

- (RC) COMPLETE ROOF INCLUDING REAR CONNECTED TO FRONT
DOWNSPUT AND CONNECTED TO RDC SERVICE CONNECTION.
(RF) HALF ROOF CONNECTED TO FRONT DOWNSPUT AND
CONNECTED TO RDC SERVICE CONNECTION.
(RR) HALF ROOF CONNECTED TO REAR DOWNSPUT AND
CONNECTED TO RDC SERVICE CONNECTION.
1.1 - ROOF DRAINS TO BE CONNECTED AT THE FRONT TO RDC SERVICE
CONNECTION FOR ROOF CONFIGURATIONS RC, RF, & RR
(REFER TO SCS DWG. 906 DETAIL B)
1.2 - IF ROOF CONFIGURATION IS RF OR RC, FRONT ROOF DRAINS TO BE
CONNECTED TO FRONT DOWNSPUT & CONNECTED TO RDC SERVICE
CONNECTION. (REFER TO SCS DWG. 906 DETAIL B)
1.3 - IF ROOF CONFIGURATION IS RR, REAR ROOF DRAINS TO BE CONNECTED
TO REAR ROOF DOWNSPUT AND CONNECTED TO INFILTRATION TRENCH
(REFER TO SCS DWG. 906 DETAIL A)
1.4 - THE CONTRACTOR SHALL CHECK AND VERIFY ALL GIVEN GRADE
ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. FOOTINGS TO
BEAR ON NATURAL UNDISTURBED SOIL OR ROCK AND TO BE A MINIMUM OF
1.2m BELOW FINISHED GRADE
1.5 - ALL FRONT AND REAR YARDS SHALL BE GRADED AT A 2% - 5% GRADE
WITHIN 6.0m OF THE DWELLING UNIT.
1.6 - MAXIMUM DRIVEWAY SLOPE SHALL BE 5%.
1.7 - THE MAXIMUM ALLOWABLE SLOPE IS 3:1 (HORIZONTAL AND VERTICAL).
WITH A MAXIMUM ELEVATION DIFFERENCE OF 600mm.
1.8 - DRIVEWAYS TO BE SET BACK A MINIMUM OF 1.0m FROM ABOVE GROUND
SERVICES OR OTHER OBSTRUCTION.
1.9 - LOT HIGH POINT (HPI) TO BE 2.0m UPSTREAM OF DOWNSPUTS
1.10 - ROOF LEADER EMERGENCY OVERFLOW TO DISCHARGE VIA
SPLASH PAD. (REFER TO SCS DWG. 906 DETAIL A FOR ROOF
CONFIGURATION RR AND DETAIL B FOR ROOF CONFIGURATION RC & RF)
1.11 - INFILTRATION TRENCHES NOT TO CROSS BETWEEN LOT LINES
(REFER TO SCS DWG. 906 DETAIL A)
1.12 - IF ROOF CONFIGURATION IS RR, REAR ROOF DOWNSPUTS CONNECTED
TO 100mm CAP REMOVE CAP AND CONNECT TO REAR LOT INFILTRATION
TRENCH. BUILDER IS RESPONSIBLE TO BUILD THE REAR ROOF LEADER
CONNECTION TO THE CAP AT THE TRENCHES (TYPE) (REFER TO SCS DWG. 906
DETAIL A).
1.13 - BUILDER TO REFER TO SCS DWG. 906 DETAILS A & B
FOR DETAILS ON THE INFILTRATION TRENCH.

LOT 118

WE HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE
PROPOSED BUILDING TO BE CONSTRUCTED, AND HEREBY
CERTIFY THAT:

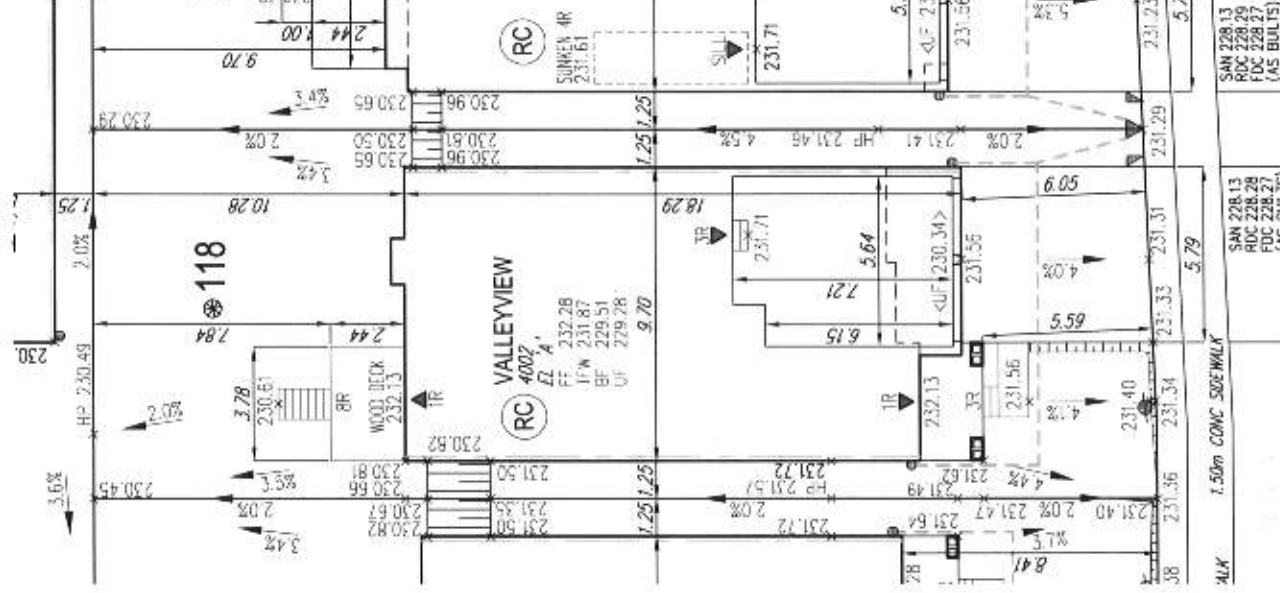
1. The proposed grading and spotter/drainage works comply
with sound engineering principles.
2. The proposed grading is in conformity with the grading plan
approval for this subdivision and will not adversely affect
adjacent lands.
3. The proposed building is compatible with the proposed grading.
4. The proposed water service curb stop is to be located in the
grassed portion of the front yard.
5. The driveway conforms with the City of Vaughan By-Law 1-98
as amended and is a minimum 1.0 metre clear of all street
landscape catch basins.
6. The proposed building is a minimum of 0.6 m side yard setback
from a drainage swale.

SCS CONSULTING GROUP LTD.



Date: March 10, 2020 Reviewed By: M.R.C.

COVERAGE CALCULATION	
LOT NO. :	118
LOT AREA :	424.87 m ²
BLDG. AREA : (INC. PORCH)	0.00 m ²
LOT COVERAGE :	0.00 %
LANDSCAPE AREA :	0.00 m ²
LANDSCAPE COV. :	0.00 %
BUILDING HEIGHT	
MAX BUILDING HEIGHT :	11.00 m
FROM AVERAGE FIN. GRADES FRONT OF BUILDING TO MEAN	
ESTABLISHED GRADE :	231.58
F.F. TO TOP OF ROOF :	0.00 m
F.F. TO MEAN OF ROOF :	8.79 m
PROPOSED BLDG. HGT :	9.49 m
FRONT YARD LANDSCAPE AREA	
FRONT YARD AREA :	67.57 m ²
LANDSCAPE AREA :	36.00 m ²
COVERAGE _{SCS DWG. 906} :	53.28 %
SOFT LANDSCAPE AREA :	32.30 m ²
SOFT COVERAGE _{SCS DWG. 906} :	89.72 %
REAR YARD LANDSCAPE AREA	
REAR YARD AREA :	74.33 m ²
SOFT LANDSCAPE AREA :	74.33 m ²
COVERAGE (60% MIN.) :	100.00 %



ROSSHAVEN CRESCENT

AIR CONDITIONER ROUGH
IN REQUIRED

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

ARCHITECTURAL REVIEW & APPROVAL
MAR 10 2020
John G. Williams Limited, Architect

- GENERAL NOTES:
1. BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT BUILDER'S EXPENSE.
 2. BUILDER TO VERIFY ELEV. OF STA. AND SAN. LATERALS IN RELATION TO BASEMENT US OF FOOTING.
 3. ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.
 4. APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES MUST BE REVIEWED AND FOLLOWED IN CONJUNCTION WITH THE SITING AND GRADING PLAN. BUILDER TO VERIFY BUILDING ENVELOPE ON SITE PLAN MATCHES APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING CONCRETE. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF HUNT DESIGN ASSOCIATES INC.
 5. ALL TOP OF FOUNDATION WALLS INCLUDING GARAGE WALLS TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR TFW ON SITING AND GRADING PLAN. THE EXTERIOR OF THE FOUNDATION WALL TO BE PROVIDED WITH A REDUCTION OF THICKNESS FOR MASONRY VENEER AS REQUIRED.



ISSUED FOR FINAL APPROVAL	AW	2020.03.05
ISSUED FOR PRELIMINARY APPROVAL		

CONTRIBUTOR	ROSSHAVEN CRESCENT
DATE	2020.03.05
BY	AW
CHECKED BY	AW
DATE	2020.03.05
SCALE	1:250
FILE NUMBER	217020WSP01
PROJECT NAME	GOLDPARK HOMES - 217020
ADDRESS	PINE VALLEY, VAUGHAN ONT.
DESIGNER	HUNT ASSOCIATES INC.
CONTACT	23177
PHONE	905.737.7326
FAX	905.737.7326
WEBSITE	www.huntassociates.com

SITING AND GRADING PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

NAME: John G. Williams SIGNATURE: [Signature]

REGISTRATION INFORMATION: 23177 B.C.N.

HUNT DESIGN ASSOCIATES INC. 19965

ROSSHAVEN CRESCENT

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

DESIGNER: HUNT ASSOCIATES INC.

217020WSP01

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