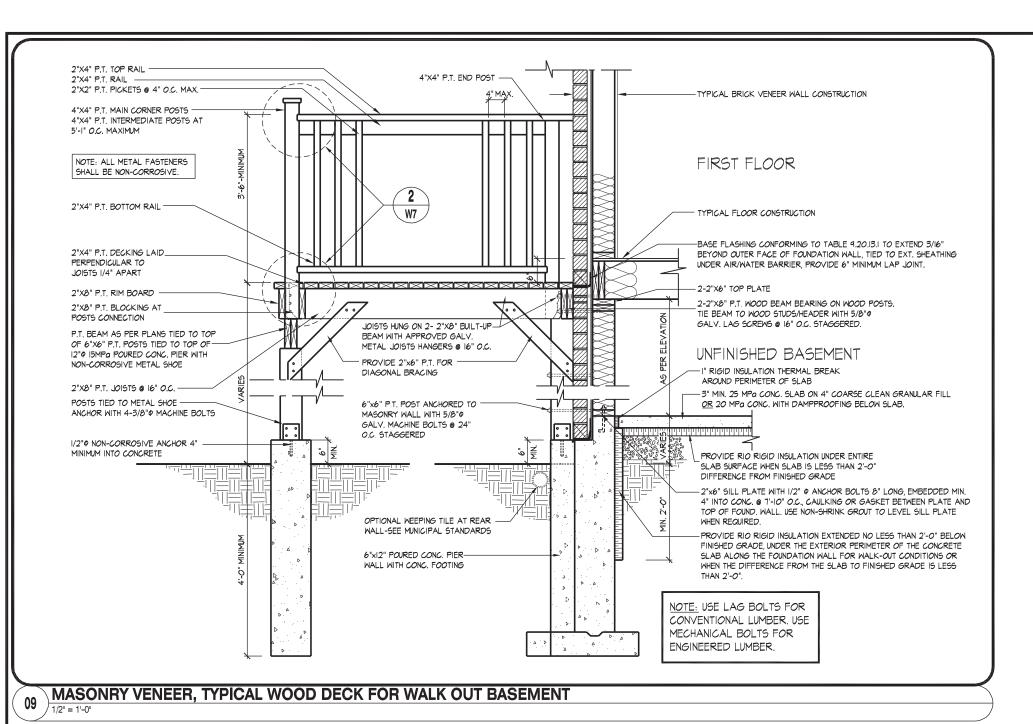


TYP. DECK FRAMING ON WOOD LEDGER, BRICK VENEER



DEOK DETAIL C

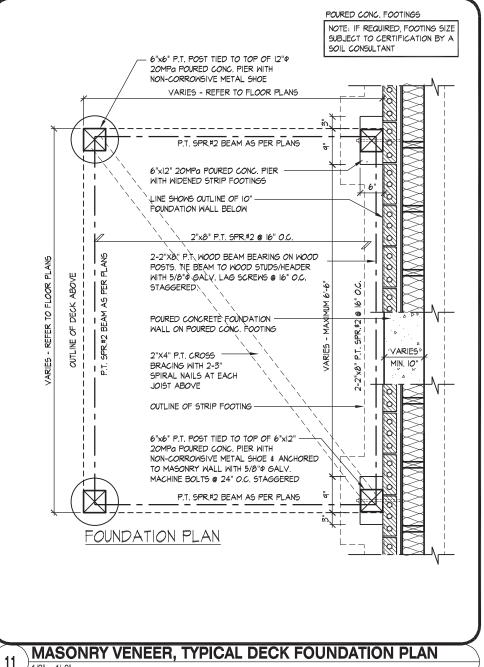
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBIL DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQ			GOLDPARK HOMES - 217020			020 UNIT 4202	UNIT 4202 - THE ROSEDA	
DUT IN THE ONTARIO BUILDING CODE TO BE DESIGNER. DUALIFICATION INFORMATION		HUNTÜÜ	PINE VALLEY, VAUGHAN ONT.		IT.	REV. 2018/09/1		
Orin Fairbarn	20201		Drawn By	Checked By	Scale	File Number	Page Nu	
NAME REGISTRATION INFORMATION	BCIN	DESIGN ASSOCIATES INC.	HDAI	HDAI	3/16"=1'-0 "	217020WS4202.DWG	W3 of W	
HUNT DESIGN ASSOCIATES INC.	19695	www.huntdesign.ca	8966 Woodbir	ne Ave, Markham	, ON L3R 0J7 T 9	905.737.5133 F 905.737.7326		



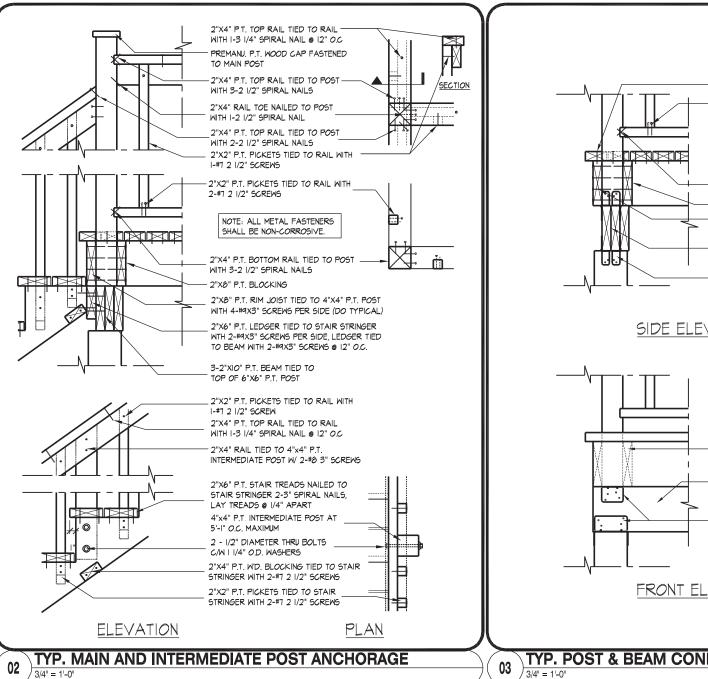
NOTE: ALL METAL FASTENERS SHALL BE NON-CORROSIVE. PROVIDE 2"x6" P.T. FOR — DIAGONAL BRACING TIED TO THE RIM JOIST VARIES - REFER TO FLOOR PLANS POST SPACING AS PER PLANS 2"X8" P.T. RIM JOIST TIED TO 4"X4" P.T. POSTS WITH 4-#9X3" SCREWS PER SIDE YPO TYPICAL) (O.B.C. SB-7 DETAIL EB-2) APRROVED GALV. METAL JOISTS HANGERS -2"X4" P.T. CROSS BRACING WITH 2-3" 2-2"X8" WOOD, BEAM – PT. BEAM AS RER PLANS 2"X8" P.T. BLOCKING 4-#9X3" SCREWS EACH SIDE (O.B.C. 5B-7 DETAIL EB-2) 4"X4" P.T. INTERMEDIATE POSTS 2"X8" P.T. RIM JOIST TIED TO "X"X8" P.T. FLOOR JOISTS @ 16" O.C WITH 3-4" SPIRAL NAILS (DO TYPICAL) 2"X4" P.T. DECKING NAILED PERPENDIQULAR TO JOISTS WITH 2-3" SPIRAL NAILS AT EACH JOISTS-LAY DECKING 1/4" APART TYPICAL FLOOR CONSTRUCTION <u>PLAN</u> GENERAL NOTES

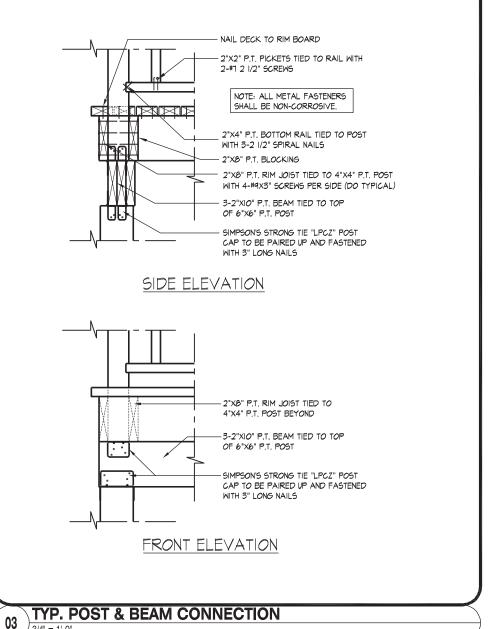
I. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE O.B.C AND SB-7 OF THE SUPPLEMENTARY STANDARD

2. LUMBER GRADES SHALL NOT BE LESS THAN NO. 2 SPF. LUMBER SHALL BE FREE OF LOOSE KNOTS AND ALL CUT ENDS OF PRESERVATIVE TREATED LUMBER SHALL BE TREATED TO PREVENT DECAY SPECIES FOR POSTS, PICKETS AND RAILS SHALL BE DOUGLAS FIR-LARCH, HEM-FIR, SPRUCE-PINE-FIR
3. ALL FASTENERS, SCREWS AND NAILS SHALL BE RESISTANT TO CORROSION - NAILS TO BE COMMON SPIRAL MASONRY VENEER, TYPICAL DECK FRAMING PLAN



NOTE: ALL METAL FASTENERS MAXIMUM 4" OPENING BETWEEN PICKETS & NO MEMBER OR ATTACHMENT BETWEEN 4" & 2'-II' SHALL FACILITATE CLIMBING. 4" MAX. 4"X4" P.T. MAIN CORNER POST 4"x4" P.T. INTERMEDIATE POST AT 5'-I" O.C. MAXIMUM 5'-I" O.C. MAX 2"X8" P.T. RIM BOARD 2"X4" P.T. TOP RAIL W7 / 2"X4" P.T. RAIL -2"X2" P.T. PICKETS 2"X8" P.T. BLOCKING AT POST 2"xIO" P.T. STAIR STRINGER CONNECTION SHOWN BEYOND 2"X4" P.T. WD. 2"X8" P.T. JOISTS @ 16" O.C. BLOCKING TIED TO STAIR STRINGER WITH 2-#7 2 1/2" SCREWS **₩7** 3-2"XIO" P.T. BEAM TIED TO TOP OF 6"X6" P.T. POSTS TIED WITH NON-CORROSIVE METAL ANCHOR BRACKET TO TOP OF 10"\$ 15 MPa INTERMEDIATE POURED CONC. PIER W/ 5%-8% AIR POSTS AT 5'-1 ENTRAINMENT O.C. MAXIMUM 2 - 1/2" DIAMETER THRU BOLTS C/W I I/4" O.D. WASHERS POSTS TIED TO METAL SHOE 2"X6" P.T. STAIR ANCHOR WITH 4-3/8" MACHINE TREADS NAILED TO STAIR 2"X4" P.T. WD. BLOCKING BOLTS TIED TO STAIR STRINGER STRINGER 2-3" SPIRAL NAILS. WITH 2-#7 2 1/2" SCREWS LAY TREADS @ 14" MAX, /4" APART FINISHED GRADE 1/2" PNON-CORROSIVE ANCHOR 4" PRECAST CONCRETE PATIO — MINIMUM INTO CONCRETE SLAB ON COMPACTED FINISHED 2"xIO" P.T. STAIR STRINGER NUMBER OF RISERS VARY AS PER GRADE TYPICAL WOOD DECK STAIR







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