



FRONT ELEVATION 'A'

FRONT ELEVATION 'B'

FRONT ELEVATION 'C'

UNIT 5003 - 'THE OAKGROVE'

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PREScriptive COMPLIANCE	SB-12 (SECTION 3.1.1) TABLE 3.1.1.3.A	
PACKAGE A1	SPACE HEATING FUEL	
	<input checked="" type="checkbox"/> GAS	<input type="checkbox"/> OIL
	<input type="checkbox"/> ELECTRIC	<input type="checkbox"/> PROPANE
	<input type="checkbox"/> EARTH	<input type="checkbox"/> SOLID FUEL

BUILDING COMPONENT	REQUIRED	PROPOSED
INSULATION RSI (R) VALUE		
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)
BASEMENT WALLS	3.52 ci (R20 ci) *	3.52 ci (R20 ci) *
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)		
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
WINDOWS & DOORS		
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8
APPLIANCE EFFICIENCY		
SPACE HEATING EQUIP. (AFUE%)	96%	96%
HRV EFFICIENCY (%)	75%	75%
DHW HEATER (EF)	0.8	0.8

AREA CALCULATIONS	EL. 'A'	EL. 'B'	EL. 'C'	WINDOW / WALL AREA CALCULATIONS
	STD/OPT. PLAN	STD/OPT. PLAN	STD/OPT. PLAN	
GROUND FLOOR AREA	1760 sq. ft. (163.51 sq. m.)	1743 sq. ft. (161.93 sq. m.)	1750 sq. ft. (162.58 sq. m.)	GROSS WALL AREA
SECOND FLOOR AREA	2123 sq. ft. (197.23 sq. m.)	2123 sq. ft. (197.23 sq. m.)	2125 sq. ft. (197.42 sq. m.)	GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)
SUBTOTAL	3883 sq. ft. (360.74 sq. m.)	3866 sq. ft. (359.16 sq. m.)	3875 sq. ft. (360.00 sq. m.)	TOTAL WINDOW %
DEDUCT ALL OPEN AREAS	21 sq. ft. (1.95 sq. m.)	21 sq. ft. (1.95 sq. m.)	21 sq. ft. (1.95 sq. m.)	GROSS WALL AREA
TOTAL NET AREA	3862 sq. ft. (358.79 sq. m.)	3845 sq. ft. (357.21 sq. m.)	3854 sq. ft. (358.05 sq. m.)	GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)
FINISHED BASEMENT AREA	100 sq. ft. (9.29 sq. m.)	100 sq. ft. (9.29 sq. m.)	100 sq. ft. (9.29 sq. m.)	TOTAL WINDOW %
COVERAGE W/OUT PORCH	2185 sq. ft. (202.99 sq. m.)	2172 sq. ft. (201.79 sq. m.)	2178 sq. ft. (202.34 sq. m.)	GROSS WALL AREA
COVERAGE W/ PORCH	2245 sq. ft. (208.57 sq. m.)	2232 sq. ft. (207.36 sq. m.)	2241 sq. ft. (208.20 sq. m.)	GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)
COVERAGE W/ OPT. LOGGIA	2516 sq. ft. (233.74 sq. m.)	2503 sq. ft. (232.54 sq. m.)	2512 sq. ft. (233.37 sq. m.)	TOTAL WINDOW %

- 1 - TITLE SHEET  
2 - BASEMENT PLAN, ELEVATION 'A'  
3 - GROUND FLOOR PLAN, ELEVATION 'A'  
4 - SECOND FLOOR PLAN, ELEVATION 'A'  
5 - PART. OPT. SECOND FLOOR PLAN W/ 5 BDRM., EL. 'A'  
6 - PART. BASEMENT PLAN, ELEVATION 'B'  
7 - GROUND & SECOND FLR. PLAN, ELEVATION 'B'  
8 - PART. BASEMENT PLAN, ELEVATION 'C'  
9 - GROUND & SECOND FLR. PLAN, ELEVATION 'C'  
10 - FRONT ELEVATION 'A'  
11 - LEFT SIDE ELEVATION 'A'  
12 - RIGHT SIDE ELEVATION 'A'  
13 - REAR ELEVATION 'A','B'&'C'  
14 - FRONT ELEVATION 'B'  
15 - LEFT SIDE ELEVATION 'B'  
16 - RIGHT SIDE ELEVATION 'B'  
17 - UPGRADED REAR EL.'B'  
18 - FRONT ELEVATION 'C'  
19 - LEFT SIDE ELEVATION 'C'  
20 - RIGHT SIDE ELEVATION 'C'  
21 - PARTIAL FLOOR PLANS FOR OPT. LOGGIA CONDITION  
22 - REAR ELEVATION FOR OPT. LOGGIA CONDITION  
23 - CROSS SECTION 'A-A'  
24 - DETAILS  
25 - CONSTRUCTION NOTES 1  
26 - CONSTRUCTION NOTES 2  
W1 - WALK OUT DECK CONDITION  
W2 - LOOK OUT DECK CONDITION  
W3 - WALK OUT BASEMENT CONDITION  
W3a - DECK CONDITION SPATIAL CALCULATIONS  
W3b - RIGHT SIDE ELEVATION 'A' - WOB CONDITION  
W4 - DECK DETAILS 1  
W5 - DECK DETAILS 2  
W6 - DECK DETAILS 3  
W7 - DECK DETAILS 4

EL. 'A'	EL. 'A'	EL. 'A' - WOD	EL. 'A' - WOD	EL. 'A' - LOD	EL. 'A' - LOD	EL. 'A' - WOB	EL. 'A' - WOB
STD. PLAN	OPT. 5 BDRM.	STD. PLAN	OPT. 5 BDRM.	STD. PLAN	OPT. 5 BDRM.	STD. PLAN	OPT. 5 BDRM.
4477.96 sq. ft. (416.02 sq. m.)	4477.96 sq. ft. (416.02 sq. m.)	4512.91 sq. ft. (419.26 sq. m.)	4512.91 sq. ft. (419.26 sq. m.)	4611.19 sq. ft. (428.39 sq. m.)	4611.19 sq. ft. (428.39 sq. m.)	4936.61 sq. ft. (458.63 sq. m.)	4936.61 sq. ft. (458.63 sq. m.)
599.78 sq. ft. (55.72 sq. m.)	608.44 sq. ft. (56.53 sq. m.)	601.44 sq. ft. (55.88 sq. m.)	610.11 sq. ft. (56.68 sq. m.)	620.61 sq. ft. (57.66 sq. m.)	629.28 sq. ft. (58.46 sq. m.)	733.61 sq. ft. (68.15 sq. m.)	742.27 sq. ft. (68.96 sq. m.)
13.39 %	13.59 %	13.33 %	13.52 %	13.46 %	13.65 %	14.86 %	15.04 %
EL. 'B'	EL. 'B'	EL. 'B' - WOD	EL. 'B' - WOD	EL. 'B' - LOD	EL. 'B' - LOD	EL. 'B' - WOB	EL. 'B' - WOB
STD. PLAN	OPT. 5 BDRM.	STD. PLAN	OPT. 5 BDRM.	STD. PLAN	OPT. 5 BDRM.	STD. PLAN	OPT. 5 BDRM.
4405.85 sq. ft. (409.32 sq. m.)	4405.85 sq. ft. (409.32 sq. m.)	4440.79 sq. ft. (412.56 sq. m.)	4440.79 sq. ft. (412.56 sq. m.)	4539.08 sq. ft. (421.69 sq. m.)	4539.08 sq. ft. (421.69 sq. m.)	4864.50 sq. ft. (451.93 sq. m.)	4864.50 sq. ft. (451.93 sq. m.)
617.00 sq. ft. (57.32 sq. m.)	625.67 sq. ft. (58.13 sq. m.)	618.67 sq. ft. (57.48 sq. m.)	627.33 sq. ft. (58.28 sq. m.)	637.83 sq. ft. (59.26 sq. m.)	646.50 sq. ft. (60.06 sq. m.)	750.83 sq. ft. (69.75 sq. m.)	759.50 sq. ft. (70.56 sq. m.)
14.00 %	14.20 %	13.93 %	14.13 %	14.05 %	14.24 %	15.43 %	15.61 %
EL. 'C'	EL. 'C'	EL. 'C' - WOD	EL. 'C' - WOD	EL. 'C' - LOD	EL. 'C' - LOD	EL. 'C' - WOB	EL. 'C' - WOB
STD. PLAN	OPT. 5 BDRM.	STD. PLAN	OPT. 5 BDRM.	STD. PLAN	OPT. 5 BDRM.	STD. PLAN	OPT. 5 BDRM.
4433.00 sq. ft. (411.84 sq. m.)	4433.00 sq. ft. (411.84 sq. m.)	4467.94 sq. ft. (415.09 sq. m.)	4467.94 sq. ft. (415.09 sq. m.)	4566.23 sq. ft. (424.22 sq. m.)	4566.23 sq. ft. (424.22 sq. m.)	4891.65 sq. ft. (454.45 sq. m.)	4891.65 sq. ft. (454.45 sq. m.)
732.50 sq. ft. (68.05 sq. m.)	741.17 sq. ft. (68.86 sq. m.)	734.17 sq. ft. (68.21 sq. m.)	742.83 sq. ft. (69.01 sq. m.)	753.33 sq. ft. (69.99 sq. m.)	762.00 sq. ft. (70.79 sq. m.)	866.33 sq. ft. (80.48 sq. m.)	875.00 sq. ft. (81.29 sq. m.)
16.52 %	16.72 %	16.43 %	16.63 %	16.50 %	16.69 %	17.71 %	17.89 %

7. -	-	-
6. -	-	-
5. -	-	-
4. -	-	-
3. -	-	-
2. REV. AS PER FLOOR, ROOF AND STRUCTURAL ENGINEER ISSUE FOR PERMIT	2020.03.30	MAS
1. REVISED DESIGN AS PER CLIENT COMMENTS	2019/11/25	BB
REVISIONS	DATE (YYYY/MM/DD)	BY

TITLE SHEET

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION  
Allan Whiting  
NAME  
REGISTRATION INFORMATION  
HUNT DESIGN ASSOCIATES INC.

  
SIGNATURE

23177  
BCIN

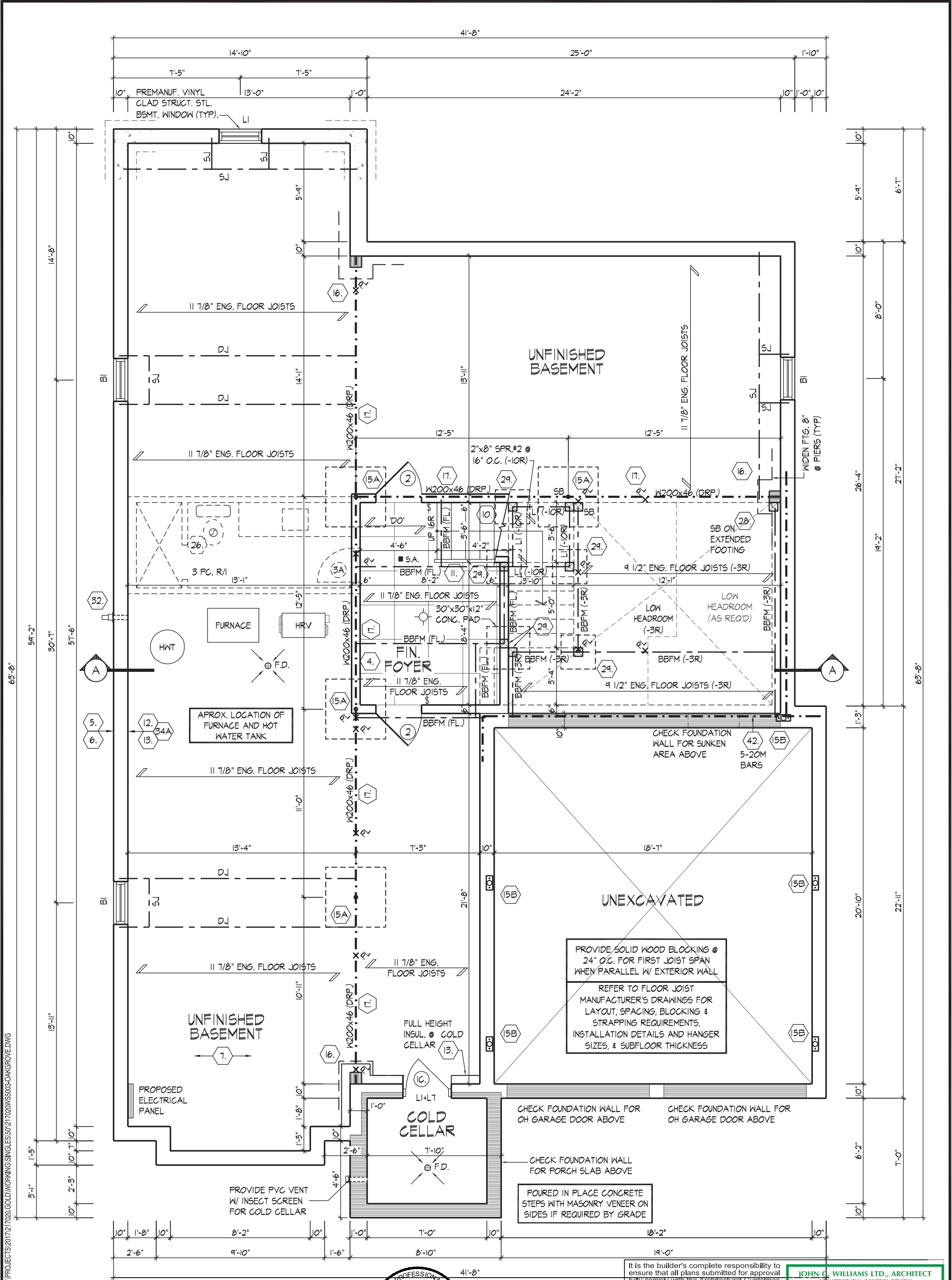
  
HUNT DESIGN ASSOCIATES INC.  
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GOLDPARK HOMES - 217020  
PINE VALLEY, VAUGHAN, ONTARIO

Drawn By  
WD  
Checked By  
AW  
Scale  
3/16"=1'-0"  
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

UNIT 5003 - THE OAKGROVE  
REV.2020.03.30

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BASEMENT PLAN, EL. 'A'



FOR STRUCTURAL ONLY. EXCLUDING  
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BASEMENT PLAN, ELEVATION 'A'

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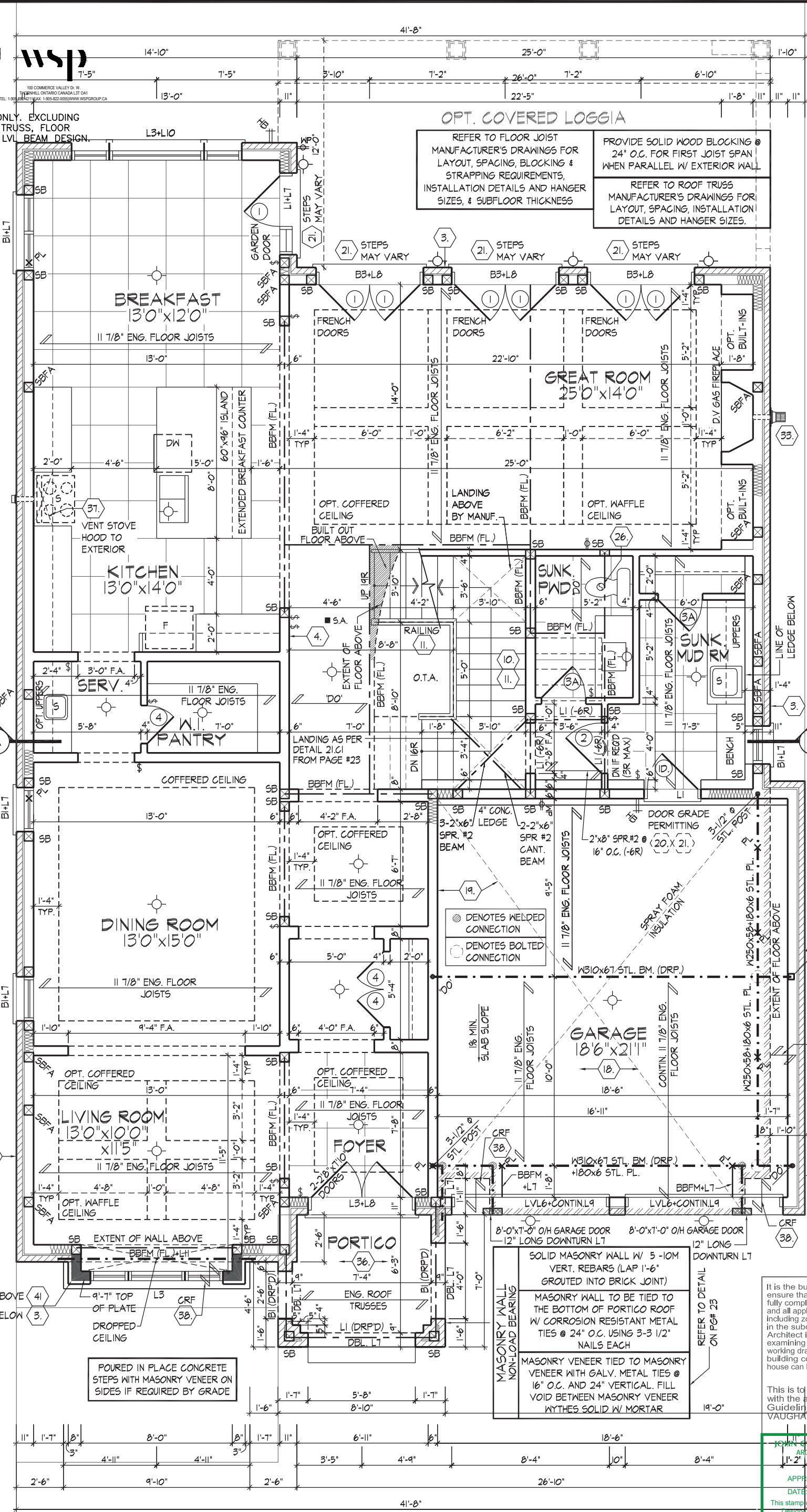


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UNIT 5003 - THE OAKGROVE  
REV.2020.03.30

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GROUND FLOOR PLAN, EL. 'A'

GROUND FLOOR PLAN, ELEVATION 'A'

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QUALIFICATION INFORMATION  
Allan Whiting  
NAME  
REGISTRATION INFORMATION  
HUNT DESIGN ASSOCIATES INC.

Signature of Allan Whiting

23177 BCIN

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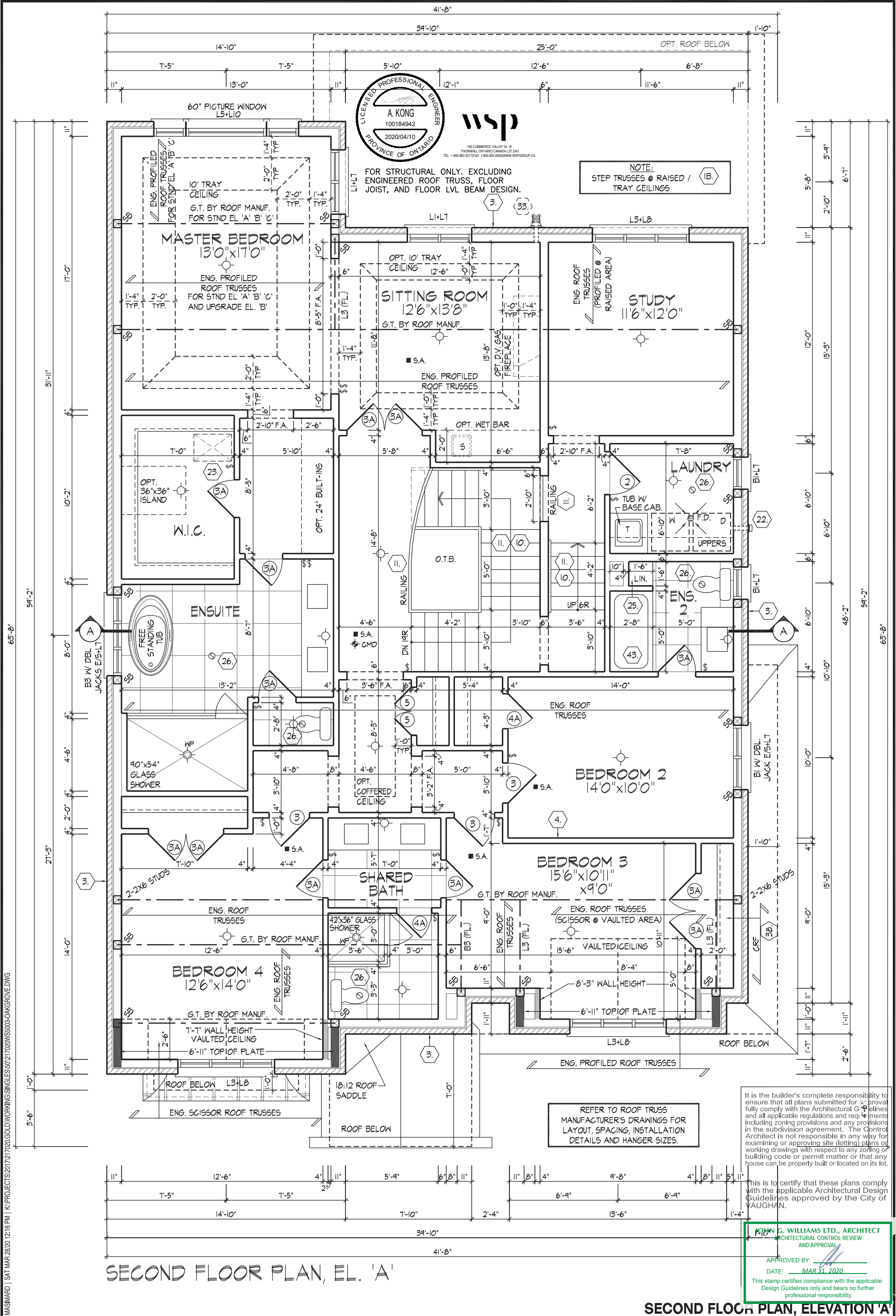
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UNIT 5003 - THE OAKGROVE  
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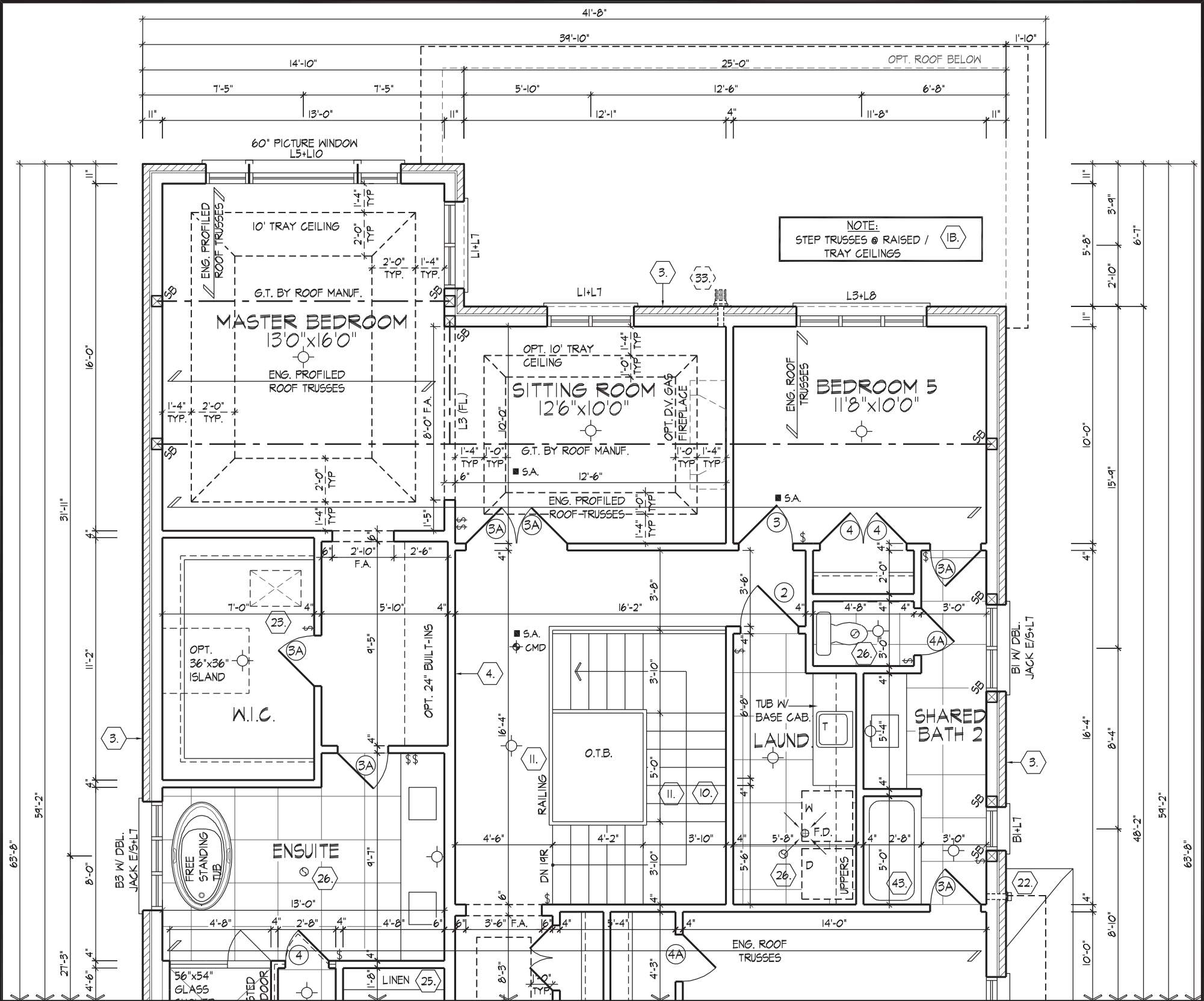
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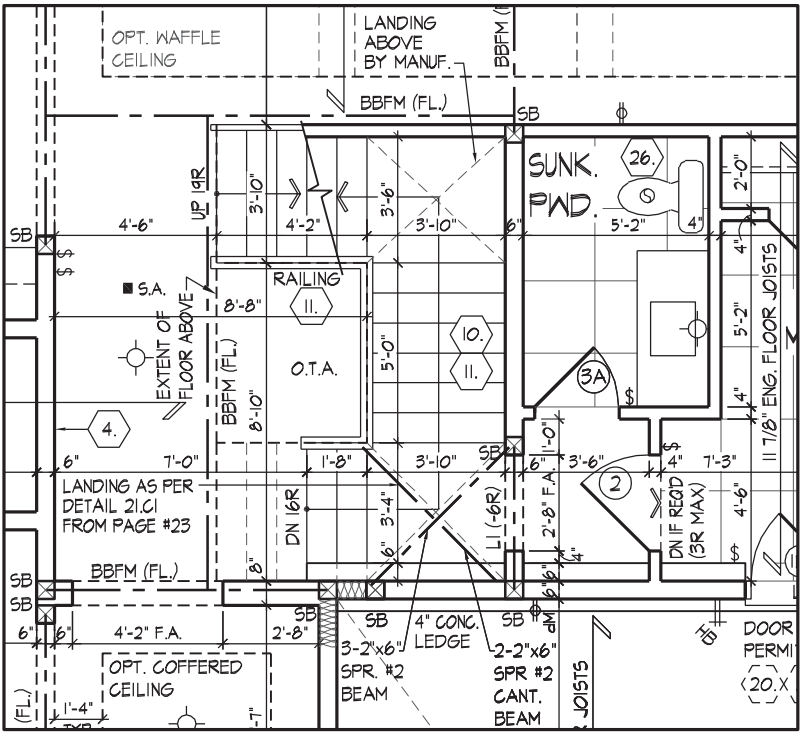
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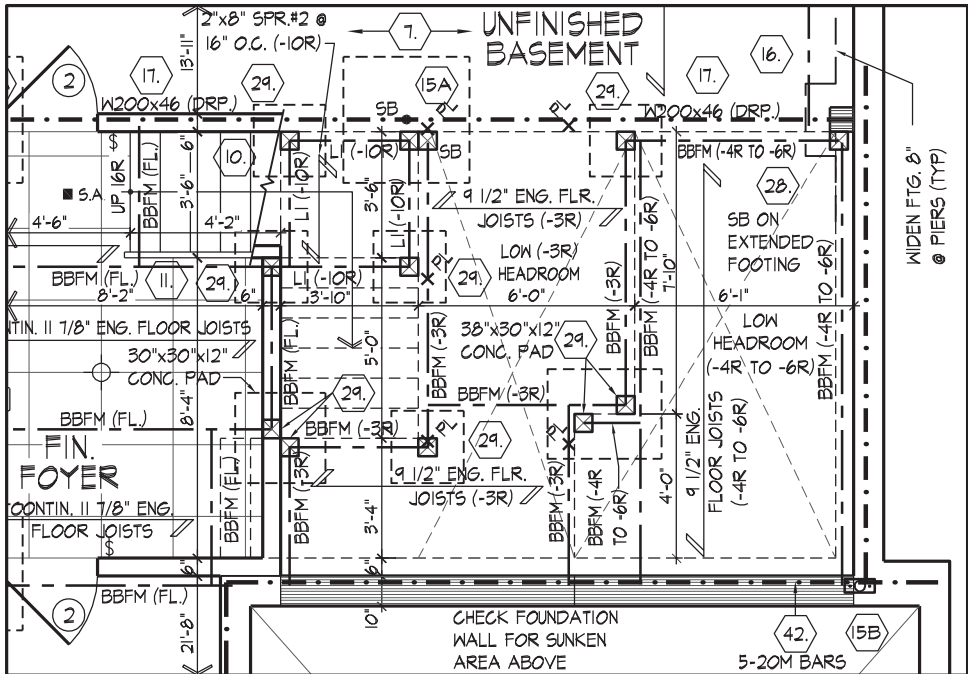




PART. OPT. SECOND FLOOR PLAN (5 BEDROOMS), EL. 'A'  
(ELEV. 'B' & 'C' SIMILAR)



PART. GROUND FLOOR PLAN FOR  
OPT. SECOND FLOOR PLAN EL. 'A'  
(ELEV. 'B' & 'C' SIMILAR)



PART. BASEMENT PLAN FOR SUNKEN  
MUDROOM EL. 'A' -4R TO -6R CONDITION  
(ELEV. 'B' & 'C' SIMILAR)



100 COMMERCIAL VALLEY DR. W.  
THORNHILL, ONTARIO CANADA L3T 0A1  
TEL: 1-905-882-4211 FAX: 1-905-882-3050 WWW.WSPGROUP.COM

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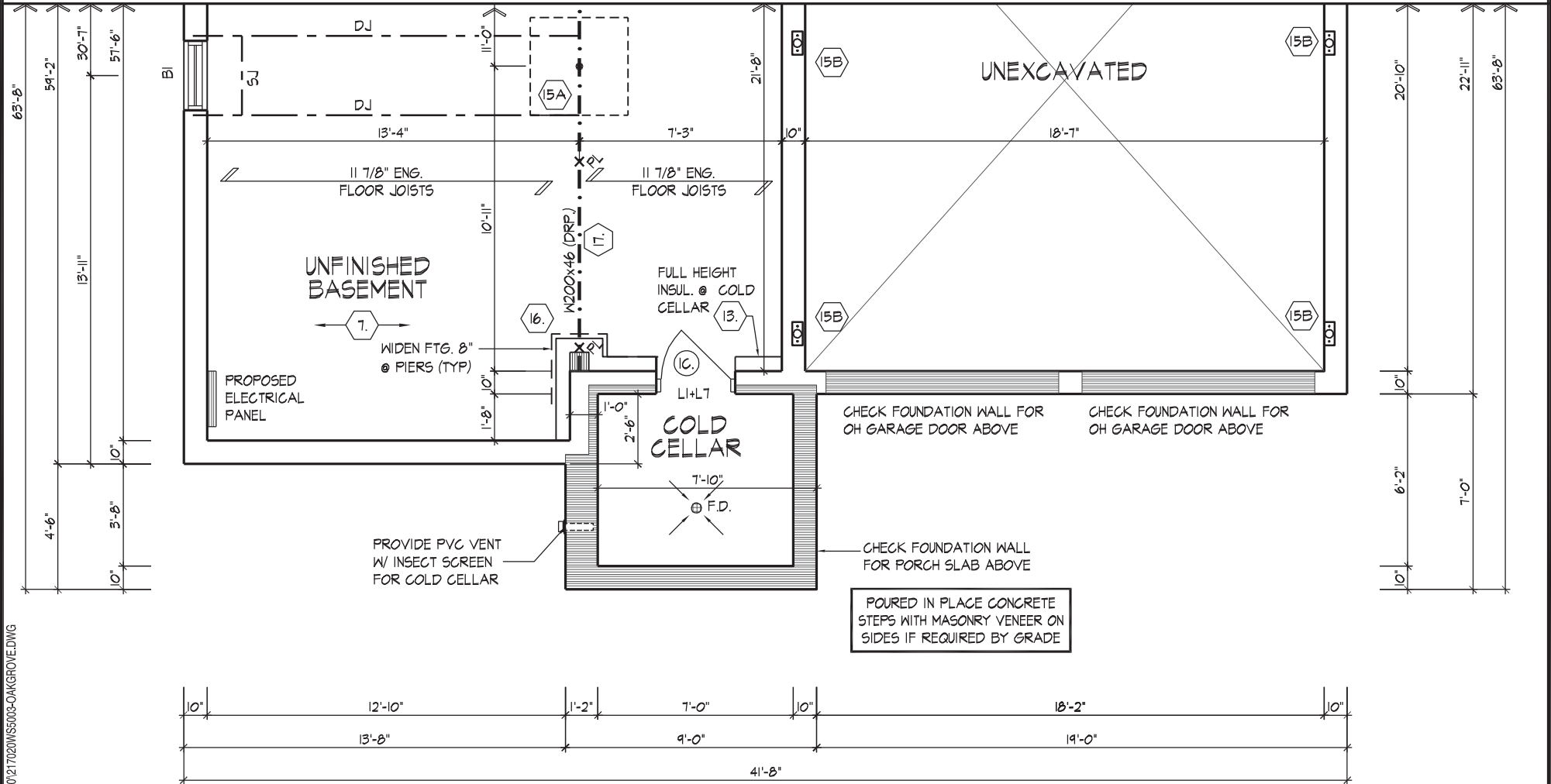
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PART. OPT. SECOND FLOOR PLAN W/ 5 BDRM., EL. 'A'

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PART. BASEMENT PLAN, EL. 'B'

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS



100 COMMERCE VALLEY DR. W.  
THORNHILL, ONTARIO CANADA L3T 0A7  
TEL: 1-905-462-4211 FAX: 1-905-462-4205 WWW.WSPGROUP.CA

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: MAR 31, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

PART. BASEMENT PLAN, ELEVATION 'B'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION  
Allan Whiting  
SIGNATURE  
BCIN  
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HUNT DESIGN ASSOCIATES INC. 19695



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GOLDPARK HOMES - 217020  
PINE VALLEY, VAUGHAN, ONTARIO

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UNIT 5003 - THE OAKGROVE  
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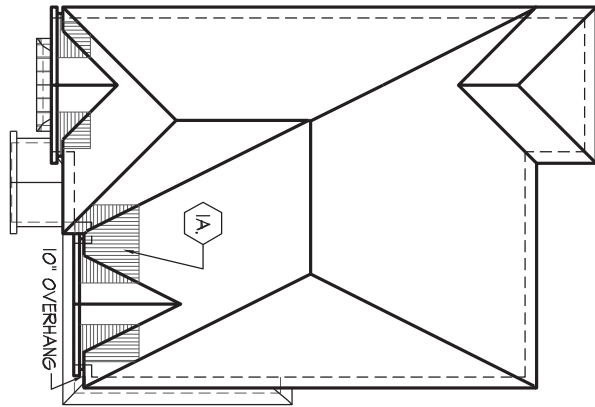






# ROOF PLAN ELEVATIONS.

ROOF OVERHANGS TO BE 15'  
UNLESS NOTED OTHERWISE



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ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: \_\_\_\_\_  
DATE: MAR 31, 2020

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### FRONT ELEVATION 'A'

**UNIT 5003 - THE OAKGROVE**  
REV.2020.03.30



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### QUALIFICATION INFORMATION

Alan Whiting

NAME  
REGISTRATION INFORMATION

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BCIN

BCIN

19695

**HUNT**   
DESIGN ASSOCIATES INC.

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**GOLDPARK HOMES - 217020**  
PINE VALLEY, VAUGHAN, ONTARIO

Drawn By **WD**      Checked By **AW**      Scale **3/16" = 1'-0"**

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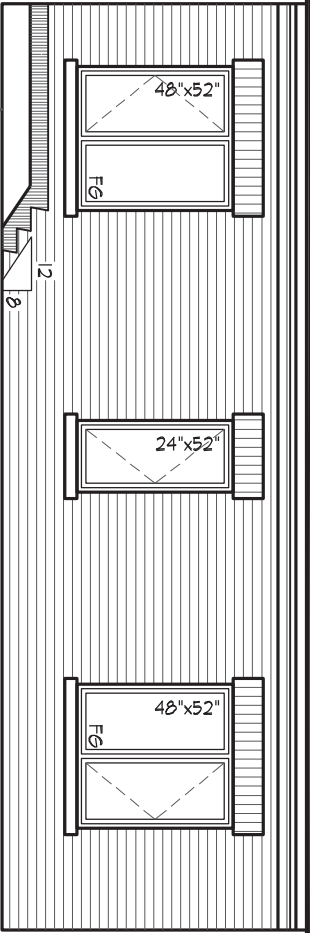




WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
RIGHT SIDE ELEV. 'A', STD.				RIGHT SIDE ELEV. 'A', STD./OPT.			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	48"	62"	14.67	1	48"	56"	15.89
2	24"	92"	13.33	1	92"	20"	5.33
1	24"	92"	6.67	1	36"	92"	17.33
1	30"	16"	2.17	1	16"	92"	6.50
0	0"	0"	0.00				
0	ARCH	0.00	0.00				
PORTION #1				PORTION #2			
EXPOSING BUILDING				EXPOSING BUILDING			
FACE AREA				FACE AREA			
121.54 S.M.				121.54 S.M.			
PORTION WALL AREA				PORTION WALL AREA			
1101.83 S.F.				144.83 S.M.			
PORTION WALL AREA				PORTION WALL AREA			
102.36 S.M.				9.40 m			
LIMITING DISTANCE				LIMITING DISTANCE			
1.2 m				34			
MAX. % OPENINGS				MAX. % OPENINGS			
7				7			
MAX. % OPENINGS				MAX. % OPENINGS			
77.13 S.F.				49.24 S.F.			
OPENINGS ALLOWED				OPENINGS ALLOWED			
36.83 S.F.				45.06 S.F.			
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE				GLAZED AREA CALCULATED W/ FRAME SIZE			
MINUS 2' AROUND ENTIRE PERIMETER				MINUS 2' AROUND ENTIRE PERIMETER			

ROOF OVERHANGS TO BE 15"  
UNLESS NOTED OTHERWISE  
REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES & INFO.

WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
RIGHT SIDE ELEV. 'A', OPT. 2ND.				RIGHT SIDE ELEV. 'A', OPT. 2ND.			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	48"	92"	29.33	2	48"	92"	29.33
1	24"	92"	6.67	1	24"	92"	6.67
1	30"	16"	2.17	1	30"	16"	2.17
0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
PORTION #1				PORTION #1			
EXPOSING BUILDING				EXPOSING BUILDING			
FACE AREA				FACE AREA			
121.54 S.M.				121.54 S.M.			
PORTION WALL AREA				PORTION WALL AREA			
1101.83 S.F.				102.36 S.M.			
LIMITING DISTANCE				LIMITING DISTANCE			
1.2 m				1.2 m			
MAX. % OPENINGS				MAX. % OPENINGS			
7				7			
MAX. % OPENINGS				MAX. % OPENINGS			
77.13 S.F.				44.83 S.F.			
OPENINGS PROVIDED				OPENINGS PROVIDED			
44.83 S.F.				44.83 S.F.			
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE				GLAZED AREA CALCULATED W/ FRAME SIZE			
MINUS 2' AROUND ENTIRE PERIMETER				MINUS 2' AROUND ENTIRE PERIMETER			



OPT. SECOND FLR. PLAN (5 BDRM.)  
RIGHT SIDE ELEVATION 'A'

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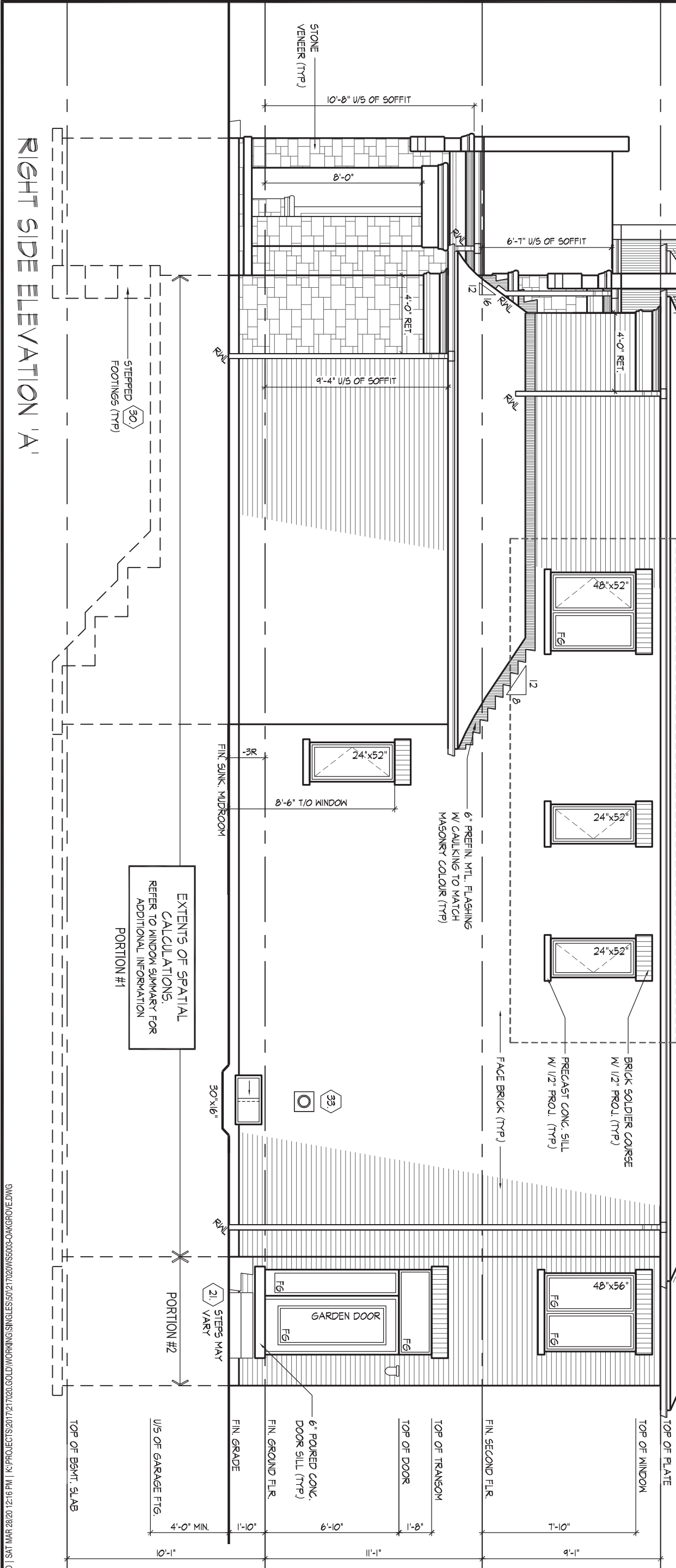
JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:

DATE: MAR 31, 2020

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RIGHT SIDE ELEVATION 'A'



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME: Allan Whiting

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

SIGNATURE

23177

BCIN

**HUNT**  
DESIGN ASSOCIATES INC.

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**GOLDPARK HOMES - 217020**  
**PINE VALLEY, VAUGHAN, ONTARIO**

Drawn By: WD  
Checked By: AW  
Scale: 3/16"=1'-0"

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

**UNIT 5003 - THE OAKGROVE**  
**REV.2020.03.30**

File Number: 217020WS5003.dwg

Page Number: 12 of 26



ROOF OVERHANGS TO BE 15"  
UNLESS NOTED OTHERWISE

REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES & INFO.





EXTENTS OF SPATIAL  
CALCULATIONS.  
REFER TO WINDOW SUMMARY FOR  
ADDITIONAL INFORMATION

TOP OF BSMT. SLAB

10'-

## FIN. GRADE

NEER (TYP.)




**HUNT**   
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**GOLDPARK HOMES - 217020**  
PINE VALLEY, VAUGHAN, ONTARIO

**UNIT 5003 - THE OAKGROVE**  
REV.2020.03.30

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QUALIFICATION INFORMATION

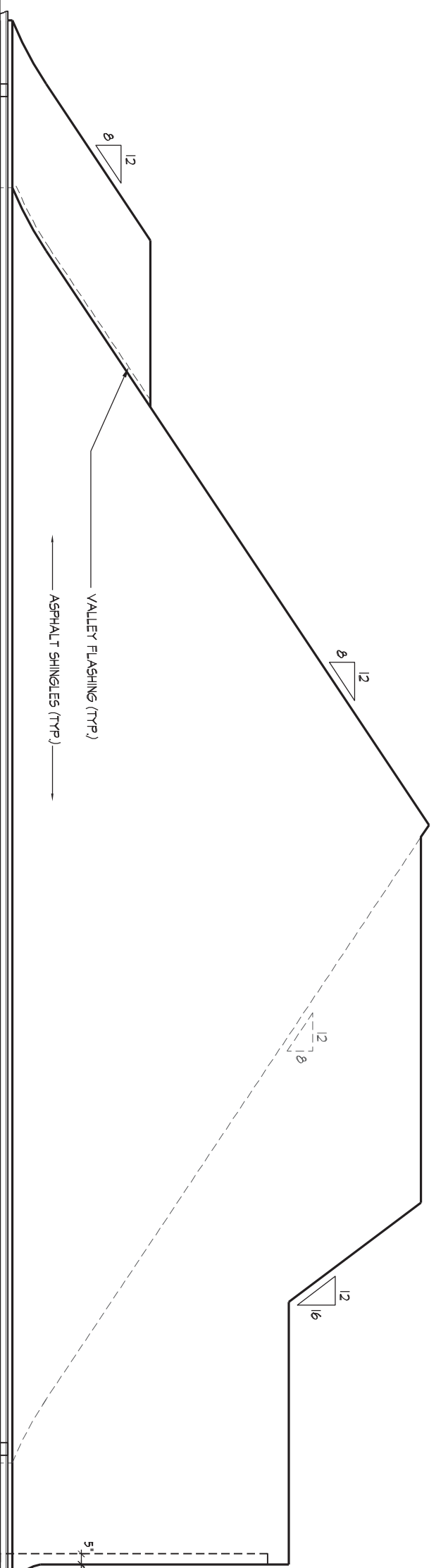
Alan Whiting		2317
NAME	SIGNATURE	BCIN

REGISTRATION INFORMATION

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Drawn By	Checked By	Scale	File Number	Page Number
WD	AW	3/16"=1'-0"	217020WS5003.dwg	15 of 26
8966 Woodbine Ave. Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326				



ROOF OVERHANGS TO BE 15"  
UNLESS NOTED OTHERWISE

REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES & INFO.

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION 'B'		WINDOW / DOOR	
QUAN.	WIDTH	DEPTH	FRAME SIZE (S.F.)
2	30"	16"	4.33
2	48"	72"	20.78
2	28"	68"	21.33
1	60"	56"	20.22
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	1301.67	S.F.	
FACE AREA	120.93	S.M.	
PORTION WALL AREA	1301.67	S.F.	
	120.93	S.M.	
LIMITING DISTANCE	1.2 m		
MAX. % OPENINGS	7	%	
OPENINGS ALLOWED	91.12	S.F.	
OPENINGS PROVIDED	66.67	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE			
MINUS 2" AROUND ENTIRE PERIMETER			

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: [Signature]

DATE: MAR 31, 2020

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### LEFT SIDE ELEVATION 'B'

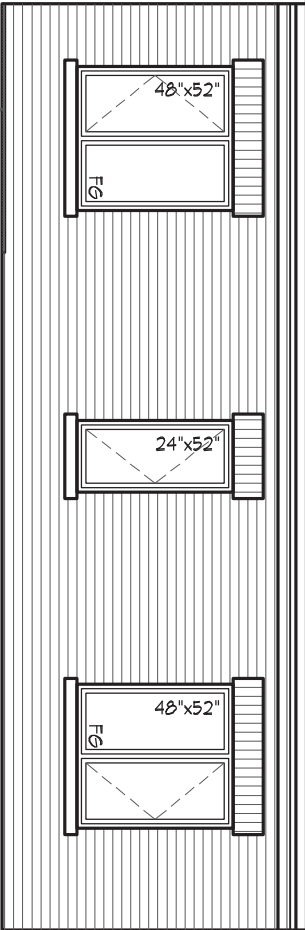


WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
RIGHT SIDE ELEV. 'B', STD.				RIGHT SIDE ELEV. 'B', STD./OPT.			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	48"	52"	14.67	1	48"	56"	15.89
2	24"	52"	13.33	1	32"	20"	5.33
1	24"	52"	6.67	1	36"	62"	17.33
1	30"	16"	2.17	1	16"	62"	6.50
0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	PORTION #2			
PORTION #1				EXPOSING BUILDING	1301.67	S.F.	
EXPOSING BUILDING				FACE AREA	120.93	S.M.	
FACE AREA				PORTION WALL AREA	134.83	S.F.	
PORTION WALL AREA				LIMITING DISTANCE	9.40 m		
LIMITING DISTANCE				MAX. % OPENINGS	34	%	
MAX. % OPENINGS				OPENINGS ALLOWED	49.24	S.F.	
OPENINGS ALLOWED				OPENINGS PROVIDED	45.06	S.F.	
ADDITIONAL NOTES				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

ROOF OVERHANGS TO BE 15"  
UNLESS NOTED OTHERWISE  
REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES & INFO.

WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
RIGHT SIDE ELEV. 'B', OPT. 2ND.				RIGHT SIDE ELEV. 'B', OPT. 2ND.			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	48"	52"	29.33	1	24"	52"	6.67
1	24"	52"	6.67	1	30"	16"	2.17
0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	PORTION #1			
PORTION #1				EXPOSING BUILDING	1301.67	S.F.	
EXPOSING BUILDING				FACE AREA	120.93	S.M.	
FACE AREA				PORTION WALL AREA	1101.83	S.F.	
PORTION WALL AREA				LIMITING DISTANCE	12.2m		
LIMITING DISTANCE				MAX. % OPENINGS	7	%	
MAX. % OPENINGS				OPENINGS ALLOWED	77.13	S.F.	
ADDITIONAL NOTES				OPENINGS PROVIDED	44.83	S.F.	
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

OPT. SECOND FLR. PLAN (5 BDRM.)  
RIGHT SIDE ELEVATION 'B'



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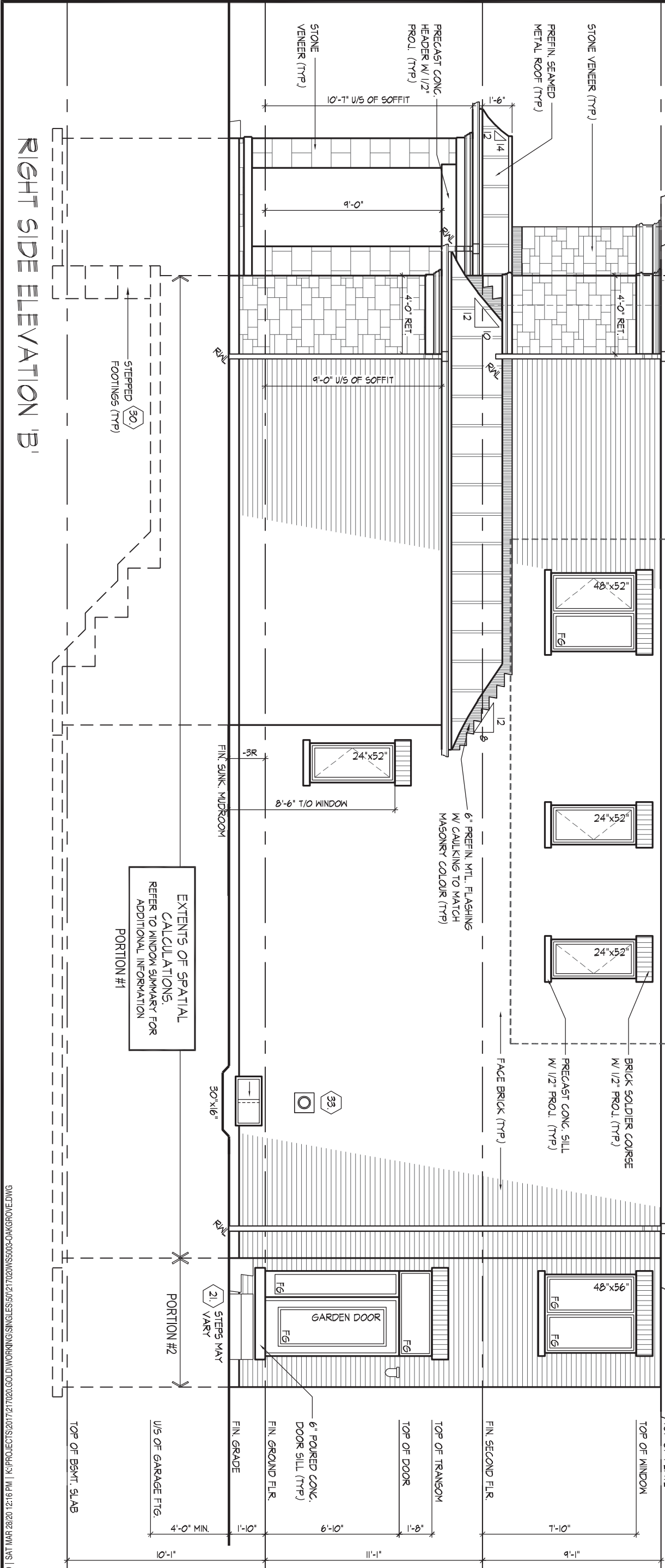
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ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:

DATE: MAR 31, 2020

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RIGHT SIDE ELEVATION 'B'



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QUALIFICATION INFORMATION

Alan Whiting

NAME

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

23177

BCIN

19895

HUNT DESIGN ASSOCIATES INC.

www.huntdesign.ca

GOLDPARK HOMES - 217020  
PINE VALLEY, VAUGHAN, ONTARIO

Drawn By

Checked By

Scale

3/16"=1'-0"

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

File Number

217020WS5003.dwg

Page Number

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WINDOW SUMMARY			
PER O.B.C. TABLE 8.10.15.4			
REAR ELEVATION B			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	72"	56"	24.56
1	48"	56"	15.89
2	24"	56"	14.44
2	60"	56"	20.22
2	24"	72"	18.89
1	60"	72"	26.44
0	0"	0"	0.00
3	DOOR & TRAN	43.56	130.88
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING		905.74	S.F.
FACE AREA		84.15	S.M.
PORTION WALL AREA		905.74	S.F.
		84.15	S.M.
LIMITING DISTANCE		7.50 m	
MAX. % OPENINGS		50.50	%
OPENINGS ALLOWED		457.40	S.F.
OPENINGS PROVIDED		251.12	S.F.
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

ROOF OVERHANGS TO BE 15" UNLESS NOTED OTHERWISE  
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.

ROOF OUTLINE OF ELEVATION 'B' (TYP)

ASPHALT SHINGLES (TYP)

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ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY:

DATE: MAR 31, 2020

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UPGRADED REAR EL.'B'

UNIT 5003 - THE OAKGROVE

REV.2020.03.30

UPGRADED REAR ELEVATION 'B'

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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allan Whiting

NAME SIGNATURE

23177 BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

19895

HUNT DESIGN ASSOCIATES INC.

www.huntdesign.ca

GOLDPARK HOMES - 217020

PINE VALLEY, VAUGHAN, ONTARIO

Drawn By WD Checked By AW Scale 3/16"=1'-0"

File Number 217020WS5003.dwg

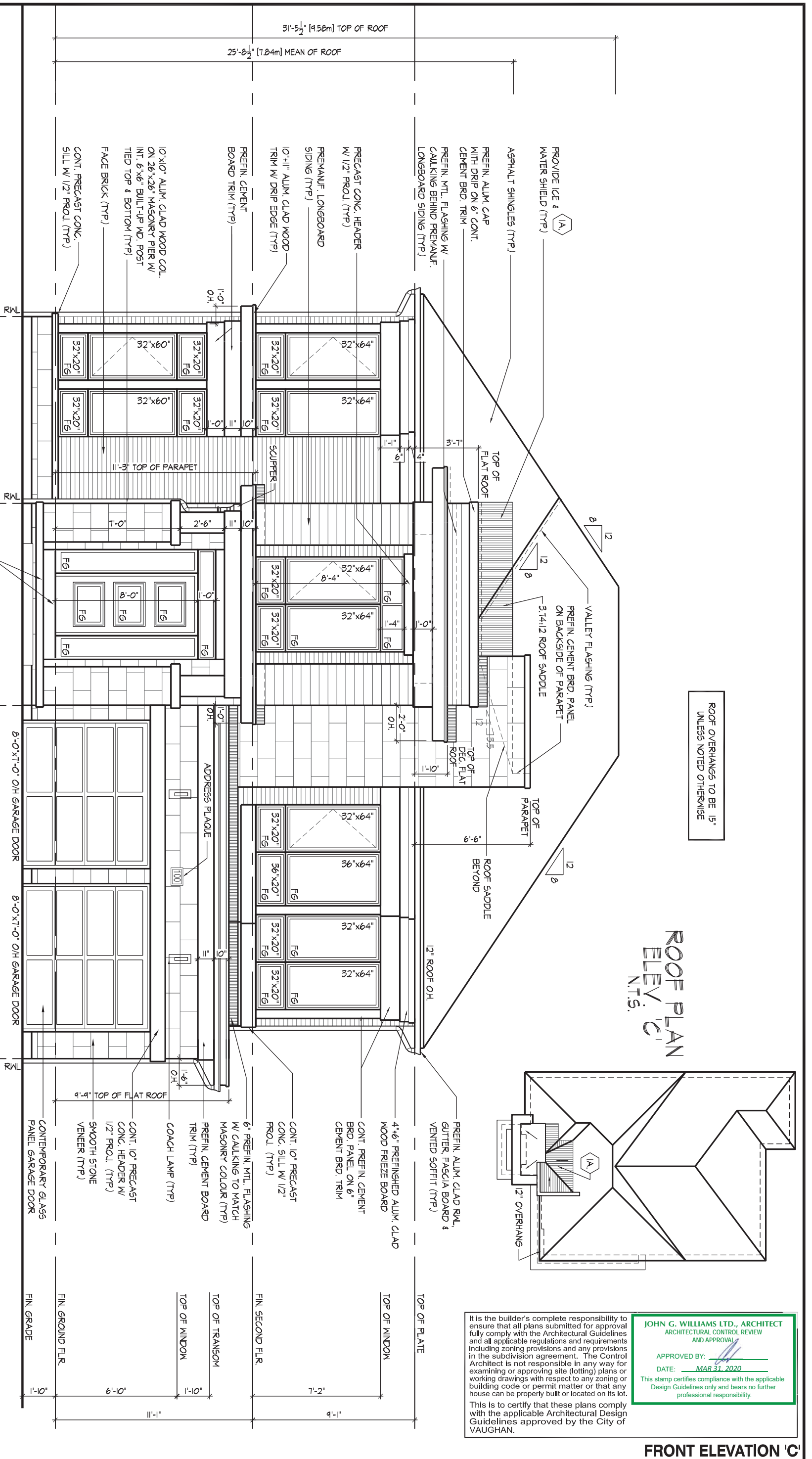
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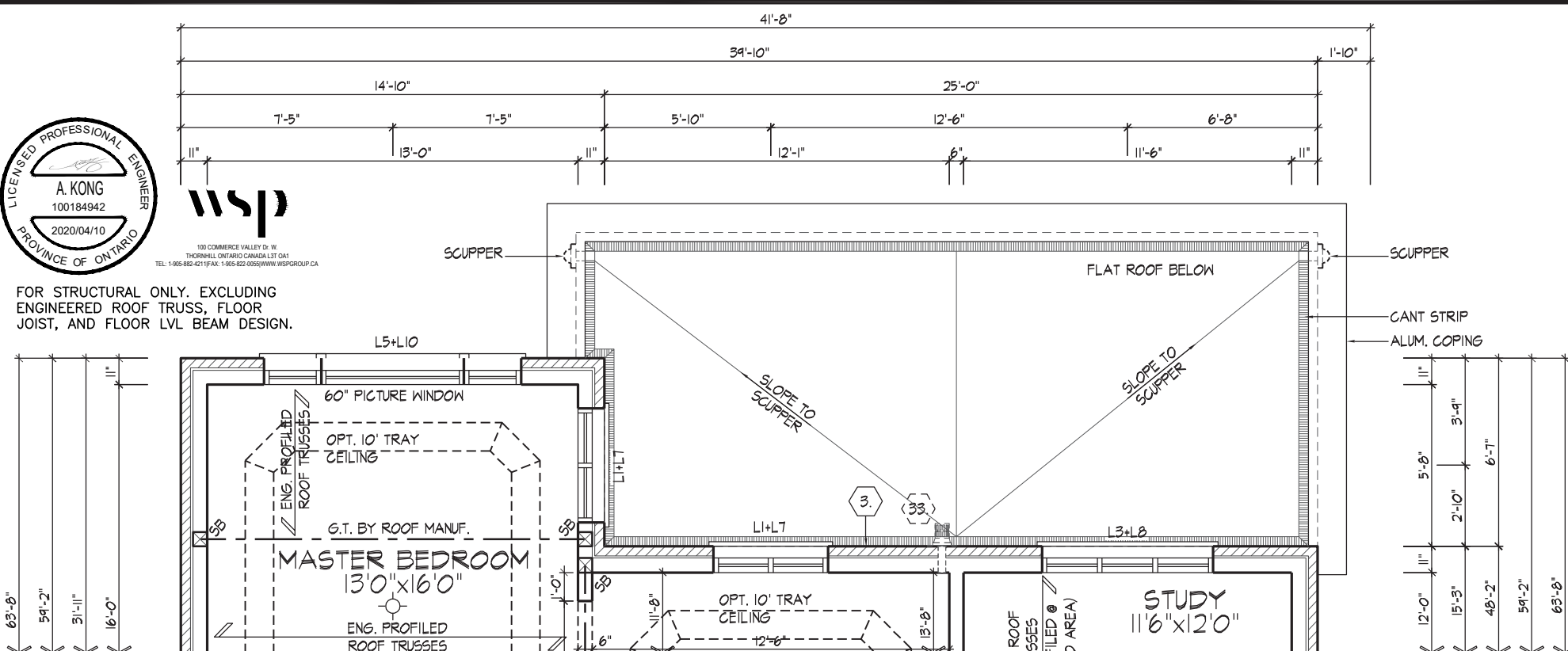






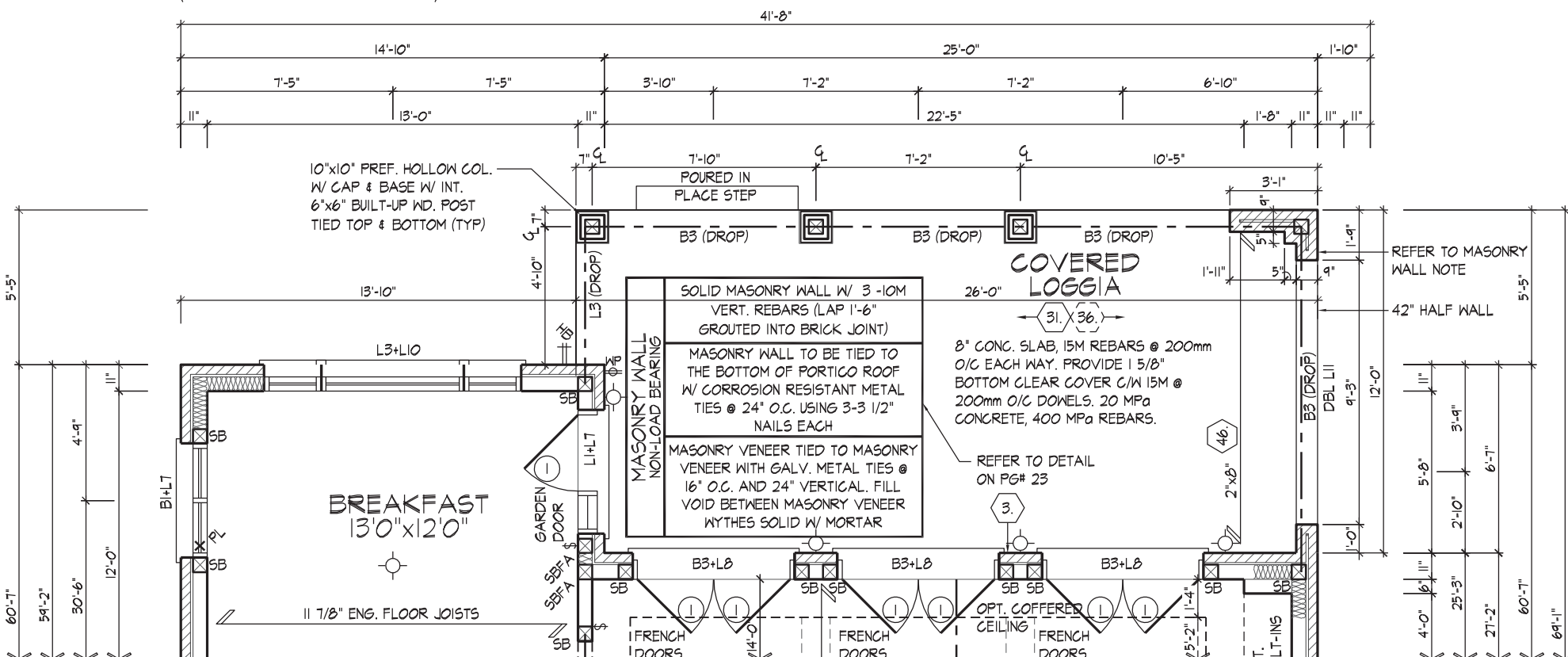


FOR STRUCTURAL ONLY. EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL BEAM DESIGN.



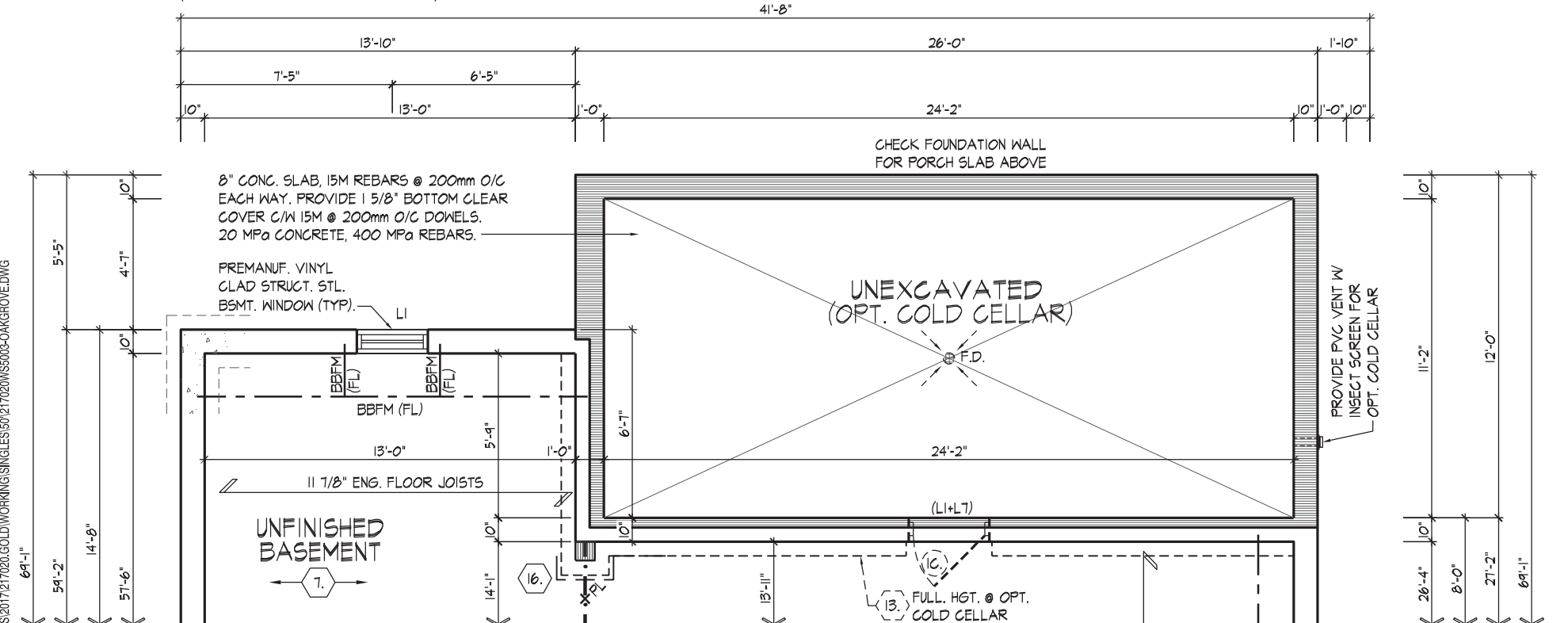
PART. SECOND FLOOR PLAN, OPT. LOGGIA EL. 'A  
(ELEV. 'B' & 'C' SIMILAR)

REFER TO STANDARD PLAN FOR  
COMPLETE CONSTRUCTION NOTES  
& DIMENSIONS



PART. GROUND FLOOR PLAN, OPT. LOGGIA EL. 'A  
(ELEV. 'B' & 'C' SIMILAR)

REFER TO STANDARD PLAN FOR  
COMPLETE CONSTRUCTION NOTES  
& DIMENSIONS



PART. BASEMENT PLAN OPT. LOGGIA EL. 'A  
(ELEV. 'B' & 'C' SIMILAR)

REFER TO STANDARD PLAN FOR  
COMPLETE CONSTRUCTION NOTES  
& DIMENSIONS

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**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: \_\_\_\_\_  
DATE: MAR 31, 2020

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### PARTIAL FLOOR PLANS FOR OPT. LOGGIA CONDITION

**GOLDPARK HOMES - 217020**  
PINE VALLEY, VAUGHAN, ONTARIO

**UNIT 5003 - THE OAKGROVE**  
REV.2020.03.30

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

**Alan Whiting**

NAME  
REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

23177

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**HUNT**   
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Figure 2

Checked By \_\_\_\_\_

Scale

Scale  
3/16"=1'-0"

File Name:

217020WS5003.dwc

Dee Mueh

Page Number  
21 of 26















cont. SECTION 1.0. CONSTRUCTION NOTES

- 40

**1 HR. PARTY WALL (CONC. BLOCK)** ((SB-3] WALL TYPE 'B6e' & 'B1b')  
1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WD. STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OR FURRED WITH 2"x2" (38x38) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.
- 40

DBL. STUD

**1 HR. PARTY WALL (DOUBLE STUD)** ((SB-3] WALL TYPE 'W13c')  
5/8" (15.9) TYPE 'X' GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2"x4" (38x89) STUDS @ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"x4" (38x89) SILL PLATES. (2"x6" (38x140) AS REQUIRED) FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE FILL AND SAND ALL GYPSUM JOINTS.
- 40A

**2 HR. FIREWALL** ((SB-3] WALL TYPE 'B6e' & 'B1b')  
1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK 75% SOLID. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)
- 41

**STUCCO WALL CONSTRUCTION**  
STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOARD ON STUDS CONFORMING TO O.B.C. (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)
- 41A

**STUCCO WALL CONSTRUCTION W/ CONTIN. INSULATION**  
STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS. ON 7/16" EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)
- 41B

**STUCCO WALL @ GARAGE CONST.**  
STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.I.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.)  
\*\*\* FOR DWELLINGS USING CONTIN. INSULATION CONSTRUCTION, PROVIDE APPROVED DRAINAGE MAT ON 7/16" (11) EXTERIOR TYPE SHEATHING OVER FURRING (AS REQ.) AND STUDS IN LIEU OF 1 1/2" (38) E.F.I.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD.
- 42

**UNSUPPORTED FOUNDATION WALLS** (9.15.4.2.)  
REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS  
2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING)  
3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" OPENING)  
4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING)  
- BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL @ 6" O.C.  
REINFORCING AT BASEMENT WINDOWS  
2-15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN. SILL. EXTEND BARS 24" (610) BEYOND THE OPENING. 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING.  
- BARS TO HAVE MIN. 2" (50) CONC. COVER  
- BARS TO EXTEND 2'-0" (610) BEYOND BOTH SIDES OF OPENING
- 43

**STUD WALL REINFORCEMENT**  
PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.(1) AND 3.8.3.8.(3)) (REFER TO DETAILS)
- 44

**WINDOW WELLS**  
WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE C/W A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.9.10.1.(5), 9.14.6.3.)
- 45

**SLOPED CEILING CONSTRUCTION** ((SB-12] 2.1.1.7., 9.23.4.2.)  
2"x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX. (UNLESS OTHERWISE NOTED) W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST (PURLINS NOT REQ. W/ SPRAY FOAM). W/ INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.52 RSI).
- 46

**FLAT ROOF/BALCONY CONSTRUCTION**  
WATERPROOFING MEMBRANE (9.26.11, 9.26.15, 9.26.16) FULLY ADHERED TO 5/8" (15.9) T&G EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x2" (38x38) PURLINS ANGLED TOWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2"x8" (38x184) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED). BUILT UP CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR. CONTINUOUS 'L' TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPPER DRAIN TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE. PREFINISHED ALUMINUM OR PANEL FOR UNDERSIDE OF SOFFIT (9.23.2.3). REMOVE CURB WHERE REQ.  
**BALCONY CONDITION**  
SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE. INCLUDE 2"x4" (38x89) PT. DECKING W/ 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2"x4" (38x89) PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDICULAR TO JOISTS  
**BALCONY OVER HEATED SPACE CONDITION**  
SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY. REFER TO PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND INTERIOR FINISH
- 47

**BARREL VAULT CONSTRUCTION**  
CANTILEVERED 2"x4" (38x89) SPACERS LAID FLAT ON 2"x10" (38x235) SPR. #2 ROOF JOIST NAILED TO BUILT-UP 3-3/4" (19) PLYWOOD HEADER PROFILED FOR BARREL. SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. INTERIOR FIN. (REFER TO DETAILS)

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

SECTION 1.1. WALL STUDS

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.
- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)					
MIN. STUD SIZE, in (mm)	SUPPORTED LOADS (EXTERIOR)				
	ROOF w/ OR w/o ATTIC	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR	
	MAX. STUD SPACING, in (mm) O.C.				
	MAX. UNSUPPORTED HGT., ft-in (m)				
2"x4" (38x89)	24" (610)	16" (405)	12" (305)	N/A	
2"x6" (38x140)	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A	
	-	24" (610)	16" (406)	12" (305)	
	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)	

SECTION 2.0. GENERAL NOTES

- 2.1. WINDOWS**  
1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m2 UNOBSTRUCTED OPEN PORTION W/ NO DIMENSION LESS THAN 1'-3" (380), CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, CONFORMING TO 9.9.10.  
2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800). (9.8.8.1.)  
3) WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2'-11" (900) [3'-6" (1070) FOR ALL OTHER BUILDINGS] SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE), OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN 4.1.5.15 OR 9.8.8.2  
4) REFER TO TITLE PAGE FOR MAX. U-VALUE REQUIREMENTS
- 2.2. CEILING HEIGHTS**  
THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1.

ROOM OR SPACE	MINIMUM HEIGHTS
LIVING ROOM, DINING ROOM & KITCHEN	7'-7" OVER 75% OF REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 6'-11" AT ANY POINT
BEDROOM	7'-7" OVER 50% OF REQUIRED FLOOR AREA OR 6'-11" OVER ALL OF THE REQUIRED FLOOR AREA.
BASEMENT	6'-11" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-5".
BATHROOM, LAUNDRY AREA ABOVE GRADE	6'-11" IN ANY AREA WHERE A PERSON WOULD NORMALLY BE STANDING
FINISHED ROOM NOT MENTIONED ABOVE	6'-11"
MEZZANINES	6'-11" ABOVE & BELOW FLOOR ASSEMBLY (9.5.3.2.)
STORAGE GARAGE	6'-7" (9.5.3.3.)

- 2.3. MECHANICAL / PLUMBING**  
1) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24 HOURS. WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM TO OBC 9.32.3.4. WHEN A HRV IS REQUIRED, CONFORM TO 9.32.3.11. REFER TO MECHANICAL DRAWINGS.  
2) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO OBC 9.31.6.  
3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES.  
4) DRAIN WATER HEAT RECOVERY UNIT(S) WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF 3.1.1.12. OF THE O.B.C.  
**2.4. LUMBER**  
1) ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.  
2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.  
3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.  
4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER.  
5) JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS.  
6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil POLYETHYLENE FILM, No.50 (45lbs) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND.

- 2.5. STEEL** (9.23.4.3.)  
1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300W. HOLLOW STRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS 'H'.  
2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.  
**2.6. FLAT ARCHES**  
1) FOR 8'-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 6'-10" (2080) A.F.F.  
2) FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7'-10" (2400) A.F.F.  
3) FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-8" (2600) A.F.F.  
**2.7. ROOF OVERHANGS**  
1) ALL ROOF OVERHANGS SHALL BE 1'-0" (305), UNLESS NOTED OTHERWISE.  
**2.8. FLASHING** (9.20.13., 9.26.4. & 9.27.3.)  
1) FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.  
**2.9. GRADING**  
1) THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. CONFORM TO 9.14.6.  
**2.10. ULC SPECIFIED ASSEMBLIES**  
ALL REQUIRED INDIVIDUAL COMPONENTS THAT FORM PART OF ANY '*ULC LISTED ASSEMBLY*', SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER MATERIAL/PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED IN THAT '*SPECIFIED ULC LISTING*'. THERE SHALL BE NO DEVIATIONS UNDER ANY CIRCUMSTANCES IN ANY '*ULC LISTED ASSEMBLY*' IDENTIFIED IN THESE DRAWINGS.

SECTION 3.0. LEGEND

3.1. WOOD LINTELS AND BUILT-UP WOOD (DIVISION B PART 9, TABLES A8 TO A10 AND A12, A15 & A16) FORMING PART OF SENTENCE 9.23.4.2.(3), 9.23.4.2.(4), 9.23.12.3.(1),(3), 9.23.13.8.(2), 9.37.3.1.(1)					
	2"x8" SPRUCE #2	2"x10" SPRUCE #2	2"x12" SPRUCE #2		
L1	2/2"x8" (2/38x184)	L3	2/2"x10" (2/38x235)	L5	2/2"x12" (2/38x286)
B1	3/2"x8" (3/38x184)	B3	3/2"x10" (3/38x235)	B5	3/2"x12" (3/38x286)
B2	4/2"x8" (4/38x184)	B4	4/2"x10" (4/38x235)	B6	4/2"x12" (4/38x286)
B7	5/2"x8" (5/38x184)	B8	5/2"x10" (5/38x235)	B9	5/2"x12" (5/38x286)
ENGINEERED LUMBER SCHEDULE - GRADE 2.0E (UNLESS NOTED OTHERWISE)					
	1 3/4" x 9 1/2" LVL	1 3/4" x 11 7/8" LVL	1 3/4" x 14" LVL		
LVL2	1-1 3/4"x9 1/2"	LVL3	1-1 3/4"x11 7/8"	LVL10	1-1 3/4"x14"
LVL4	2-1 3/4"x9 1/2"	LVL6	2-1 3/4"x11 7/8"	LVL11	2-1 3/4"x14"
LVL5	3-1 3/4"x9 1/2"	LVL7	3-1 3/4"x11 7/8"	LVL12	3-1 3/4"x14"
LVL8	4-1 3/4"x9 1/2"	LVL9	4-1 3/4"x11 7/8"	LVL13	4-1 3/4"x14"
3.2. STEEL LINTELS SUPPORTING MASONRY VENEER (DIVISION B PART 9, TABLE 9.20.5.2.B.) FORMING PART OF SENTENCE 9.20.5.2.(2) & 9.20.5.2.(3)					
CODE	SIZE	BRICK		STONE	
L7	3 1/2" x 3 1/2" x 1/4" (89 x 89 x 6.4)	8'-1" (2.47m)		7'-6" (2.30m)	
L8	4" x 3 1/2" x 1/4" (102 x 89 x 6.4)	8'-9" (2.66m)		8'-1" (2.48m)	
L9	4 7/8" x 3 1/2" x 5/16" (127 x 89 x 7.9)	10'-10" (3.31m)		10'-1" (3.03m)	
L10	4 7/8" x 3 1/2" x 3/8" (127 x 89 x 11)	11'-5" (3.48m)		10'-7" (3.24m)	
L11	5 7/8" x 3 1/2" x 3/8" (152 x 89 x 11)	12'-6" (3.82m)		11'-7" (3.54m)	
L12	7 1/8" x 4" x 3/8" (178 x 102 x 11)	14'-1" (4.30m)		13'-1" (3.99m)	

3.3. DOOR SCHEDULE CONFORMING TO SECTIONS 9.5.11, 9.6., 9.7.2.1, 9.7.5.2, & 9.10.13.10				
1	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)	
1A	EXTERIOR	2'-10" x 6'-8" x 1-3/4" (865 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)	
1B	EXTERIOR	3'-0" x 6'-8" x 1-3/4" (915 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)	
1C	EXTERIOR	2'-6" x 6'-8" x 1-3/4" (760 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)	
1D	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45)	INS. MIN. R4 (RSI 0.7) (SEE HEX NOTE 20)	
1E	EXTERIOR	3'-0" x 8'-0" x 1-3/4" (915 x 2440 x 45)	INSULATED MIN. R4 (RSI 0.7)	
2A	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45)	20 MIN. F.R.R. DOOR/FRAME WITH APP. SELF CLOSING DEVICE.	
2	INTERIOR	2'-8" x 6'-8" x 1-3/8" (815 x 2030 x 35)	PROVIDE 8'-0" HIGH INTERIOR DOORS FOR ALL 10' CEILING CONDITIONS	
3	INTERIOR	2'-6" x 6'-8" x 1-3/8" (760 x 2030 x 35)		
3A	INTERIOR	2'-4" x 6'-8" x 1-3/8" (710 x 2030 x 35)		
4	INTERIOR	2'-0" x 6'-8" x 1-3/8" (610 x 2030 x 35)		
4A	INTERIOR	2'-2" x 6'-8" x 1-3/8" (660 x 2030 x 35)		
5	INTERIOR	1'-6" x 6'-8" x 1-3/8" (460 x 2030 x 35)		

3.4. ACRONYMS			
AFF	ABOVE FINISHED FLOOR	JST	JOIST
BBFM	BEAM BY FLOOR MANUFACTURER	LIN	LINEN CLOSET
BG	FIXED GLASS W/ BLACK BACKING	LVL	LAMINATED VENEER LUMBER
BM	BEAM	OTB/A	OPEN TO BELOW/ABOVE
BBRM	BEAM BY ROOF MANUFACTURER	PL	POINT LOAD
CRF	CONVENTIONAL ROOF FRAMING	PLT	PLATE
C/W	COMPLETE WITH	PT	PRESSURE TREATED
DJ/TJ	DOUBLE JOIST/ TRIPLE JOIST	PTD	PAINTED
DO	DO OVER	PWD	POWDER ROOM
DRP	DROPPED	RT	ROOF TRUSS
E.I.F.S.	EXTERIOR INSULATION FINISH SYSTEM	RWL	RAIN WATER LEADER
ENG	ENGINEERED	SB	SOLID BEARING WOOD POST
EST	ESTIMATED	SBFA	SB FROM ABOVE
FA	FLAT ARCH	SJ	SINGLE JOIST
FD	FLOOR DRAIN	SPR	SPRUCE
FG	FIXED GLASS	STL	STEEL
FL	FLUSH	T/O	TOP OF
FLR	FLOOR	TYP	TYPICAL
GT	GIRDER TRUSS	U/S	UNDERSIDE
HB	HOSE BIB	WD	WOOD
HRV	HEAT RETURN VENTILATION UNIT	WIC	WALK IN CLOSET
HWT	HOT WATER TANK	WP	WEATHER PROOF

3.5. SYMBOLS ALL ELECTRICAL FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 9.34.	
	CLASS 'B' VENT
	EXHAUST VENT
	DUPLEX OUTLET (12" HIGH)
	HEAVY DUTY OUTLET
	ROUGH IN FOR ELECTRIC VEHICLE CHARGING STATION (9.34.4)
	POT LIGHT
	LIGHT FIXTURE (PULL CHAIN)
	CABLE T.V. JACK
	CENTRAL VACUUM OUTLET
	SA SMOKE ALARM (9.10.19.)
	CMD CARBON MONOXIDE ALARM (9.33.4.)
	SB SOLID BEARING (BUILT-UP WOOD COLUMNS AND STUD POSTS)
	TWO STOREY VOLUME SPACE. SEE CONSTRUCTION NOTE 39.
	VARYING PLATES, BUILT-OUT FLOORS, BEARING WALLS, ICE & WATER SHIELD
	EXPOSED BUILDING FACE -O.B.C. 9.10.14. OR 9.10.15. REFER TO HEX NOTE 35, & DETAILS FOR TYPE AND SPECIFICATIONS.
	1 HR. PARTY WALL REFER TO HEX NOTE 40.
	2 HR. FIREWALL REFER TO HEX NOTE 40A.

PROVIDE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS ARE TO BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN SLEEPING ROOMS AND CONNECTING HALLWAYS AND WIRED TO BE INTERCONNECTED TO ACTIVATE ALL ALARMS IF ONE SOUNDS. ALARMS ARE TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND WITH A BATTERY BACKUP. ALARM SIGNAL SHALL MEET TEMPORAL SOUND PATTERNS MIN. ALARMS SHALL HAVE A VISUAL SIGNALLING COMPONENT AS PER THE "NATIONAL FIRE ALARM AND SIGNALING CODE 72".

\*\* CHECK LOCAL BY-LAWS FOR REQUIREMENTS \*\* A CARBON MONOXIDE ALARM(S) CONFORMING TO CAN/CGA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH DWELLING UNIT ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE ALARM(S) SHALL BE PERMANENTLY WIRED WITH NO DISCONNECT SWITCH, WITH AN ALARM THAT IS AUDIBLE WITHIN SLEEPING ROOMS WHEN THE INTERVENING DOORS ARE CLOSED.

THE WIDTH OF A WOOD COLUMN SHALL NOT BE LESS THAN THE WIDTH OF SUPPORTED MEMBER. BUILT-UP WOOD COLUMNS SHALL BE NAILED TOGETHER WITH NOT LESS THAN 3" (76) NAILS SPACED NOT MORE THAN 11 3/4" (300) O.C. THE NUMBER OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL CONFORM TO TABLES A-34 TO A-37. (9.17.4., 9.23.10.7.)

	TWO STOREY VOLUME SPACE. SEE CONSTRUCTION NOTE 39.
	VARYING PLATES, BUILT-OUT FLOORS, BEARING WALLS, ICE & WATER SHIELD
	EXPOSED BUILDING FACE -O.B.C. 9.10.14. OR 9.10.15. REFER TO HEX NOTE 35, & DETAILS FOR TYPE AND SPECIFICATIONS.

	1 HR. PARTY WALL REFER TO HEX NOTE 40.
	2 HR. FIREWALL REFER TO HEX NOTE 40A.

SECTION 4.0. CLIMATIC DATA

DESIGN SNOW LOAD (9.4.2.2.): 1.01 kPa  
WIND LOAD (q50) (SB-1.2.): 0.44 kPa

STAMP

FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB. REPORT ANY DISCREPANCIES TO HUNT DESIGN ASSOCIATES INC. (H.D.A.I.) BEFORE PROCEEDING WITH THE WORK. ALL THE DRAWINGS & SPECIFICATIONS ARE THE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A.I. ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECIFICATIONS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12. CONSTRUCTION NOTE REVISION DATE: **MARCH 21, 2018**

CONSTRUCTION NOTES 2

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION  
Alan Whiting  
NAME  
REGISTRATION INFORMATION  
HUNT DESIGN ASSOCIATES INC.

23177  
BCIN

19695

HUNT DESIGN ASSOCIATES INC.  
www.huntdesign.ca

GOLDPARK HOMES - 217020  
PINE VALLEY, VAUGHAN, ONTARIO

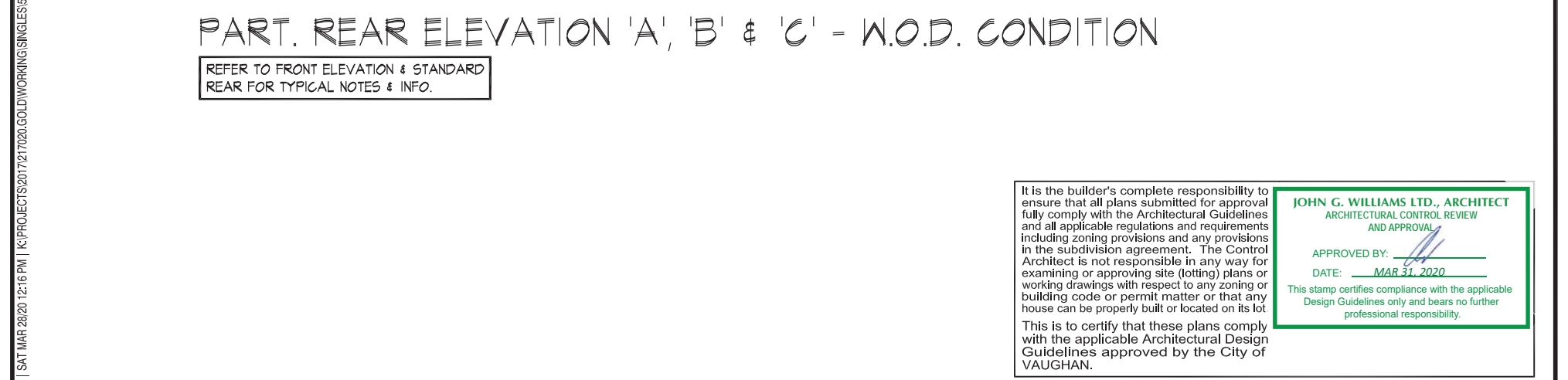
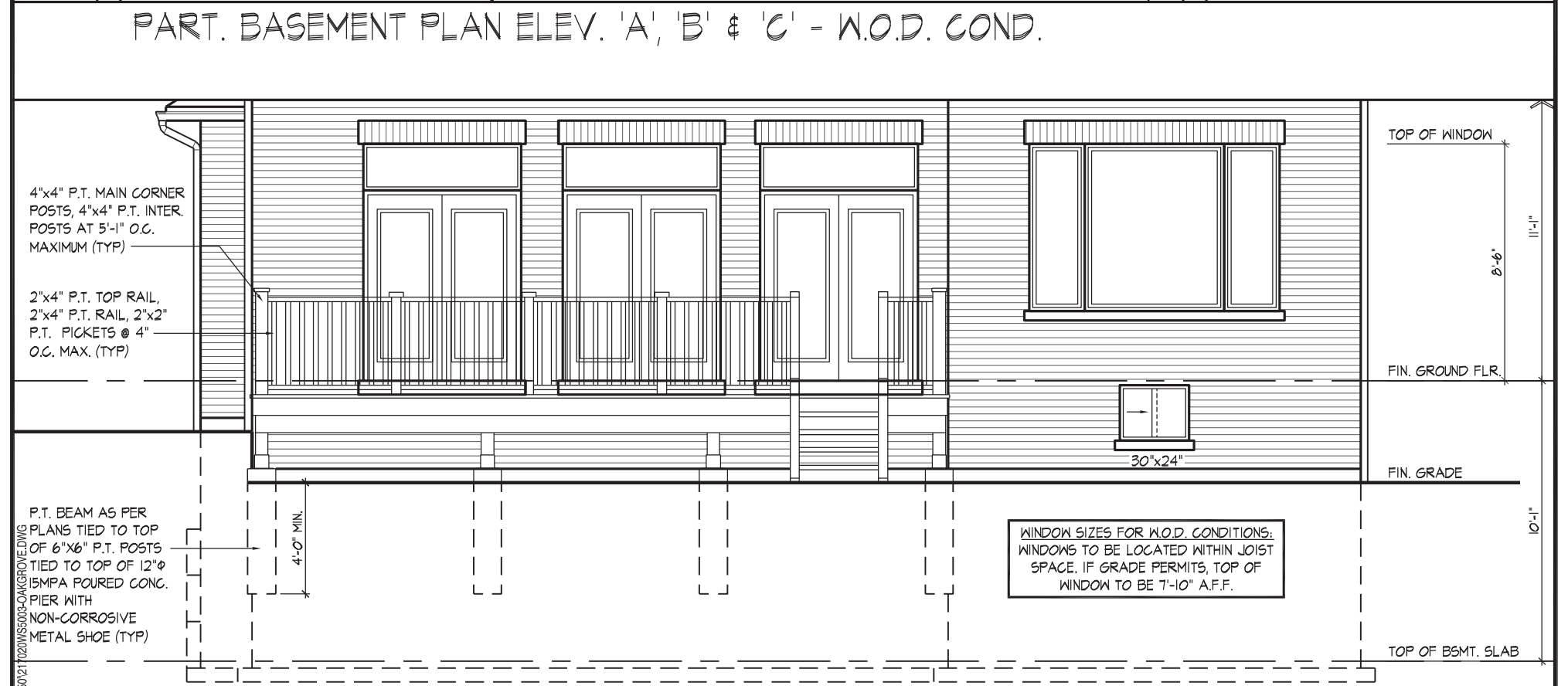
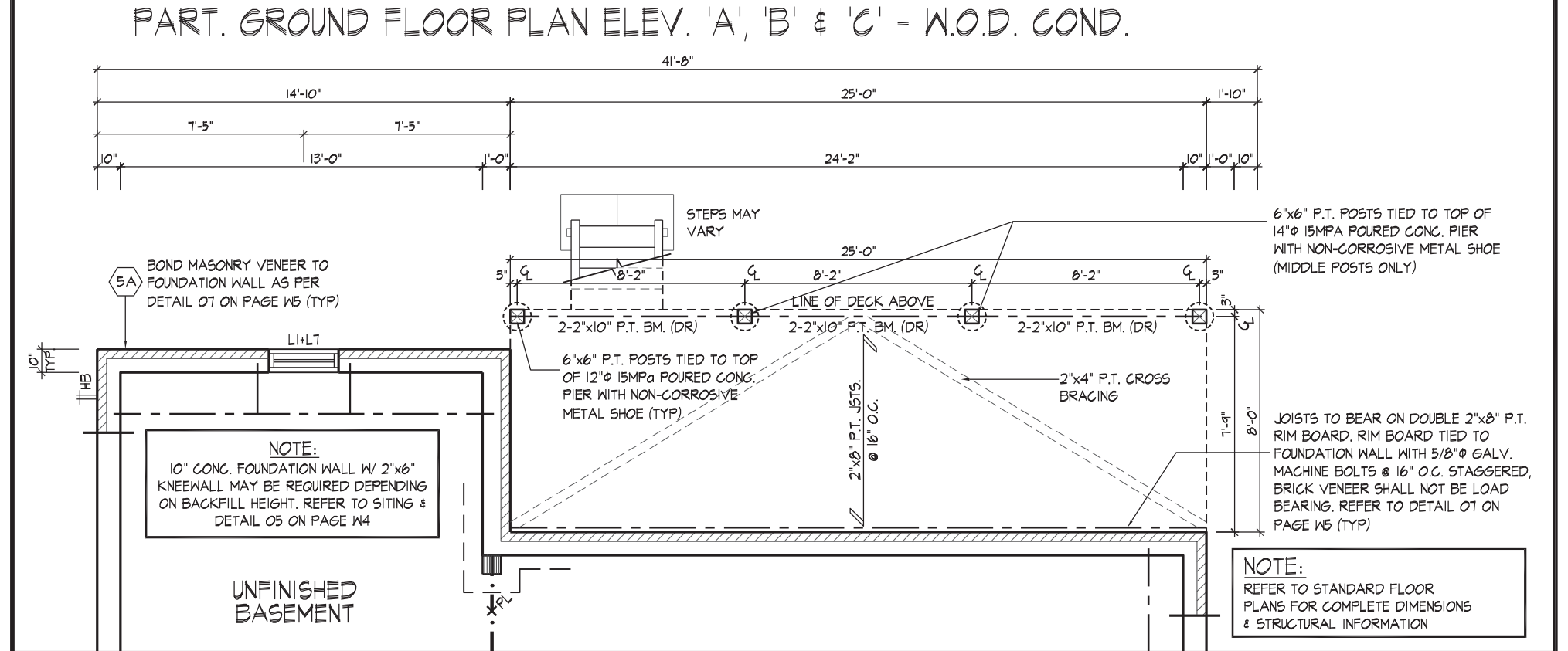
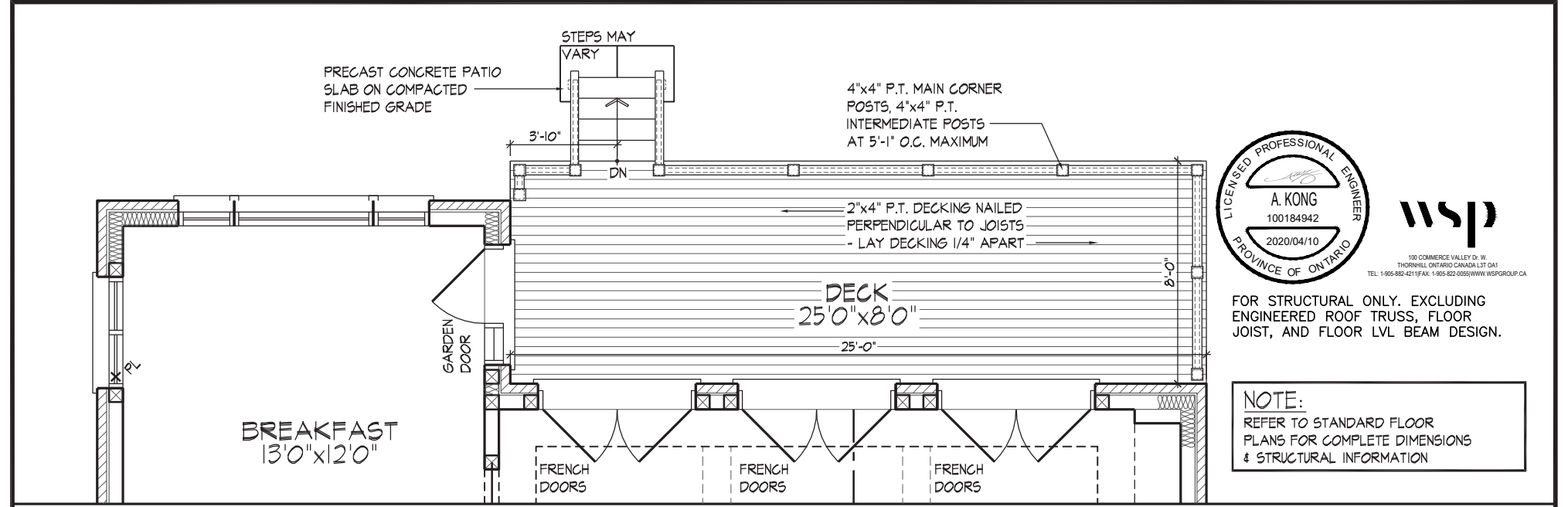
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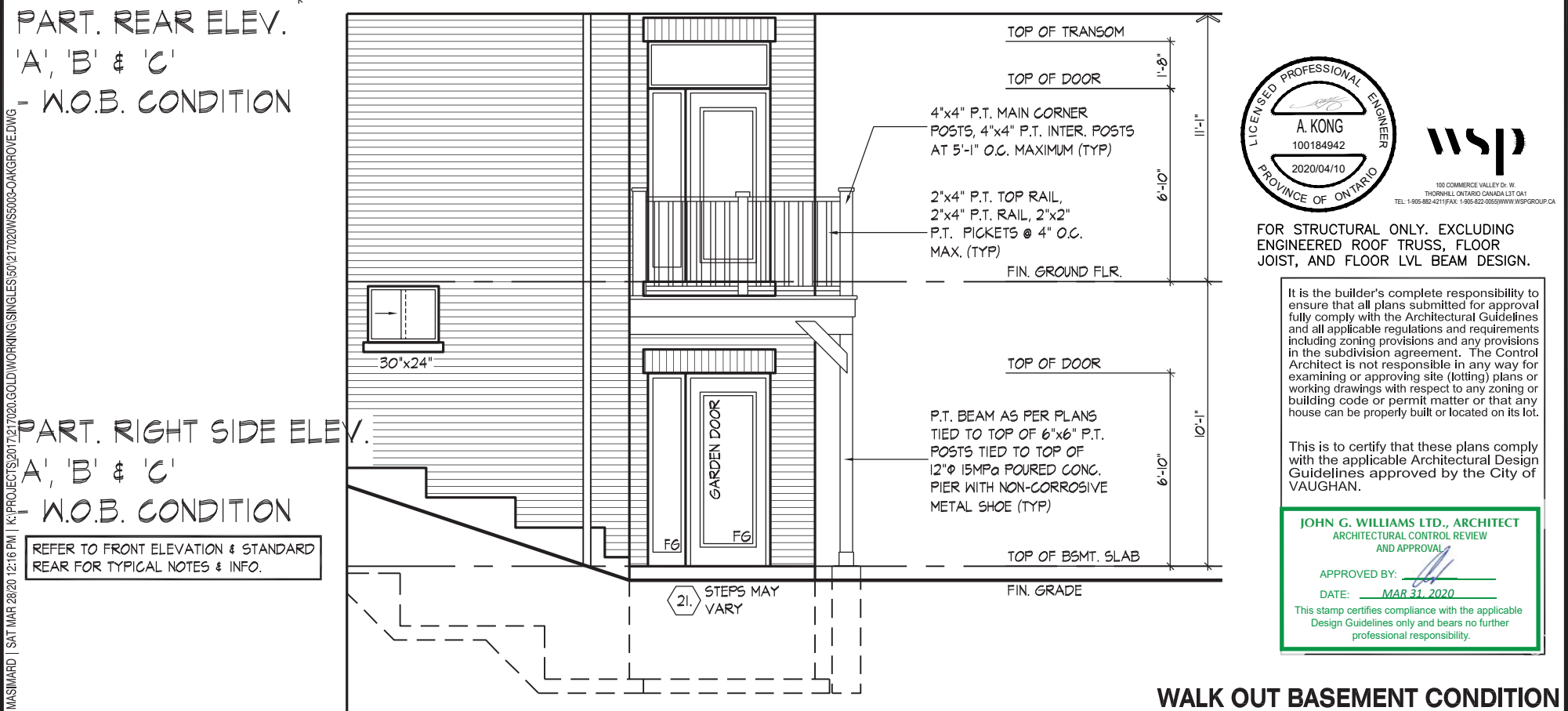
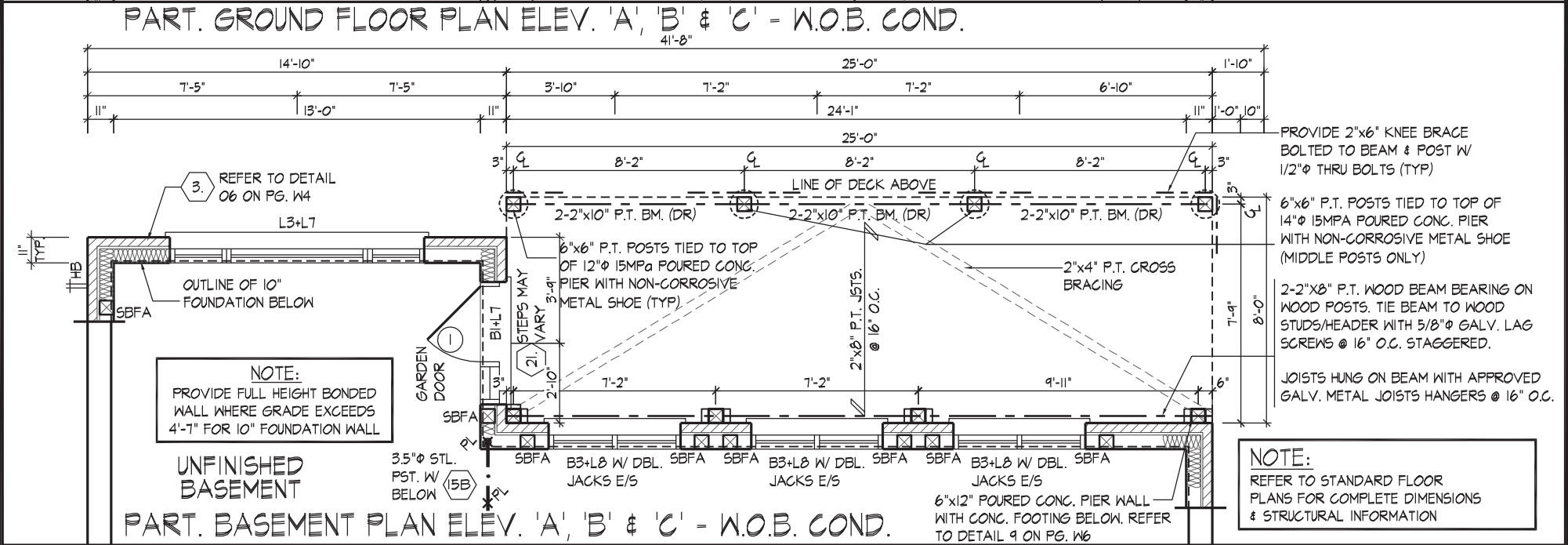
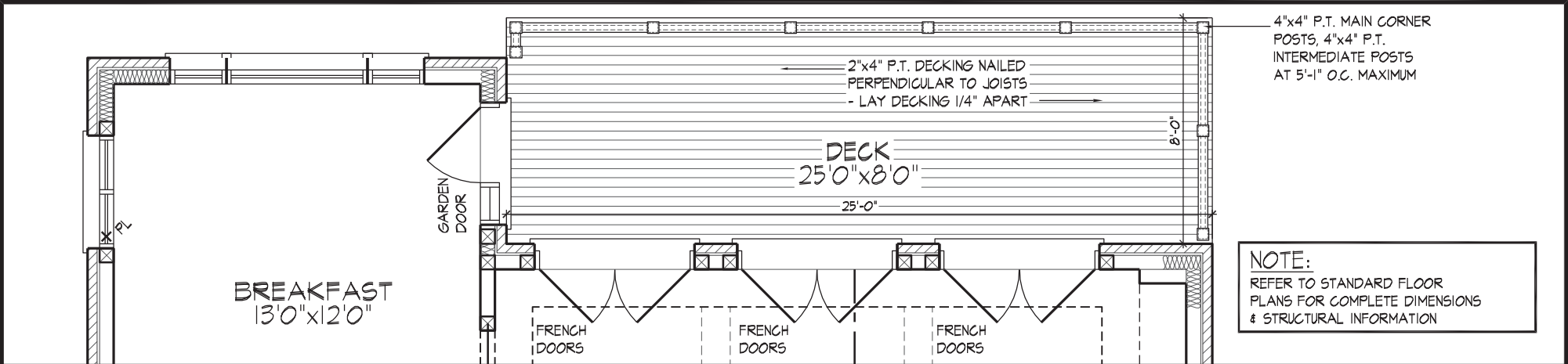
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8966 Woodbine Ave











SPATIAL CALCULATIONS FOR THE DECK CONDITIONS

WALK OUT DECK CONDITION

WINDOW SUMMARY					WINDOW SUMMARY					WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4				
REAR ELEVATION A					REAR ELEVATION B					REAR ELEVATION C				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
1	72"	56"		24.56	1	72"	56"		24.56	1	72"	56"		24.56
1	48"	56"		15.89	1	48"	56"		15.89	1	48"	56"		15.89
2	24"	56"		14.44	2	24"	56"		14.44	2	24"	56"		14.44
1	60"	56"		20.22	1	60"	56"		20.22	1	60"	56"		20.22
2	24"	72"		18.89	2	24"	72"		18.89	2	24"	72"		18.89
1	60"	72"		26.44	1	60"	72"		26.44	1	60"	72"		26.44
1	30"	24"		3.61	1	30"	24"		3.61	1	30"	24"		3.61
0	0"	0"		0.00	0	0"	0"		0.00	0	0"	0"		0.00
0	0"	0"		0.00	0	0"	0"		0.00	0	0"	0"		0.00
0	0"	0"		0.00	0	0"	0"		0.00	0	0"	0"		0.00
3	DOOR & TRAN	43.56	130.68		3	DOOR & TRAN	43.56	130.68		3	DOOR & TRAN	43.56	130.68	
0	ARCH	0.00	0.00		0	ARCH	0.00	0.00		0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00		0	ARCH	0.00	0.00		0	ARCH	0.00	0.00	
0	ARCH	0.00	0.00		0	ARCH	0.00	0.00		0	ARCH	0.00	0.00	
SPATIAL CALCULATION					SPATIAL CALCULATION					SPATIAL CALCULATION				
EXPOSING BUILDING		997.23	S.F.		EXPOSING BUILDING		978.77	S.F.		EXPOSING BUILDING		979.49	S.F.	
FACE AREA		92.65	S.M.		FACE AREA		90.93	S.M.		FACE AREA		91.00	S.M.	
PORTION WALL AREA		997.23	S.F.		PORTION WALL AREA		978.77	S.F.		PORTION WALL AREA		979.49	S.F.	
		92.65	S.M.				90.93	S.M.				91.00	S.M.	
LIMITING DISTANCE		7.50 m			LIMITING DISTANCE		7.50 m			LIMITING DISTANCE		7.50 m		
MAX. % OPENINGS		50.50	%		MAX. % OPENINGS		50.50	%		MAX. % OPENINGS		50.50	%	
OPENINGS ALLOWED		503.60	S.F.		OPENINGS ALLOWED		494.28	S.F.		OPENINGS ALLOWED		494.64	S.F.	
OPENINGS PROVIDED		254.74	S.F.		OPENINGS PROVIDED		254.74	S.F.		OPENINGS PROVIDED		254.74	S.F.	
ADDITIONAL NOTES					ADDITIONAL NOTES					ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER					GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER					GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

LOOK OUT DECK CONDITION

WINDOW SUMMARY					WINDOW SUMMARY					WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4				
REAR ELEVATION A					REAR ELEVATION B					REAR ELEVATION C				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
1	72"	56"		24.56	1	72"	56"		24.56	1	72"	56"		24.56
1	48"	56"		15.89	1	48"	56"		15.89	1	48"	56"		15.89
2	24"	56"		14.44	2	24"	56"		14.44	2	24"	56"		14.44
1	60"	56"		20.22	1	60"	56"		20.22	1	60"	56"		20.22
2	24"	72"		18.89	2	24"	72"		18.89	2	24"	72"		18.89
1	60"	72"		26.44	1	60"	72"		26.44	1	60"	72"		26.44
2	24"	30"		7.22	2	24"	30"		7.22	2	24"	30"		7.22
1	60"	30"		10.11	1	60"	30"		10.11	1	60"	30"		10.11
0	0"	0"		0.00	0	0"	0"		0.00	0	0"	0"		0.00
0	0"	0"		0.00	0	0"	0"		0.00	0	0"	0"		0.00
3	DOOR & TRAN		43.56	130.68	3	DOOR & TRAN		43.56	130.68	3	DOOR & TRAN		43.56	130.68
0	ARCH		0.00	0.00	0	ARCH		0.00	0.00	0	ARCH		0.00	0.00
0	ARCH		0.00	0.00	0	ARCH		0.00	0.00	0	ARCH		0.00	0.00
0	ARCH		0.00	0.00	0	ARCH		0.00	0.00	0	ARCH		0.00	0.00
SPATIAL CALCULATION					SPATIAL CALCULATION					SPATIAL CALCULATION				
EXPOSING BUILDING		1053.84	S.F.		EXPOSING BUILDING		1035.38	S.F.		EXPOSING BUILDING		1036.10	S.F.	
FACE AREA		97.90	S.M.		FACE AREA		96.19	S.M.		FACE AREA		96.26	S.M.	
PORTION WALL AREA		1053.84	S.F.		PORTION WALL AREA		1035.38	S.F.		PORTION WALL AREA		1036.10	S.F.	
		97.90	S.M.				96.19	S.M.				96.26	S.M.	
LIMITING DISTANCE		7.50 m			LIMITING DISTANCE		7.50 m			LIMITING DISTANCE		7.50 m		
MAX. % OPENINGS		50.50	%		MAX. % OPENINGS		50.50	%		LIMITING DISTANCE		50.50	%	
OPENINGS ALLOWED		532.19	S.F.		OPENINGS ALLOWED		522.87	S.F.		MAX. % OPENINGS		523.23	S.F.	
OPENINGS PROVIDED		268.46	S.F.		OPENINGS PROVIDED		268.46	S.F.		OPENINGS ALLOWED		268.46	S.F.	
ADDITIONAL NOTES					ADDITIONAL NOTES					ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER					GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER					GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

WALK OUT BASEMENT CONDITION

WINDOW SUMMARY					WINDOW SUMMARY					WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4				
RIGHT SIDE ELEV. 'A', STD./OPT.					RIGHT SIDE ELEV. 'B', STD./OPT.					RIGHT SIDE ELEV. 'C', STD./OPT.				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
1	48"	56"		15.89	1	48"	56"		15.89	1	48"	56"		15.89
1	52"	20"		5.33	1	52"	20"		5.33	1	52"	20"		5.33
1	16"	82"		6.50	1	16"	82"		6.50	1	16"	82"		6.50
1	16"	82"		6.50	1	16"	82"		6.50	1	16"	82"		6.50
0	0"	0"		0.00	0	0"	0"		0.00	0	0"	0"		0.00
0	0"	0"		0.00	0	0"	0"		0.00	0	0"	0"		0.00
0	0"	0"		0.00	0	0"	0"		0.00	0	0"	0"		0.00
0	0"	0"		0.00	0	0"	0"		0.00	0	0"	0"		0.00
0	0"	0"		0.00	0	0"	0"		0.00	0	0"	0"		0.00
0	0"	0"		0.00	0	0"	0"		0.00	0	0"	0"		0.00
0	0"	0"		0.00	0	0"	0"		0.00	0	0"	0"		0.00
2	DOOR LITE		9.19	18.38	2	DOOR LITE		9.19	18.38	2	DOOR LITE		9.19	18.38
0	ARCH		0.00	0.00	0	ARCH		0.00	0.00	0	ARCH		0.00	0.00
0	ARCH		0.00	0.00	0	ARCH		0.00	0.00	0	ARCH		0.00	0.00
0	ARCH		0.00	0.00	0	ARCH		0.00	0.00	0	ARCH		0.00	0.00
PORTION #2					PORTION #2					PORTION #2				
EXPOSING BUILDING FACE AREA			1480.67	S.F.	EXPOSING BUILDING FACE AREA			1474.12	S.F.	EXPOSING BUILDING FACE AREA			1478.78	S.F.
			137.56	S.M.				136.95	S.M.				137.38	S.M.
PORTION WALL AREA			202.44	S.F.	PORTION WALL AREA			202.44	S.F.	PORTION WALL AREA			202.44	S.F.
			18.81	S.M.				18.81	S.M.				18.81	S.M.
LIMITING DISTANCE			9.40 m		LIMITING DISTANCE			9.40 m		LIMITING DISTANCE			9.40 m	
MAX. % OPENINGS			34.00	%	MAX. % OPENINGS			34.00	%	MAX. % OPENINGS			34.00	%
OPENINGS ALLOWED			68.83	S.F.	OPENINGS ALLOWED			68.83	S.F.	OPENINGS ALLOWED			68.83	S.F.
OPENINGS PROVIDED			52.60	S.F.	OPENINGS PROVIDED			52.60	S.F.	OPENINGS PROVIDED			52.60	S.F.
ADDITIONAL NOTES					ADDITIONAL NOTES					ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER					GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERMETER					GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				





SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)				
MIN. STUD SIZE, in (mm)	SUPPORTED LOADS (EXTERIOR)			
	ROOF w/ OR w/o ATTIC	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR
	MAX. STUD SPACING in (mm) O.C.			
	MAX. UNSUPPORTED HGT. ft-in (m)			
2"x4" (38x89)	24" (610)	16" (405)	12" (305)	N/A
	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A
2"x6" (38x140)	-	24" (610)	16" (406)	12" (305)
	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.  
- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

BASE FLASHING CONFORMING TO TABLE 9.20.13.1 TO EXTEND 3/16" BEYOND OUTER FACE OF FOUNDATION WALL, TIED TO EXT. SHEATHING UNDER AIR/WATER BARRIER, PROVIDE 6" MINIMUM LAP JOINT.

WEEP HOLES @ 32" O.C. AT BASE FLASHING AND OVER ALL OPENINGS. PROVIDE P.V.C. BRICK VENTILATOR @ ALL WEEP HOLE LOCATIONS.

PROVIDE MASONRY PARGING FROM TOP OF FOUNDATION WALL TO 2" BELOW FINISHED GRADE

FOUNDATION WALLS SHALL NOT EXCEED 9'-10" (3.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. (9.15.4.2.1). POURED CONC. FDTN. WALL WITH BITUMINOUS DAMPPROOFING AND DRAINAGE LAYER. REFER TO CHART FOR MAXIMUM UNSUPPORTED HEIGHT AND EARTH RETENTION FROM BASEMENT SLAB TO FINISHED GRADE, ON CONTINUOUS KEYED CONC. FTG.. BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL.

UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2.)				
STRENGTH THICKNESS	MAX. HEIGHT FROM FIN. SLAB TO GRADE			
	UNSUPPORTED AT TOP	SUPPORTED AT TOP		
8"	3'-11" (1.20m)	7'-0" (2.15m)	7'-0" (2.15m)	6'-10" (2.10m)
10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	8'-2" (2.50m)
12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)
15 MPa	8"	3'-11" (1.20m)	7'-6" (2.30m)	7'-2" (2.20m)
	10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)
	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)
20 MPa	8"	3'-11" (1.20m)	7'-6" (2.30m)	7'-2" (2.20m)
	10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)
	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)

MINIMUM STRIP FOOTING SIZES (9.15.3.)			
NUMBER FLOORS SUPPORTED	SUPPORTING INT. LOAD BEARING MASONRY WALL	SUPPORTING EXTERIOR	SUPPORTING PARTYWALL
1	16" W x 6" D	16" W x 6" D	16" W x 6" D
2	24" W x 8" D	20" W x 6" D	24" W x 8" D
3	36" W x 14" D	26" W x 9" D	36" W x 14" D

NOTE: FOOTING SIZE SUBJECT TO CERTIFICATION BY A SOIL CONSULTANT

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2, 3.1.3. OF THE OBC.

## FIRST FLOOR

TYPICAL BRICK VENEER WALL CONSTRUCTION

TYPICAL FLOOR CONSTRUCTION

INSULATION W/ REQUIRED EXPOSED FLOOR R-VALUE IN HEADER SPACE

2-2"x6" TOP PLATE

2"x6" SILL PLATE WITH 1/2" Ø ANCHOR BOLTS 8" LONG, EMBEDDED MIN. 4" INTO CONC. @ 7'-10" O.C., CAULKING OR GASKET BETWEEN PLATE AND TOP OF FOUND. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

INSULATION BLANKET OR BATTS W/ REQUIRED BASEMENT WALL R-VALUE, 6 MIL POLYETHYLENE VAPOUR BARRIER DAMPPROOF WITH AIR/WATER BARRIER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. TERMINATE BLANKETS ABOVE SLAB AS REQUIRED BY O.B.C. OR ENERGY DESIGN CONSULTANT

TAPE AND SEAL BLANKETS AT ALL JOINTS

## UNFINISHED BASEMENT

4" Ø WEEPING TILE, 6" CRUSHED STONE COVER OVER AND AROUND WEEPING TILES.

SECURE METAL BLANKET TIE TO FOUNDATION WALL AS PER MANUF. INSTRUCTIONS

1/2" IMPERVIOUS BOARD FOR BOND BREAK

3" MIN. 25 MPa CONC. SLAB ON 4" COARSE CLEAN GRANULAR FILL OR 20 MPa CONC. WITH DAMPPROOFING BELOW SLAB.

PROVIDE RIGID INSULATION BELOW EDGE OF SLAB EXTENDED MIN. 2'-0" WHERE THE GRADE IS LESS THAN 2'-0" DIFFERENCE FROM UNDERSIDE OF SLAB TO FINISHED GRADE.

### NOTE:

WHERE REDUCED GRADE CONDITION REQUIRES THE USE OF A FULL HEIGHT BONDED WALL, REBAR SHALL BE PROVIDED AS PER DETAIL 07 ON PG. W5

05

## MASONRY VENEER, 2"x6" STUDS, 10" FOUNDATION WALL Laterally UNSUPPORTED

1/2" = 1'-0"

SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)				
MIN. STUD SIZE, in (mm)	SUPPORTED LOADS (EXTERIOR)			
	ROOF w/ OR w/o ATTIC	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR
	MAX. STUD SPACING in (mm) O.C.			
	MAX. UNSUPPORTED HGT. ft-in (m)			
2"x4" (38x89)	24" (610)	16" (405)	12" (305)	N/A
	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A
2"x6" (38x140)	-	24" (610)	16" (406)	12" (305)
	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.  
- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

BASE FLASHING CONFORMING TO TABLE 9.20.13.1 TO EXTEND 3/16" BEYOND OUTER FACE OF FOUNDATION WALL, TIED TO EXT. SHEATHING UNDER AIR/WATER BARRIER, PROVIDE 6" MINIMUM LAP JOINT.

WEEP HOLES @ 32" O.C. AT BASE FLASHING AND OVER ALL OPENINGS. PROVIDE P.V.C. BRICK VENTILATOR @ ALL WEEP HOLE LOCATIONS.

PROVIDE MASONRY PARGING FROM TOP OF FOUNDATION WALL TO 2" BELOW FINISHED GRADE

OPTIONAL WEEPING TILE AT REAR WALL-SEE MUNICIPAL STANDARDS

FOUNDATION WALLS SHALL NOT EXCEED 9'-10" (3.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. (9.15.4.2.1). POURED CONC. FDTN. WALL WITH BITUMINOUS DAMPPROOFING AND DRAINAGE LAYER. REFER TO CHART FOR MAXIMUM UNSUPPORTED HEIGHT AND EARTH RETENTION FROM BASEMENT SLAB TO FINISHED GRADE, ON CONTINUOUS KEYED CONC. FTG.. BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL.

UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2.)				
STRENGTH THICKNESS	MAX. HEIGHT FROM FIN. SLAB TO GRADE			
	UNSUPPORTED AT TOP	SUPPORTED AT TOP		
8"	3'-11" (1.20m)	7'-0" (2.15m)	7'-0" (2.15m)	6'-10" (2.10m)
10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	8'-2" (2.50m)
12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)
15 MPa	8"	3'-11" (1.20m)	7'-6" (2.30m)	7'-2" (2.20m)
	10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)
	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)
20 MPa	8"	3'-11" (1.20m)	7'-6" (2.30m)	7'-2" (2.20m)
	10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)
	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)

MINIMUM STRIP FOOTING SIZES (9.15.3.)			
NUMBER FLOORS SUPPORTED	SUPPORTING INT. LOAD BEARING MASONRY WALL	SUPPORTING EXTERIOR	SUPPORTING PARTYWALL
1	16" W x 6" D	16" W x 6" D	16" W x 6" D
2	24" W x 8" D	20" W x 6" D	24" W x 8" D
3	36" W x 14" D	26" W x 9" D	36" W x 14" D

NOTE: FOOTING SIZE SUBJECT TO CERTIFICATION BY A SOIL CONSULTANT

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2, 3.1.3. OF THE OBC.

## FIRST FLOOR

TYPICAL BRICK VENEER WALL CONSTRUCTION

TYPICAL FLOOR CONSTRUCTION

INSULATION W/ REQUIRED EXPOSED FLOOR R-VALUE IN HEADER SPACE

2-2"x6" TOP PLATE

## UNFINISHED BASEMENT

1" RIGID INSULATION THERMAL BREAK AROUND PERIMETER OF SLAB

3" MIN. 25 MPa CONC. SLAB ON 4" COARSE CLEAN GRANULAR FILL OR 20 MPa CONC. WITH DAMPPROOFING BELOW SLAB.

PROVIDE RIGID INSULATION UNDER ENTIRE SLAB SURFACE WHEN SLAB IS LESS THAN 2'-0" DIFFERENCE FROM FINISHED GRADE

2"x6" SILL PLATE WITH 1/2" Ø ANCHOR BOLTS 8" LONG, EMBEDDED MIN. 4" INTO CONC. @ 7'-10" O.C., CAULKING OR GASKET BETWEEN PLATE AND TOP OF FOUND. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

PROVIDE RIGID INSULATION EXTENDED NO LESS THAN 2'-0" BELOW FINISHED GRADE, UNDER THE EXTERIOR PERIMETER OF THE CONCRETE SLAB ALONG THE FOUNDATION WALL FOR WALK-OUT CONDITIONS OR WHEN THE DIFFERENCE FROM THE SLAB TO FINISHED GRADE IS LESS THAN 2'-0".

### NOTE:

WHERE REDUCED GRADE CONDITION REQUIRES THE USE OF A FULL HEIGHT BONDED WALL, REBAR SHALL BE PROVIDED AS PER DETAIL 07 ON PG. W5

06

## MASONRY VENEER, 2"x6" STUDS, SLAB ON GRADE / WALK OUT BASEMENT CONDITION

1/2" = 1'-0"



**wsp**

100 COMMERCE VALLEY DR. W.  
THORNHILL, ONTARIO CANADA L3T 0A1  
TEL: 1-800-882-4211 FAX: 1-905-822-0055 WWW.WSPGROUP.CA

FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

## DECK DETAILS 1

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Alan Whiting

NAME REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

23177

BCIN

**HUNT**  
DESIGN ASSOCIATES INC.

www.huntdesign.ca

**GOLDPARK HOMES - 217020**  
PINE VALLEY, VAUGHAN ONT.

Drawn By

HDAl

Checked By

AW

Scale

3/16"=1'-0"

File Number

217020WS5003.dwg

Page Number

W4 of W7

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

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2"x4" P.T. TOP RAIL  
2"x4" P.T. RAIL  
2"x2" P.T. PICKETS @ 4" O.C. MAX.  
4"x4" P.T. MAIN CORNER POSTS  
4"x4" P.T. INTERMEDIATE POSTS AT  
5'-1" O.C. MAXIMUM

NOTE: ALL METAL FASTENERS  
SHALL BE NON-CORROSIVE.

2"x4" P.T. BOTTOM RAIL  
2"x4" P.T. DECKING LAID  
PERPENDICULAR TO JOISTS 1/4"  
APART  
2"x8" P.T. RIM BOARD

2"x8" P.T. BLOCKING AT POSTS  
CONNECTION  
2"x8" P.T. JOISTS @ 16" O.C.  
P.T. BEAM AS PER PLANS TIED TO TOP  
OF 6"x6" P.T. POSTS TIED TO TOP OF  
12"Ø ISMPO POURED CONG. PIER WITH  
NON-CORROSIVE METAL SHOE

POSTS TIED TO METAL SHOE  
ANCHOR WITH 4-3/8"Ø MACHINE BOLTS  
1/2"Ø NON-CORROSIVE ANCHOR 4"  
MINIMUM INTO CONCRETE

TYPICAL FOUNDATION WALL  
CONSTRUCTION

TYPICAL BRICK VENEER WALL CONSTRUCTION

## FIRST FLOOR

MINIMUM 2"x4" SILL PLATE (2"x6" AS REQ.), TIED TO TOP OF POURED  
CONG. FND. WALL WITH 8" LONGx1/2"Ø ANCHOR BOLTS C/W NUT AND  
WASHER WITH 2 1/2" HOOK. ANCHOR BOLTS TO BE SPACED NOT  
MORE THAN 7'-10" O.C. AND EMBEDDED NOT LESS THAN 4" INTO  
CONG. PROVIDE SILL GASKET BETWEEN PLATE AND FOUNDATION  
WALL. PROVIDE NON-SHRINK GROUT TO LEVEL PLATE.

TYPICAL FLOOR CONSTRUCTION

BASE FLASHING CONFORMING TO TABLE 9.20.13.1 TO EXTEND 3/16"  
BEYOND OUTER FACE OF FOUNDATION WALL, TIED TO EXT. SHEATHING  
UNDER AIR/WATER BARRIER, PROVIDE 6" MINIMUM LAP JOINT.

JOISTS TO BEAR ON DOUBLE 2"x8" P.T. RIM BOARD.  
RIM BOARD TIED TO FOUNDATION WALL WITH 5/8"Ø  
GALV. MACHINE BOLTS @ 16" O.C. STAGGERED, BRICK  
VENEER SHALL NOT BE LOAD BEARING

TIE BRICK VENEER TO FOUNDATION WALL WITH CORROSION  
RESISTANT METAL TIES @ 8" VERTICAL AND 2'-11" HORIZONTAL  
- FILL VOID WITH MORTAR BETWEEN WALL AND BRICK  
VENEER-SEE OBC 9.20.9.4(3)

TAPE AND SEAL BLANKETS AT ALL JOINTS

INSULATION BLANKET OR BATTS W/ REQUIRED BASEMENT WALL R-VALUE,  
6 MIL POLYETHYLENE VAPOUR BARRIER DAMPPROOF WITH AIR/WATER  
BARRIER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO  
GRADE LEVEL. TERMINATE BLANKETS ABOVE SLAB AS REQUIRED BY  
O.B.C. OR ENERGY DESIGN CONSULTANT

SECURE METAL BLANKET TIE TO FOUNDATION  
WALL AS PER MANUF. INSTRUCTIONS

## UNFINISHED BASEMENT

WHERE HEIGHT OF REDUCTION IN WALL THICKNESS  
EXCEEDS 2'-0", REINFORCE FOUNDATION WALL W/  
15M BARS @ 300mm EACH WAY.

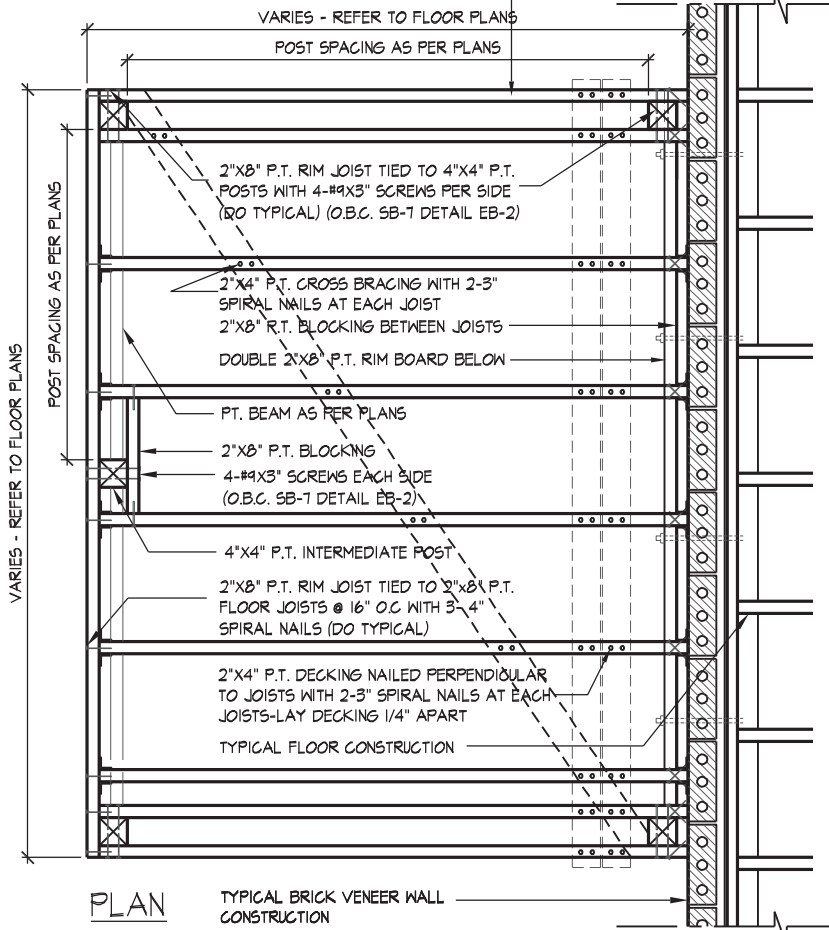
07

## MASONRY VENEER, TYPICAL WALK/LOOK OUT WOOD DECK, SOLID MASONRY

1/2" = 1'-0"

JOISTS TO BEAR ON DOUBLE 2"x8" P.T. RIM BOARD.  
RIM BOARD TIED TO FOUNDATION WALL WITH 5/8"Ø  
GALV. MACHINE BOLTS @ 16" O.C. STAGGERED, BRICK  
VENEER SHALL NOT BE LOAD BEARING

NOTE: ALL METAL FASTENERS  
SHALL BE NON-CORROSIVE.



PLAN

TYPICAL BRICK VENEER WALL  
CONSTRUCTION

### GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE O.B.C. AND SB-7 OF THE SUPPLEMENTARY STANDARD
2. LUMBER GRADES SHALL NOT BE LESS THAN NO. 2 SPF. LUMBER SHALL BE FREE OF LOOSE KNOTS AND ALL CUT ENDS OF PRESERVATIVE TREATED LUMBER SHALL BE TREATED TO PREVENT DECAY SPECIES FOR POSTS, PICKETS AND RAILS SHALL BE DOUGLAS FIR-LARCH, HEM-FIR, SPRUCE-PINE-FIR
3. ALL FASTENERS, SCREWS AND NAILS SHALL BE RESISTANT TO CORROSION - NAILS TO BE COMMON SPIRAL

08

## TYP. DECK FRAMING ON WOOD LEDGER, BRICK VENEER

1/2" = 1'-0"



wsp

100 COMMERCE VALLEY DR. 10  
THORNHILL, ONTARIO CANADA L3T 0A1  
TEL: 1-800-882-4211/FAX: 1-800-822-0055/WWW.WSPGROUP.CA

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ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL BEAM DESIGN.

## DECK DETAILS 2

GOLDPARK HOMES - 217020  
PINE VALLEY, VAUGHAN ONT.

UNIT 5003 - THE OAKGROVE  
REV.2020.03.30

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS  
THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING  
CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

Signature of Allan Whiting

23177

BCIN

HUNT  
DESIGN ASSOCIATES INC.

www.huntdesign.ca

Drawn By

HDAL

Checked By

AW

Scale

3/16"=1'-0"

File Number

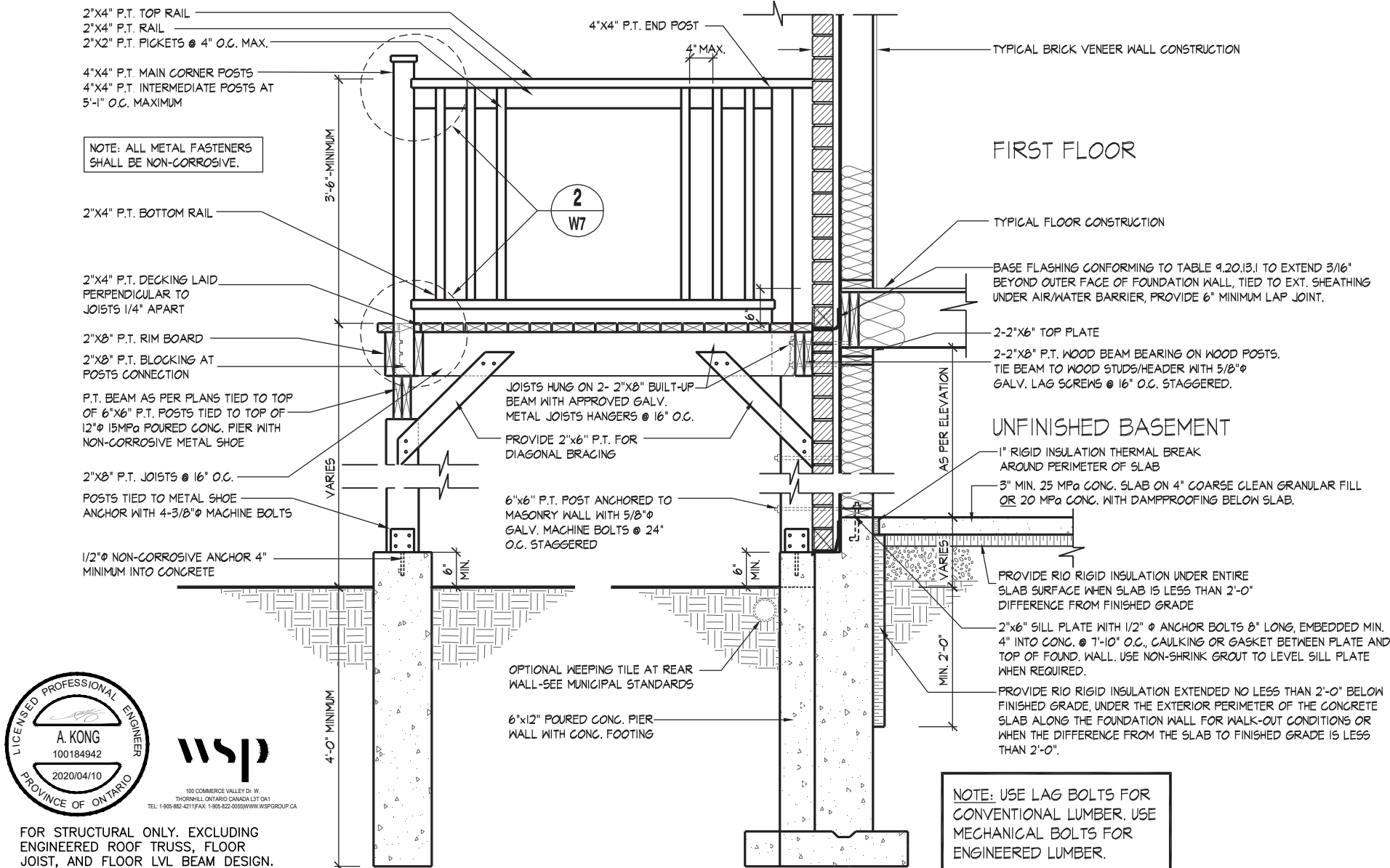
217020WS5003.dwg

Page Number

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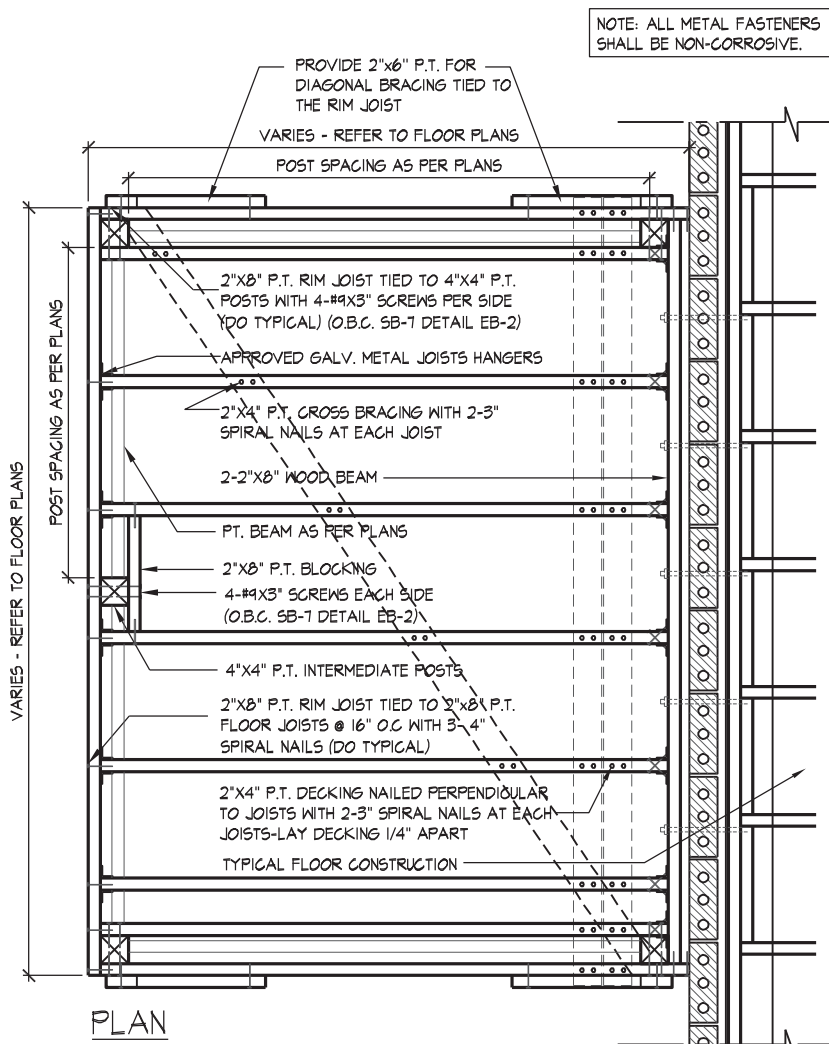
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09 MASONRY VENEER, TYPICAL WOOD DECK FOR WALK OUT BASEMENT

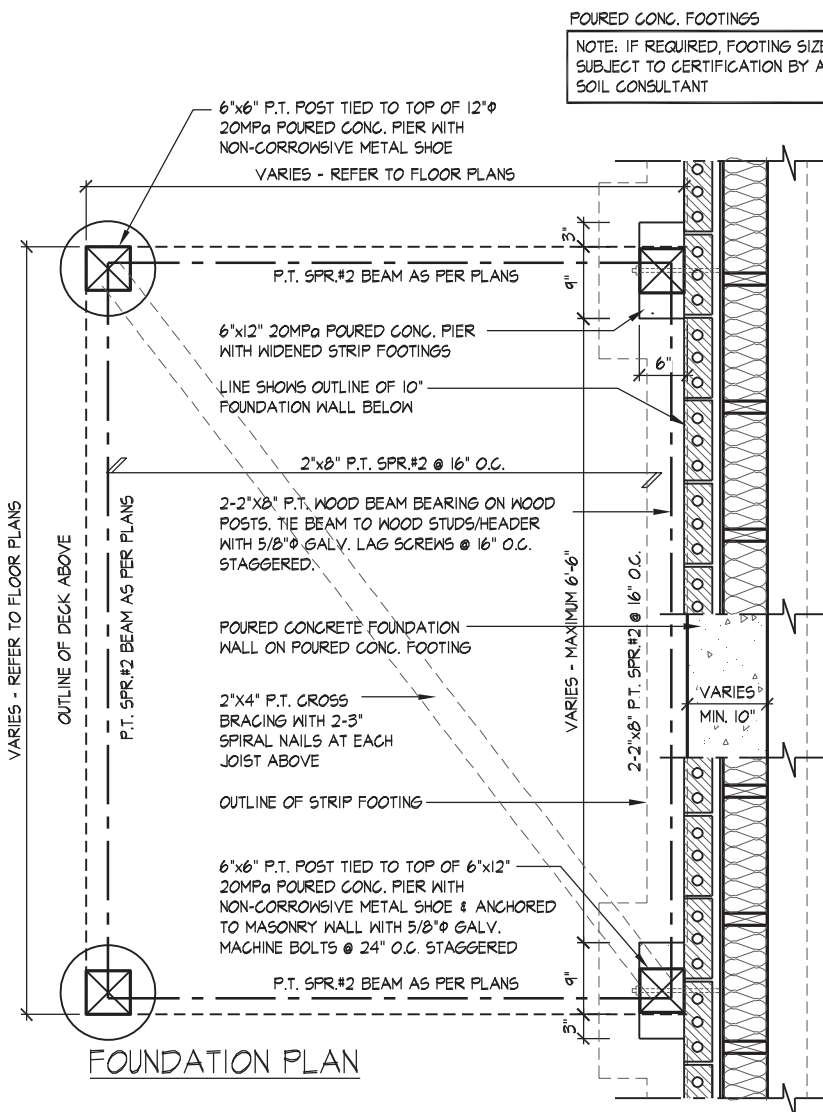
1/2" = 1'-0"



- GENERAL NOTES
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE O.B.C AND SB-7 OF THE SUPPLEMENTARY STANDARD
  2. LUMBER GRADES SHALL NOT BE LESS THAN NO. 2 SPF. LUMBER SHALL BE FREE OF LOOSE KNOTS AND ALL CUT ENDS OF PRESERVATIVE TREATED LUMBER SHALL BE TREATED TO PREVENT DECAY
  3. SPECIES FOR POSTS, PICKETS AND RAILS SHALL BE DOUGLAS FIR-LARCH, HEM-FIR, SPRUCE-PINE-FIR
  3. ALL FASTENERS, SCREWS AND NAILS SHALL BE RESISTANT TO CORROSION - NAILS TO BE COMMON SPIRAL

10 MASONRY VENEER, TYPICAL DECK FRAMING PLAN

1/2" = 1'-0"



11 MASONRY VENEER, TYPICAL DECK FOUNDATION PLAN

1/2" = 1'-0"

DECK DETAILS 3

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Alvan Whiting

NAME SIGNATURE

23177

BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

19895

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DESIGN ASSOCIATES INC.  
www.huntdesign.ca

**GOLDPARK HOMES - 217020**  
PINE VALLEY, VAUGHAN ONT.

Drawn By HDAL  
Checked By AW  
Scale 3/16"=1'-0"

**UNIT 5003 - THE OAKGROVE**  
REV.2020.03.30

File Number 217020WS5003.dwg

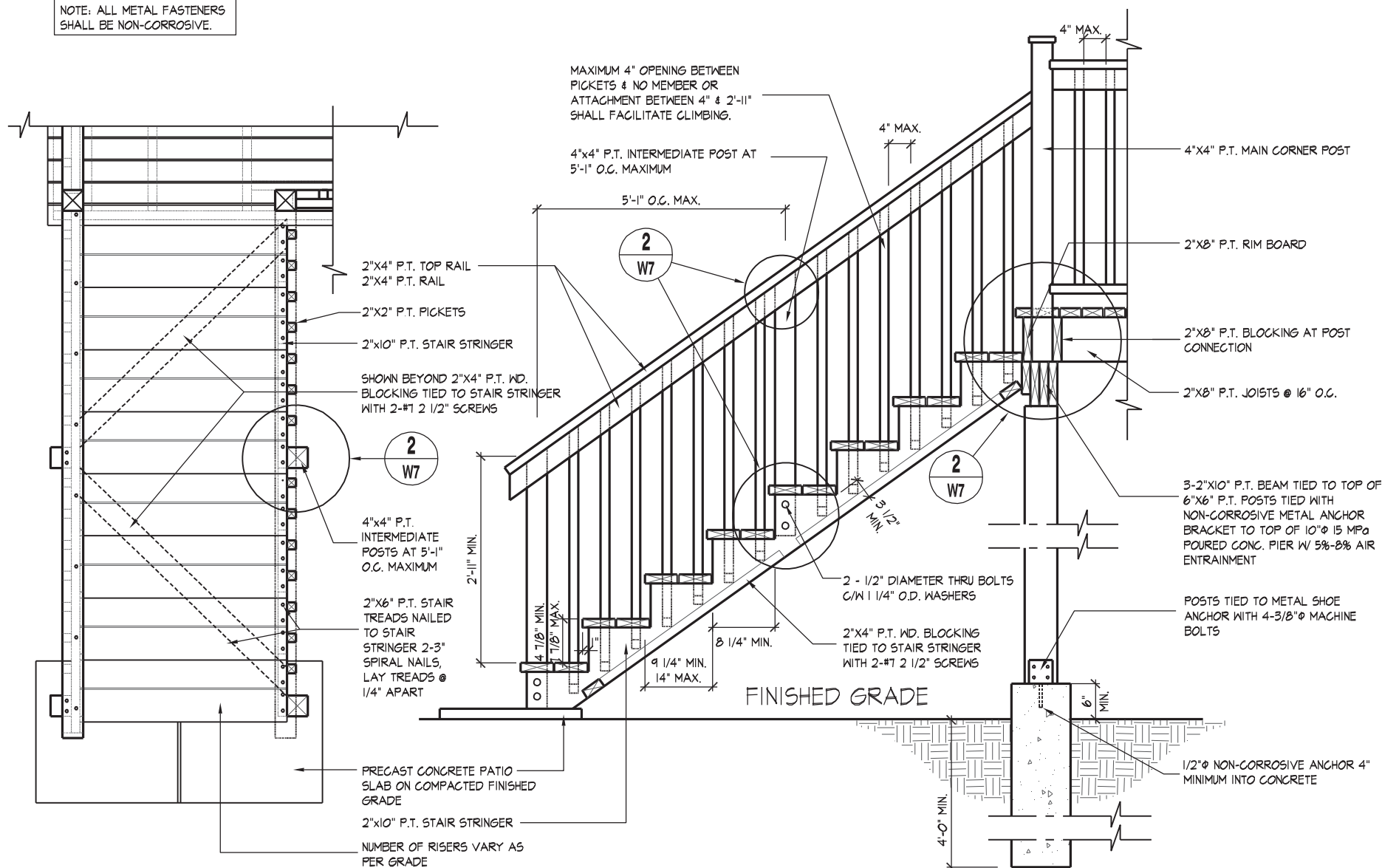
Page Number W6 of W7

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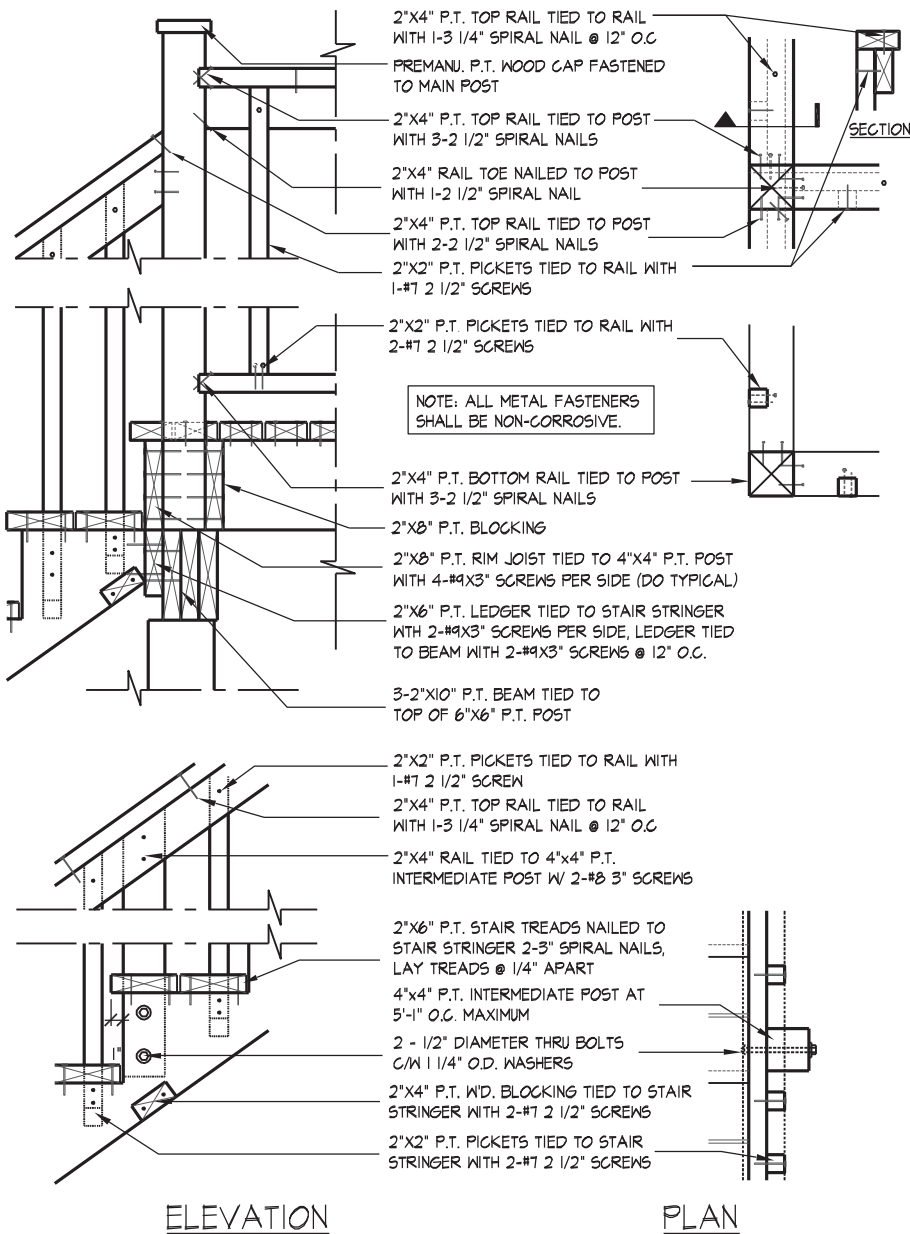
NOTE: ALL METAL FASTENERS SHALL BE NON-CORROSIVE.



01

## TYPICAL WOOD DECK STAIR

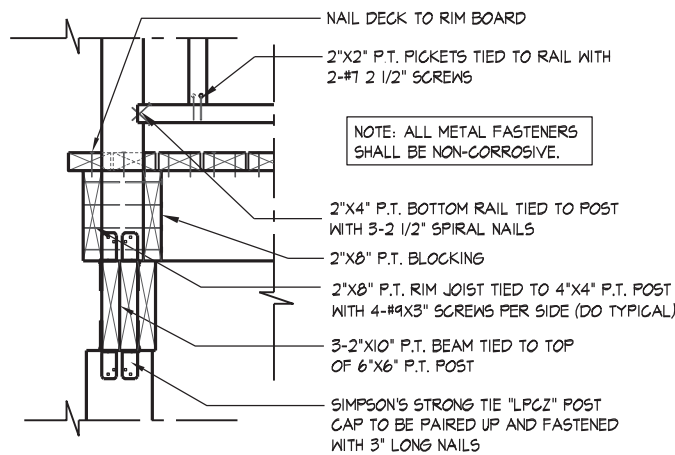
1/2" = 1'-0"



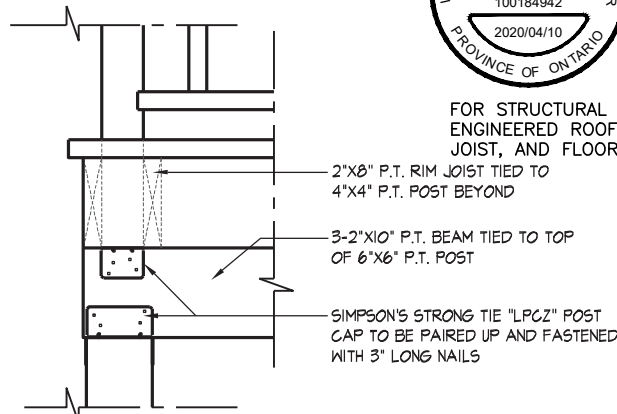
02

## TYP. MAIN AND INTERMEDIATE POST ANCHORAGE

3/4" = 1'-0"



## SIDE ELEVATION



03

## TYP. POST & BEAM CONNECTION

3/4" = 1'-0"

## DECK DETAILS 4

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Alan Whiting

NAME

REGISTRATION INFORMATION

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DESIGN ASSOCIATES INC.

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**GOLDPARK HOMES - 217020**  
PINE VALLEY, VAUGHAN ONT.

Drawn By

HDAL

Checked By

AW

Scale

3/16"=1'-0"

File Number

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Page Number

W7 of W7

**UNIT 5003 - THE OAKGROVE**  
REV.2020.03.30

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