



FRONT ELEVATION 'A'

FRONT ELEVATION 'B'

FRONT ELEVATION 'C'

UNIT 5003 - 'THE OAKGROVE'

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PRESCRIPTIVE COMPLIANCE PACKAGE A1

SB-12 (SECTION 3.1.1) TABLE 3.1.1.3.A SPACE HEATING FUEL ■ GAS OIL □ ELECTRIC ☐ PROPANE □ EARTH ☐ SOLID FUEL

BUILDING COMPONENT	REQUIRED	PROPOSED
INSULATION RSI (R) VALUE		
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)
BASEMENT WALLS	3.52 ci 🔸	3.52 ci
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)	(R20 ci) *	(R20 ci) *
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	ı	-
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
WINDOWS & DOORS		
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8
APPLIANCE EFFICIENCY	·	
SPACE HEATING EQUIP. (AFUE%)	96%	96%
HRV EFFICIENCY (%)	75%	75%
DHW HEATER (EF)	0.8	0.8

AREA CALCULATIONS	EL. 'A'	EL. 'B'	EL. 'C'
	STD/OPT. PLAN	STD/OPT. PLAN	STD/OPT. PLAN
GROUND FLOOR AREA	1760 sq. ft.	1743 sq. ft.	1750 sq. ft.
	(163.51 sq. m.)	(161.93 sq. m.)	(162.58 sq. m.)
SECOND FLOOR AREA	2123 sq. ft.	2123 sq. ft.	2125 sq. ft.
	(197.23 sq. m.)	(197.23 sq. m.)	(197.42 sq. m.)
SUBTOTAL	3883 sq. ft.	3866 sq. ft.	3875 sq. ft.
	(360.74 sq. m.)	(359.16 sq. m.)	(360.00 sq. m.)
DEDUCT ALL OPEN AREAS	21 sq. ft.	21 sq. ft.	21 sq. ft.
	(1.95 sq. m.)	(1.95 sq. m.)	(1.95 sq. m.)
TOTAL NET AREA	3862 sq. ft.	3845 sq. ft.	3854 sq. ft.
	(358.79 sq. m.)	(357.21 sq. m.)	(358.05 sq. m.)
FINISHED BASEMENT AREA	100 sq. ft.	100 sq. ft.	100 sq. ft.
	(9.29 sq. m.)	(9.29 sq. m.)	(9.29 sq. m.)
COVERAGE	2185 sq. ft.	2172 sq. ft.	2178 sq. ft.
W/OUT PORCH	(202.99 sq. m.)	(201.79 sq. m.)	(202.34 sq. m.)
COVERAGE	2245 sq. ft.	2232 sq. ft.	2241 sq. ft.
W/ PORCH	(208.57 sq. m.)	(207.36 sq. m.)	(208.20 sq. m.)
COVERAGE	2516 sq. ft.	2503 sq. ft.	2512 sq. ft.
W/ OPT. LOGGIA	(233.74 sq. m.)	(232.54 sq. m.)	(233.37 sq. m.)

EL. 'A'	EL. 'B'	EL. 'C'	WINDOW / WALL AREA CALCULATIONS
OPT. PLAN	STD/OPT. PLAN	STD/OPT. PLAN	CALCULATIONS
760 sq. ft.	1743 sq. ft.	1750 sq. ft.	GROSS WALL AREA
3.51 sq. m.)	(161.93 sq. m.)	(162.58 sq. m.)	
123 sq. ft.	2123 sq. ft.	2125 sq. ft.	GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS
7.23 sq. m.)	(197.23 sq. m.)	(197.42 sq. m.)	·
883 sq. ft.	3866 sq. ft.	3875 sq. ft.	TOTAL WINDOW %
0.74 sq. m.)	(359.16 sq. m.)	(360.00 sq. m.)	
21 sq. ft.	21 sq. ft.	21 sq. ft.	
.95 sq. m.)	(1.95 sq. m.)	(1.95 sq. m.)	GROSS WALL AREA
862 sq. ft.	3845 sq. ft.	3854 sq. ft.	CDOSS WINDOW ADEA
8.79 sq. m.)	(357.21 sq. m.)	(358.05 sq. m.)	GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS
00 sq. ft.	100 sq. ft.	100 sq. ft.	TOTAL WINDOW %
.29 sq. m.)	(9.29 sq. m.)	(9.29 sq. m.)	TOTAL WINDOW %
185 sq. ft.	2172 sq. ft.	2178 sq. ft.	
2.99 sq. m.)	(201.79 sq. m.)	(202.34 sq. m.)	
245 sq. ft.	2232 sq. ft.	2241 sq. ft.	GROSS WALL AREA
0 E7 ac \	(007.00 \	(000 00 \	

	1 - TITLE SHEET 2 - BASEMENT PLAN, ELEVATION 'A' 3 - GROUND FLOOR PLAN, ELEVATION 'A' 4 - SECOND FLOOR PLAN, ELEVATION 'A' 5 - PART. OPT. SECOND FLOOR PLAN W, 5 BDRM., EL. 'A' 6 - PART. BASEMENT PLAN, ELEVATION 'B' 7 - GROUND & SECOND FLR. PLAN, ELEVATION 'B' 8 - PART. BASEMENT PLAN, ELEVATION 'C' 9 - GROUND & SECOND FLR. PLAN, ELEVATION 'C' 10 - FRONT ELEVATION 'A' 11 - LEFT SIDE ELEVATION 'A' 12 - RIGHT SIDE ELEVATION 'A' 13 - REAR ELEVATION 'A', 'B'&'C' 14 - FRONT ELEVATION 'B' 15 - LEFT SIDE ELEVATION 'B' 16 - RIGHT SIDE ELEVATION 'B' 17 - UPGRADED REAR EL.'B' 18 - FRONT ELEVATION 'C' 20 - RIGHT SIDE ELEVATION 'C' 21 - PARTIAL FLOOR PLANS FOR OPT. LOGGIA CONDITION 22 - REAR ELEVATION FOR OPT. LOGGIA CONDITION 23 - CROSS SECTION 'A-A' 24 - DETAILS 25 - CONSTRUCTION NOTES 1 26 - CONSTRUCTION NOTES 2 W1 - WALK OUT DECK CONDITION W32 - LOCK CONDITION W33 - DECK CONDITION SPATIAL CALCULATIONS W36 - DECK CONDITION SPATIAL CALCULATIONS
	W3b - RIGHT SIDE ELEVATION 'A' - WOB CONDITION
	W4 - DECK DETAILS 1
ı	I

W5 - DECK DETAILS 2 W6 - DECK DETAILS 3

W7 - DECK DETAILS 4

EL. 'A'	EL. 'A'	EL. 'A' - WOD	EL. 'A' - WOD	EL. 'A' - LOD	EL. 'A' - LOD	EL. 'A' - WOB	EL. 'A' - WOB
STD. PLAN	OPT. 5 BDRM.						
4477.96 sq. ft.	4477.96 sq. ft.	4512.91 sq. ft.	4512.91 sq. ft.	4611.19 sq. ft.	4611.19 sq. ft.	4936.61 sq. ft.	4936.61 sq. ft.
(416.02 sq. m.)	(416.02 sq. m.)	(419.26 sq. m.)	(419.26 sq. m.)	(428.39 sq. m.)	(428.39 sq. m.)	(458.63 sq. m.)	(458.63 sq. m.)
599.78 sq. ft.	608.44 sq. ft.	601.44 sq. ft.	610.11 sq. ft.	620.61 sq. ft.	629.28 sq. ft.	733.61 sq. ft.	742.27 sq. ft.
(55.72 sq. m.)	(56.53 sq. m.)	(55.88 sq. m.)	(56.68 sq. m.)	(57.66 sq. m.)	(58.46 sq. m.)	(68.15 sq. m.)	(68.96 sq. m.)
13.39 %	13.59 %	13.33 %	13.52 %	13.46 %	13.65 %	14.86 %	15.04 %
EL. 'B'	EL. 'B'	EL. 'B' - WOD	EL. 'B' - WOD	EL. 'B' - LOD	EL. 'B' - LOD	EL. 'B' - WOB	EL. 'B' - WOB
STD. PLAN	OPT. 5 BDRM.	STD, PLAN	OPT. 5 BDRM.	STD, PLAN	OPT, 5 BDRM,	STD, PLAN	OPT. 5 BDRM.
4405.85 sq. ft.	4405.85 sq. ft.	4440.79 sq. ft.	4440.79 sq. ft.	4539.08 sq. ft.	4539.08 sq. ft.	4864.50 sq. ft.	4864.50 sq. ft.
(409.32 sq. m.)	(409.32 sq. m.)	(412.56 sq. m.)	(412.56 sq. m.)	(421.69 sq. m.)	(421.69 sq. m.)	(451.93 sq. m.)	(451.93 sq. m.)
617.00 sq. ft.	625.67 sq. ft.	618,67 sq. ft.	627.33 sq. ft.	637.83 sq. ft.	646,50 sq. ft.	750,83 sq. ft.	759,50 sq. ft.
(57.32 sq. m.)	(58.13 sq. m.)	(57.48 sq. m.)	(58.28 sq. m.)	(59.26 sq. m.)	(60.06 sq. m.)	(69.75 sq. m.)	(70.56 sq. m.)
14.00 %	14.20 %	13.93 %	14.13 %	14.05 %	14.24 %	15.43 %	15.61 %
EL. 'C'	EL. 'C'	EL. 'C' - WOD	EL. 'C' - WOD	EL. 'C' - LOD	EL. 'C' - LOD	EL. 'C' - WOB	EL. 'C' - WOB
STD. PLAN	OPT. 5 BDRM.	STD, PLAN	OPT. 5 BDRM.	STD. PLAN	OPT. 5 BDRM.	STD, PLAN	OPT. 5 BDRM.
4433.00 sq. ft.	4433.00 sq. ft.	4467.94 sq. ft.	4467.94 sq. ft.	4566.23 sq. ft.	4566.23 sq. ft.	4891.65 sq. ft.	4891.65 sq. ft.
(411.84 sq. m.)	(411.84 sq. m.)	(415.09 sq. m.)	(415.09 sq. m.)	(424.22 sq. m.)	(424.22 sq. m.)	(454.45 sq. m.)	(454.45 sq. m.)
732.50 sq. ft.	741.17 sq. ft.	734.17 sq. ft.	742.83 sq. ft.	753.33 sq. ft.	762.00 sq. ft.	866.33 sq. ft.	875.00 sq. ft.
(68.05 sq. m.)	(68.86 sq. m.)	(68.21 sq. m.)	(69.01 sq. m.)	(69.99 sq. m.)	(70.79 sq. m.)	(80.48 sq. m.)	(81.29 sq. m.)
16.52 %	16.72 %	16.43 %	16.63 %	16.50 %	16.69 %	17.71 %	17.89 %

GOLDPARK

19695



GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS) TOTAL WINDOW %

7	-	-
6	-	-
5	-	-
4	-	-
3	-	-
2. REV. AS PER FLOOR, ROOF AND STRUCTURAL ENGINEER ISSUE FOR PERMIT	2020.03.30	MAS
1. REVISED DESIGN AS PER CLIENT COMMENTS	2019/11/25	BB
REVISIONS	DATE (YYYY/MM/DD)	BY
	TITLE CLU	CET

TITLE SHEET

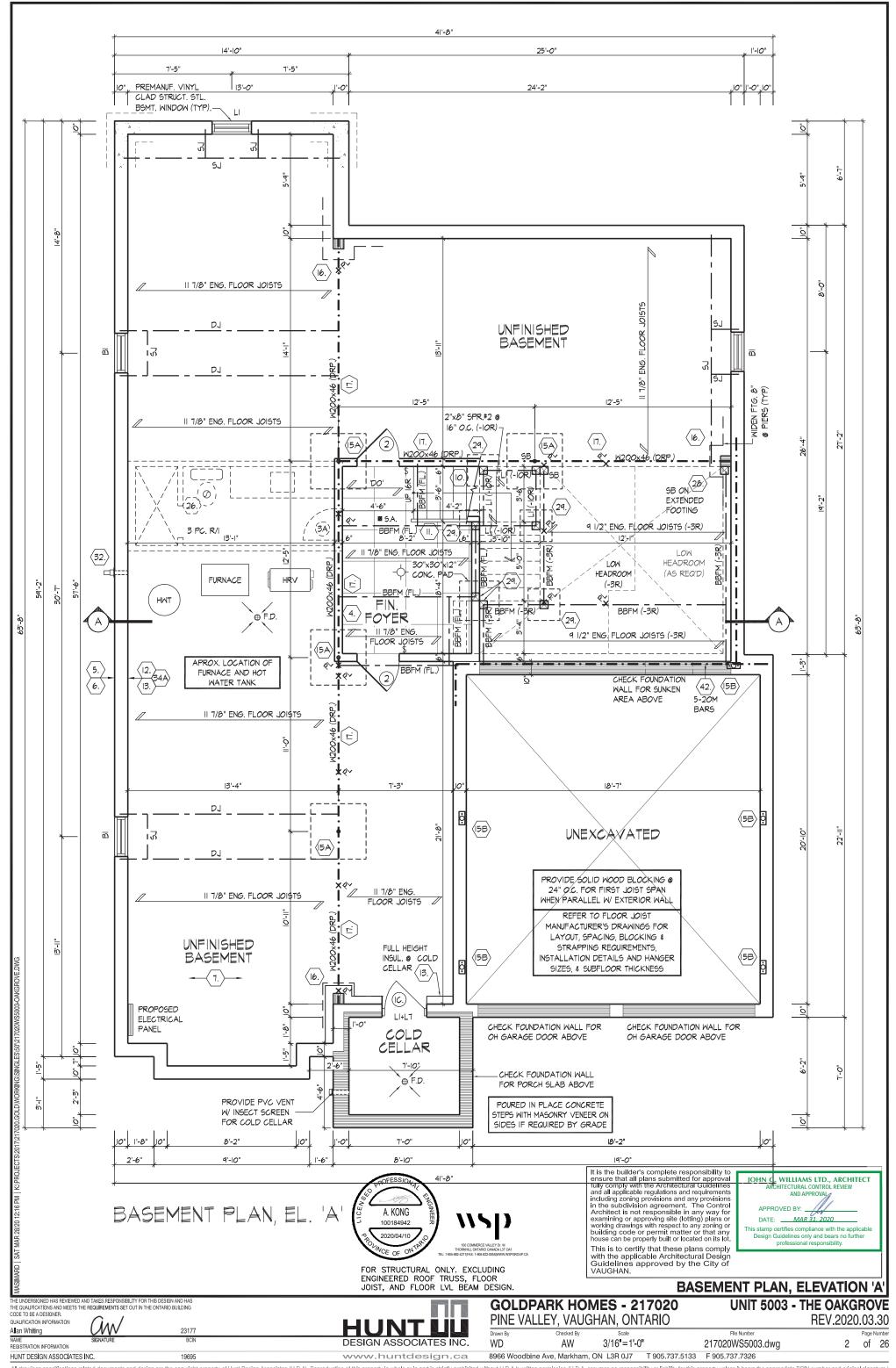
Allan Whiting

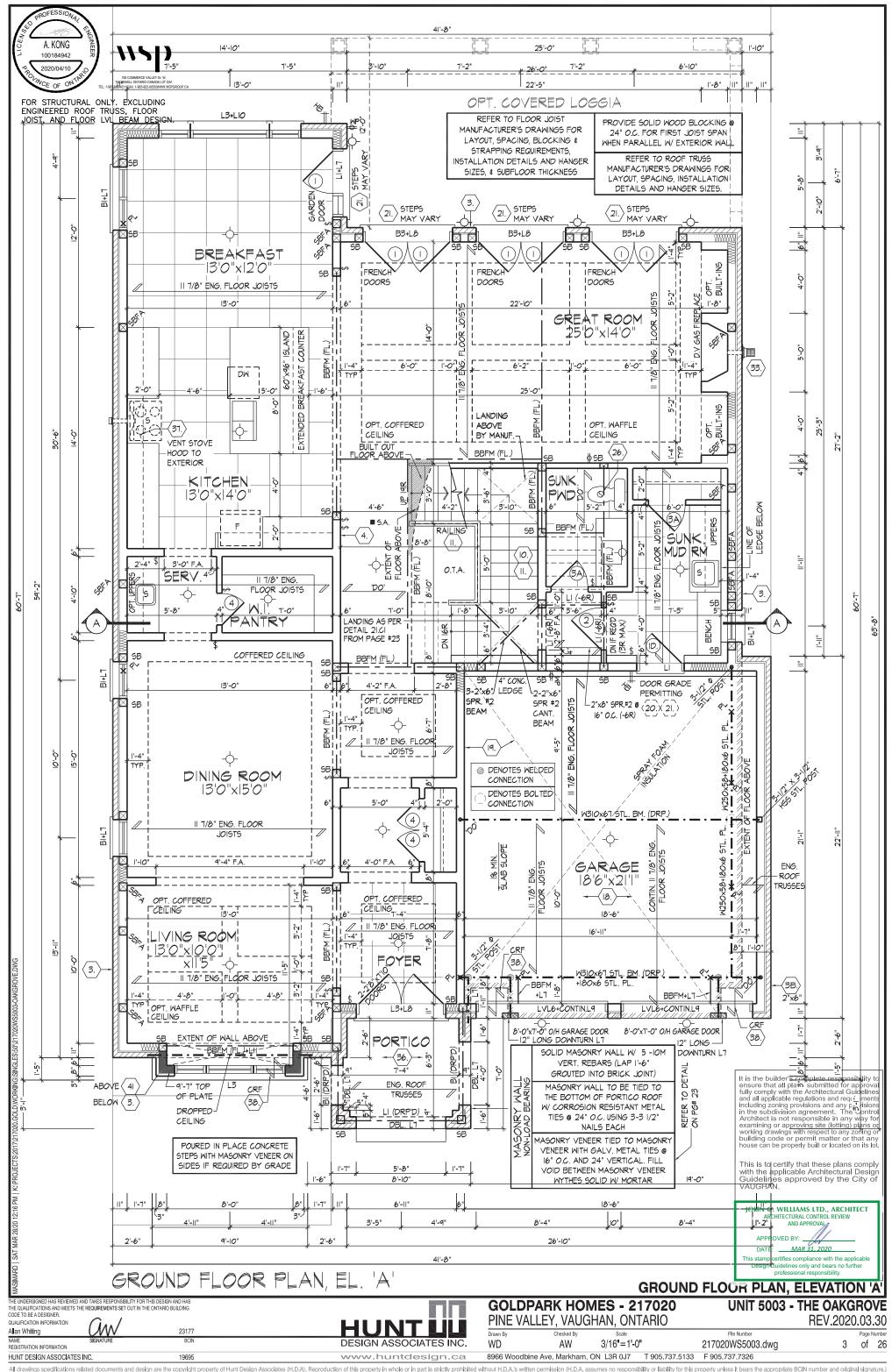
23177 DESIGN ASSOCIATES INC. **GOLDPARK HOMES - 217020** PINE VALLEY, VAUGHAN, ONTARIO

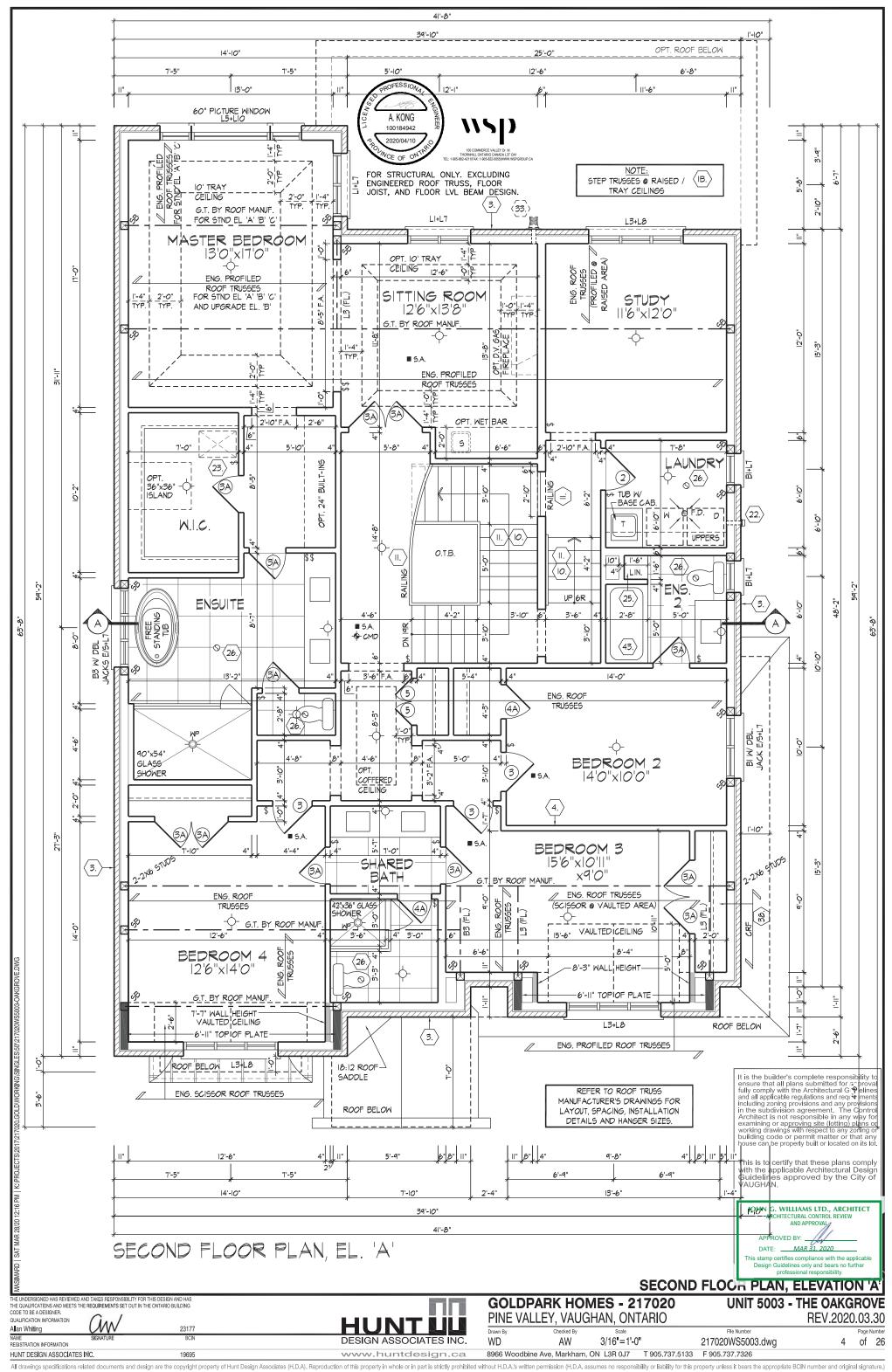
UNIT 5003 - THE OAKGROVE REV.2020.03.30

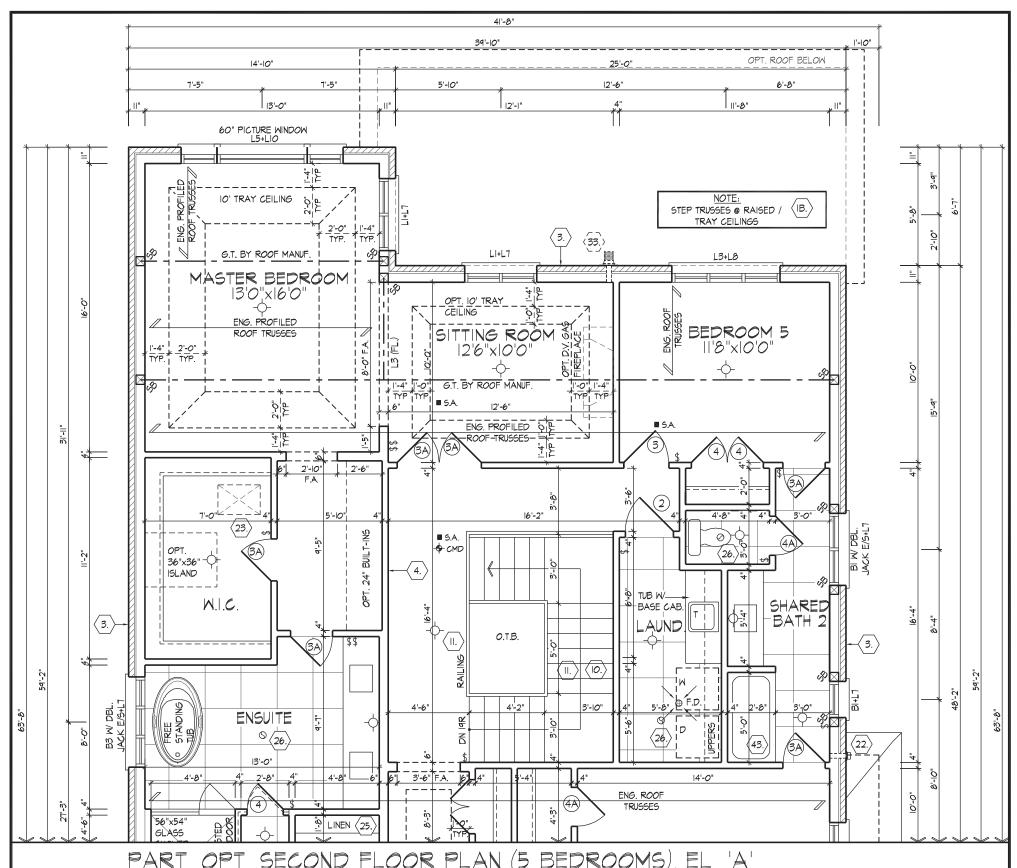
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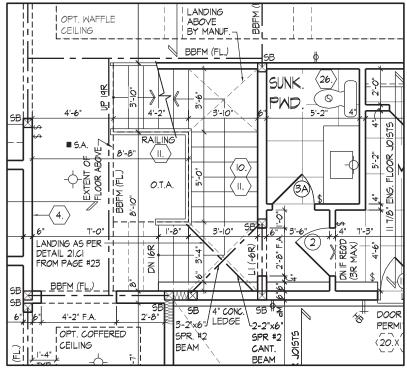




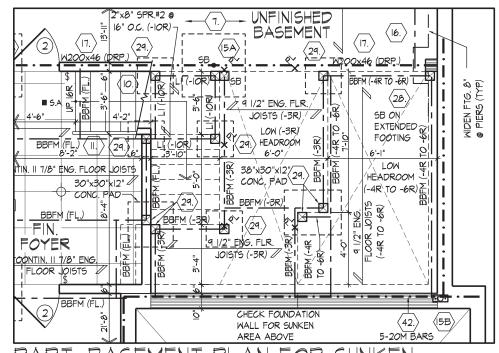








PART. GROUND FLOOR PLAN FOR OPT. SECOND FLOOR PLAN EL. 'A' (ELEV. 'B'&'C' SIMILAR)



PART. BASEMENT PLAN FOR MUDROOM EL.

A. KONG 100184942 2020/04/10

FOR STRUCTURAL ONLY. EXCLUDING FOR STRUCTURAL UNLT. EACLODING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

PART. OPT. SECOND FLOOR PLAN W/ 5 BDRM., EL. 'A'

THE CAKCROW

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply JOHN G. WILLIAMS LTD., ARCHITECT DATE: _ MAR 31, 2020 This is to certify that these plans comply stamp certifies compliance with the applicable lesign Guidelines only and bears no further professional responsibility. with the applicable Architectural Design Guidelines approved by the City of

THE QUALIFICATION AS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION

ALTO MARKET STATEMENTS OF THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION MW Allan Whiting 23177

DESIGN ASSOCIATES INC.

GOLDPARK HOMES - 217020 PINE VALLEY, VAUGHAN, ONTARIO

3/16"=1'-0"

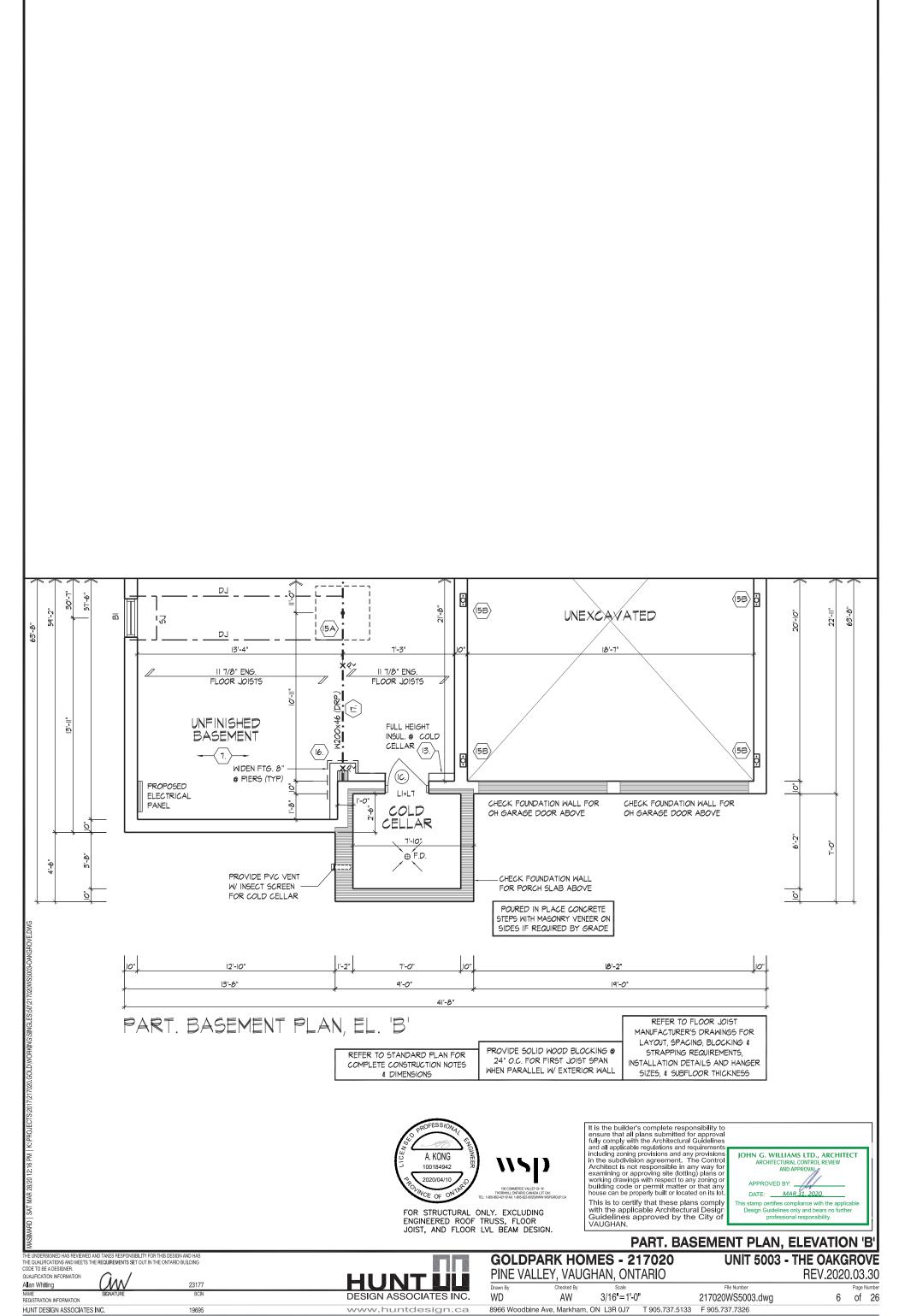
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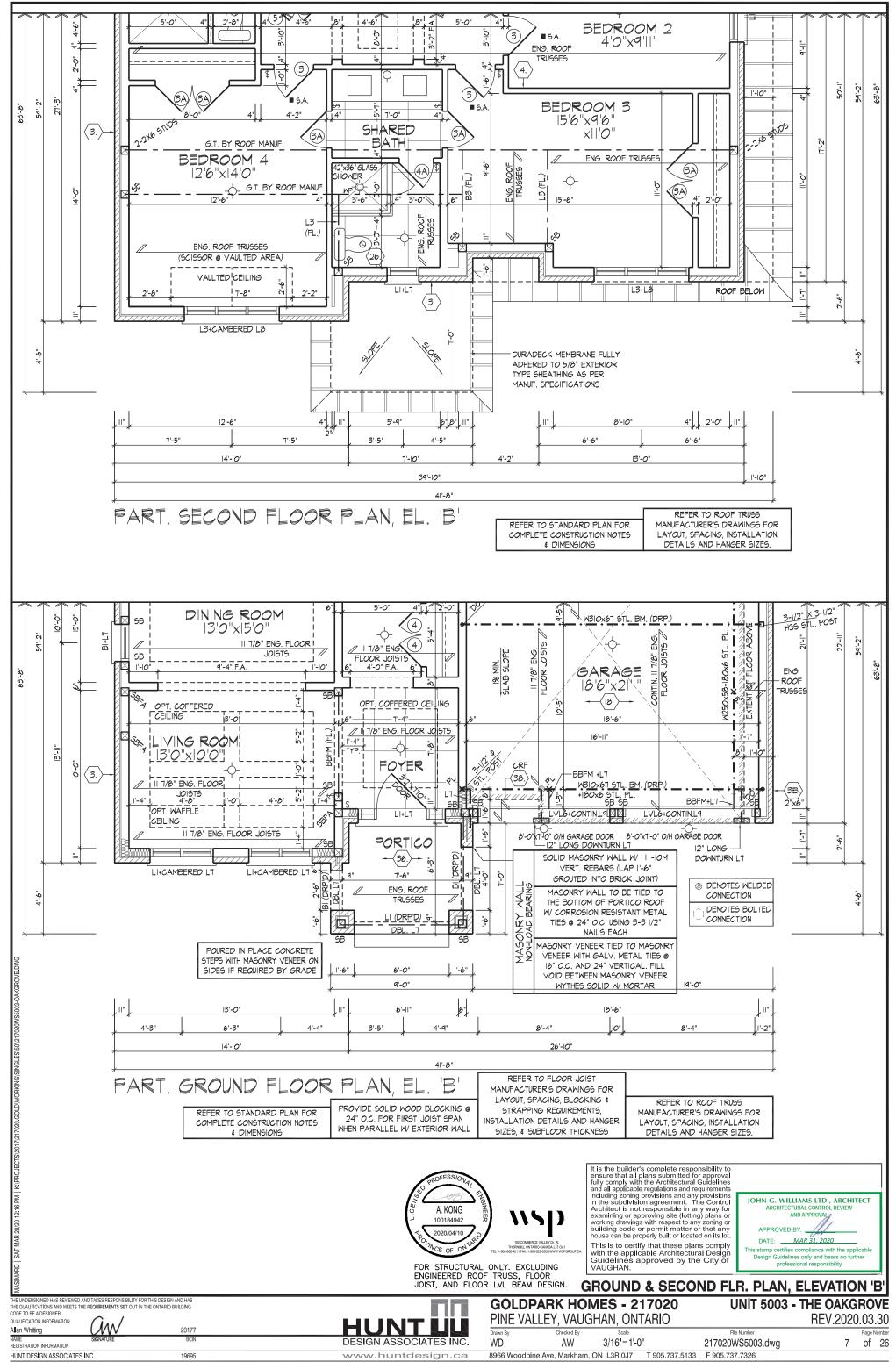
UNIT 5003 - THE OAKGROVE

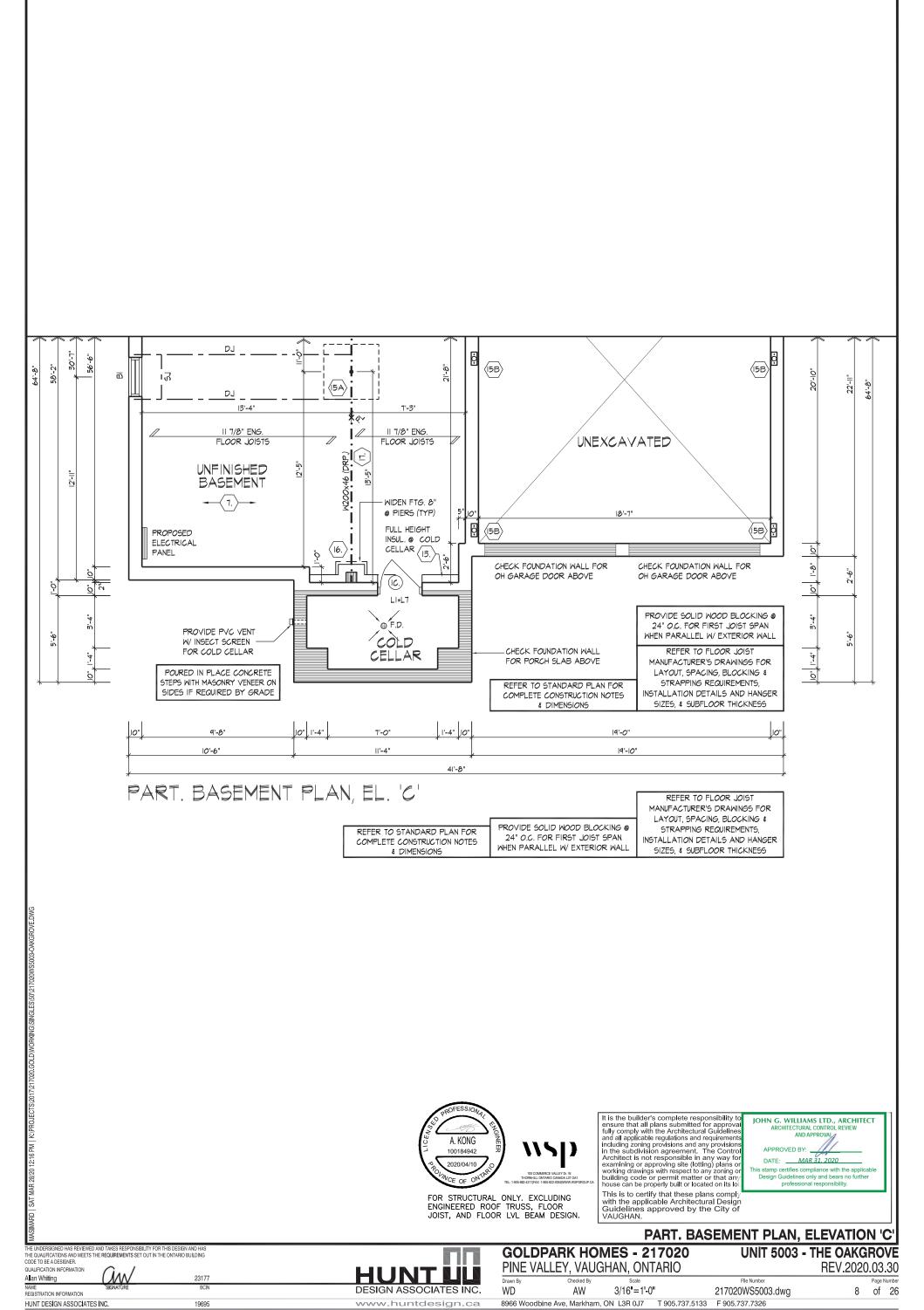
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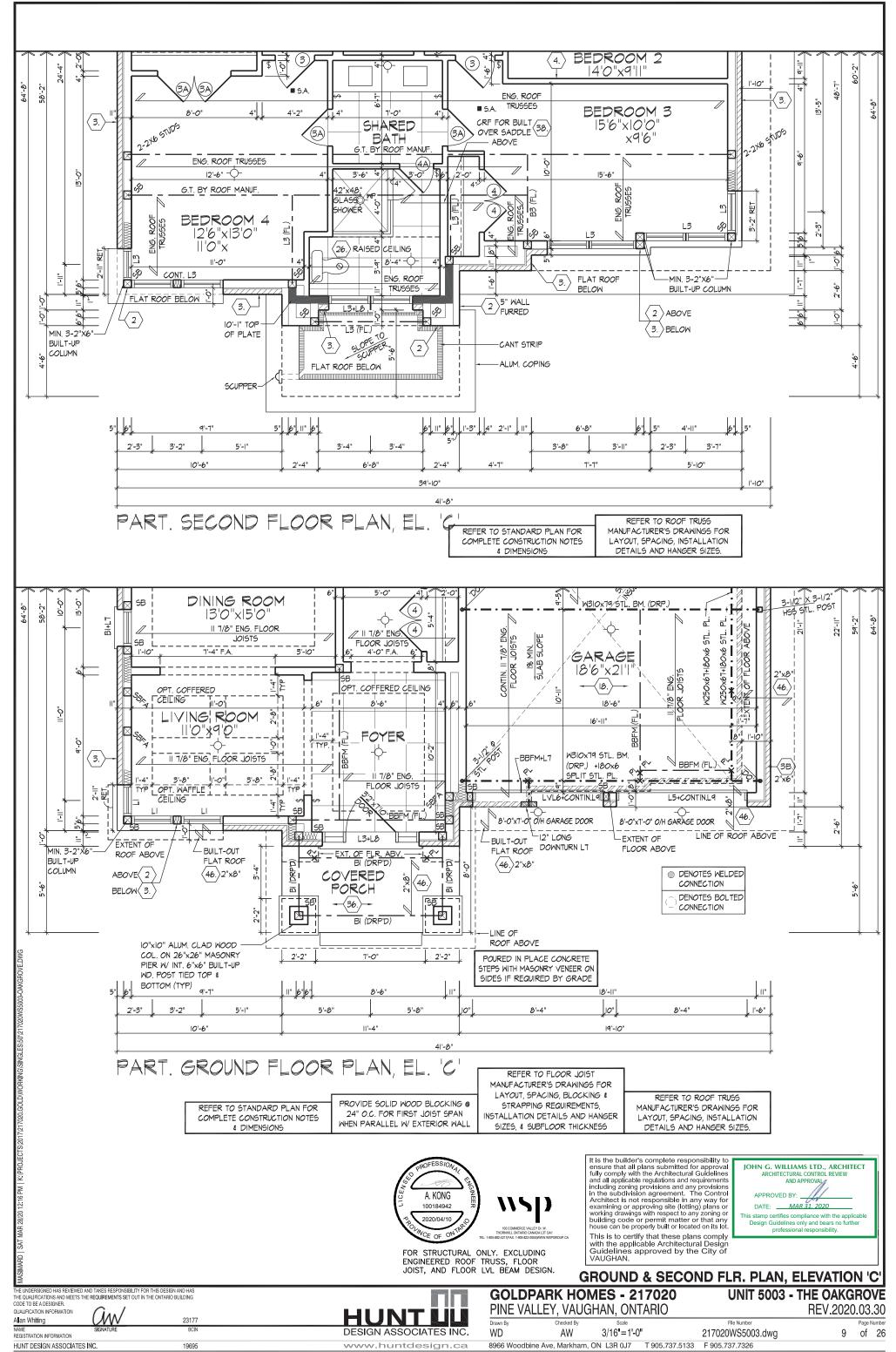
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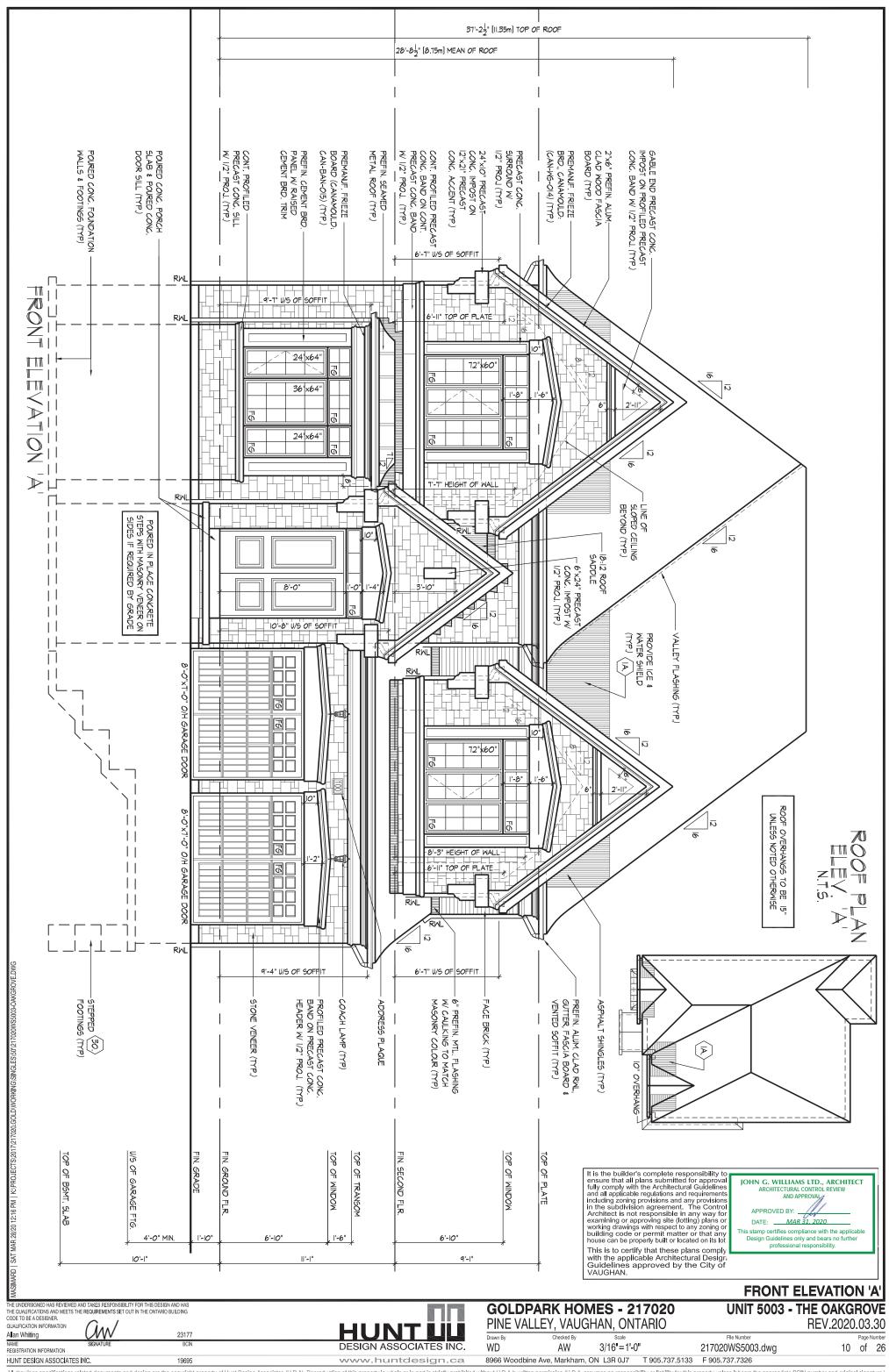
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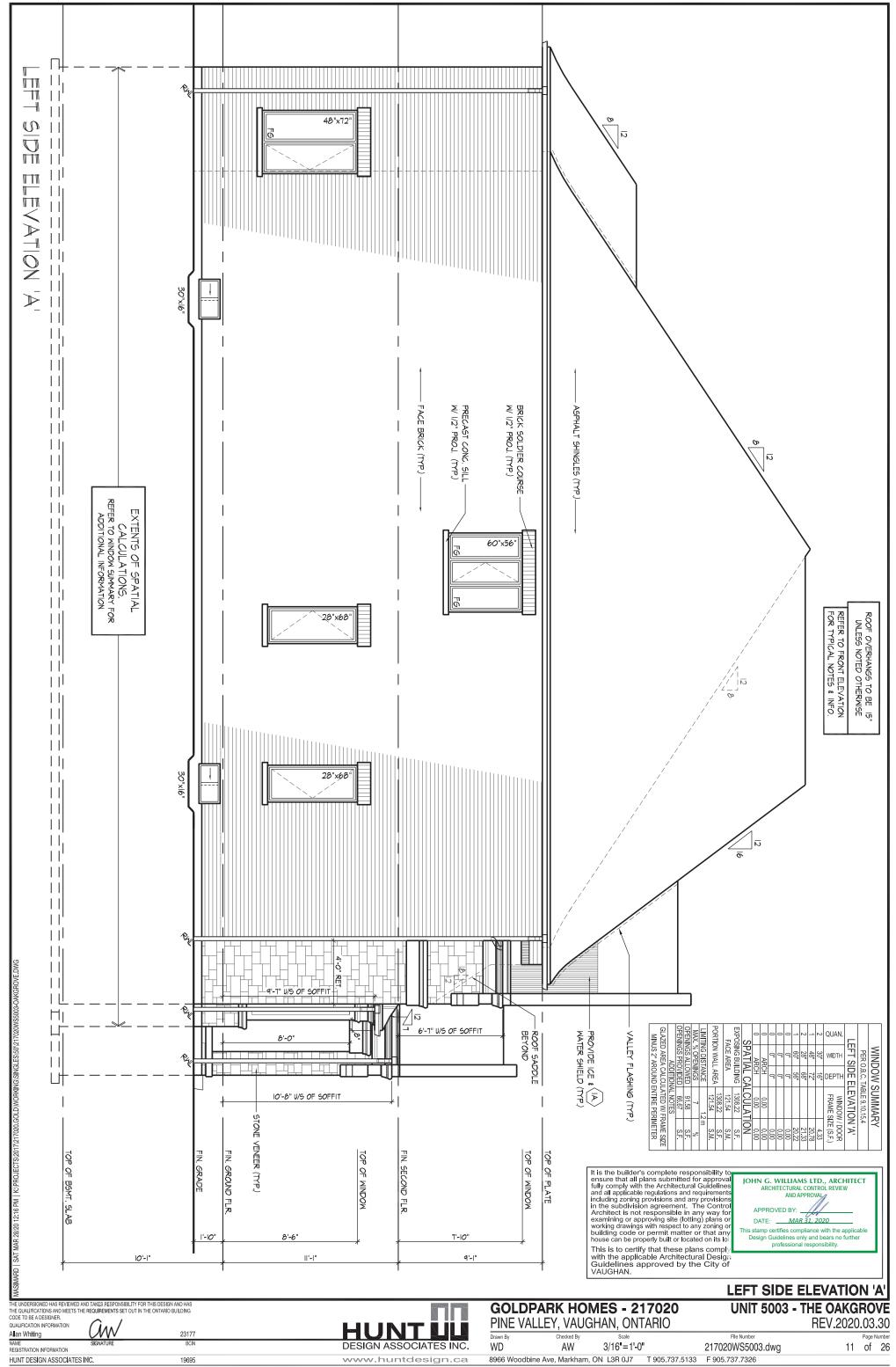


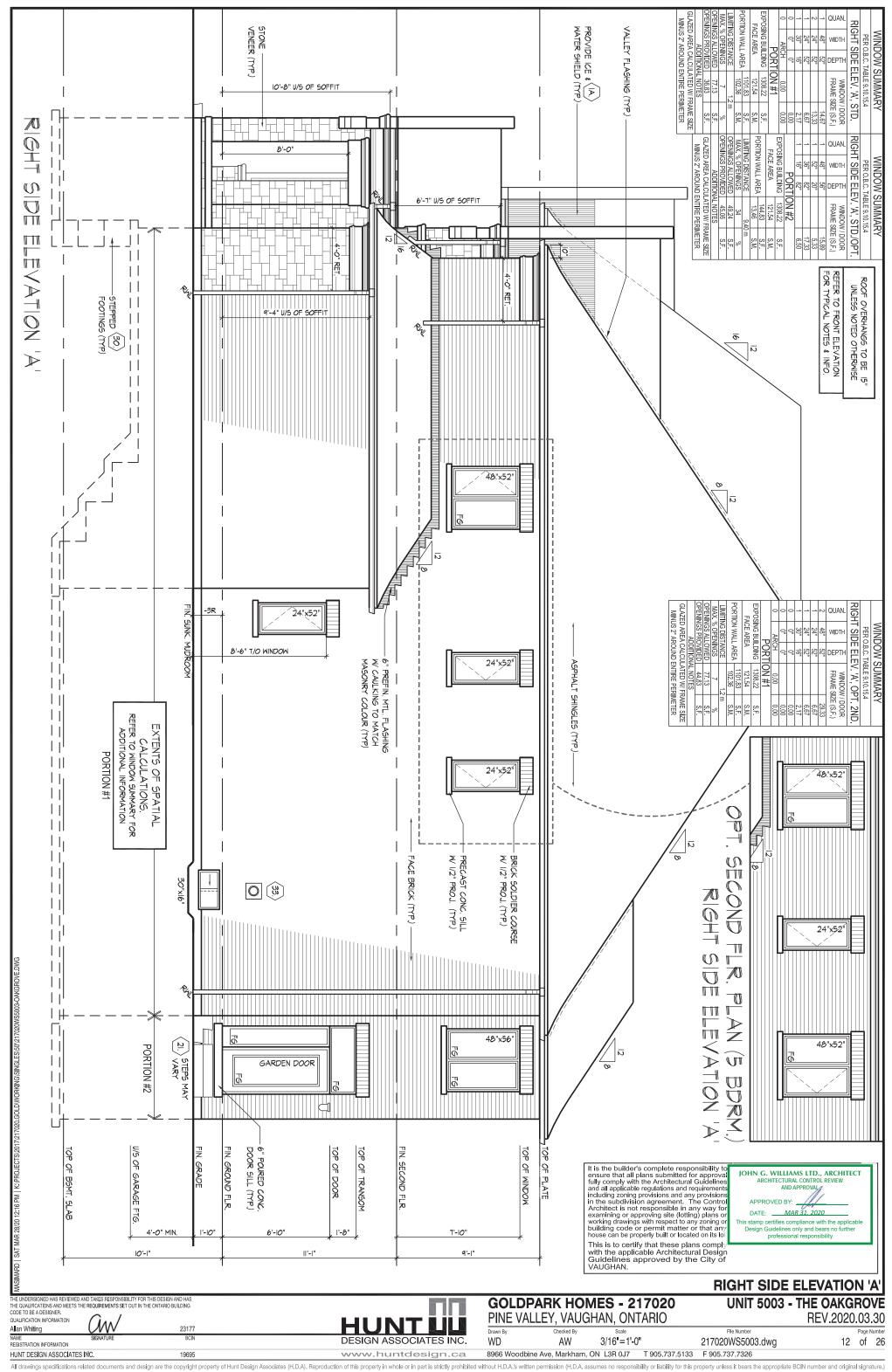


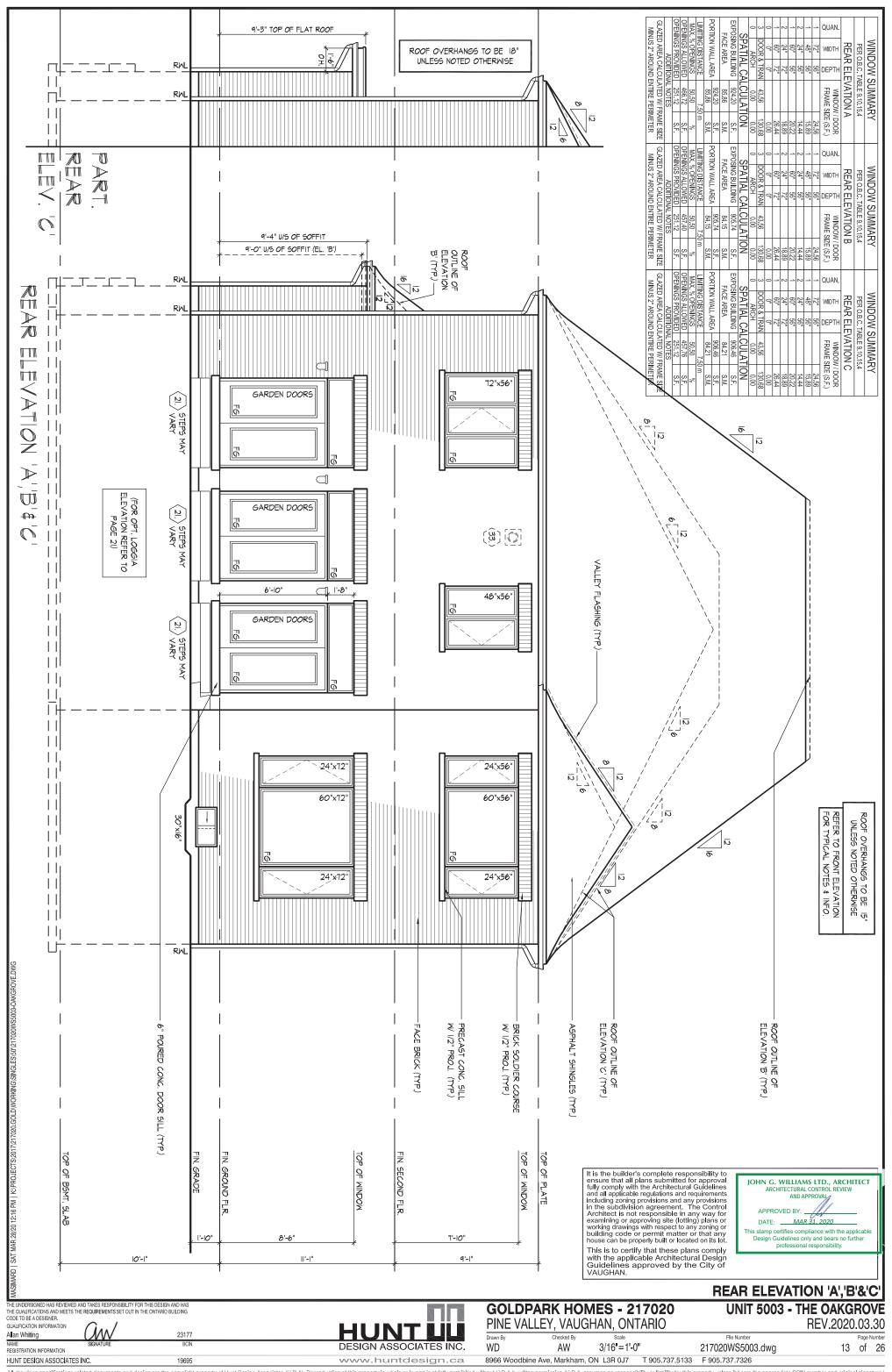


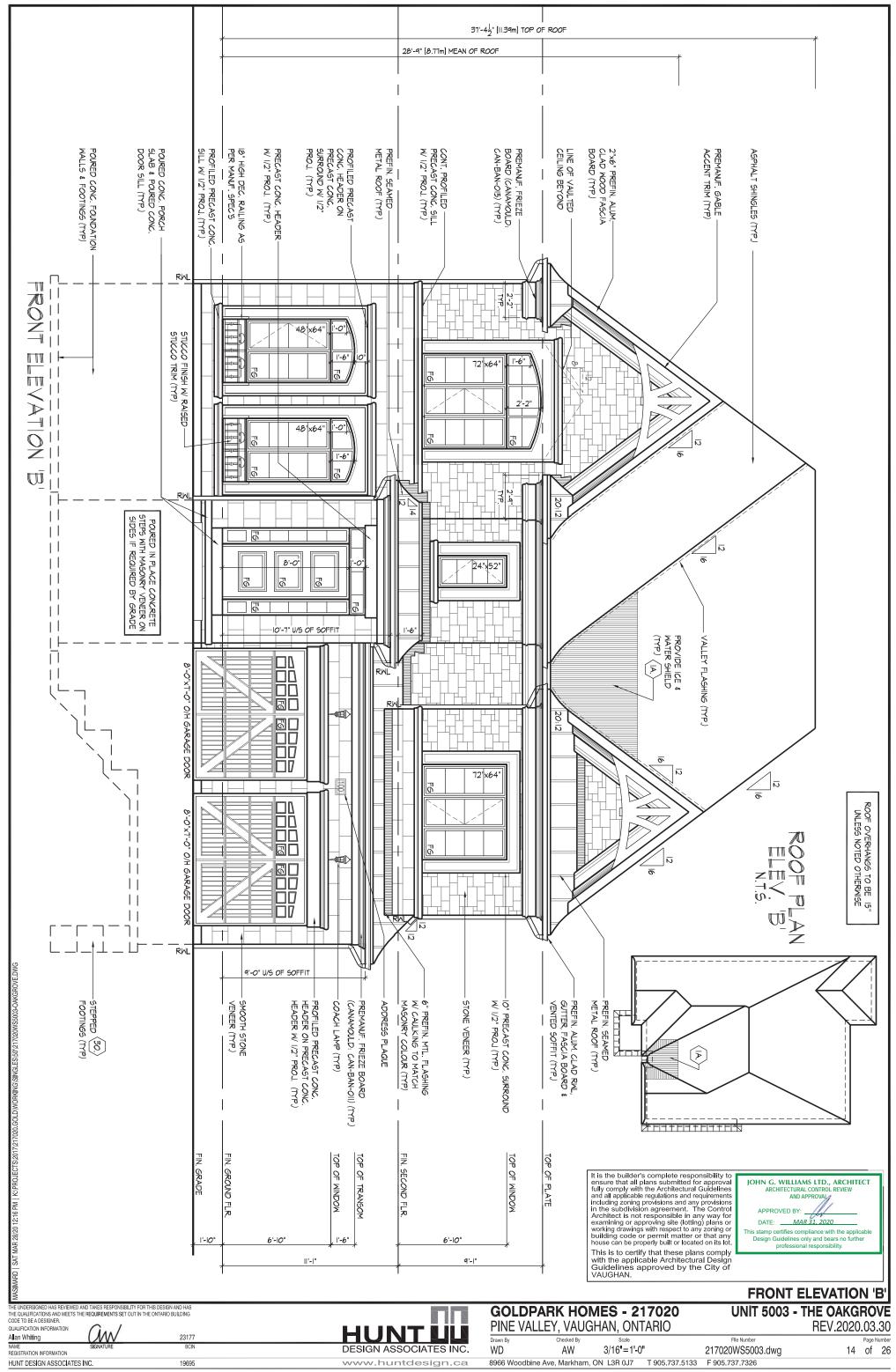


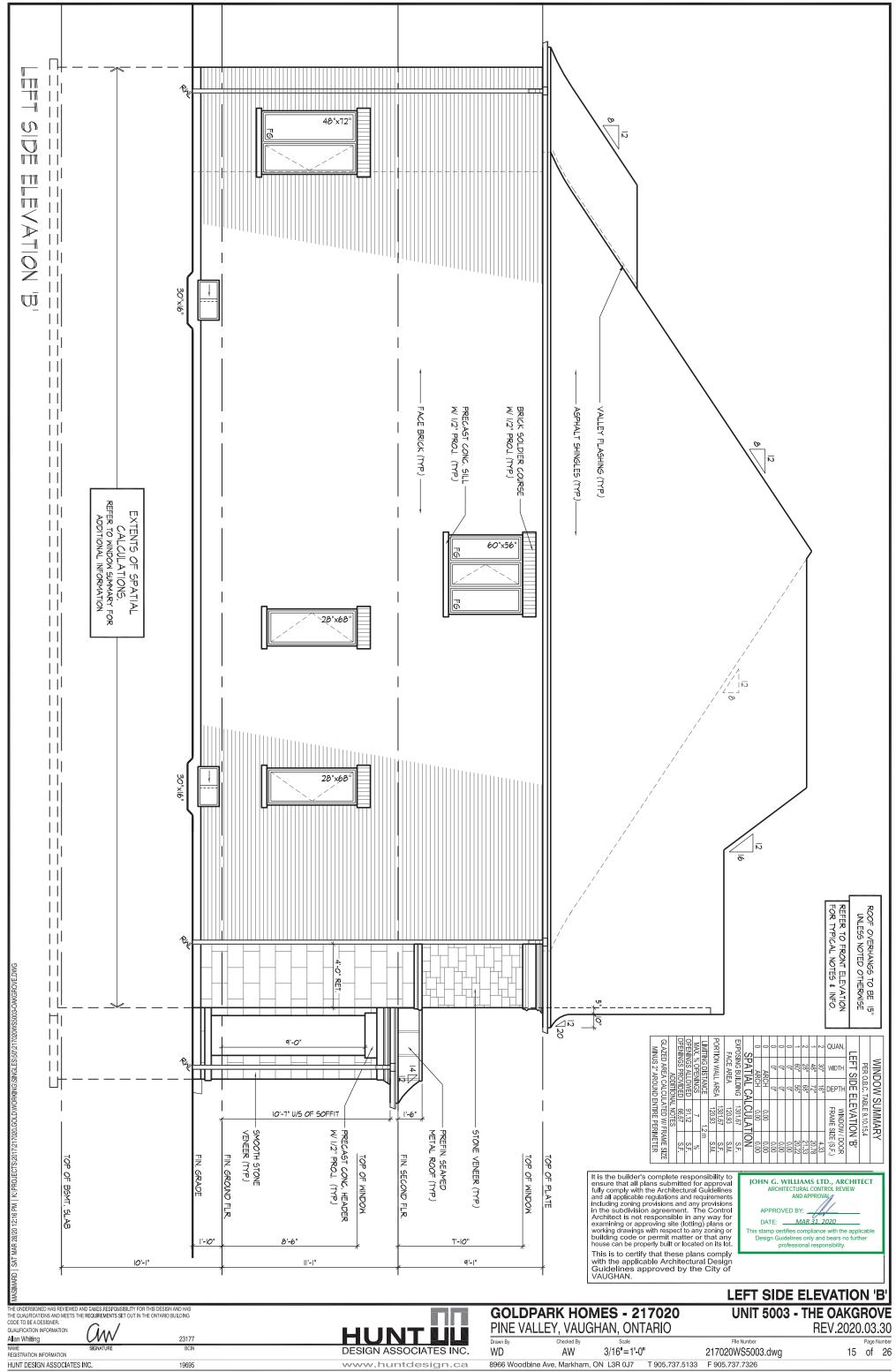


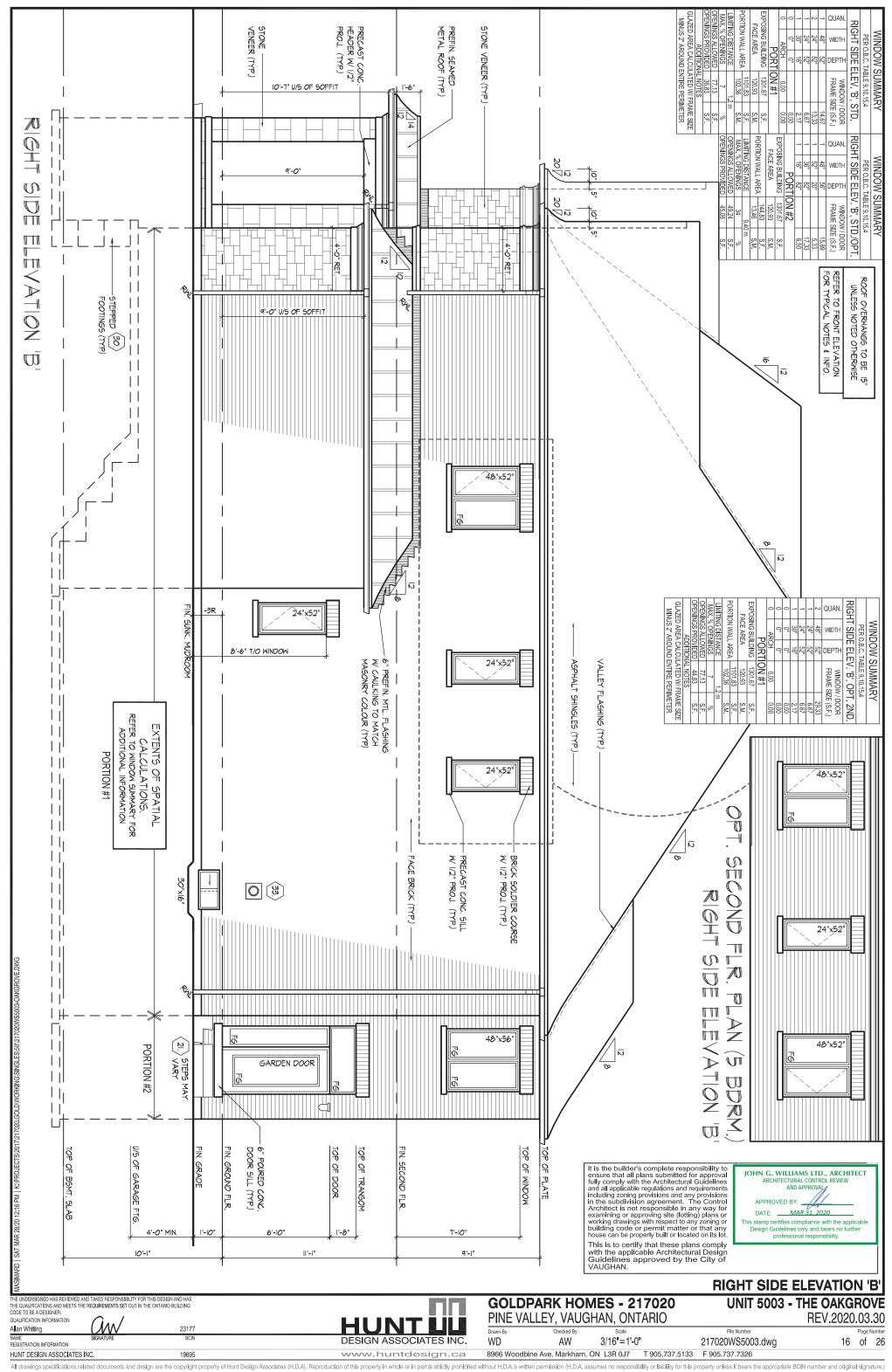




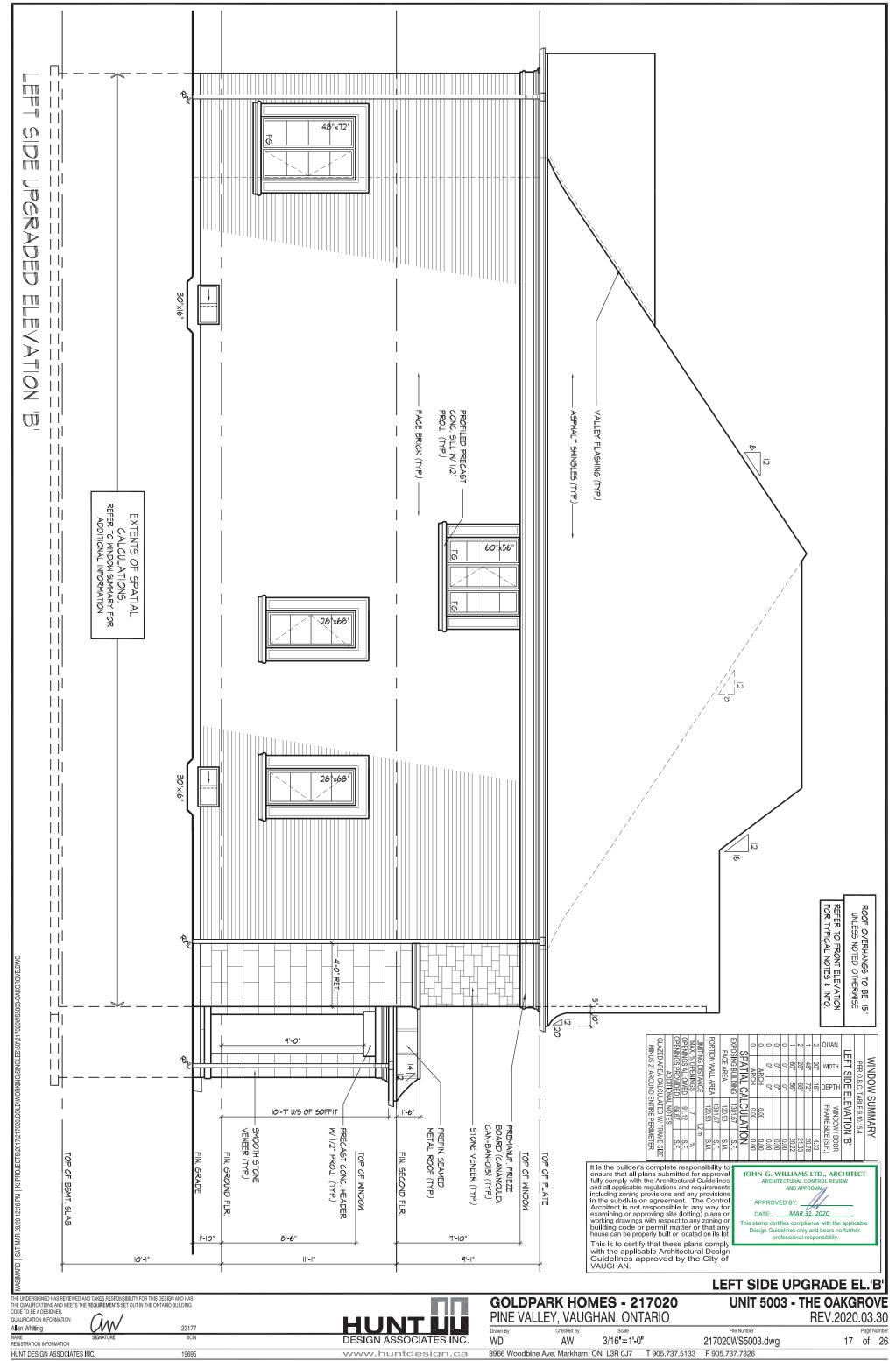


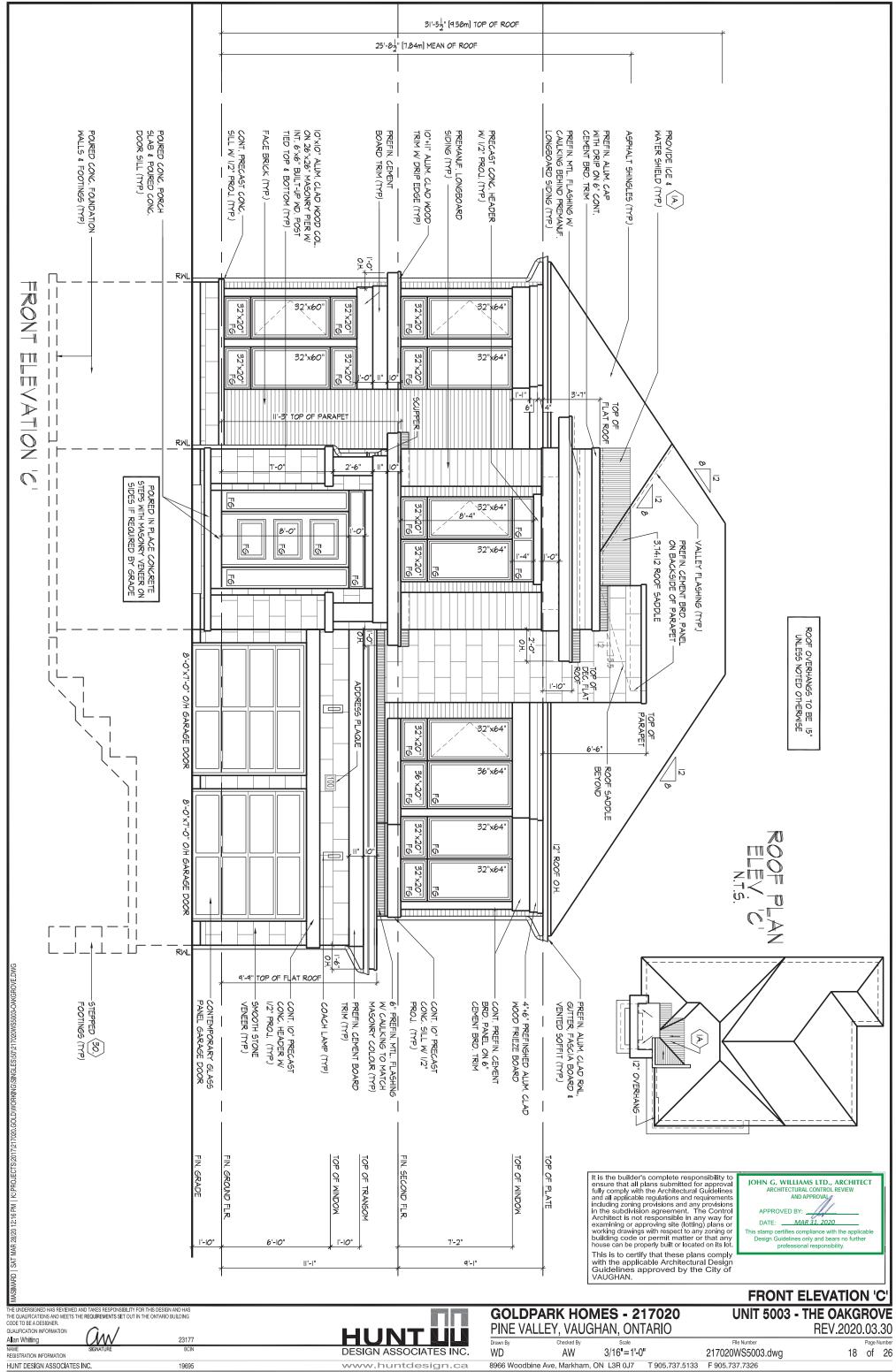


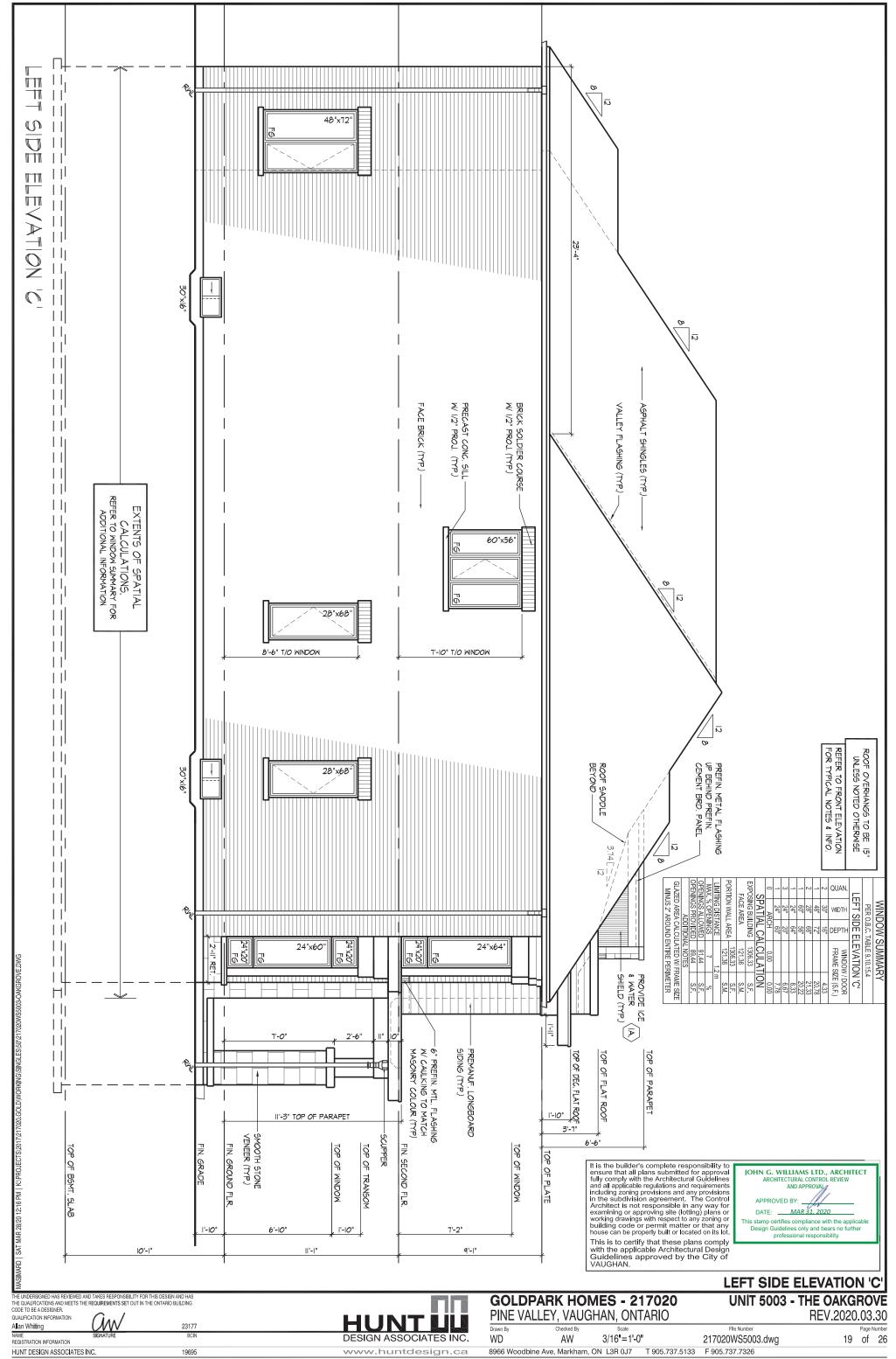


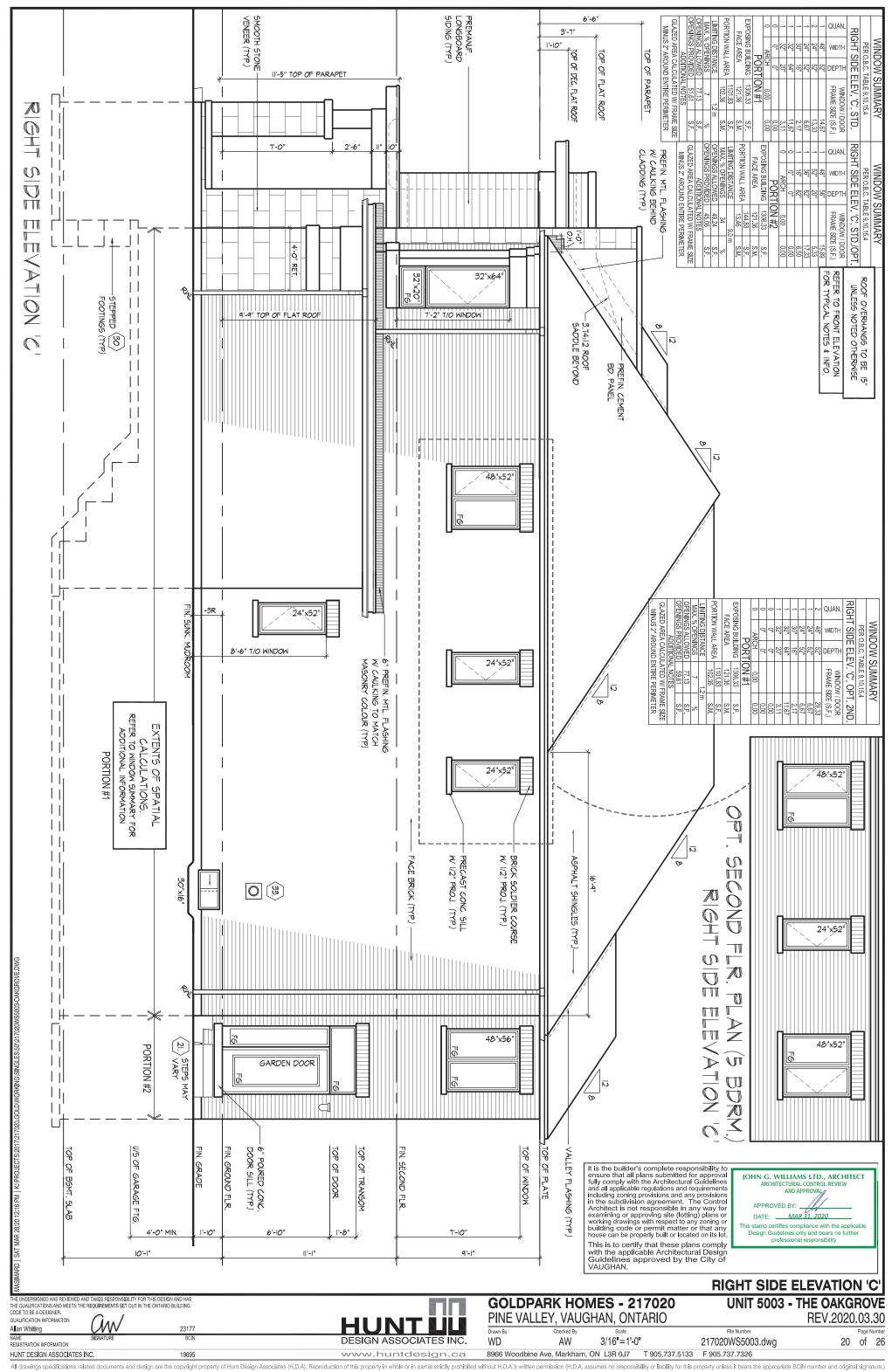


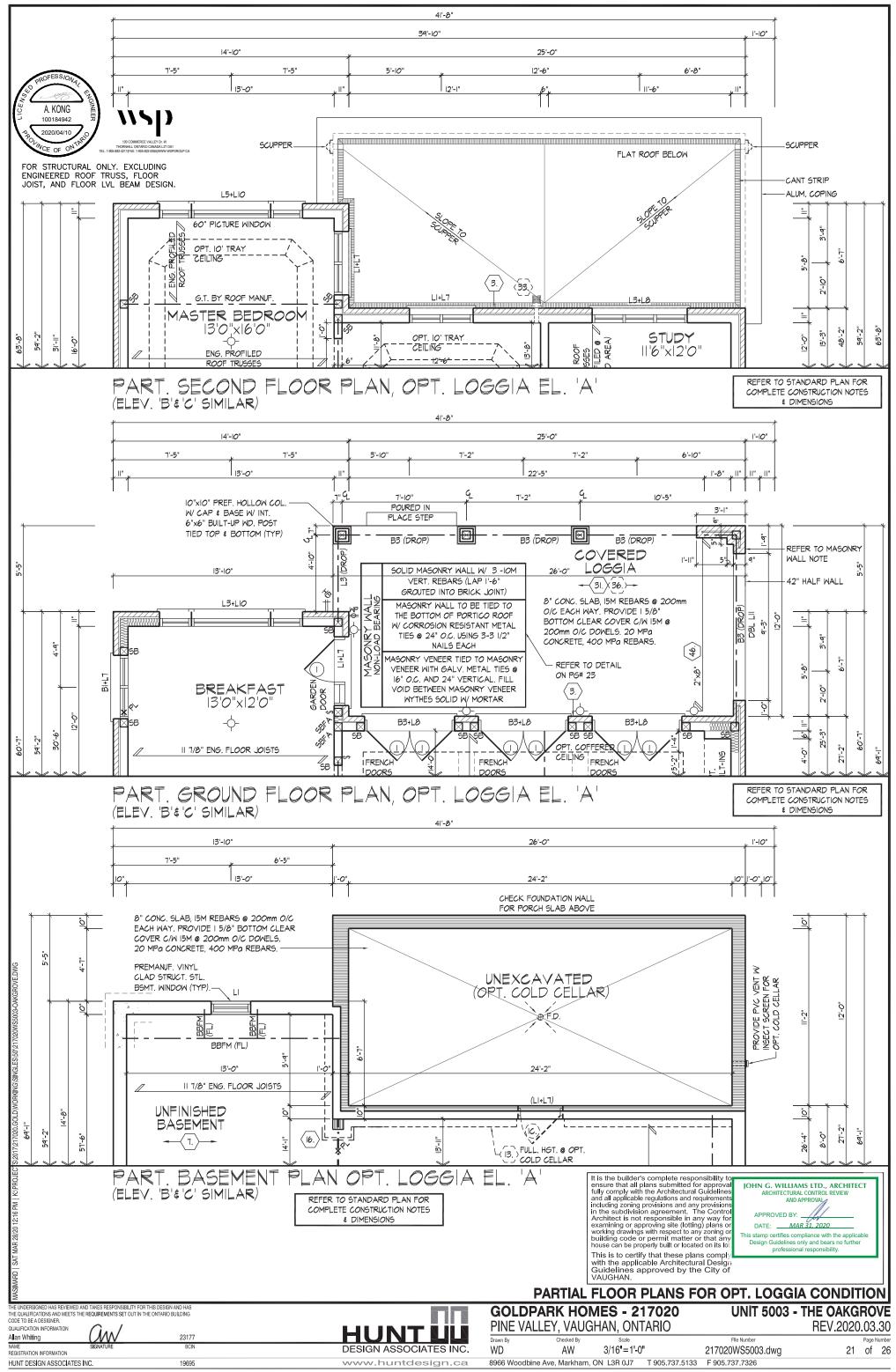


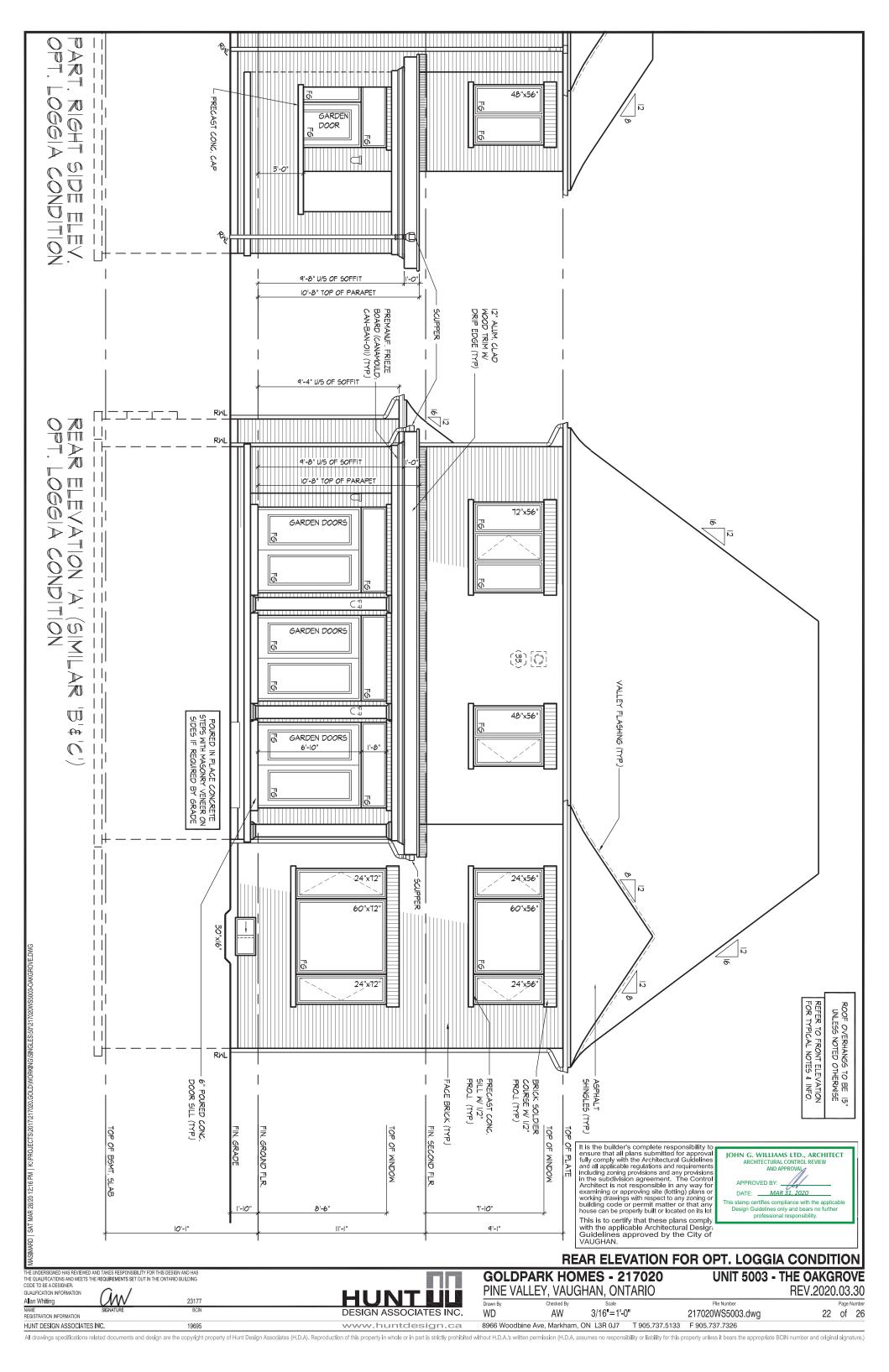


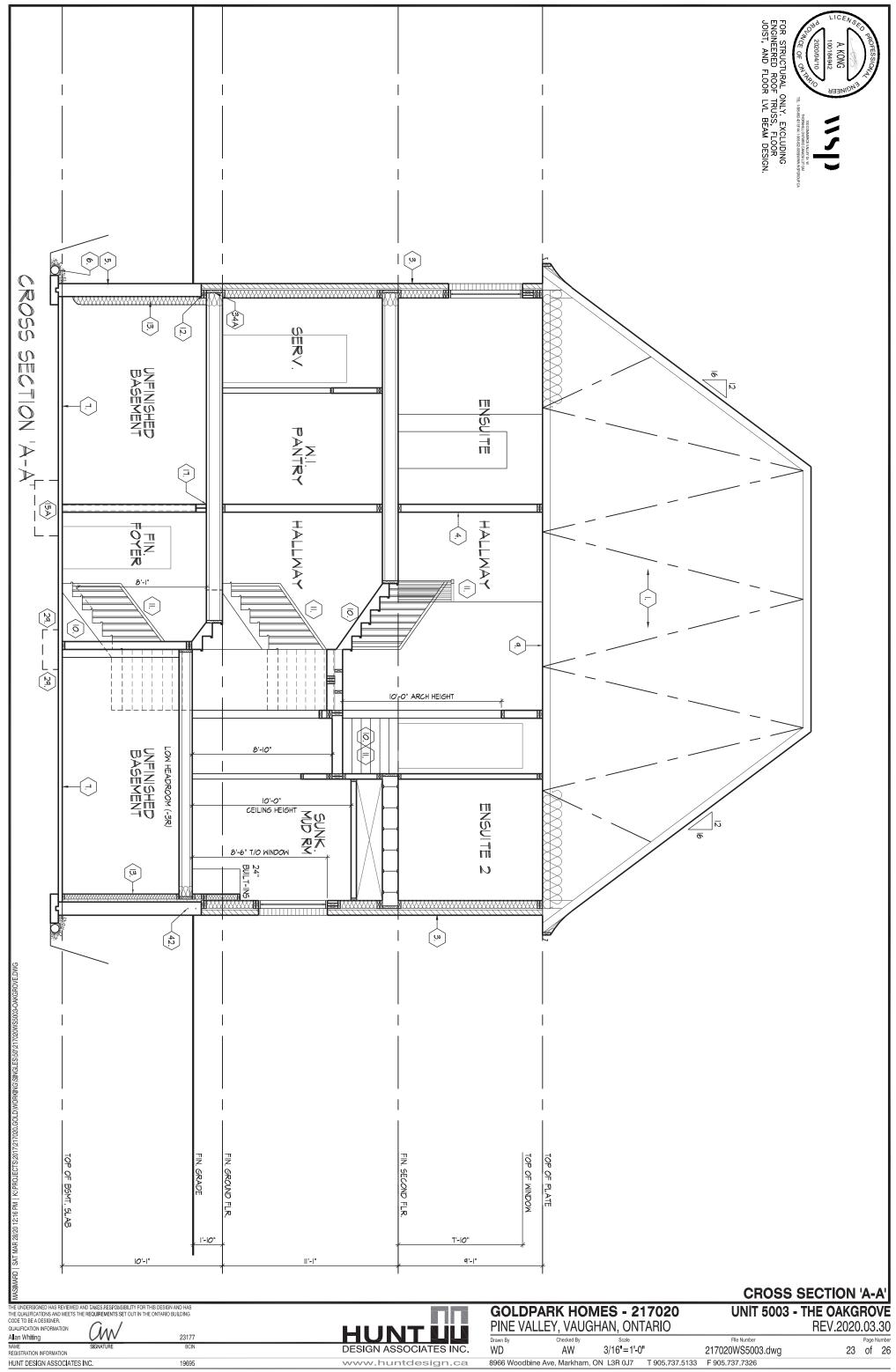


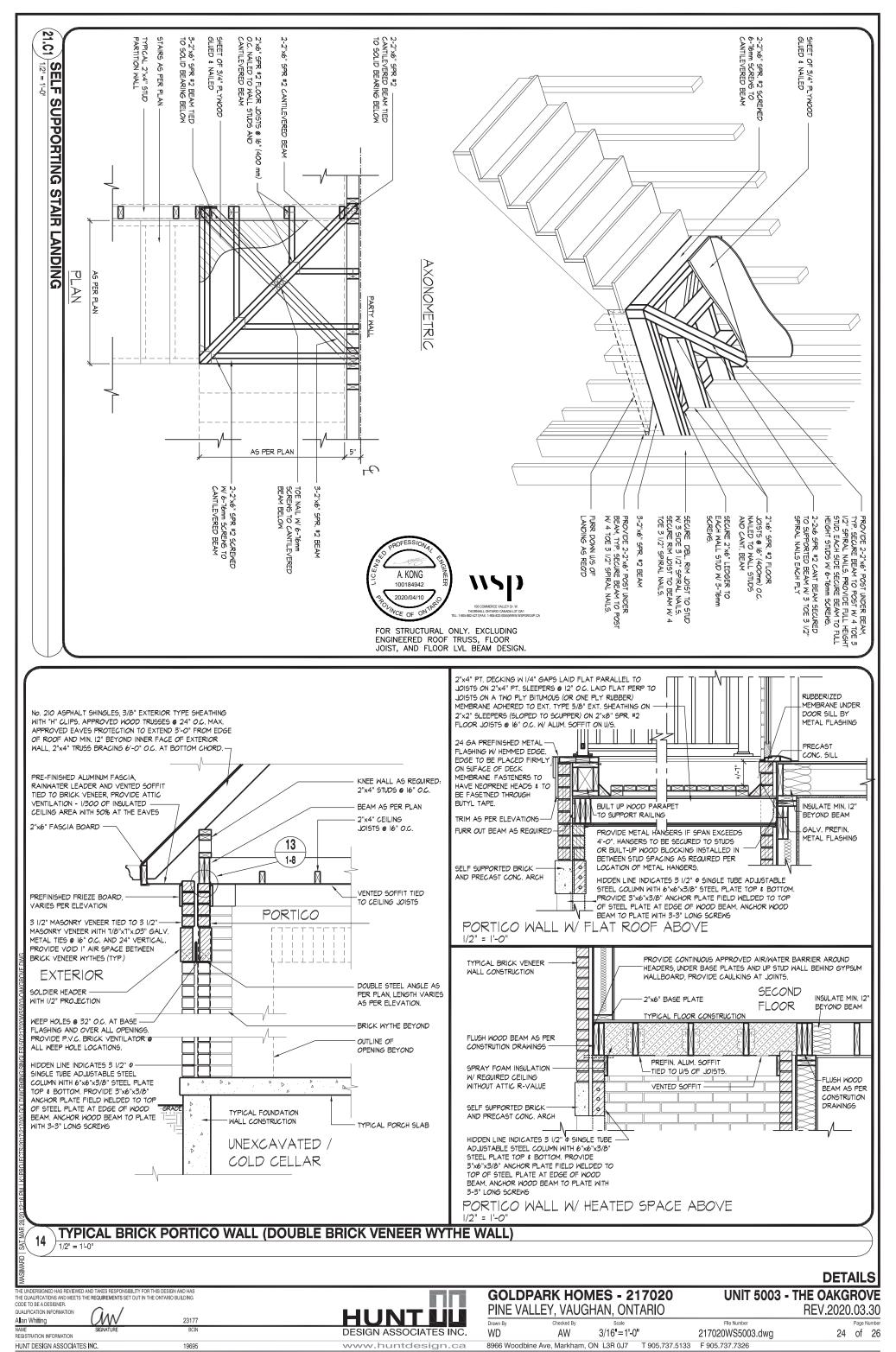












EAVESTROUGH AND DOWN RWL. ICE AND WATER SHIELD

PROVIDE ICE AND WATER SHIELD IN THE AREAS INDICATED. THE ICE AND WATER SHIELD SHALL BE A SELF ADHERING AND SELF SEALING MEMBRANE. SIDE LAPS MUST BE A MINIMUM 3 1/2" (90) AND END LAPS A MINIMUM 6" (152). AND TO EXTEND UP DORMER WALLS A MINIMUM 12" (305).

PROFILED ROOF TRUSSES \langle 1Bangle

ROOF TRUSSES SHALL BE PROFILED AND/OR STEPPED AT RAISED COFFER/TRAY CEILINGS. ANGLED TRAY CEILINGS WILL BE SHEATHED W/ 3/8" (9.5) PLYWOOD.

SIDING WALL CONSTRUCTION

SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS SIDING MAILEHIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO 0.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED FOR MILE POLYETHYLENE AIRWAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)

SIDING WALL CONSTRUCTION W/ CONTIN. INSULATION

SIDING MATERIAL AS PER ELEVATION ATTACHED TO FURRING MEMBERS ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)

SIDING WALL @ GARAGE CONSTRUCTION

SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO 0.B.C (9.23,10.1) & SECTION 1.1.,1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. (GYPSUM SHEATHING, RIGID INSULATION AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23,16.1) (PEEER TO.25 NOTE AS PEO.) (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)

BRICK VENEER WALL CONSTRUCTION

3 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL TIES (9 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C. (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) BEHIND BUILDING PAPER (9.20.13.6.) (REFER TO 35 NOTE AS REQUIRED)

BRICK VENEER WALL CONSTRUCTION W/ CONTIN. INSULATION

3 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) OVER RIGID INSULATION (9.20.13.6.) (REFER TO 35 NOTE AS REQUIRED)

BRICK VENEER WALL @ GARAGE CONSTRUCTION (3B)

3 1/2" (90) BRICK VENEER, MIN. 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH, PROVIDE WEEP HOLES @ 32" (800) O.C. AT BOTTOM COURSE AND OVER OPENINGS, PROVIDE BASE FLASHING UP 6" (150) MIN. BEHIND BUILDING PAPER (9.20.13.6.) (REFER TO 35 NOTE AS REQ.)

INTERIOR STUD PARTITIONS (9.23.9.8., 9.23.10)

BEARING PARTITIONS SHALL BE A MINIMUM 2"x4" (38x89) @ 16" (406) O.C. FOR 2 STOREY AND 12" (305) O.C. FOR 3 STOREY, NON-BEARING PARTITIONS 2"x4" (38x89) @ 24" (610) O.C. PROVIDE 2"x4" (38x89) BOTTOM PLATE AND 2-2"x4" (2-38x89) TOP PLATE. 1/2" (12.7) INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 2"x6" (38x140) STUDS WHERE NOTED. PROVIDE 2"x4" (38x89) @ 24" (610) O.C. LADDER FRAMING WHERE WALLS INTERSECT PERPENDICULAR TO ONE ANOTHER. PROVIDE 2"x4" (38x89) WOOD BLOCKING ON FLAT @ 3'-11" (1194) O.C. MAX. BETWEEN FLOOR JOISTS WHEN NON-LOADBEARING WALLS ARE PARALLEL TO FLOOR JOISTS.

EXT. LOFT WALL CONSTRUCTION - NO CLADDING

3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.)

EXT. LOFT WALL CONSTRUCTION - NO CLADDING W/ CONTINUOUS INSULATION

APPROVED AIR.WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO 0.B.C (9.23 10.1) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.)

FOUNDATION WALL/FOOTINGS

POUNDATION WALL/POTINGS
POURED CONC. FOUNDATION WALL AS PER CHART BELOW ON CONTINUOUS
KEYED CONCRETE FOOTING. FOUNDATION WALLS SHALL EXTEND NOT LESS
THAN 6" (150) ABOVE FINISHED GRADE. THE OUTSIDE OF THE FOUNDATION
SHALL BE DAMPROOFED FROM THE TOP OF THE FOOTING TO FINISHED GRADE
AND BRUSH COAT FROM THE TOP TO 2" BELOW GRADE. PROVIDE A DRAINAGE
LAYER ON THE OUTSIDE OF THE FOUNDATION WALL. SEAL THE DRAINAGE LAYER
AT THE TOP. THE TOP OF THE CONC. FOOTING SHALL BE DAMPROOFED. CONCRETE FOOTINGS SUPPORTING JOIST SPANS GREATER THAN 16'-1" (4900) SHALL BE SIZED IN ACCORDANCE WITH 9.15.3.4 (1),(2) OF THE O.B.C. (REFER TO CHART BELOW FOR RESPECTIVE SIZE), BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 125kPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125kPa S.L.S.. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED. ACTUAL SOIL BEARING CAPACITY TO BE VEDICIED WITH SOIL BEIGNIEEPING PEOPLY.

VERIFIED WITH SOIL ENGINEERING REPORT.
REFER TO CONSTRUCTION DRAWINGS AND DETAILS FOR FOUNDATION WALL STRENGTH AND THICKNESS AND 9.15.4.

FOUNDATION WALLS SHALL NOT EXCEED 9'-10" (3.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. [9.15.4.2.(1.)]

	UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2.)						
를 를	ESS	MAX. HEIGHT FROM FIN. SLAB TO GRADE					
STRENGTH	THICKNESS	UNSUPPORTED	SI	JPPORTED AT TO)P		
STF	主	AT TOP	≤2.5m	>2.5m & ≤2.75m	>2.75m & ≤3.0m		
МРа	* 8"	3'-11" (1.20m)	7'-0" (2.15m)	7'-0" (2.15m)	6'-10" (2.10m)		
	10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	8'-2" (2.50m)		
15	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)		
МРа	* 8"	3'-11" (1.20m)	7'-6" (2.30m)	7'-6" (2.30m)	7'-2" (2.20m)		
	10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)		
20	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)		

* 9" MIN. THICK FOUNDATION WALL IS REQUIRED FOR MASONRY VENEER FINISHED EXTERIOR WALLS WITH CONTINUOUS INSULATION CONDITION, TO PROVIDE MIN. BEARING FOR SILL PLATES, BEAMS AND FLOOR JOIST AS PER 9.23.7.2., 9.23.8.1., & 9.23.9.1. OF THE O.B.C.

MINIMUM STRIP FOOTING SIZES (9.15.3.) UNLESS NOTED OTHERWISE ON PLANS						
NUMBER FLOORS SUPPORTING INT. LOAD BEARING SUPPORTING SUPPORTING SUPPORTING SUPPORTING EXTERIOR PARTYWALL						
1	16" WIDE x 6" THICK	16" WIDE x 6" THICK	16" WIDE x 6" THICK			
2	24" WIDE x 8" THICK	20" WIDE x 6" THICK	24" WIDE x 8" THICK			
3	36" WIDE x 14" THICK	26" WIDE x 9" THICK	36' WIDE x 14" THICK			

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

FOUNDATION REDUCTION IN THICKNESS FOR MASONRY WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF MASONRY EXTERIOR FACING, THE REDUCED SECTION SHALL BE NOT LESS THAN 3 1/2" (90) THICK. THE BRICK VENEER SHALL BE TIED TO THE FOUNDATION WALL WITH CORROSION RESISTANT METAL TIES @ 77/8" (200) VERTICAL AND 2-11" (889) HORIZONTAL, FILL VOID WITH MORTAR BETWEEN WALL AND BRICK VENEER (9.15.4.7(2)(3) & 9.20.9.4(3))

FOUNDATION REDUCTION IN THICKNESS FOR JOISTS

WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF FLOOR JOISTS, THE REDUCED SECTION SHALL BE NOT MORE THAN 13 3/4" (350) HIGH & NOT LESS THAN 3 1/2" (90) THICK (9.15.4.7(1))

WEEPING TILE (9.14.3.) 4" (100) Ø WEEPING TILE W/ FILTER CLOTH WRAP & 6" (152) CRUSHED STONE COVER

BASEMENT SLAB OR SLAB ON GRADE (9.16.4.3.)

3" (80) MIN. 25MPa (3600psi) CONC. SLAB ON 4" (100) COARSE GRANULAR FILL OR 20MPa (2900psi) CONC. WITH DAMPPROOFING BELOW SLAB. PROVIDE 1/2" (12.7) IMPERVIOUS BOARD FOR BOND BREAK AT EDGE. (9.13.) WHERE A BASEMENT SLAB IS WITHIN 24" (610) OF THE EXTERIOR GRADE PROVIDE RIGID INSUL. AROUND THE PERIMETER EXTENDING MIN. 24" (610) BELOW GRADE. FOR SLAB ON GRADE CONDITIONS RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB. ([SB-12] 3.1.1.7.(5) & (6))

EXPOSED FLOOR TO EXTERIOR (9.10.17.10, & CAN/ULC-S705.2) PROVIDE SPRAY FOAM INSULATION BETWEEN CANT. JOIST AND INSTALL FIN. SOFFIT OR CLADDING AS PER ELEVATION TO U/S OF EXPOSED CANT. JOIST.

EXPOSED CEILING TO EXTERIOR w/ ATTIC (9.25.2.4) INSULATION, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INTERIOR FINISH OR APPROVED FQ.

EXPOSED CEILING TO EXTERIOR w/o ATTIC

JOISTS/TRUSSES AS PER PLANS W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO JOISTS (PURLINS NOT REQ. W/ SPRAY FOAM OR ROOF TRUSSES), W/ INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INT. FINISH OR APPROVED EQ. (CAN/ULC-S705.2, 9.19.1, 9.10.17.1)

ALL STAIRS/EXTERIOR STAIRS (9.8.1.2., 9.8.2., 9.8.4.)

/		MAX. RISE	MIN. F	RISE	MAX. RUN	MIN. RUN	MAX. TREAD	M	N. TREAD
	PRIVATE	7 7/8" (200)	5" (12	25)	14" (355)	8 1/4" (210)	14" (355)	9	1/4" (235)
	PUBLIC	7" (180)	5" (12	25)	NO LIMIT	11" (280)	NO LIMIT	-	11" (280)
		MIN. STAIR	WIDTH		CURVED ST	AIRS	ALL S	TAIF	RS
	PRIVATE	2'-10" (8	60)	N	/IN. RUN	5 7/8" (150)	MAX. NOSIN	G	1" (25)
	PUBLIC	2'-11" (9	00)	MIN	I. AVG. RUN	7 7/8" (200)			

HEIGHT OVER STAIRS (HEADROOM) IS MEASURED VERTICALLY ACROS WIDTH OF STAIRS FROM A STRAIGHT LINE TO THE TREAD & LANDING NOSING TO LOWEST POINT ABOVE AND NOT LESS THAN 6-5" (1950) FOR SINGLE DWELLING UNIT & 6-8 3/4" (2050) FOR EVERYTHING ELSE. (9.8.2.2.) REQUIRED LANDING IN GARAGE - O.B.C. 9.8.6.2.(3.)

FOR AN EXTERIOR STAIR SERVING A GARAGE W/MORE THAN 3 RISERS. GUARDS, HANDRAILS & STEPS AS PER CONSTRUCTION HEX NOTE 10 & 11.

GUARDS/RAILINGS (9.8.7., 9.8.8.)

GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX. OPENING CONFORMING TO O.B.C. 9.8.8.5. & 9.8.8.6. AND BE ABLE TO RESIST LOADS AS PER TABLE 9.8.8.2.

GUARD HEIGHTS - O.B.C. 9.8.8. INTERIOR GUARDS: 2'-11" (900) MIN. EXTERIOR GUARDS: 2'-11" (900) MIN. (LESS THAN 5'-11" (1800) TO GRADE)

EXTERIOR GUARDS: 2:-11" (900) MIN. (LESS THAN 5:-11" (1800) TO GRADE)
3'-6" (1070) MIN. (MORE THAN 5:-11" (1800) TO GRADE)
GUARDS FOR EXIT STAIRS: 3'-0" (920) MIN.
GUARDS FOR LANDINGS @ EXIT STAIRS: 3'-6" (1070) MIN.
GUARDS FOR FLOORS & RAMPS IN GARAGES (SERVICE STAIRS)
FLOOR OR RAMP W/O EXTERIOR WALLS THAT IS 23 5/8" (600) OR MORE ABOVE

ADJACENT SURFACE REQUIRES CONT. CURB MIN. 6" (150) HIGH, AND GUARD MIN. 3'-6" (1070) HIGH. RECUIRED GUARDS BETWEEN WALKING SURFACE & ADJACENT SURFACE WITH A DIFFERENCE IN

ELEVATION MORE THAN 23 5/8" (600) OR ADJACENT SURFACE WITHIN 3-11" (1200) & WALKING SURFACE W/ A SLOPE MORE THAN 1 IN 12 SHALL BE PROTECTED WITH GUARDS PER CONSTRUCTION HEX NOTE 11. WITH GUARDS PER CONSTRUCTION HEX NOTE TT.
HANDRAIL HEIGHTS - O.B.C. 9.8.7. - REQUIRED AS PER 9.8.7.1.(3)
MIN. HEIGHT AT STAIRS OR RAMP: 2'-10" (865)
MAX. HEIGHT AT STAIRS OR RAMP: 3'-2" (965)
MAX. HEIGHT AT LANDING: 3'-6" (1070)

STAIRS OR RAMP MIN. 7'-3" (2200) WIDE: 2'-9" (865) MIN. HEIGHT

SILL PLATES

2"x4" (38x89) SILL PLATE WITH 1/2" (12.7)Ø ANCHOR BOLTS 8" (200) LONG. EMBEDDED MIN. 4" (100) INTO CONC. @ 4-0" (1220) O.C., CAULKING OR GASKET BETWEEN PLATE AND TOP OF FOUNDATION WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED (9.23.7.)

BASEMENT INSULATION ([SB-12] 3.1.1.7.)

PROVIDE CONTINUOUS BLANKET INSULATION W/ BUILT IN 6 mil POLYETHYLENE VAPOUR BARRIER. INSULATION TO EXTEND NO MORE THAN 8" (200) ABOVE FINISHED BASEMENT FLOOR. DAMPROOFED WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL.

BEARING STUD PARTITION IN BASEMENT (9.15.3.6., 9.23.10.1.)

2"x4" (38x89) STUDS @ 16" (406) O.C., 2"x4" (38x89) SILL PLATE (2"x6" (38x140) AS REQUIRED) ON DAMPPROOFING MATERIAL OR 2 mil POLYETHYLENE FILM, 1/2" (12.7) Ø ANCHOR BOLTS 8" (200) LONG, EMBEDDED 4" (100) MIN. INTO CONC. @ 7-10" (2390) O.C. 4" (100) HIGH CONC. CURB ON CONC. FOOTING, FOR SIZE REFER TO HEX NOTE 5. ADD HÔRIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

ADJUSTABLE STEEL BASEMENT COLUMN (9.15.3.4.)

9-10" (3000) MAX. SPAN BETWEEN COLUMNS. 3 1/2" (90)Ø SINGLE TUBE
ADJUSTABLE STEEL COLUMN CONFORMING TO CAN/CGSB-7.2M, AND WITH
6"x6"x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM. FIELD WELD BASEMENT
COLUMN CONNECTION, POURED CONCRETE FOOTING ON NATURAL
UNDISTURBED SOIL OF 125kPa S.L.S. OR COMPACTED ENGINEERED FILL WITH
MIN. BEARING CAPACITY OF 125kPa S.L.S. AS PER SOILS REPORT.

SUPPORTING 2 STOREY FLR. LOAD PROVIDE 34"x34"x16" (870x870x410) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 40"x40"x19" (1060x1060x480) CONC. FOOTING

NON-ADJUSTABLE STEEL BASEMENT COLUMN

3 1/2" (90)Ø x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) 3 1/2 (90)/0 x 0.186 (4.76) NON-ADJUSTABLE 3 TEELE COLOMIN WITH 6 X6 X3/3 (132X152X9.5) STEEL PLATE TOP & BOTTOM, BOTTOM PLATE C/W 2 1/2"/0 x 12" LONG x2" HOOK ANCHORS. FIELD WELD BASEMENT COLUMN CONNECTION. POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 125kPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125kPa S.L.S. AS PER SOILS REPORT. SUPPORTING 2 STOREY FLR. LOAD PROVIDE 42"x42"x18" (1070x1070x460) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48"x48"x24" (1220x1220x610) CONC. FOOTING

NON-ADJUSTABLE STL. COLUMN AT FOUNDATION WALL

3 1/2" (90)Ø x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) STEEL TOP PLATE & 6"x4"x3/8" (152x100x9.5) BOTTOM PLATE. BASE PLATE 4-1/2"x10"x1/2" (120x250x12.7) WITH 2-1/2"Ø x 12" LONG x 2" HOOK ANCHORS (2-12.7Øx305x50). FIELD WELD COLUMN TO BASE PLATE & STEEL BM.

STEEL BEAM BEARING AT FOUNDATION WALL (9.23.8.1.) BEAM POCKET OR 8"x8" (200x200) POURED CONC. NIB WALLS, MIN. BEARING 3 1/2" (90).

- **WOOD STRAPPING AT STEEL BEAMS** (9.23.4.3.(3.), 9.23.9.3.) 1"x3" (19x64) CONTIN. WOOD STRAPPING BOTH SIDES OF STEEL BEAM
- **GARAGE SLAB** (9.16., 9.35.)
 - 4" (100) 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 4" (100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT @ 1% MIN.
- GARAGE TO HOUSE WALLS/CEILING (9.10.9.16.) 1/2" (12.7) GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE, PLUS REQUIRED INSULATION IN WALLS AND SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.17.10, CAN/ULC-S705.2)
- GARAGE TO HOUSE WALLS/CEILING W/ CONTIN. INSULATION 1/2" (12.7) GYPSUM BOARD ON CEILING AND ON WALLS INSTALLED OVER EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS ON 3/8" EXTERIOR GRADE SHEATHING ON STUDS BETWEEN HOUSE AND GARAGE, PLUS REQUIRED INSULATION IN WALLS & SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.9.16., 9.10.17.10, CAN/ULC-S705.2)
- **GARAGE DOOR TO HOUSE** (9.10.9.16., 9.10.13.10., 9.10.13.15.) GAS-PROOF DOOR AND FRAME. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIPPING.

EXTERIOR AND GARAGE STEPS

PRECAST CONC. STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX RISE 7 7/8" (200), MIN. TREAD 9 1/4" (235). FOR THE REQUIRED NUMBER OF STEPS REFER TO SITING AND GRADING DRAWINGS. EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS AND 2 TREADS SHALL BE PROVIDED WITH FOUNDATION AS REQUIRED BY ARTICLE 9.8.9.2. OR SHALL BE CANTILEVERED AS PER SUBSECTION 9.8.10.

DRYER EXHAUST

CAPPED DRYER EXHAUST VENTED TO EXT. CONFORMING TO PART 6, OBC 9.32.

ATTIC ACCESS (9.19.2.1.) \langle 23 angle

ATTIC ACCESS HATCH WITH MIN. AREA OF 0.32m2 AND NO DIM. LESS THAN 21 1/2" (545) WITH WEATHER STRIPPING. HATCHWAYS TO THE ATTIC OR ROOF SPACE WILL BE FITTED WITH DOORS OR COVERS AND WILL BE INSULATED WITH MIN. R20 (RSI 3.52) ([SB-12] 3.1.1.8.(1))

FIREPLACE CHIMNEYS (9.21.)

TOP OF FIREPLACE CHIMNEY SHALL BE 2'-11" (889) ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 2-0" (610) ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 10-0" (3048) FROM THE CHIMNEY

LINEN CLOSET

PROVIDE 4 SHELVES MIN. 14" (356) DEEP.

MECHANICAL VENTILATION (9.32.1.3.)

MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. SEE GENERAL NOTE 2.3.

PARTY WALL BEARING (9.23.8) (27)

12"x12"x5/8" (305x305x15.9) STEEL PLATE FOR STEEL BEAMS AND 12"x12"x1/2" (305x305x12.7) STEEL PLATE FOR WOOD BEAMS BEARING (MIN. 3-1/2" (89)) ON CONC. BLOCK PARTY WALL, ANCHORED WITH 2-3/4" (2-19) x 8" (200) LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL WY, NON-SHRINK GROUT. REFER TO NOTE SOLID BEARING (SECTION 3.0) FOR WD. STUD PARTY WALL.

WOOD FRAMING IN CONTACT TO CONCRETE

WOOD BEARING WALLS, THE UNDERSIDE OF BUILT-UP WOOD POSTS AND SILLS SHALL BE WRAPPED WITH 2 mil POLY. STRIP FOOTINGS SUPPORTING THE FOUNDATION WALL SHALL BE WIDENED 6" (152) BELOW THE BEARING WALL AND/OR WOOD POST. (9.17.4.3.) **BUILT-UP WOOD POST AND FOOTING** (9.17.4.1., 9.15.3.7.)

3-2"x6" (3-38x140) BUILT-UP WOOD POST (UNLESS OTHERWISE NOTED) ON METAL BASE SHOE ANCHORED TO CONC. WITH 1/2" (12.7) Ø BOLT, 24"x24"x12" (610x610x305) CONC. FOOTING OR AS PROVIDED ON PLAN. REFER TO NOTE 28

STEP FOOTINGS (9.15.3.9.) MIN. HORIZ. STEP = 23 5/8" (600). MAX. VERT. STEP = 23 5/8" (600).

CONC. PORCH SLAB (9.16.4.)

MIN. 4" (100) CONCRETE SLAB ON GRADE ON 4" (100) COARSE GRANULAR FILL, REINFORCED WITH 6x6xW2.9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32MPa (4640psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE.

FURNACE VENTING (9.32.)

DIRECT VENT FURNACE TERMINAL MIN. 3'-0" (915) FROM A GAS REGULATOR. MIN. 12" (305) ABOVE FIN. GRADE, FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 6'-0" (1830) FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.

FIREPLACE VENTING (9.32.3.)

DIRECT VENT GAS FIREPLACE VENT TO BE A MIN. 12" (305) FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.

FLOOR FRAMING (9.23.3.5., 9.23.9.4., 9.23.14.) T&G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION SEE O.B.C. 9.30.6. ALL JOISTS WHERE REQUIRED TO BE BRIDGED WITH 2"x2" (38x38) CROSS BRACING OR SOLID BLOCKING @ 6-11" (2108) O.C. MAX. ALL JOISTS TO BE STRAPPED WITH 1"x3" (19x64) @ 6-11" (2108) O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.

HEADER CONSTRUCTION

PROVIDE CONTINUOUS APPROVED AIR/VAPOUR BARRIER (HEADER WRAP) UNDER THE SILL PLATE, AROUND THE RIM BOARD AND UNDER THE BOTTOM PLATE. THE HEADER WRAP SHALL EXTEND 6" (152) BELOW THE TOP OF FOUNDATION WALL AND WILL BE SEALED TO THE CONCRETE FOUNDATION WALL. EXTEND HEADER WRAP 6" (152) UP THE INTERIOR SIDE OF THE STUD WALL AND OVERLAP WITH THE VAPOUR BARRIER AND SEAL THE JOINT, ALL EDGES/JOINTS MUST BE MECHANICALLY CLAMPED.

EXPOSED BUILDING FACE w/ LIMITING DISTANCE <= 3'-11" (1.20m)

WALL ASSEMBLY CONTAINS INSULATION CONFORMING TO CAN/ULC-S702 & HAVINA MASS OF NOT LESS THAN 1.22 KG/M2 OF WALL SURFACE AND 1/2" (12.7) TYPE X GYPSUM WALLBOARD INTERIOR FINISH. EXTERIOR CLADDING MUST BE NON-COMBUSTIBLE WHEN LIMITING DISTANCE IS 23 5/8" (0.60m) OR LESS. WALL ASSEMBLY REQUIRES TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES & CONFORMING TO O.B.C. (9.10.14. OR 9.10.15). REFER TO DETAILS FOR TYPE & SPECS. ** AN OPENING IN AN EXPOSING BUILDING FACE NOT MORE THAN 20 in (130cm²) SHALL NOT BE CONSIDERED AN UNPROTECTED OPENING AS PER 9.10.14.

COLD CELLAR PORCH SLAB (9.39.)

FOR MAX. 8'-2" (2500) PORCH DEPTH, 5' (127) 32 MPa (4640psi) CONC. SLAB W/5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 7 7/8" (200) O.C. EACH DIRECTION, W/ 1 1/4" (32) CLEAR COVER FROM BOTTOM OF SLAB TO FIRST LAYER OF BARS & SCOOND LAYER OF BARS LAID DIRECTLY ON TOP OF LOWER LAYER IN OPPOSITE DIR. 24"x24" (610x610) 10M DOWELS @ 23 5/8" (600) O.C., ANCHORED IN PERIMETER FND. WALLS. SLOPE SLAB 1.0% FROM DOOR.

RANGE HOODS AND RANGE-TOP FANS

COOKING APPLIANCE EXHAUST FANS VENTED TO EXTERIOR MUST CONFORM TO OBC 9.10.22, 9.32.3.9. & 9.32.3.10.

CONVENTIONAL ROOF FRAMING (9.23.13., 9.23.15.) 2"x6" (38x140) RAFTERS @ 16" (406) O.C., 2"x8" (38x184) RIDGE BOARD. 2"x4" (38x89) COLLAR TIES AT MID-SPAN. CEILING JOISTS TO BE 2"x4" (38x89) @ 16" (406) O.C. FOR MAX. 9-3" (2819) SPAN & 2"x6" (38x140) @ 16" (406) O.C. FOR MAX. SPAN 14-7" (4450). RAFTERS FOR BUILT UP ROOF OVER PRE-ENGINEERED ROOF TRUSSÉS AND OR CONVENTIONAL FRAMING TO

BE 2"x4" (38x89) @ 24" (610) O.C. UNLESS OTHERWISE SPECIFIED. TWO STOREY VOLUME SPACES (9.23.10.1., 9.23.11., 9.23.16.)

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/	WALL AS	SSEMBLY		WIND LOADS					
	EXTERIOR	STUDS	<= 0.5	kPA (q50)	> 0.5 kPa (q50)				
	EXTERIOR	21002	SPACING	MAX HEIGHT	SPACING	MAX HEIGHT			
	BRICK	(2-38x140) SPR.#2 2-2"x8"	12" (305) O.C.	18'-4" (5588)	8" (200) O.C.	18'-4" (5588)			
	SIDING		16" (406) O.C.	18'-4" (5588)	12" (305) O.C.	18'-4" (5588)			
	BRICK		12" (305) O.C.	21'-0" (6400)	12" (305) O.C.	21'-0" (6400)			
SIDING	(2-38x184) SPR.#2	16" (406) O.C.	21'-0" (6400)	16" (406) O.C.	21'-0" (6400)				

** STUD SIZE & SPACING TO BE VERIFIED BY STRUCTURAL ENGINEER ** STUDS ARE TO BE CONTINUOUS, C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD

SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4'-0" (1220) O.C. VERTICALLY.

- FOR HORIZ. DISTANCES LESS THAN 9'-6' (2896) PROVIDE 2"x6' (38x140) STUDS @ 16" (406) O.C. WITH CONTIN. 2-2"x6" (2-38x140) TOP PLATE + 1-2"x6" (1-38x140) BOTTOM PLATE & MIN. OF 3-2"x8" (3-38x184) CONT. HEADER AT GROUND FLOOR CEILING LEVEL TOE-NAILED & GLUED AT TOP. BOTTOM PLATES & HEADERS.



FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.

File Numbe

CONSTRUCTION NOTES 1

REV.2020.03.30

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UNIT 5003 - THE OAKGROVE

217020WS5003.dwg

WD AW 3/16"=1'-0"

GOLDPARK HOMES - 217020

PINE VALLEY, VAUGHAN, ONTARIO

STAME

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QUALIFICATION INFORMATION Allan Whiting 23177 1 HR. PARTY WALL (CONC. BLOCK) ([SB-3] WALL TYPE 'B6e' & 'B1b') 1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WD. 1/2 (12.7) GTPSUM SHEATHING ON EACH SIDE ON 2 X 2 (38X38) WE STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAP CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE, FILL & SAND ALL GYPSUM JOINTS. EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OR FURRED WITH 2"x2" (38x38) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.

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1 HR. PARTY WALL (DOUBLE STUD) ([SB-3] WALL TYPE 'W13c') 5/8" (15.9) TYPE 'X' GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2°x4" (38x89) STUDS @ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2°x4" (38x89) SILL PLATES. (2°x6" (38x140) AS REQUIRED) FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE FILL AND SAND ALL GYPSUM JOINTS.

(40A)

2 HR. FIREWALL ([SB-3] WALL TYPE 'B6e' & 'R1b')

1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL 1/2" (12.7) GYPSUM SHEALHING ON EACH SIDE ON 2*X2" (38X38) VEHTICAL WOOD STRAPPING @ 24" (610) O.C ON 8" (200) CONC. BLOCK 75% SOULD. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK, (REFER TO DETAILS)

STUCCO WALL CONSTRUCTION \langle 41 angle

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPUBLIF PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOARD ON STUDS CONFORMING TO O.B.C. (9.23. 10.1.). & SECTION 1.1., INSULATION, APPROVED 6 MIL, POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

STUCCO WALL CONSTRUCTION W/ CONTIN. INSULATION STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON APPROVED AIRWATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 7/16" EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

STUCCO WALL @ GARAGE CONST.

STUCCO FINISH CONFORMING TO 0.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.I.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO 0.B.C (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.) *** FOR DWELLINGS USING CONTIN. INSULATION CONSTRUCTION, PROVIDE APPROVED DRAINAGE MAT ON 7/16" (11) EXTERIOR TYPE SHEATHING OVER FURRING (AS REQ.) AND STUDS IN LIEU OF 1 1/2" (38) E.F.I.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.77) DENSGLASS GOLD GYPSUM BRD.

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UNSUPPORTED FOUNDATION WALLS (9.15.4.2.)

REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS
2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING)
3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" OPENING)
4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING)
- BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL @ 6" O.C. REINFORCING AT BASEMENT WINDOWS

2-15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN. SILL. EXTEND BARS 24" (610) BEYOND THE OPENING. 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING. - BARS TO HAVE MIN. 2" (50) CONC. COVER - BARS TO EXTEND 2"-0" (610) BEYOND BOTH SIDES OF OPENING

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STUD WALL REINFORCEMENT

PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.(1) AND 3.8.3.8.(3)) (REFER TO DETAILS)

WINDOW WELLS

WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE C,W A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.9.10.1.(5), 9.14.6.3.)

SLOPED CEILING CONSTRUCTION ([SB-12] 2.1.1.7., 9.23.4.2.) (45) 2"x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX, (UNLESS OTHERWISE NOTED) W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF NOTED) W. 252° (38X38) PURLINS (@ 16° (406) O.C. PERPENDICULAR TO HOUP JOIST, (PURLINS NOT REQ. W. SPRAY FOAM), W. INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2° (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.52 RSI).

(46)

FLAT ROOF/BALCONY CONSTRUCTION

WATERPROOFING MEMBRANE (9.26.11, 9.26.15, 9.26.16) FULLY ADHERED TO 5/8" (15.9) T&G EXTERIOR GRADE PLYWOOD SHEATHING ON 2"X2" (38x38) PURLINS ANGLED TOWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2"X8" (38x184) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED). BUILT UP CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR, CONTINUOUS 'L' TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPPER DRAIN TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE. PREFINISHED ALUMINUM OR PANEL FOR UNDERSIDE OF SOFFIT (9.23.2.3). REMOVE CURB WHERE REQ.

BALCONY CONDITION

SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE. INCLUDE 2"x4" (38x89) PT. DECKING W/ 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2"x4" (38x89) PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDICULAR TO JOISTS

BALCONY OVER HEATED SPACE CONDITION

SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY, REFER TO ANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND INTERIOR FINISH

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QUALIFICATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

Allan Whiting

BARREL VAULT CONSTRUCTION

CANTILEVERED 2"x4" (38x89) SPACERS LAID FLAT ON 2"x10" (38x235) SPR. #2 ROOF JOIST NAILED TO BUILT-UP 3-3/4" (19) PLYWOOD HEADER PROFILED FOR BARREL, SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. INTERIOR FIN. (REFER TO DETAILS)

SECTION 1.1. WALL STUDS

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION. - IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE

SIZE	SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)						
MIN.		SUPPORTED LO	ADS (EXTER I OR)				
STUD SIZE.	ROOF w/ OR w/o ATTIC	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR			
in (mm)	MAX. STUD SPACING, in (mm) O.C.						
()	MAX. UNSUPPORTED HGT., ft-in (m)						
2"x4"	24" (610)	16" (405)	12" (305)	N/A			
(38x89)	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A			
2"x6"	-	24" (610)	16" (406)	12" (305)			
(38x140)	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)			

SECTION 2.0. GENERAL NOTES

2.1. WINDOWS

) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m2 UNOBSTRUCTED OPEN PORTION W/ NO DIMENSION LESS THAN 1'-3" (380), CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, CONFORMING TO 9.9.10. 2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5-11" (1800). (9.8.8.1.)
3) WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2-11" (900) [3-6" (1070) FOR ALL OTHER BUILDINGS] SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE). OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN 4.1.5.15 OR 9.8.8.2

4) REFER TO TITLE PAGE FOR MAX. U-VALUE REQUIREMENTS

2.2. CEILING HEIGHTS

HE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1.

ROOM OR SPACE	MINIMUM HEIGHTS
LIVING ROOM, DINING ROOM AND KITCHEN	7'-7" OVER 75% OF REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 6'-11" AT ANY POINT
BEDROOM	7'-7" OVER 50% OF REQUIRED FLOOR AREA OR 6'-11" OVER ALL OF THE REQUIRED FLOOR AREA.
BASEMENT	6'-11" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-5".
BATHROOM, LAUNDRY AREA ABOVE GRADE	6'-11" IN ANY AREA WHERE A PERSON WOULD NORMALLY BE STANDING
FINISHED ROOM NOT MENTIONED ABOVE	6'-11"
MEZZANINES	6'-11" ABOVE & BELOW FLOOR ASSEMBLY (9.5.3.2.)
STORAGE GARAGE	6'-7" (9.5.3.3.)

2.3. MECHANICAL / PLUMBING

T) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24 HOURS. WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM TO OBC 9.32.3.4. WHEN A HRV IS REQUIRED, CONFORM TO 9.32.3.11. REFER TO MECHANICAL DRAWINGS

2) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO OBC 9.31.6. 3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES.

4) DRAIN WATER HEAT RECOVERY UNIT(S) WILL BE INSTALLED CONFORMING TO THE RÉQUIREMENTS OF 3.1.1.12. OF THE O.B.C.

2.4. LUMBER

1) ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE. 2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.

3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.

4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER. JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS.

6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil POLYETHYL FILM, No.50 (48]bs) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND.

2.5. STEEL (9.23.4.3.)

T) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300W. HOLLOW STRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H". 2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

2.6. FLAT ARCHES

1) FOR 8'-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 6'-10" (2080) A.F.F. 2) FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7'-10" (2400) A.F.F. 3) FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2600) A.F.F.

2.7. ROOF OVERHANGS OVERHANGS SHALL BE 1'-0" (305). UNLESS NOTED OTHERWISE.

2.8. FLASHING (9.20.13., 9.26.4, & 9.27.3.) 1) FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.

T) THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. CONFORM TO 9.14.6.

2.10. ULC SPECIFIED ASSEMBLIES

ALL REQUIRED INDIVIDUAL COMPONENTS THAT FORM PART OF ANY 'ULC LISTED ASSEMBLY', SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER MATERIAL/PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED IN THAT SPECIFIED ULC LISTING: THERE SHALL BE NO DEVIATIONS UNDER ANY CIRCUMSTANCES IN ANY 'ULC LISTED ASSEMBLY' IDENTIFIED IN THESE DRAWINGS.

SECTION 3.0. LEGEND

3.1. WOOD LINTELS AND BUILT-UP WOOD (DIVISION B PART 9. TABLES A8 TO A10 AND A12, A15 & A16)

23.4.2.(3), 9.23.4.2.(4), 9.23.12.3.(1),(3), 9.2

	IIIIIIIIIIIII OI OLITILITOL	0.20.	1.2.(0), 0.20. 1.2.(1), 0.20.12.0); 0.20.10.0.(E); 0.01.0.1.(1)	1
	2"x8" SPRUCE #2		2"x10" SPRUCE #2		2"x12" SPRUCE #2	ı
L1	2/2"x8" (2/38x184)	L3	2/2"x10" (2/38x235)	L5	2/2"x12" (2/38x286)	H
B1	3/2"x8" (3/38x184)	ВЗ	3/2"x10" (3/38x235)	B5	3/2"x12" (3/38x286)	ı
B2	4/2"x8" (4/38x184)	B4	4/2"x10" (4/38x235)	B6	4/2"x12" (4/38x286)	ı
B7	5/2"x8" (5/38x184)	B8	5/2"x10" (5/38x235)	В9	5/2"x12" (5/38x286)	ı
	ENGINEERED LUMBER S	SCHE	DULE - GRADE 2.0E (UNLE	SS NO	OTED OTHERWISE)	ı
	1 3/4" x 9 1/2" LVL		1 3/4" x 11 7/8" LVL		1 3/4" x 14" LVL	ı
LVL2	1-1 3/4"x9 1/2"	LVL3	1-1 3/4"x11 7/8"	LVL10	1-1 3/4"x14"	ı
LVL4	2-1 3/4"x9 1/2"	LVL6	2-1 3/4"x11 7/8"	LVL11	2-1 3/4"x14"	ı
LVL5	3-1 3/4"x9 1/2"	LVL7	3-1 3/4"x11 7/8"	LVL12	3-1 3/4"x14"	
LVL8	4-1 3/4"x9 1/2"	LVL9	4-1 3/4"x11 7/8"	LVL13	4-1 3/4"x14"	

3.2. STEEL LINTELS SUPPORTING MASONRY VENEER (DIVISION B PART 9. TABLE 9.20.5.2.B.)

FORMING PART OF SENTENCE 9.20.5.2.(2) & 9.20.5.2.(3)

CODE	SIZE	BRICK	STONE
L7	3 1/2" x 3 1/2" x 1/4" (89 x 89 x 6.4)	8'-1" (2.47m)	7'-6" (2.30m)
L8	4" x 3 1/2" x 1/4" (102 x 89 x 6.4)	8'-9" (2.66m)	8'-1" (2.48m)
L9	4 7/8" x 3 1/2" x 5/16" (127 x 89 x 7.9)	10'-10" (3.31m)	10'-1" (3.03m)
L10	4 7/8" x 3 1/2" x 3/8" (127 x 89 x 11)	11'-5" (3.48m)	10'-7" (3.24m)
L11	5 7/8" x 3 1/2" x 3/8" (152 x 89 x 11)	12'-6" (3.82m)	11'-7" (3.54m)
L12	7 1/8" x 4" x 3/8" (178 x 102 x 11)	14'-1" (4.30m)	13'-1" (3.99m)

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC. 3.3. DOOR SCHEDULE CONFORMING TO SECTIONS 9.5.11, 9.6., 9.7.2.1, 9.7.5.2, & 9.10.13.10 EXTERIOR | 2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) 1A **EXTERIOR** 2'-10" x 6'-8" x 1-3/4" (865 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) 1B **EXTERIOR** 3'-0" x 6'-8" x 1-3/4" (915 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) 1C FXTERIOR 2'-6" x 6'-8" x 1-3/4" (760 x 2030 x 45) INSULATED MIN_B4 (RSI 0.7) 1D **EXTERIOR** 2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INS. MIN. R4 (RSI 0.7) (SEE HEX NOTE 20) 1E **EXTERIOR** 3'-0" x 8'-0" x 1-3/4" (915 x 2440 x 45) INSULATED MIN. R4 (RSI 0.7) 2A **EXTERIOR** 2' 8" x 6' 8' x 1 3/4' (815 x 2030 x 45) 20 MIN. F.R.R. DOOR/FRAME WITH APP. SELF CLOSING DEVICE. 2 INTERIOR 2'-8" x 6'-8" x 1-3/8" (815 x 2030 x 35) 3 INTERIOR 2'-6" x 6'-8" x 1-3/8" (760 x 2030 x 35) PROVIDE 8'-0" HIGH ЗА INTERIOR 2'-4" x 6'-8" x 1-3/8" (710 x 2030 x 35) INTERIOR DOORS 4 INTERIOR 2'-0" x 6'-8" x 1-3/8" (610 x 2030 x 35) FOR ALL 10' CEILING CONDITIONS 4A INTERIOR | 2'-2" x 6'-8" x 1-3/8" (660 x 2030 x 35) 5 INTERIOR 1'-6" x 6'-8" x 1-3/8" (460 x 2030 x 35)

	3.4. ACF	RONY	MS
AFF	ABOVE FINISHED FLOOR	JST	JOIST
BBFM	BEAM BY FLOOR MANUFACTURER	LIN	LINEN CLOSET
BG	FIXED GLASS W/ BLACK BACKING	LVL	LAMINATED VENEER LUMBER
BM	BEAM	OTB/A	OPEN TO BELOW/ABOVE
BBRM	BEAM BY ROOF MANUFACTURER	PL	POINT LOAD
CRF	CONVENTIONAL ROOF FRAMING	PLT	PLATE
C/W	COMPLETE WITH	PT	PRESSURE TREATED
DJ/TJ	DOUBLE JOIST/ TRIPLE JOIST	PTD	PAINTED
DO	DO OVER	PWD	POWDER ROOM
DRP	DROPPED	RT	ROOF TRUSS
E.I.F.S.	EXTERIOR INSULATION FINISH SYSTEM	RWL	RAIN WATER LEADER
ENG	ENGINEERED	SB	SOLID BEARING WOOD POST
EST	ESTIMATED	SBFA	SB FROM ABOVE
FA	FLAT ARCH	SJ	SINGLE JOIST
FD	FLOOR DRAIN	SPR	SPRUCE
FG	FIXED GLASS	STL	STEEL
FL	FLUSH	T/O	TOP OF
FLR	FLOOR	TYP	TYPICAL
GT	GIRDER TRUSS	U/S	UNDERSIDE
НВ	HOSE B İ B	WD	WOOD
HRV	HEAT RETURN VENTILATION UNIT	WIC	WALK IN CLOSET
HWT	HOT WATER TANK	WP	WEATHER PROOF
ALL	3.5. SY ELECTRICAL FACILITIES SHALL BE INST.		
	·		·

• CLASS 'B' VENT (S) EXHAUST VENT 0 DUPLEX OUTLET (12" HIGH) O Ñ DUPLEX OUTLET (HEIGHT AS NOTED A.F.F. HEAVY DUTY OUTLET 5 SWITCH (2/3/4 WAY) ROUGH IN FOR ELECTRIC VEHICLE \bigcirc LIGHT FIXTURE (CEILING MOUNTED) CHARGING STATION (9.34.4) \Diamond POT LIGHT LIGHT FIXTURE (WALL MOUNTED) Д« LIGHT FIXTURE (PULL CHAIN) TELEPHONE JACK CABLE T.V. JACK CHANDELIER (CEILING MOUNTED)

CENTRAL VACUUM OUTLET **SMOKE ALARM** (9.10.19.)

PROVIDE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS ARE TO BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN SLEEPING ROOMS AND CONNECTING HALLWAYS AND WIRED TO BE INTERCONNECTED SLEEPING MOUMS AIND COINIECTING INALLIWATS AND WINLD TO BE INTELLIGED.

TO ACTIVATE ALL ALARMS IF ONE SOUNDS, ALARMS ARE TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND WITH A BATTERY BACKUP. ALARM SIGNAL SHALL MEET TEMPORAL SOUND PATTERNS MIN. ALARMS SHALL HAVE A VISUAL SIGNALLING COMPONENT AS PER THE "NATIONAL FIRE ALARM AND SIGNALING CODE 72"

+CMD CARBON MONOXIDE ALARM (9.33.4.)

** CHECK LOCAL BY-LAWS FOR REQUIREMENTS ** A CARBON MONOXIDE ALARM(S)
CONFORMING TO CAN/CGA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH
DWELLING UNIT ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE ALARM(S)
SHALL BE PERMANENTLY WIRED WITH NO DISCONNECT SWITCH, WITH AN ALARM THAT IS AUDIBLE WITHIN SLEEPING ROOMS WHEN THE INTERVENING DOORS ARE CLOSED

SOLID BEARING (BUILT-UP WOOD COLUMNS AND STUD POSTS) THE WIDTH OF A WOOD COLUMN SHALL NOT BE LESS THAN THAN THE WIDTH OF SUPPORTED MEMBER. BUILT-UP WOOD COLUMNS SHALL BE NAILED TOGETHER WITH NOT LESS THAN 3" (76) NAILS SPACED NOT MORE THAN 11 3/4" (300) O.C. THE NUMBER OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL CONFORM TO TABLES A-34 TO A-37, (9.17.4., 9.23.10.7.)

TWO STOREY VOLUME SPACE. SEE CONSTRUCTION NOTE 39.

VARYING PLATES, BUILT-OUT FLOORS, BEARING WALLS, ICE & WATER SHIELD

EXPOSED BUILDING FACE -O.B.C. 9.10.14. OR 9.10.15.
REFER TO HEX NOTE 35. & DETAILS FOR TYPE AND SPECIFICATIONS.

REFER TO HEX NOTE 40.

SECTION 4.0. CLIMATIC DATA

1.01 **kPa** DESIGN SNOW LOAD (9.4.2.2.): WIND LOAD (q50) (SB-1.2.): 0.44 kPa



FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB. REPORT ANY DISCREPANCIES TO HUNT DESIGN ASSOCIATES INC. (H.D.A.I.) BEFORE PROCEEDING WITH THE WORK. ALL THE DRAWINGS & SPECIFICATIONS ARE THE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A.I. ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECIFICATIONS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12. CONSTRUCTION NOTE REVISION DATE: MARCH 21, 2018

CONSTRUCTION NOTES 2

UNIT 5003 - THE OAKGROVE

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26 of 26

REFER TO HEX NOTE 40A.

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M 23177 BCIN DESIGN ASSOCIATES INC

19695

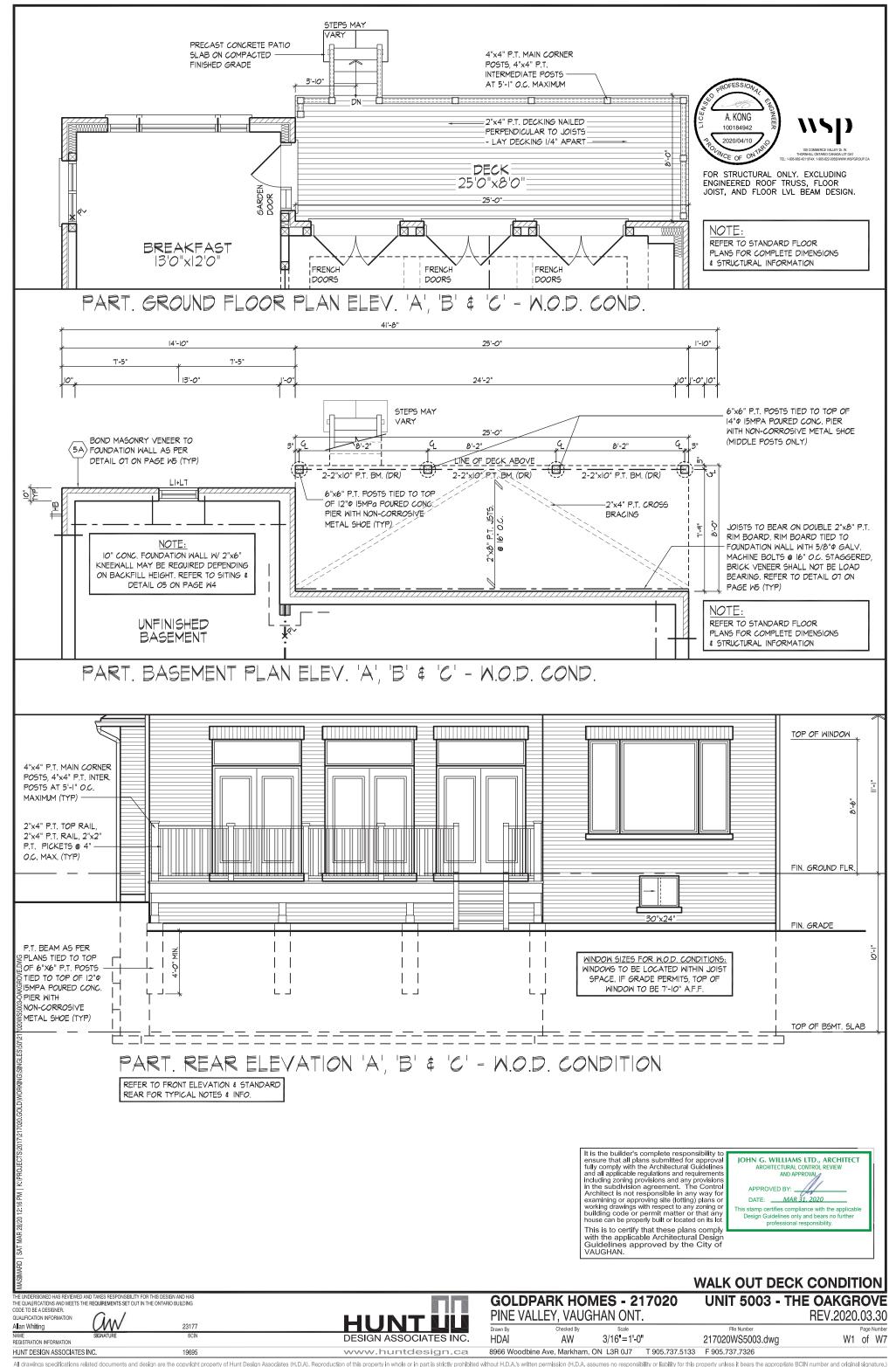
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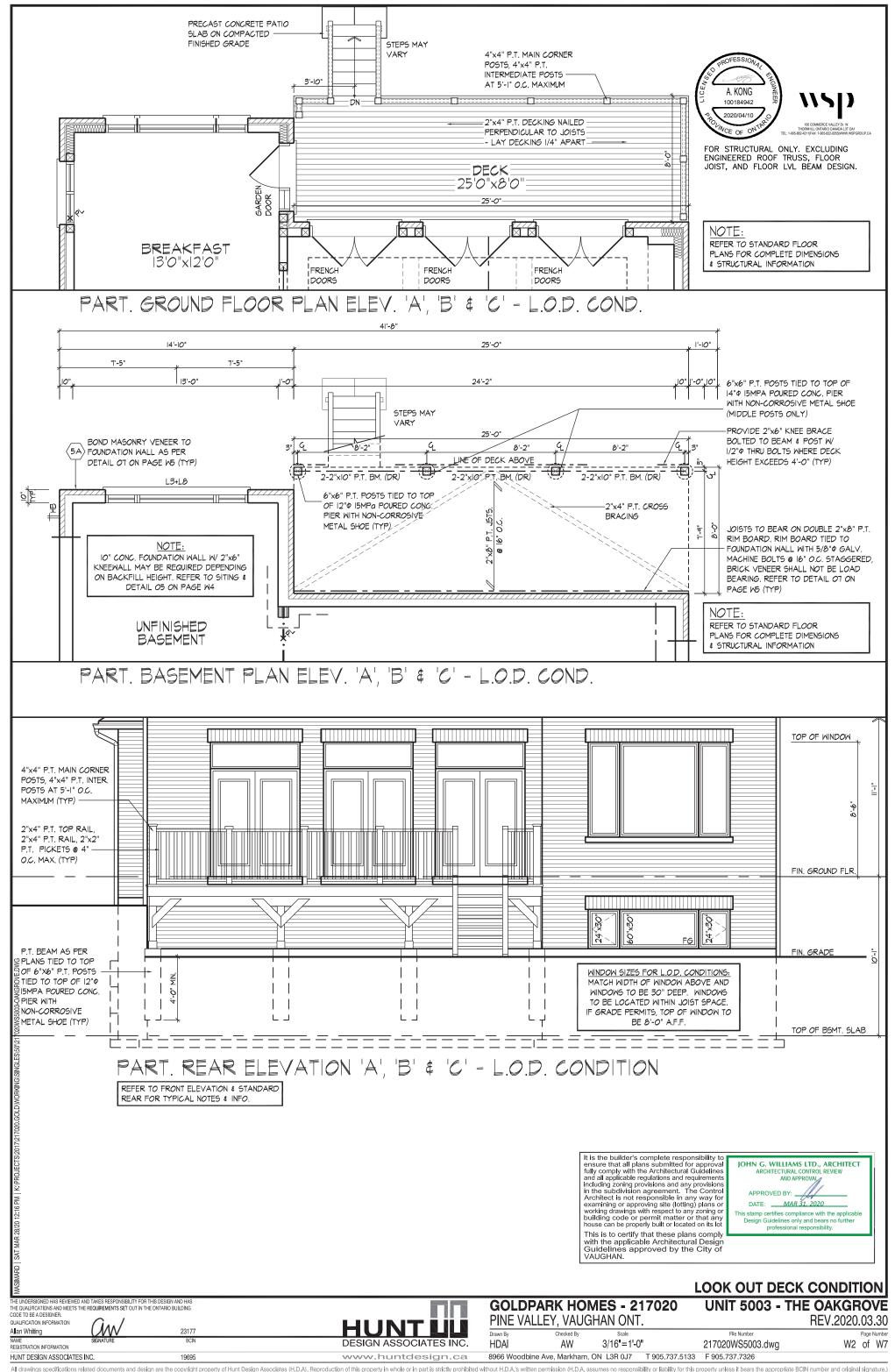
GOLDPARK HOMES - 217020

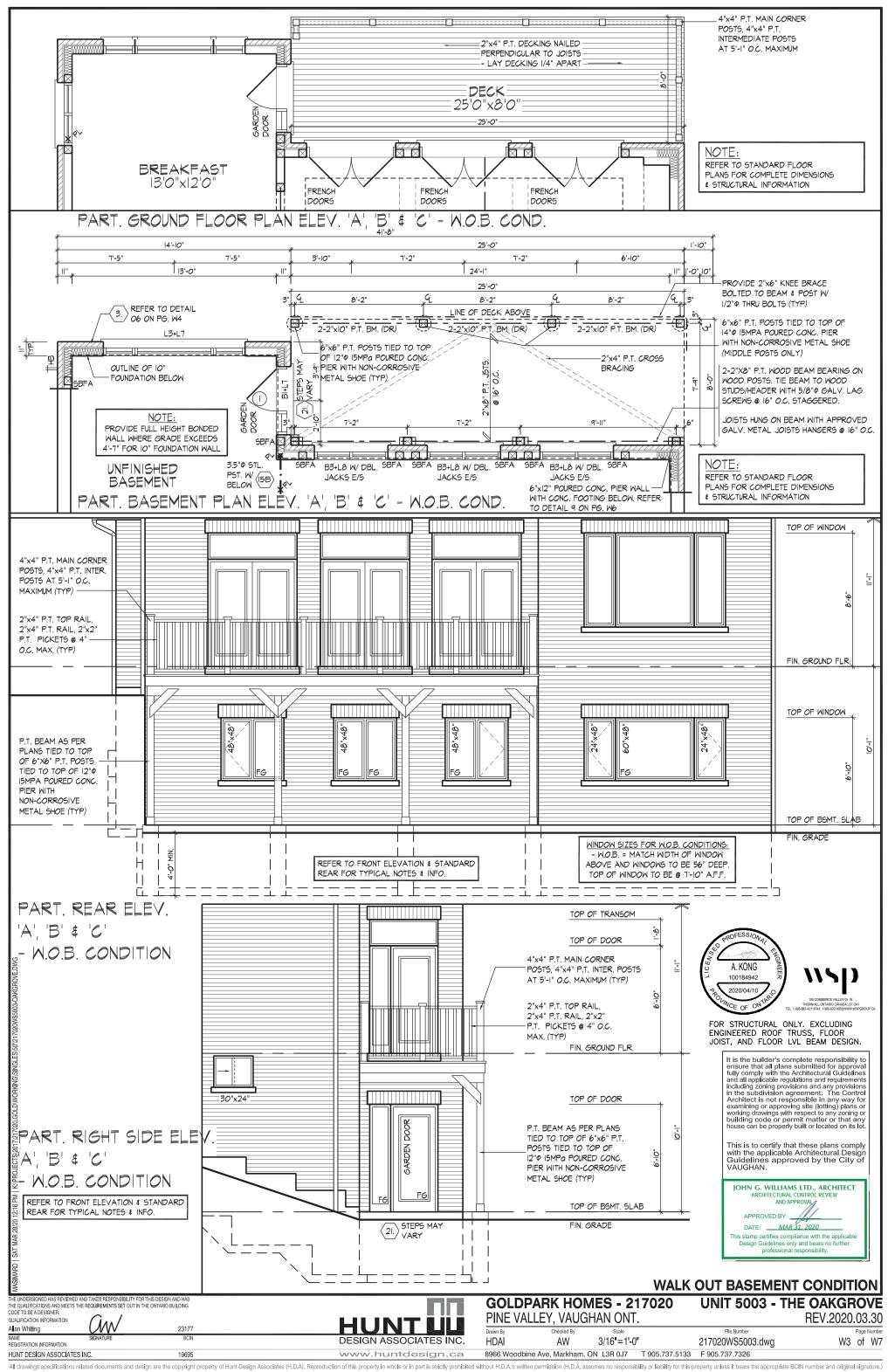
PINE VALLEY, VAUGHAN, ONTARIO

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SPATIAL CALCULATIONS FOR THE DECK CONDITIONS

WALK OUT DECK CONDITION

WINDOW SUMMARY						WINDOW SUMMARY						WINDOW SUMMARY					
PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4						PER O.B.C. TABLE 9.10.15.4						
REAR ELEVATION A						REA		VATION	В	REAR ELEVATION C							
QUAN	WIDTH	DEPTH	WINDOW FRAME S		QUAN.		DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAN.	WIDTH	DEPTH	WINDOW FRAME S				
1	72"	56"		24.56	1	72"	56"		24.56	1	72"	56"		24.56			
1	48"	56"		15.89	1	48"	56"		15.89	1	48"	56"		15.89			
2	24"	56"		14.44	2	24"	56"		14.44	2	24"	56"		14.44			
1	60"	56"		20.22	1	60"	56"		20.22	1	60"	56"		20.22			
2	24"	72"		18.89	2	24"	72"		18.89	2	24"	72"		18.89			
1	60"	72"		26.44	1	60"	72"		26.44	1	60"	72"		26.44			
1	30"	24"		3.61	1	30"	24"		3.61	1	30"	24"		3.61			
0	0"	0"		0.00	0	0"	0"		0.00	0	0"	0"		0.00			
0	0"	0"		0.00	0	0"	0"		0.00	0	0"	0"		0.00			
0	0"	0"		0.00	0	0"	0"		0.00	0	0"	0"		0.00			
3		& TRAN	43.56	130.68	3	DOOR		43.56	130.68	3	DOOR & TRAN		43.56	130.68			
0		RCH	0.00	0.00	0	AR		0.00	0.00	0	ARCH ARCH		0.00	0.00			
0		RCH	0.00	0.00	0	AR		0.00	0.00	0			0.00	0.00			
0		RCH	0.00	0.00	0	AR		0.00	0.00	0 ARCH		0.00	0.00				
	PATI.	<u>AL CA</u>	<u>LCULAT</u>	ION	SPATIAL CALCULATION						SPATIAL CALCULATION						
EXPOS	SING BU	ILDING	997.23	S.F.	EXPOSING BUILDING			978.77	S.F.	EXPOSING BUILDING			979.49	S.F.			
F/	ACE ARI	EA [92.65	S.M.	F.	ACE ARE	Α	90.93	S.M.	F	ACE ARE	A	91.00	S.M.			
DODTI(ON WAL	1 4054	997.23	S.F.	DODTI	ON WALI	ADEA	978.77	S.F.	PORTION WALL AREA			979.49	S.F.			
			92.65	S.M.				90.93	S.M.				91.00	S.M.			
	NG DIS			0 m		NG DIST			0 m		NG DIST		7.5				
	% OPE		50.50	%		% OPEN		50.50	%		% OPEN		50.50	%			
	NGS ALI		503.60	S.F.		NGS ALI		494.28	S.F.		NGS ALI		494.64	S.F.			
OPENI	NGS PR		254.74	S.F.	OPEN	NGS PRO		254.74	S.F.	OPENII	NGS PRO		254.74	S.F.			
			AL NOTES		ADDITIONAL NOTES						ADDITIONAL NOTES						
GLAZE	D AREA	A CALCUL	ATED W/ FI	RAME SIZE	GLAZED AREA CALCULATED W/ FRAME SIZE						D AREA	CALCU	LATED W/ FF	RAME SIZE			
MIN	MINUS 2" AROUND ENTIRE PERIMETER						MINUS 2" AROUND ENTIRE PERIMETER						MINUS 2" AROUND ENTIRE PERIMETER				

LOOK OUT DECK CONDITION

	MINDOW OUR HARDY MAINTENANCE M																
WINDOW SUMMARY						WINDOW SUMMARY						WINDOW SUMMARY					
PER O.B.C. TABLE 9.10.15.4						PER (D.B.C. TA	BLE 9.10.15	.4	PER O.B.C. TABLE 9.10.15.4							
REAR ELEVATION A						REA	R ELE	VATION	В		REA	R ELE	VATION	С			
3	王	Ŧ	WINDOV	V / DOOR	경 돈 돈			WINDOW / DOOR		ž	Ŧ	Ŧ	WINDOW	//DOOR			
QUAN	WIDTH	DEPTH	FRAME S	IZE (S.F.)	QUAN.	WIDTH	DEPTH	FRAME S	IZE (S.F.)	QUAN.	WIDTH	DEPTH	FRAME S	IZE (S.F.)			
1	72"	56"		24.56	1	72"	56"		24.56	1	72"	56"		24.56			
1	48"	56"		15.89	1	48"	56"		15.89	1	48"	56"		15.89			
2	24"	56"		14.44	2	24"	56"		14.44	2	24"	56"		14.44			
1	60"	56"		20.22	1	60"	56"		20.22	1	60"	56"		20.22			
2	24"	72"		18.89	2	24"	72"		18.89	2	24"	72"		18.89			
1	60"	72"		26.44	1	60"	72"		26.44	1	60"	72"		26.44			
2	24"	30"		7.22	2	24"	30"		7.22	2	24"	30"		7.22			
1	60"	30"		10.11	1	60"	30"		10.11	1	60"	30"		10.11			
0	0"	0"		0.00	0	0"	0"		0.00	0	0"	0"		0.00			
0	0"	0"		0.00	0	0"	0"		0.00	0	0"	0"		0.00			
3	DOOR (& TRAN	43.56	130.68	3	DOOR -	& TRAN	43.56	130.68	3	DOOR (& TRAN	43.56	130.68			
0	AR	CH	0.00	0.00	0	ARCH		0.00	0.00	0	AR	CH	0.00	0.00			
0	AR	.CH	0.00	0.00	0	AR	CH	0.00	0.00	0	AR	CH	0.00	0.00			
0	AR	.CH	0.00	0.00	0	AR	CH	0.00 0.00		0 ARCH			0.00	0.00			
S	PATI	۹L CA	LCULAT	ION	S	PATI	AL CA	LCULAT	S	SPATI/	AL CA	LCULAT	ION				
EXPOS	ING BU	LDING	1053.84	S.F.	EXPOS	ING BU	ILDING	1035.38	S.F.	EXPOSING BUILDING			1036.10	S.F.			
F/	ACE ARE	ΕA	97.90	S.M.	F/	ACE ARE	EΑ	96.19	S.M.	F/	ACE ARE	A [96.26	S.M.			
DODI	ON WALI	ADEA	1053.84	S.F.	DODIN	ON WAL	I ADEA	1035.38	S.F.	POPTI	ON WALI	VDEV	1036.10	S.F.			
			97.90	S.M.				96.19	S.M.				96.26	S.M.			
	NG D i St			0 m		NG D i St		7.50) m	LIMITING DISTANCE			7.5				
	% OPEN		50.50	%		% OPEN		50.50	%		% OPEN		50.50	%			
	NGS ALI		532.19	S.F.		NGS ALI		522.87	S.F.		NGS ALL		523.23	S.F.			
OPENI	IGS PRO		268.46	S.F.	OPENI	NGS PRO		268.46	S.F.	OPENII	NGS PRO		268.46	S.F.			
			AL NOTES		ADDITIONAL NOTES						ΑI	DITION	AL NOTES				
		0, 1200	LATED W/ F		GLAZED AREA CALCULATED W/ FRAME SIZE						GLAZED AREA CALCULATED W/ FRAME SIZE						
MIN	US 2" AF	ROUND E	ENTIRE PEF	METER	MINUS 2" AROUND ENTIRE PERIMETER						MINUS 2" AROUND ENTIRE PERIMETER						

WALK OUT BASEMENT CONDITION

WINDOW SUMMARY				WINDOW SUMMARY					WINDOW SUMMARY							
PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4						PER O.B.C. TABLE 9.10.15.4					
RIGHT SIDE ELEV. 'A', STD./OPT.					RIGH	T SID		:V. 'B', ST	D./OPT.							
QUAN.	WIDTH	DEPTH	WINDOW FRAME S		QUAN.	WIDTH	DEPTH	WINDOW FRAME S	/ / DOOR IZE (S.F.)	QUAN.	WIDTH	DEPTH		V / DOOR SIZE (S.F.)		
1	48"	56"		15.89	1	48"	56"		15.89	1	48"	56"		15.89		
1	52"	20"		5.33	1	52"	20"		5.33	1	52"	20"		5.33		
1	16"	82"		6.50	1	16"	82"		6.50	1	16"	82"		6.50		
1	16"	82"		6.50	1	16"	82"		6.50	1	16"	82"		6.50		
0	0"	0"		0.00	0	0"	0"		0.00	0	0"	0"		0.00		
0	0"	0"		0.00	0	0"	0"		0.00	0	0"	0"		0.00		
0	0"	0"		0.00	0	0"	0"		0.00	0	0"	0"		0.00		
0	0"	0"		0.00	0	0"	0"		0.00	0	0"	0"		0.00		
0	0"	0"		0.00	0	0"	0"		0.00	0	0"	0"		0.00		
0	0"	0"		0.00	0	0"	0"		0.00	0	0"	0"		0.00		
2		RLITE	9.19	18.38	2	DOOF		9.19	18.38	2	DOOF		9.19	18.38		
0	AR		0.00	0.00	0	AR		0.00	0.00	0	AR		0.00	0.00		
0		CH	0.00	0.00	0		CH	0.00	0.00	0		CH	0.00	0.00		
0		CH	0.00	0.00	0	AR		0.00 0.00		0		CH	0.00	0.00		
	F	PORTI	ON #2		PORTION #2						PORTION #2					
EXPOS	ING BU	ILDING	1480.67	S.F.	EXPOS	ING BU	ILDING	1474.12	S.F.	EXPOSING BUILDING			1478.78	S.F.		
F/	ACE ARE	EA	137.56	S.M.	F/	ACE ARE	A	136.95	S.M.	FACE AREA			137.38	S.M.		
DODTI	ON WAL	ADEA	202.44	S.F.	DODIL	ON WALI	ADEA	202.44	S.F.	DODTI	ON WALI	ADEA	202.44	S.F.		
			18.81	S.M.				18.81	S.M.				18.81	S.M.		
	NG DIST		9.4	0 m		NG DIST		9.4			NG DIST			0 m		
	% OPEN		34.00	%		% OPEN		34.00	%		% OPEN		34.00	%		
	NGS ALI		68.83	S.F.		NGS ALL		68.83	S.F.		NGS ALI		68.83	S.F.		
OPENIN		OVIDED	52.60	S.F.	OPENIN		DVIDED		S.F.	OPENI	IGS PRO		52.60	S.F.		
	Al	DDITION.	AL NOTES			A[DITION	AL NOTES			ΑI	DDITION.	AL NOTES			
GLAZE	D AREA	CALCUI	_ATED W/ FF	RAME S I ZE	GLAZED AREA CALCULATED W/ FRAME SIZE						D AREA	CALCUI	ATED W/ F	RAME SIZE		
MIN	US 2" AF	ROUND E	ENTIRE PER	METER	MIN	US 2" AF	ROUND I	ENTIRE PER	METER	MIN	US 2" AF	ROUND E	ENTIRE PER	METER		

WINDOW SUMMARY						WINDOW SUMMARY						WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4						PER C).B.C. TA	BLE 9.10.15	5.4	PER O.B.C. TABLE 9.10.15.4						
REAR ELEVATION A						REA	R ELE	VATION	В	REAR ELEVATION C						
QUAN.	WIDTH	DEPTH		//DOOR IZE (S.F.)	QUAN.	мртн БЕРТН		WINDOW / DOOR FRAME SIZE (S.F.)		QUAN.	WIDTH	DEPTH		//DOOR IZE (S.F.)		
1	72"	56"	TIGUILO		1	72"	56"	TIOUNE		0	72"	56"	TTOWNE			
1	48"	56"		24.56 15.89	1	48"	56"		24.56 15.89	1	48"	56"		24.56 15.89		
2	24"	56"		14.44	2	24"	56"		14.44	2	24"	56"		14.44		
1	60"	56"		20.22	1	60"	56"		20.22	1	60"	56"		20.22		
2	24"	72"		18.89	2	24"	72"		18.89	2	24"	72"		18.89		
1	60"	72"		26.44	1	60"	72"		26.44	1	60"	72"		26.44		
3	48"	48"		40.33	3	48"	48"		40.33	3	48"	48"		40.33		
2	24"	48"		12.22	2	24"	48"		12.22	2	24"	48"		12.22		
1	60"	48"		17.11	1	1 60" 48"			17.11	1	60"	48"		17.11		
0	0"	0"		0.00	0	0"	0"		0.00	0	0"	0"		0.00		
		& TRAN	43.56	130.68	3	DOOR a		43.56	130.68	3	DOOR -		43.56	130.68		
0		RCH	0.00	0.00	0	AR		0.00	0.00	0	ARCH		0.00	0.00		
0		RCH	0.00	0.00	0	AR		0.00	0.00	0		CH	0.00	0.00		
0		RCH	0.00	0.00	0	AR		0.00	0.00	0 ARCH			0.00	0.00		
	PATI	<u>AL CA</u>	LCULAT	ION	8	PATI	AL CA	LCULAT	ION	SPATIAL CALCULATION						
EXPOS	ING BU	ILDING	1272.74	S.F.	EXPOS	ING BU	LDING	1254.28	S.F.	EXPOS	SING BU	ILDING	1255.00	S.F.		
F/	ACE ARI	EA [118.24	S.M.	F/	ACE ARE	Α	116.53	S.M.	F/	ACE ARE	EA	116.59	S.M.		
DODTIO	TVALIAC	L AREA	1272.74	S.F.	DODTI	ON WALI	ADEA	1254.28	S.F.	DODTI	ON WAL	ADEA.	1255.00	S.F.		
			118.24	S.M.				116.53	S.M.	PORTION WALL AREA			116.59	S.M.		
	NG DIS			0 m		NG DIST			0 m		NG DIST			0 m		
	% OPEI		25.75	%		% OPEN		25.75	%		% OPEN		25.75	%		
	OPENINGS ALLOWED 327.73 S.F.			NGS ALL		322.98	S.F.		NGS ALI		323.16	S.F.				
OPENIN		OVIDED	320.79	S.F.	OPENI	NGS PRO		320.79	S.F.	OPENI	NGS PRO		320.79	S.F.		
			AL NOTES		ADDITIONAL NOTES						ADDITIONAL NOTES					
			ATED W/ FI		GLAZED AREA CALCULATED W/ FRAME SIZE						GLAZED AREA CALCULATED W/ FRAME SIZE					
MIN	US 2" A	ROUND E	NTIRE PER	METER	MIN	US 2" AF	ROUND E	ENTIRE PER	METER	MINUS 2" AROUND ENTIRE PERIMETER						

DECK CONDITION SPATIAL CALCULATIONS

Allan Whiting

23177



GOLDPARK HOMES - 217020 PINE VALLEY, VAUGHAN ONT.

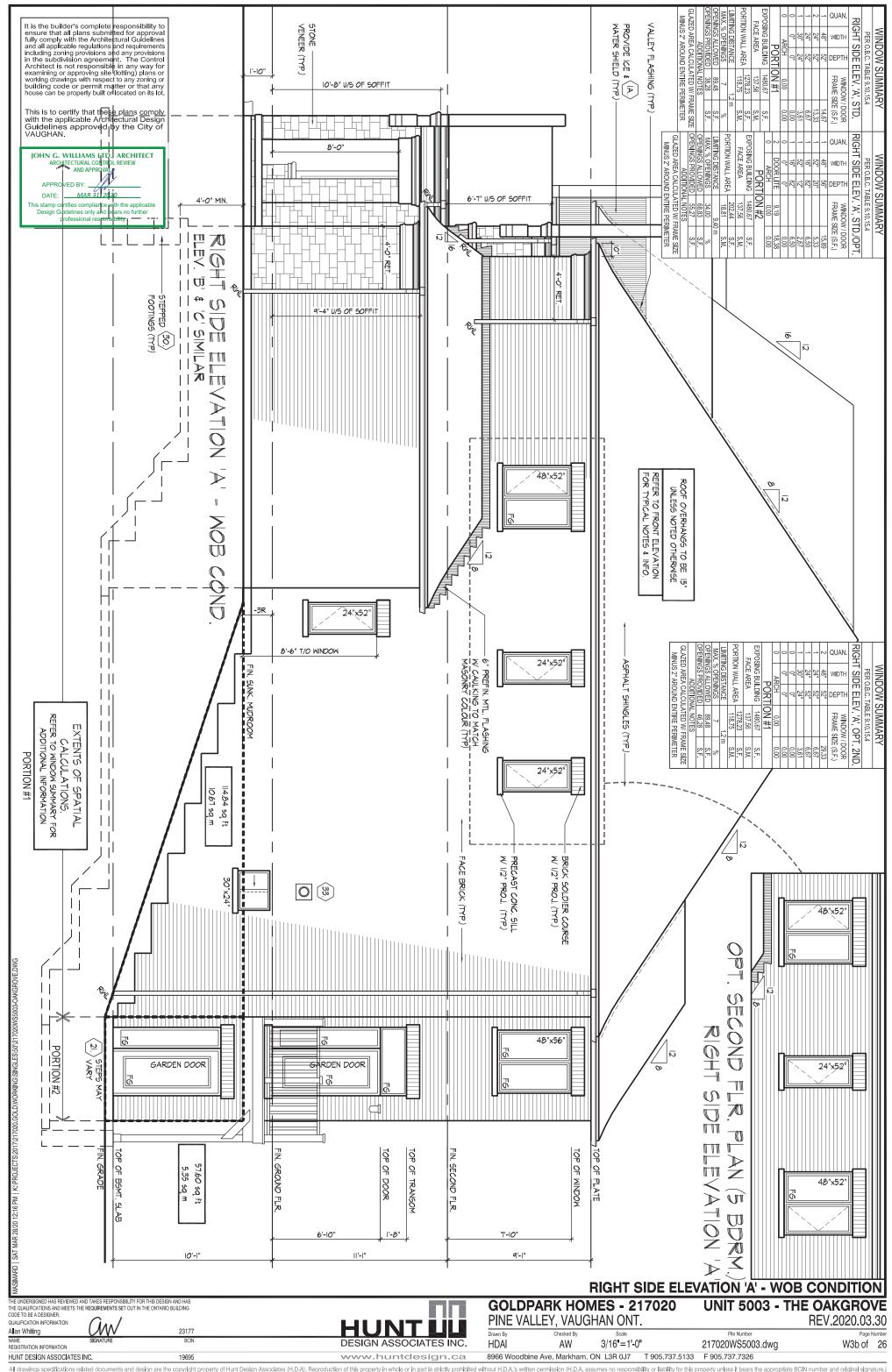
UNIT 5003 - THE OAKGROVE

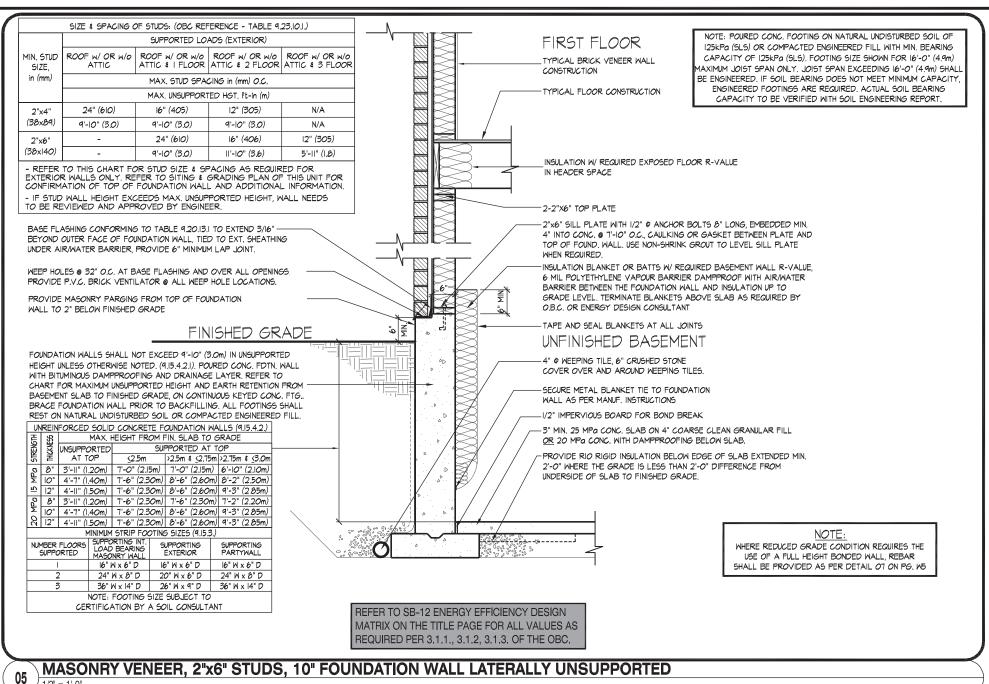
W3a of W7

REV.2020.03.30

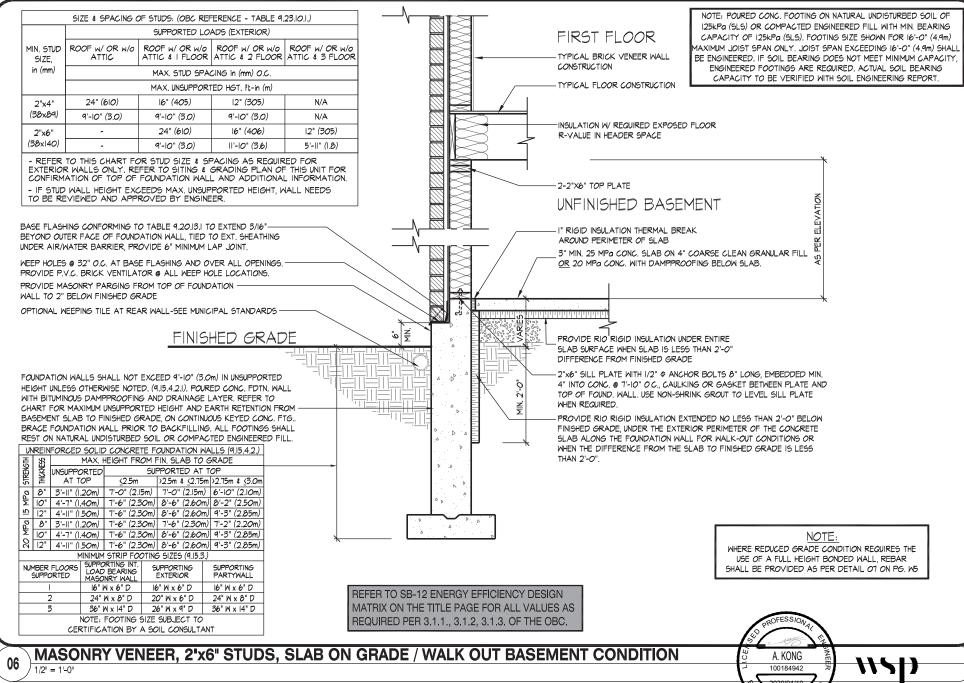
217020WS5003.dwg HDA AW 3/16"=1'-0"

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326









FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BÉAM DESIGN.

File Numbe

DECK DETAILS 1

23177

QUALIFICATION INFORMATION Allan Whiting

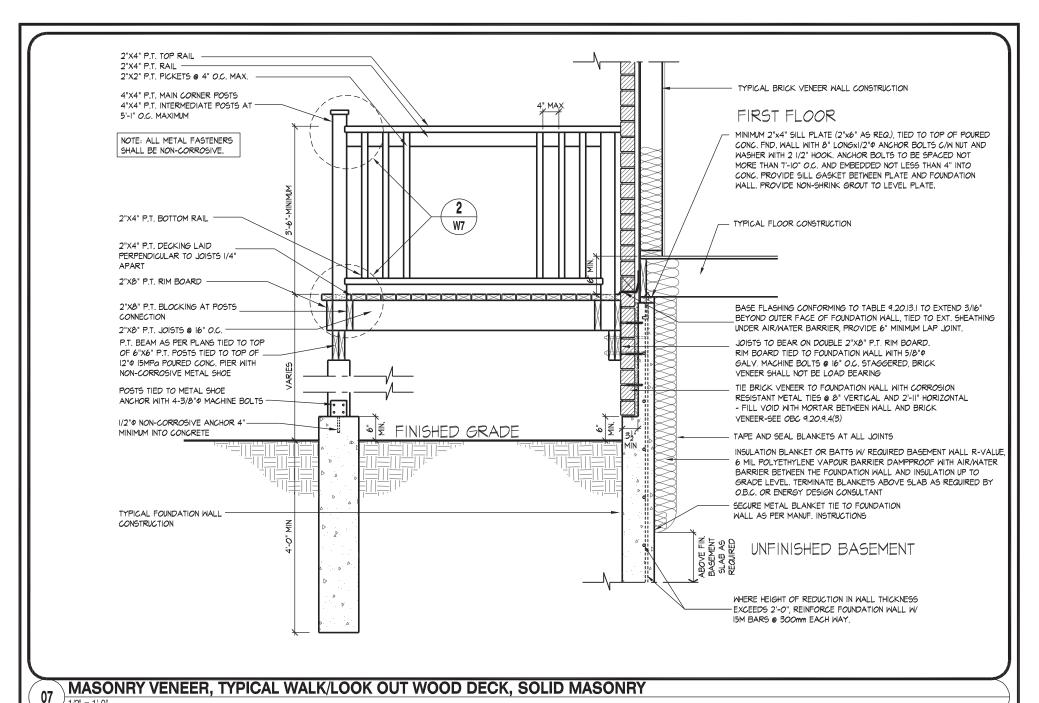
DESIGN ASSOCIATES INC.

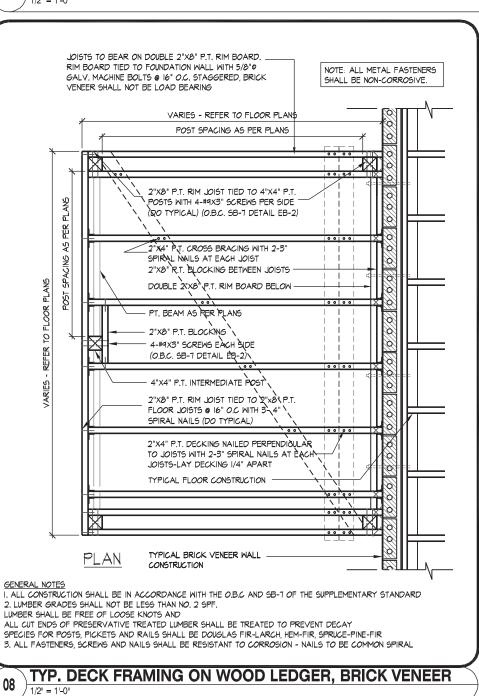
GOLDPARK HOMES - 217020

UNIT 5003 - THE OAKGROVE

PINE VALLEY, VAUGHAN ONT. 217020WS5003.dwg **HDAI** AW 3/16"=1'-0"

REV.2020.03.30 W4 of W7







ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

DECK DETAILS 2

THE CHALIFICATION AND MEETS THE REQUIREMENTS SET OUT IN THE ODALIFICATION AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Allan Whiting 23177

SEMANTIEF SCHALIFIEF BOTH

HUNT UU
DESIGN ASSOCIATES INC.

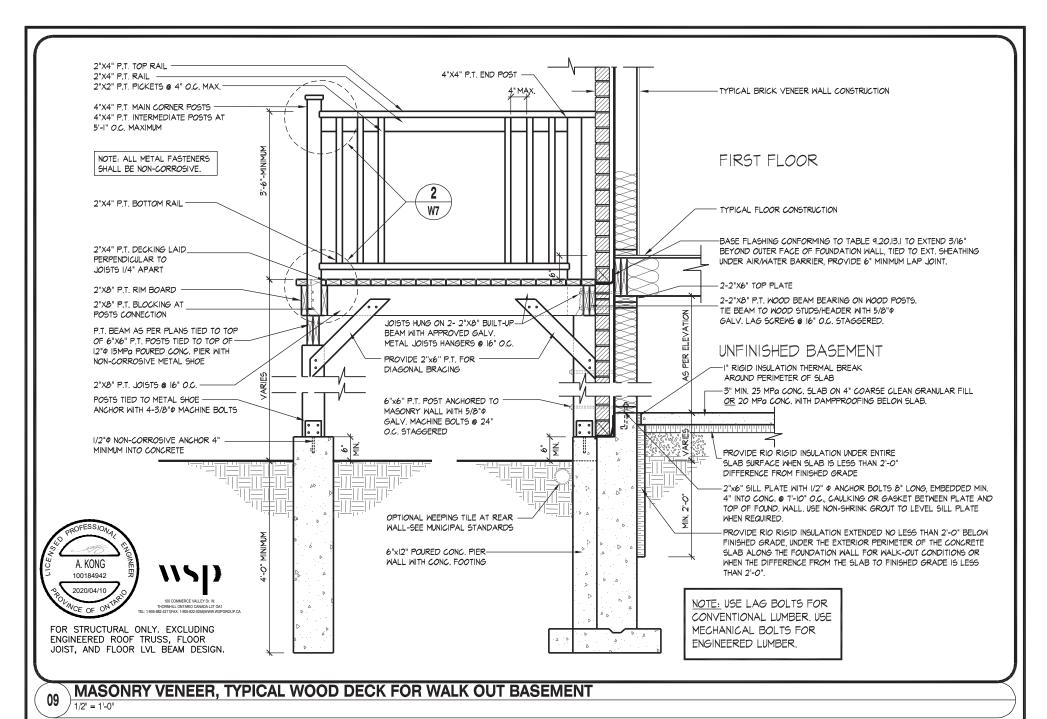
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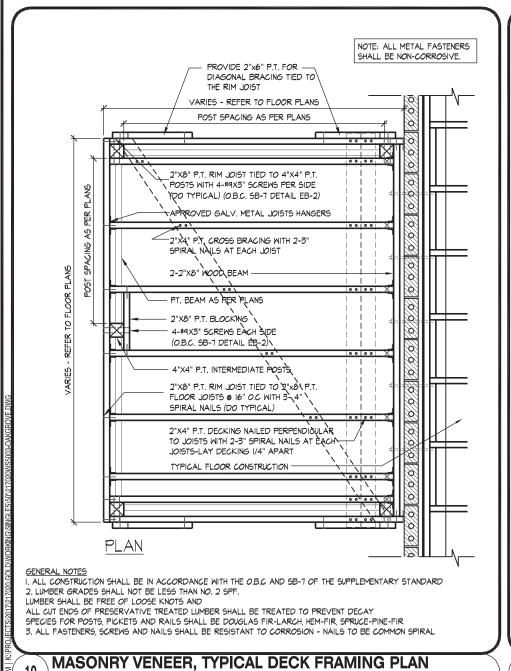
UNIT 5003 - THE OAKGROVE REV.2020.03.30

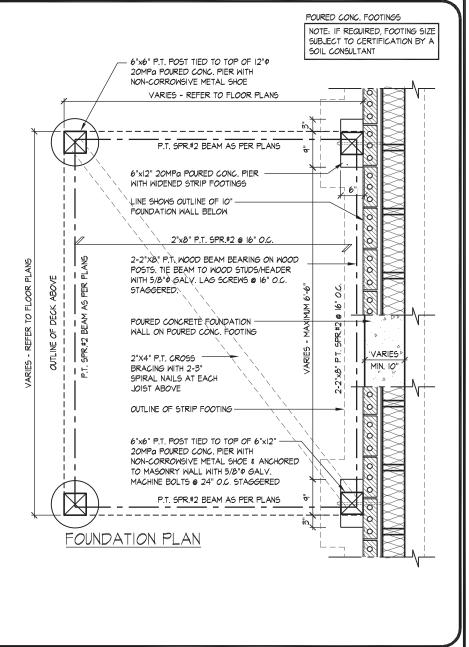
 Drawn By
 Checked By
 Scale
 File Number
 Page Number

 HDAI
 AW
 3/16"=1'-0"
 217020WS5003.dwg
 W5
 of
 W7

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MASONRY VENEER, TYPICAL DECK FOUNDATION PLAN 11

19695

QUALIFICATION INFORMATION

10

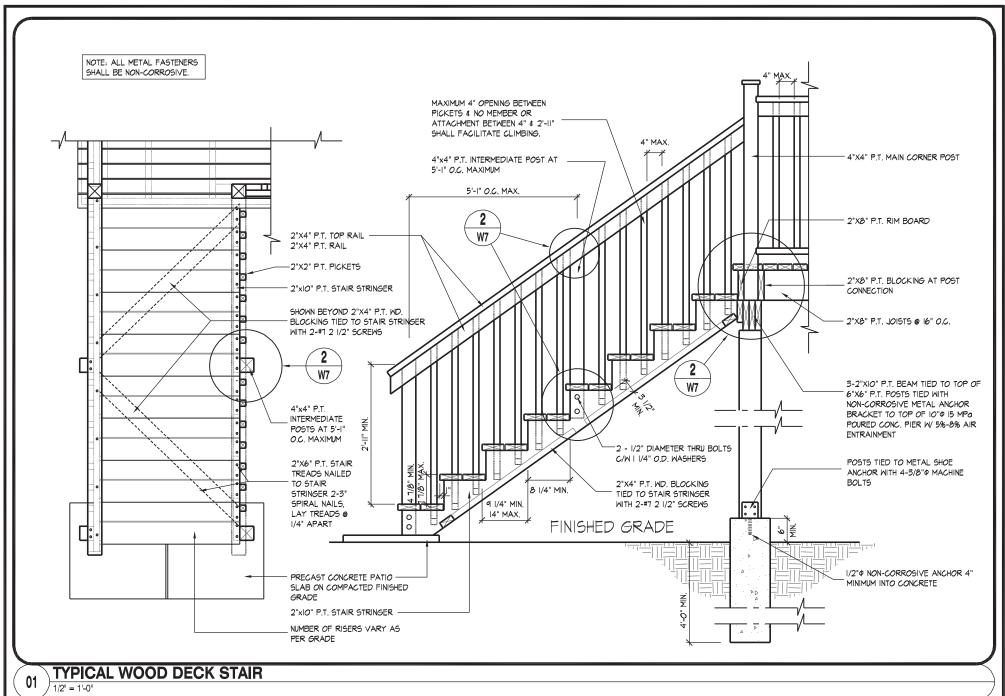
Allan Whiting

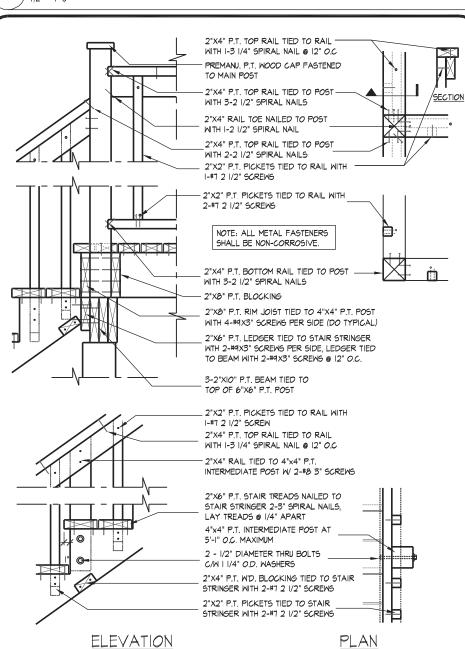
HUNT DESIGN ASSOCIATES INC.

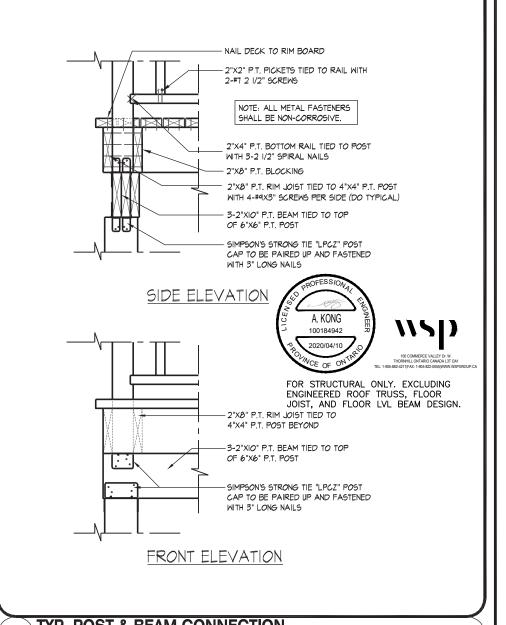
23177 DESIGN ASSOCIATES INC. **GOLDPARK HOMES - 217020** PINE VALLEY, VAUGHAN ONT.

DECK DETAILS 3 UNIT 5003 - THE OAKGROVE REV.2020.03.30

Flle Numbe 217020WS5003.dwg HDAI AW 3/16"=1'-0" W6 of W7 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326 www.huntdesign.ca







03 TYP. POST & BEAM CONNECTION

DECK DETAILS 4

GOLDPARK HOMES - 217020 UNIT 5003 - THE OAKGROVE

THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING
CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Alian Whiting
SIGNATURE
BCIN
DESIGN ASSOCIATES INC.

19695

TYP. MAIN AND INTERMEDIATE POST ANCHORAGE

02

HUNT DESIGN ASSOCIATES INC.

 PINE VALLEY, VAUGHAN ONT.
 REV.2020.03.30

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