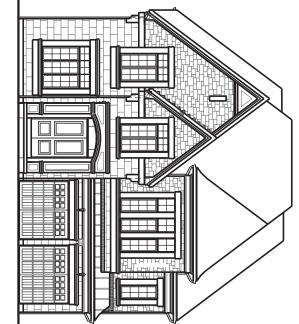
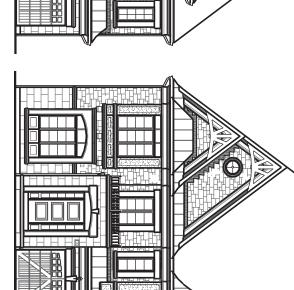
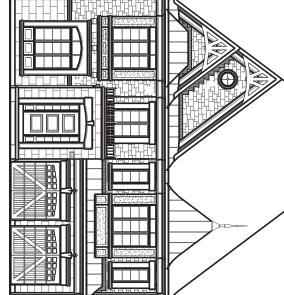


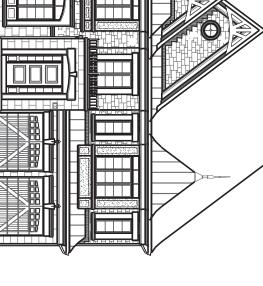


GROUND FLOOR AREA	STD.OPT SEC FLR PLAN 1984 sq. ft. (184.32 sq. m.)	EL 'A' R STDJOPT SEC FLR PLAN W/ OPT. ELV. 2131 sq. ft. (197.98 sq. m.)	EL 'A' CORNER 2078 sq. ft. (193.05 sq. m.)	EL. 'A' CORNER W OPT. ELEV. 2224 sq. ft. (206.62 sq. m.)	EL. 'B' EL. 'B' STDJOPT SEC FLR STDJOPT SEC FLR PLAN PLAN WO 97: ELV. 1977 sq. ft. 2124 sq. ft. (183.67 sq. m.) (197.33 sq. m.)	EL 'B' STDJOPT SEC FLR PLAN WOPT ELV 2124 sq. ft. (197.33 sq. m.)	EL. 'C' EL. 'C' STDJOPT SEC FLR STDJOPT SEC FLR PLAN PLAN WO DT. ELV. 2007 sq. ft. 2153 sq. ft. (186.46 sq. m.) (200.02 sq. m.)
SUBTOTAL	(205.04 sq. m.) 4191 sq. ft. (389.36 sq. m.)	(205.04 sq. m.) 4338 sq. ft. (403.01 sq. m.)	(213.77 sq. m.) 4379 sq. ft. (406.82 sq. m.)	(213.77 sq. m.) 4525 sq. ft (420.39 sq. m.)	(205.13 sq. m.) 4185 sq. ft (388.80 sq. m.)	(205.13 sq. m.) 4332 sq. ft. (402.46 sq. m.)	(210 15 sq. m.) 4269 sq. ft (396 60 sq. m.)
DEDUCT ALL OPEN AREAS	85 sq. ft. (7.90 sq. m.)	85 sq. ft (7.90 sq. m.)	85 sq. ft. (7.90 sq. m.)	85 sq. ft (7.90 sq. m.)	85 sq. ft. (7.90 sq. m.)	85 sq. ft. (7.90 sq. m.)	85 sq. ft. (7.90 sq. m.)
TOTAL NET AREA	4106 sq. ft. (381.46 sq. m.)	4253 sq. ft (395 12 sq. m.)	4294 sq. ft. (398.93 sq. m.)	4440 sq. ft (412.49 sq. m.)	4100 sq ft (380 90 sq m.)	4247 sq. ft. (394.56 sq. m.)	4184 sq. ft (388 71 sq. m
FINISHED BASEMENT AREA COVERAGE WOLLT DORCH	169 sq. ft. (15.70 sq. m.) 2549 sq. ft.	173 sq. ft. (16.07 sq. m.) 2549 sq. ft.	169 sq. ft. (15.70 sq. m.) 2644 sq. ft.	173 sq. ft. (16.07 sq. m.) 2644 sq. ft.	169 sq. ft. (15.70 sq. m.) 2542 sq. ft.	169 sq. ft. (15.70 sq. m.) 2542 sq. ft.	169 sq. ft. (15.70 sq. m.) 2572 sq. ft.
COVERAGE W/PORCH	2598 sq. ft. (241.36 sq. m.)	2598 sq. ft. (241.36 sq. m.)	2693 sq. ft. (250 19 sq. m.)	2693 sq. ft. (250.19 sq. m.)	2601 sq. ft. (241.64 sq. m.)	2601 sq. ft. (241.64 sq. m.)	2635 sq. ft.
WINDOW / WALL AREA	EL 'A'	EL 'A'	EL 'A'	NEB A.	EL B	EL 'B'	EE 'C'
GROSS WALL AREA	4759.49 sq. ft	4759 49 sq ft	5014.60 sq. ft.	014.60 sq. ft.	4750.63 sq. ft.	4750.63 sq. ft.	4953.80 sq. ft
GROSS WINDOW AREA	(442 T/ sq. m.) 524 77 sq. ft	(442.17 sq. m.) 536.11 sq. ft	(465.87 sq. m.) 612.50 sq. ft.	sq.m.) sq.ft	(441.35 sq. m.) 539.80 sq. ft	(441.35 sq. m.) 551.14 sq. ft	(460 22 sq. m.) 554 51 sq. ft.
(INCL_GLASS DOORS & SKYLIGHTS)	(48.75 sq. m.)	(49.81 sq. m.)	(56.90 sq. m.)	sq. m.)	(50.15 sq. m.)	(51.20 sq. m.)	(51.52 sq. m.)
TOTAL WINDOW %	11.03 %	11.26 %	12.21 %	1 %	11.36 %	11.60 %	11.19 %
	STD PLAN	EL. 'A' - WOD	EL 'A' - WOD CORNER	NER	STD PLAN	EL 'B' - WOD	STD PLAN
GROSS WALL AREA	4806.82 sq. ft. (446.57 sq. m.)	4806.82 sq. ft. (446.57 sq. m.)	5061.93 sq. ft. (470.27 sq. m.)	3 sq. ft. sq. m.)	4797.96 sq. ft. (445.75 sq. m.)	4797.96 sq. ft. (445.75 sq. m.)	5001.14 sq. ft (464.62 sq. m.)
GROSS WINDOW AREA	529.77 sq. ft	541 11 sq ft	617.50 sq. ft.	sq.ft	544.80 sq. ft	556 14 sq. ft	559.51 sq. ft
TOTAL WINDOW %	(49.22 sq. m.) 11.02 %	(50.27 sq. m.) 11.26 %	(5/.3/ sq. m.) 12.20 %	sq.m.)	(50.61 sq. m.) 11.35 %	(51.67 sq. m.) 11.59 %	(51.98 sq m.)
	STD PLAN	EL 'A' - LOD OPT. SEC FLR. PLAN	EL. 'A' - LOD CORNER	- LOD NER	EL 'B' LOD STD PLAN	EL 'B' LOD OPT SECFLE PLAN	STD PLAN
GROSS WALL AREA	(458.94 sq. m.)	(458.94 sq. m.)	(482.64 sq. m.)	sq.m.)	(458.11 sq. m.)	(458.11 sq. m.)	(476.99 sq. m.
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	551.44 sq. ft. (51.23 sq. m.)	562 77 sq. ft. (52.28 sq. m.)	639.17 sq. ft. (59.38 sq. m.)	sq.ft.	566.47 sq. ft. (52.63 sq. m.)	577.80 sq. ft.	581.18 sq. ft.
TOTAL WINDOW %	11 16 %	11 39 %	12.30 %	0 %	11 49 %	11 72 %	11 32 %
	EL 'A' - WOB	EL 'A' WOB	EL 'A' - WOB	- WOB	EL. 'B' - WOB	EL 'B' WOB	EL 'C' WOE
GROSS WALL AREA	5380.74 sq. ft.	5380.74 sq. ft.	5635.85 sq. ft.	35.85 sq. ft.	5371.88 sq. ft	5371.88 sq. ft	5575.05 sq ft
	(499.89 sq. m.)	(499.89 sq. m.)	(523.59	(523.59 sq. m.)	(499.06 sq. m.)	(499.06 sq. m.)	(517.94 sq. m.
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	627.61 Sq. π.)	638.94 Sq. π.)	/15.33 sq.π.) (66.46 sq.m.)	sq.m.)	642.64 Sq. m.)	60.76 sq. m.)	61.07 sq m.)
	11.66 %	11 87 %	12 69 %				











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ELEVATION 'A

JNIT 5004 -'THE BEAUMONT'

ELEVATION B

SB-12 **ENERGY EFFICIENCY DESIGN MATRIX**

																_	_
DHW HEATER (EF)	HRV EFFICIENCY (%)	SPACE HEATING EQUIP. (AFUE%)	APPLIANCE EFFICIENCY	SKYLIGHTS (MAX. U-VALUE)	WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	WINDOWS & DOORS	HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)	BASEMENT WALLS	WALLS ABOVE GRADE	EXPOSED FLOOR	CEILING W/O ATTIC SPACE	CEILING W/ ATTIC SPACE	INSULATION RSI (R) VALUE	BUILDING COMPONENT
0.8	75%	96%		2.8	1.6		1.76 (R10)	1.76 (R10)	1	(R20 ci) *	3.52 ci	3.87 (R22)	5.46 (R31)	5.46 (R31)	10.56 (R60)		REQUIRED
0.8	75%	96%		2.8	1.6		1.76 (R10)	1.76 (R10)	1	(R20 ci) ^	3.52 ci _	3.87 (R22)	5.46 (R31)	5.46 (R31)	10.56 (R60)		PROPOSED

AREA CALCULATIONS

GOLDPARK WORTH MORE



 \prec

- 1 TITLE PAGE
 2 BASEMENT PLAN, EL. 'A'
 3 GROUND FLOOR PLAN, EL. 'A'
 4 SECOND FLOOR PLAN, EL. 'A'
 5 OPT. 5 BED. SECOND FLOOR PLAN, EL. 'A'
 6 BASEMENT PLAN, EL. 'A' CORNER
 7 GROUND FLOOR PLAN, EL. 'A' CORNER
 8 SECOND FLOOR PLAN, EL. 'A' CORNER
 9 PART. BASEMENT, GROUND & SECOND FLOOR PLAN, EL. 'C'
 11 PART. FLOOR PLANS, OPT. LEEVATOR CONDITION
 12 PART. FLOOR PLANS, OPT. LEEVATOR CONDITION
 13 PART. FLOOR PLANS, OPT. LOGGIA CONDITION
 14 FRONT & REAR ELEVATION 'A'
 16 RIGHT SIDE ELEVATION 'A'
 17 FRONT ELEVATION 'A' CORNER
 19 RIGHT SIDE ELEVATION 'A' CORNER
 20 REAR ELEVATION 'A' CORNER
 21 FRONT ELEVATION 'B'
 22 LEFT SIDE ELEVATION 'B'
 23 RIGHT SIDE ELEVATION 'B'
 24 FRONT ELEVATION 'C'
 25 LEFT SIDE ELEVATION 'C'
 26 RIGHT SIDE ELEVATION 'C'
 27 UPGRADED REAR ELEVATION 'C'
 28 ELEVATIONS LOGGIA CONDITION
 W1 WALK OUT DECK CONDITION
 W1 WALK OUT DECK CONDITION
 W2 LOOK OUT DECK CONDITION
 W3 WALK OUT BASEMENT CONDITION
 W3 WALK OUT BASEMENT CONDITION
 W3 WALK OUT BASEMENT CONDITION

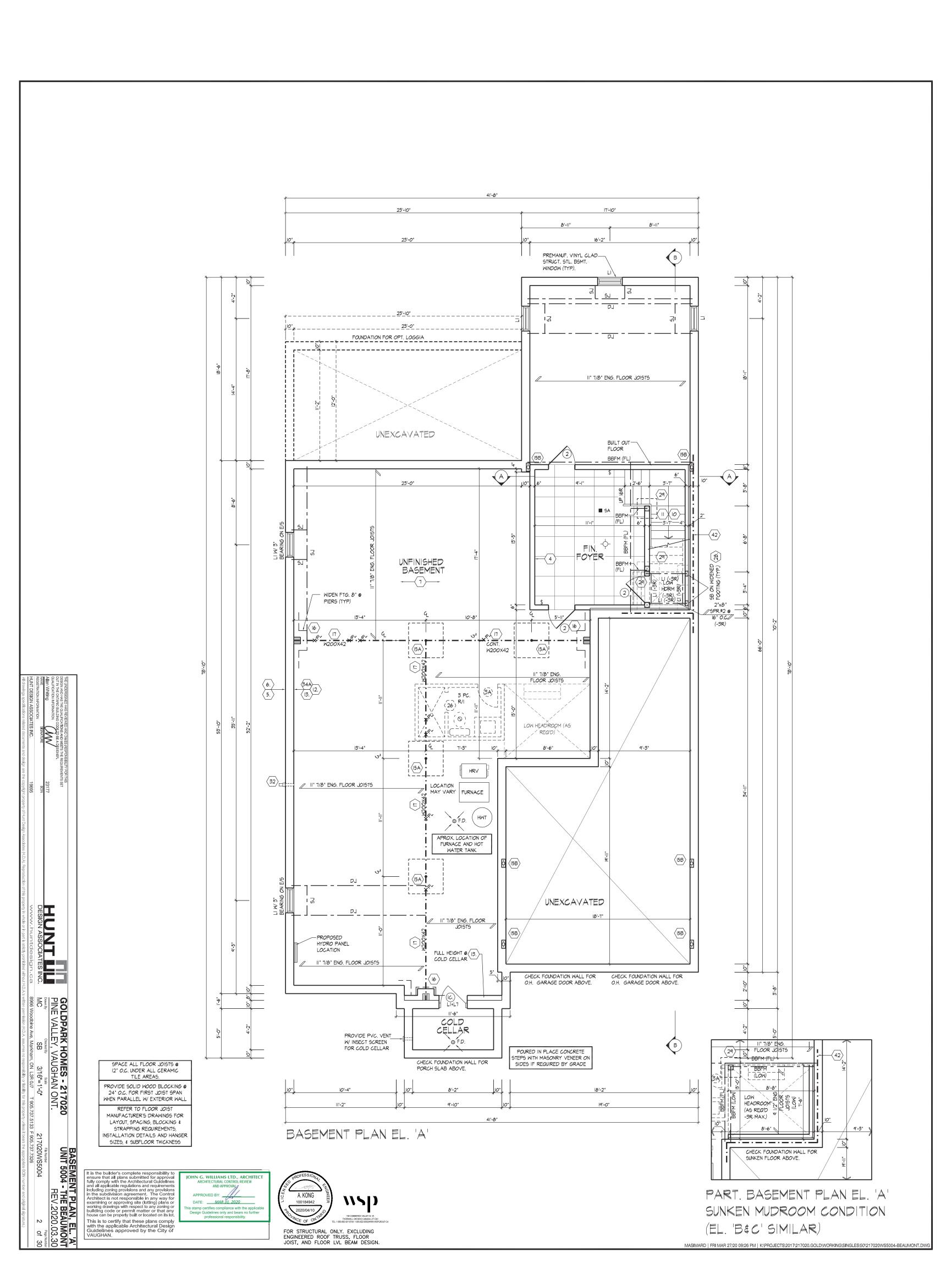
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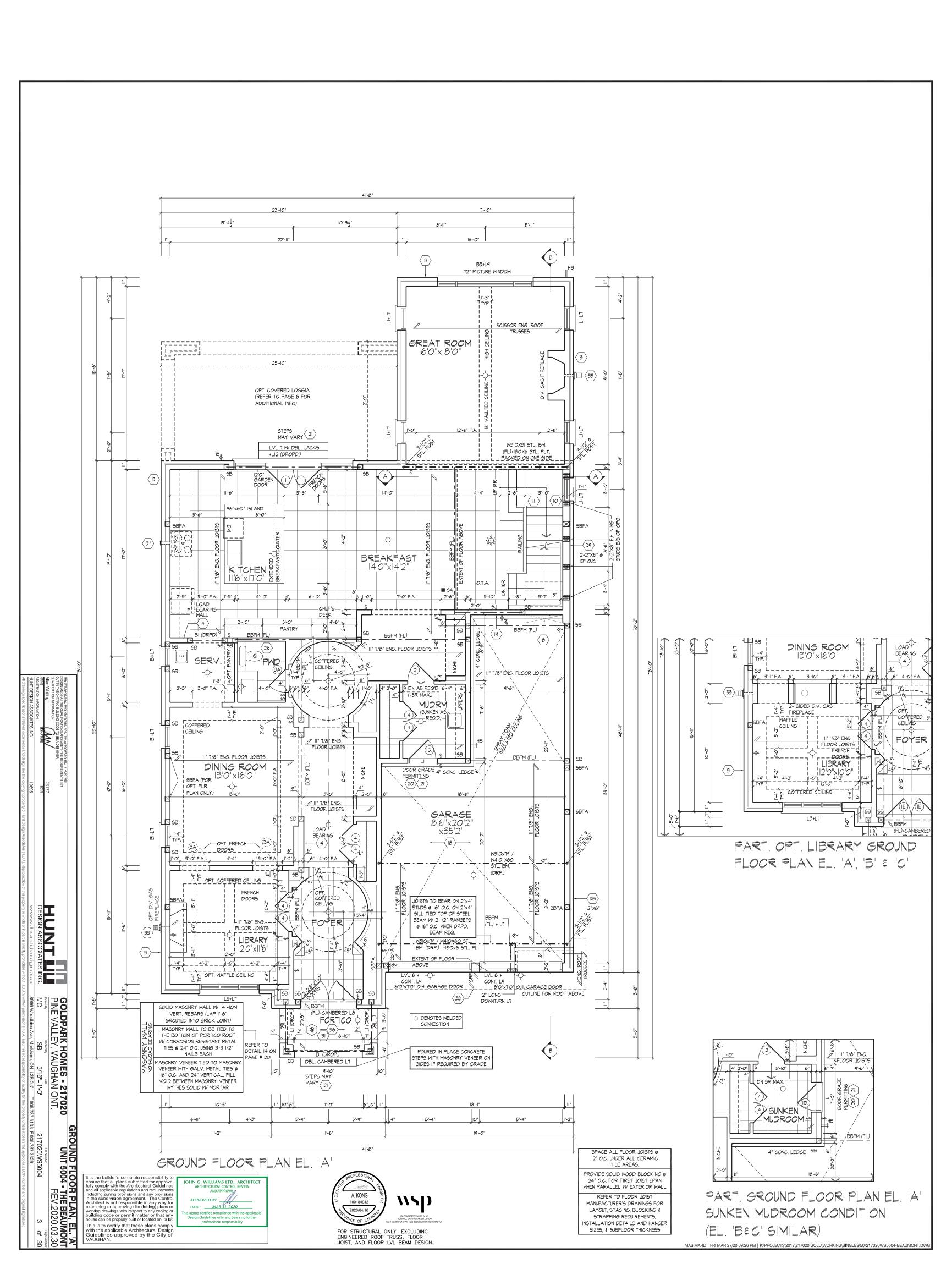
HUNT PESIGN ASSOCIATION GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

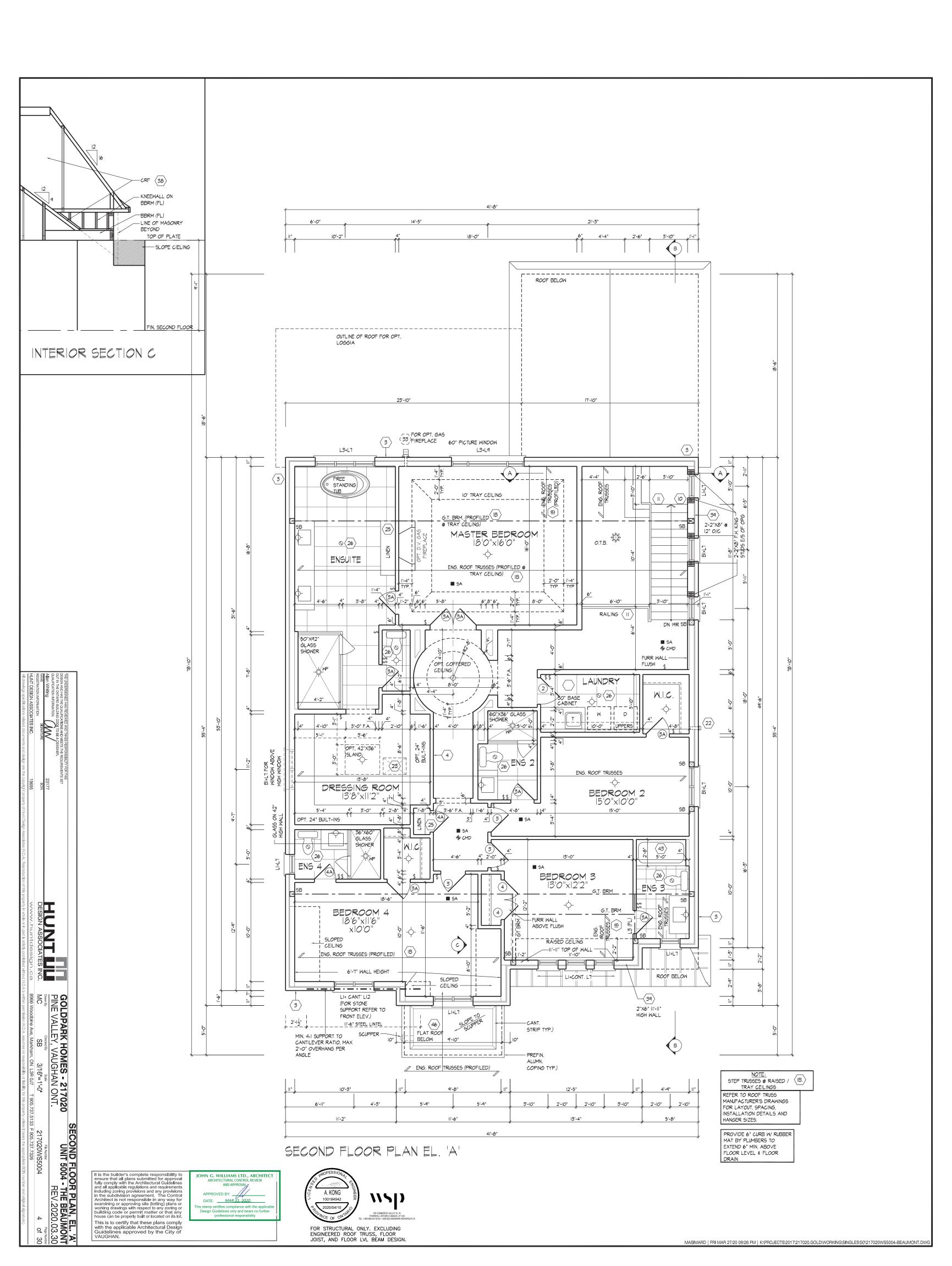
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UNIT 5004 - THE BEAUMONT
REV.2020.03.30 으 를

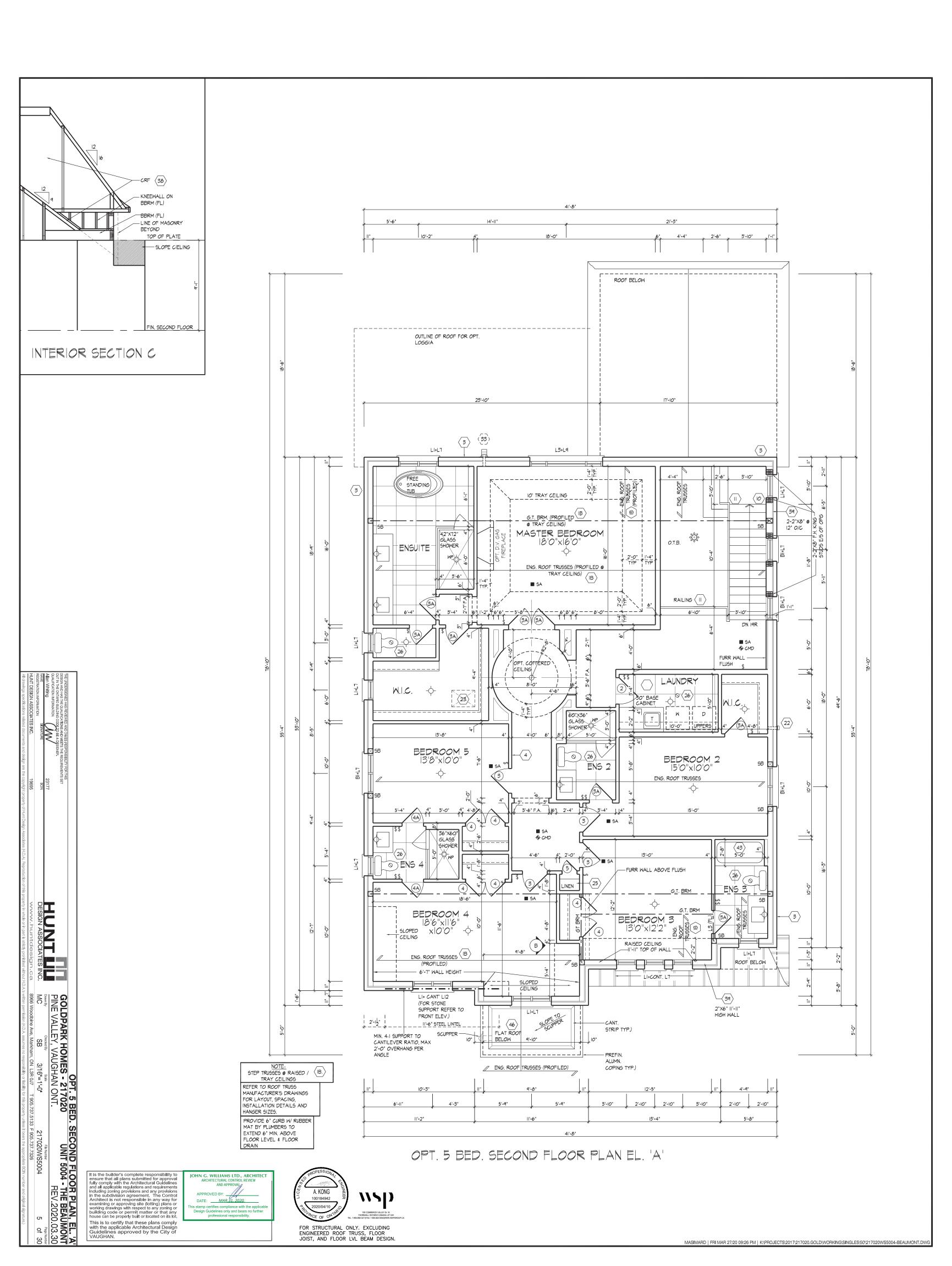
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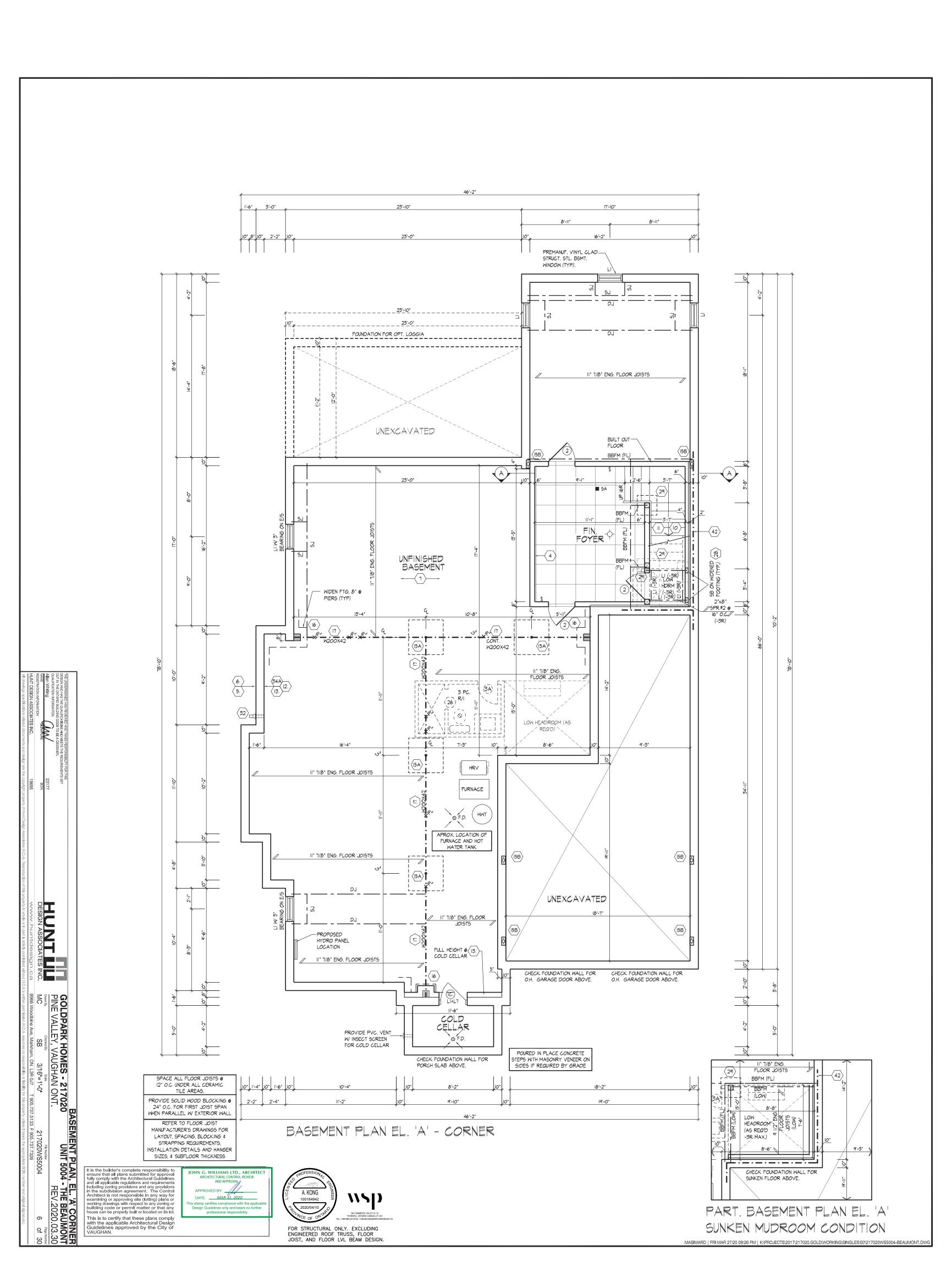
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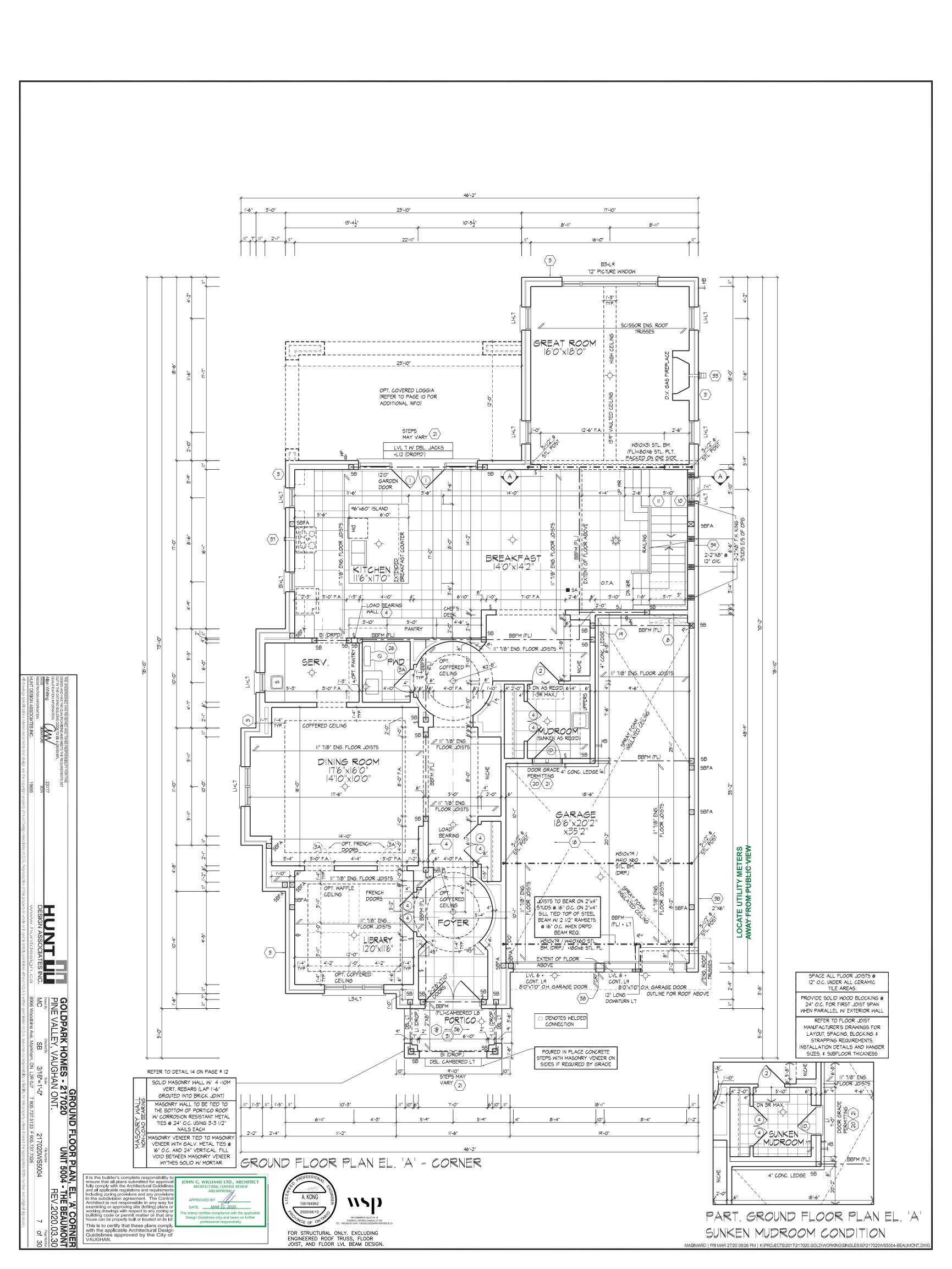


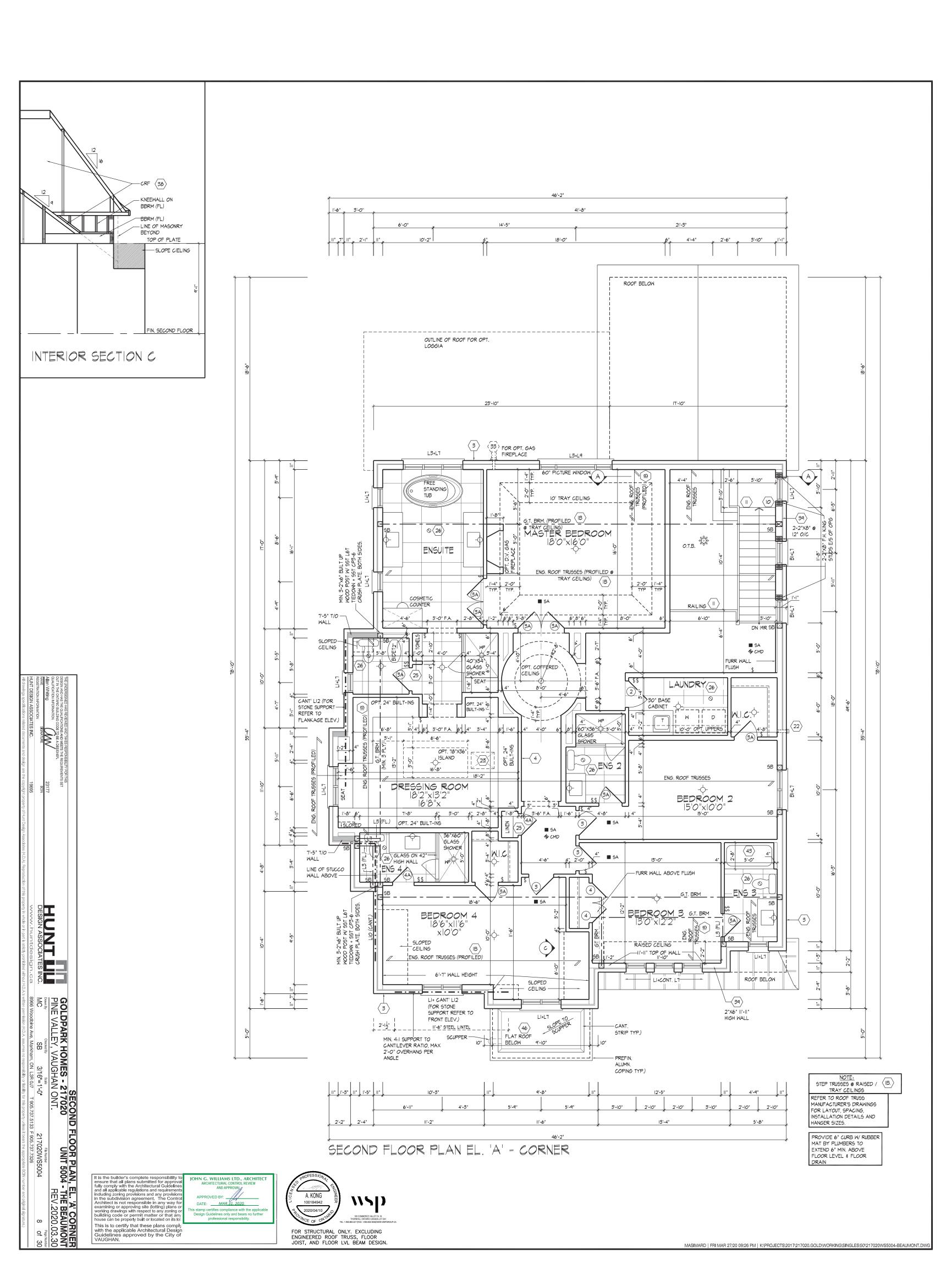


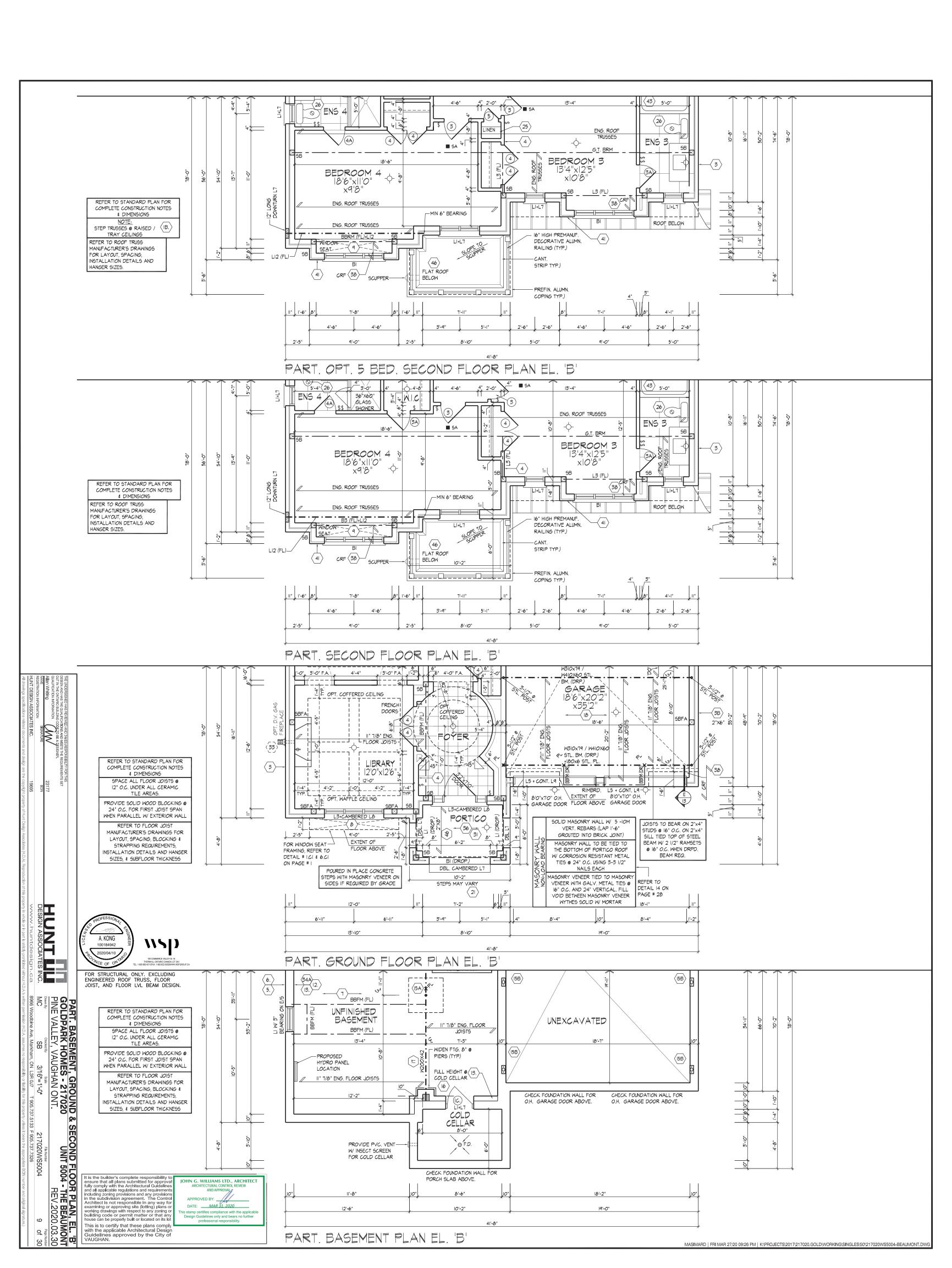


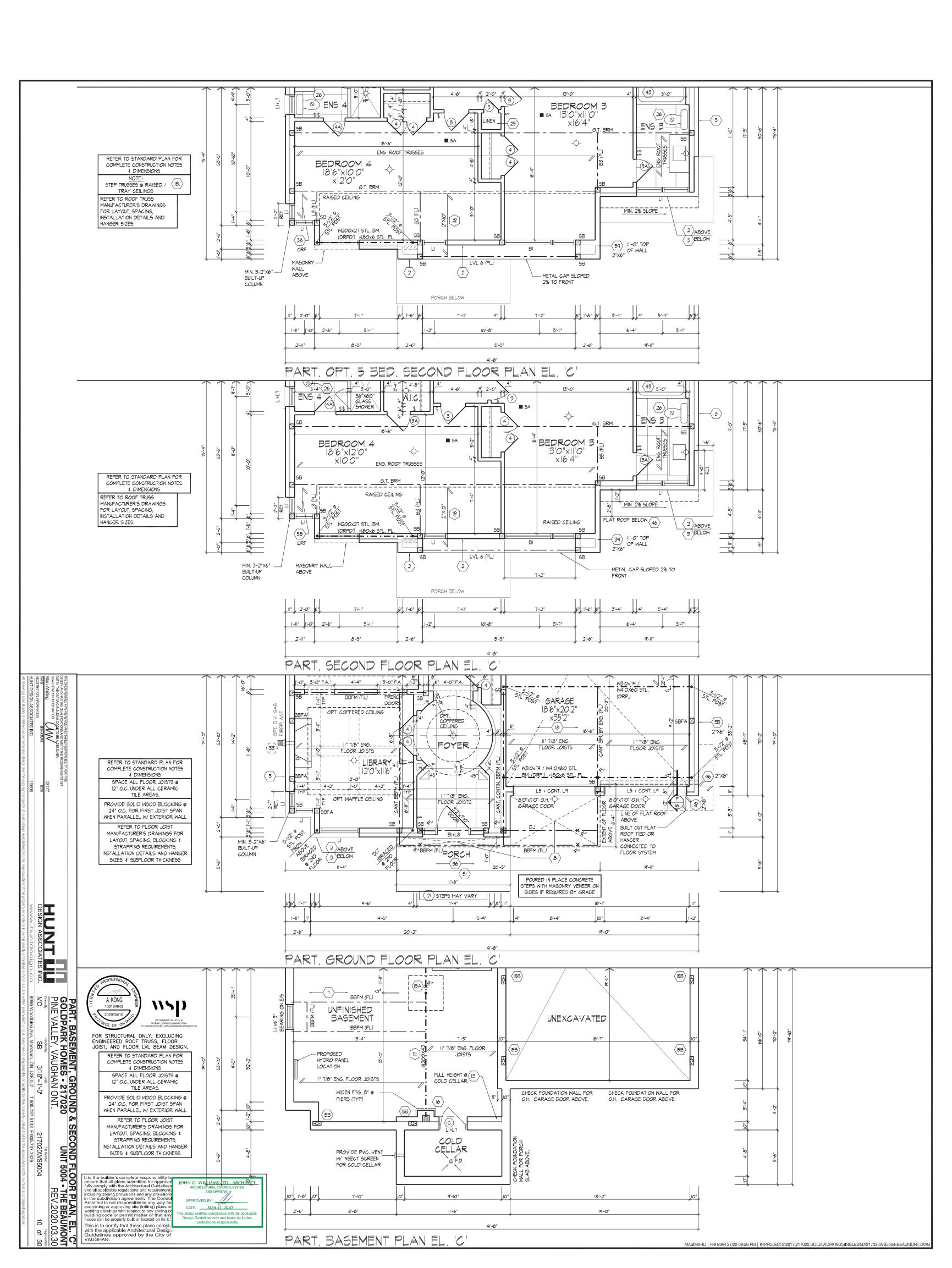


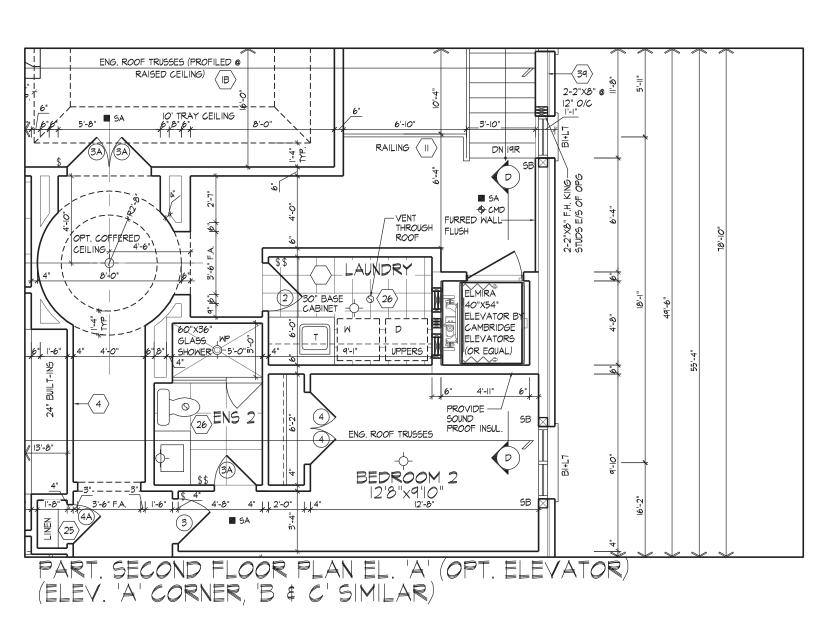


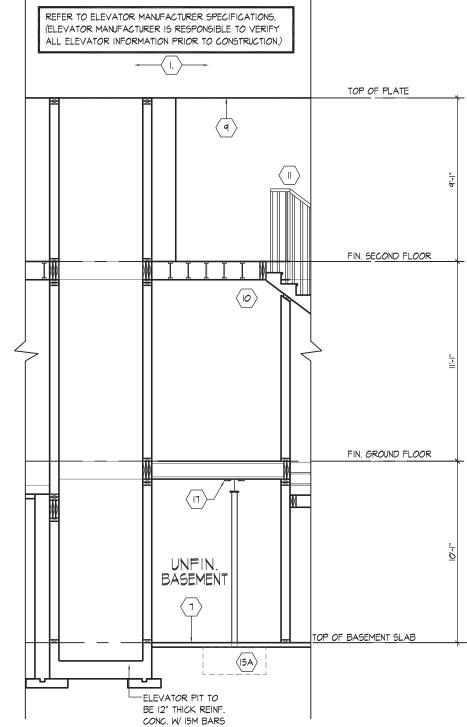












COMPLETE CONSTRUCTION NOTES & DIMENSIONS REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES

& DIMENSIONS

SPACE ALL FLOOR JOISTS @

12" O.C. UNDER ALL CERAMIC

TILE AREAS.

PROVIDE SOLID WOOD BLOCKING @

24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST

MANUFACTURER'S DRAWINGS FOR

LAYOUT, SPACING, BLOCKING &

STRAPPING REQUIREMENTS,

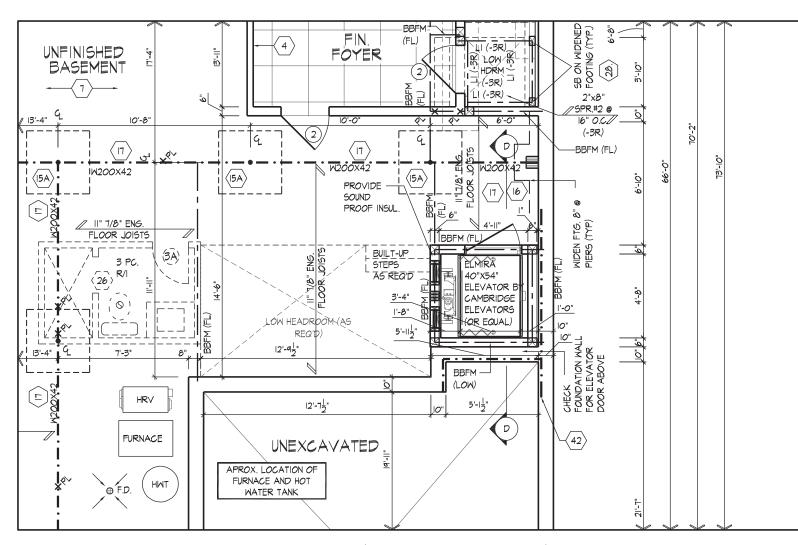
INSTALLATION DETAILS AND HANGER

SIZES, & SUBFLOOR THICKNESS

REFER TO STANDARD PLAN FOR

BREAKFAST 140"x14'2" -(39) _₽_ 2-2"X8" ⊚ [™] <u>_3'-7".</u>_ <u>3</u>" 12" O/C 4'-6" PANTRY 5'-3" 🔺 2-2"X8" F.H BBFM (FL) KING STUDS E/S OF OPG II" 7/8" ENG. FLOOR JOISTS CEILING 4'-0' **JOISTS** -STRAP WALL FLUSH 4 1 6" SB [6"/₁/₁ 4" 2'-0" 4" 10'-5" \$ ELMIRA DN AS REQ'D (-3R MAX.) 40"X54" ELEVATOR BY CAMBRIDGE 爾 ELEVATORS (SUNKEN AS REQ'D) 9 ЅВ 🕱 SB FLOOR JOISTS /(ID.) PROVIDE SB SOUND [E PROOF INSUL 4" CONC. LEDGE DOOR GRADE PERMITTING SBFA BBFM. 20 21 O /13'-0" | 1,6" 18'-6" 5'-0" 2'-0" GARAGE |8'6"x20'2" |x2|'|0" ENG. FLOOR JOISTS SBFA SB 🛚 LOAD BEARING (18)

PART. GROUND FLOOR PLAN EL. 'A' (OPT. ELEVATOR) (ELEV. 'A' CORNER, 'B & C' SIMILAR)



PART. BASEMENT PLAN EL. 'A' (OPT. ELEVATOR) (ELEV. 'A' CORNER, 'B & C' SIMILAR)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

REFER TO STANDARD PLAN FOR

COMPLETE CONSTRUCTION NOTES

& DIMENSIONS

SPACE ALL FLOOR JOISTS @

12" O.C. UNDER ALL CERAMIC

TILE AREAS.

PROVIDE SOLID WOOD BLOCKING @

24" O.C. FOR FIRST JOIST SPAN

WHEN PARALLEL W/ EXTERIOR WALL REFER TO FLOOR JOIST

MANUFACTURER'S DRAWINGS FOR

LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS. INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

> JOHN G. WILLIAMS LTD., ARCHITECT DATE: MAR 31, 2020 is stamp certifies compliance with the applica Design Guidelines only and bears no further professional responsibility.



SSOCIATES INC.

HUNT DESIGN ASSOCIA

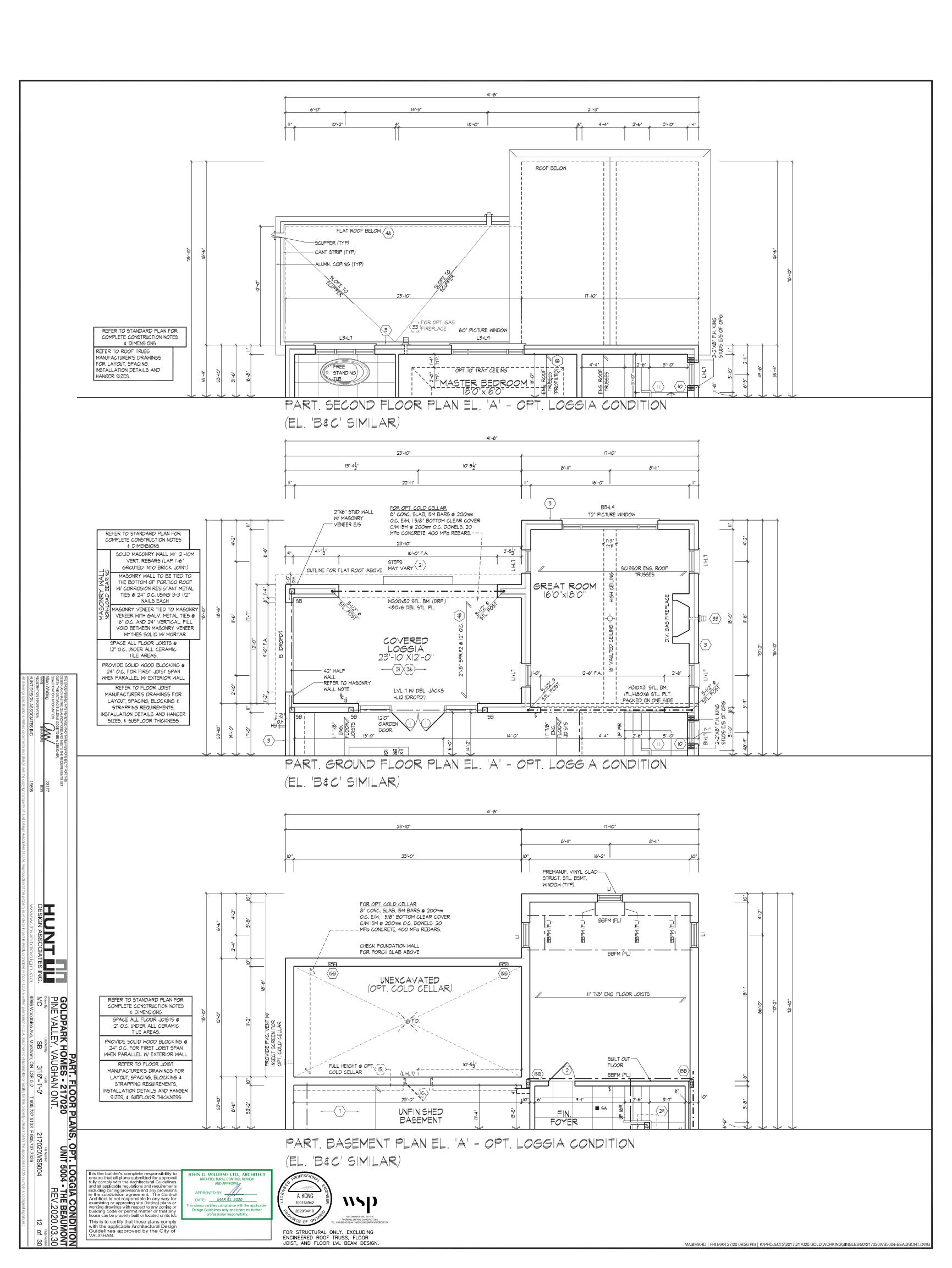
PART. FLOOR PLANS - OPT ELEVATOR CONDITION
GOLDPARK HOMES - 217020 UNIT 5004 - THE BEAUMONT
PINE VALLEY, VAUGHAN ONT.

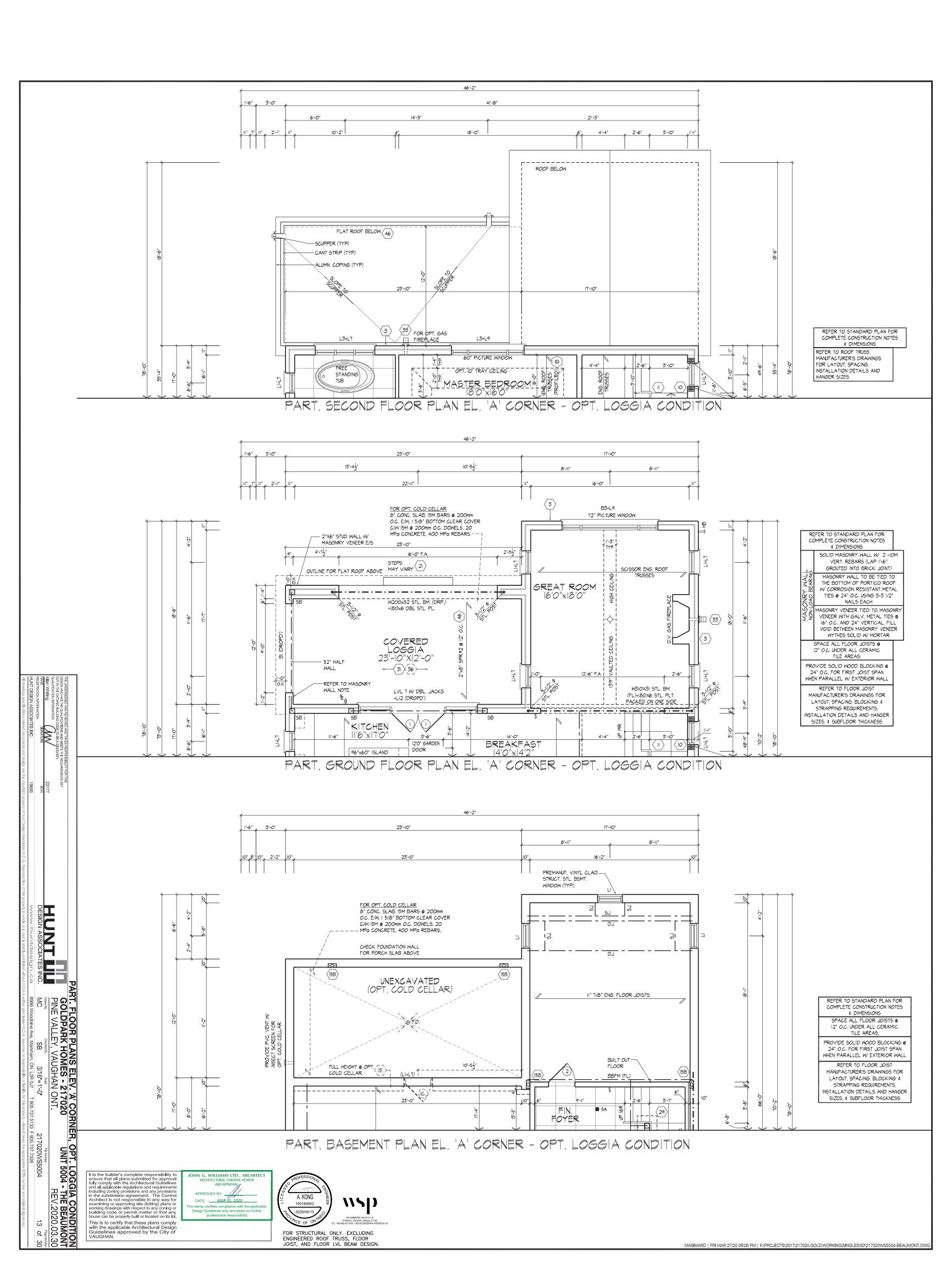
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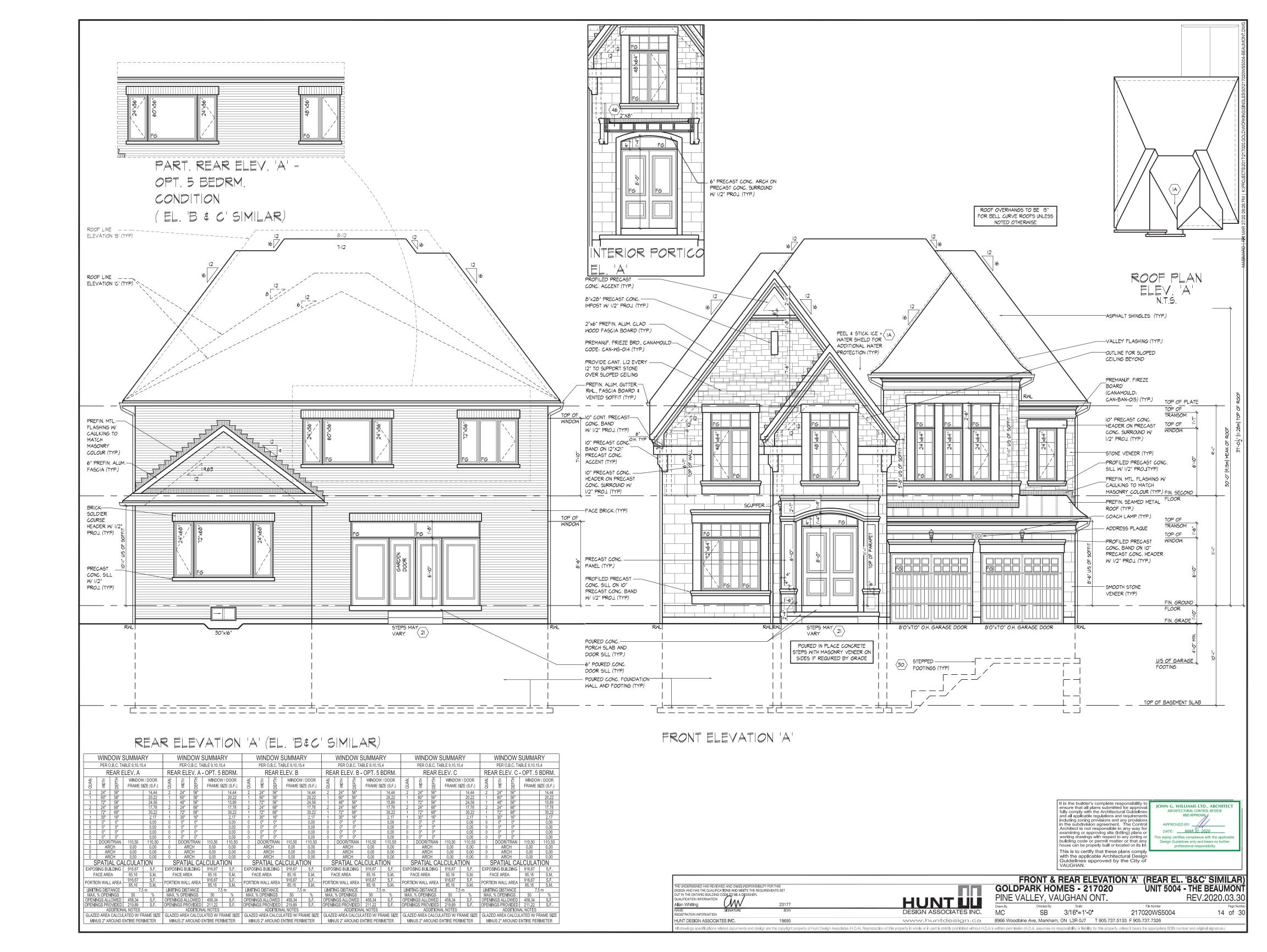
8966 Woodbine Ave. Marware ?**

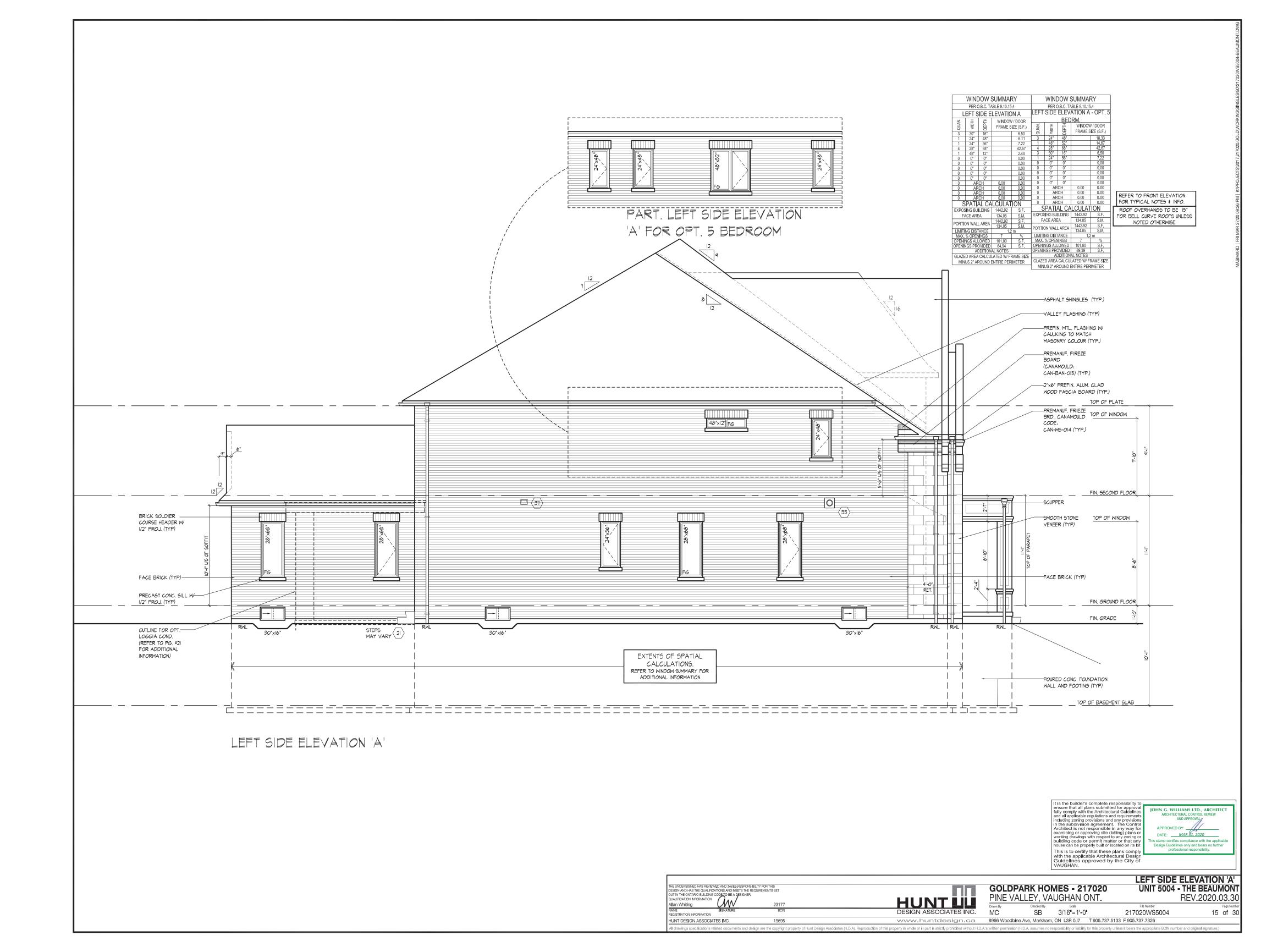
PART. FLOOR PLANS - OPT ELEVATOR CONDITION
UNIT 5004 - THE BEAUMONT
REV.2020.03.30

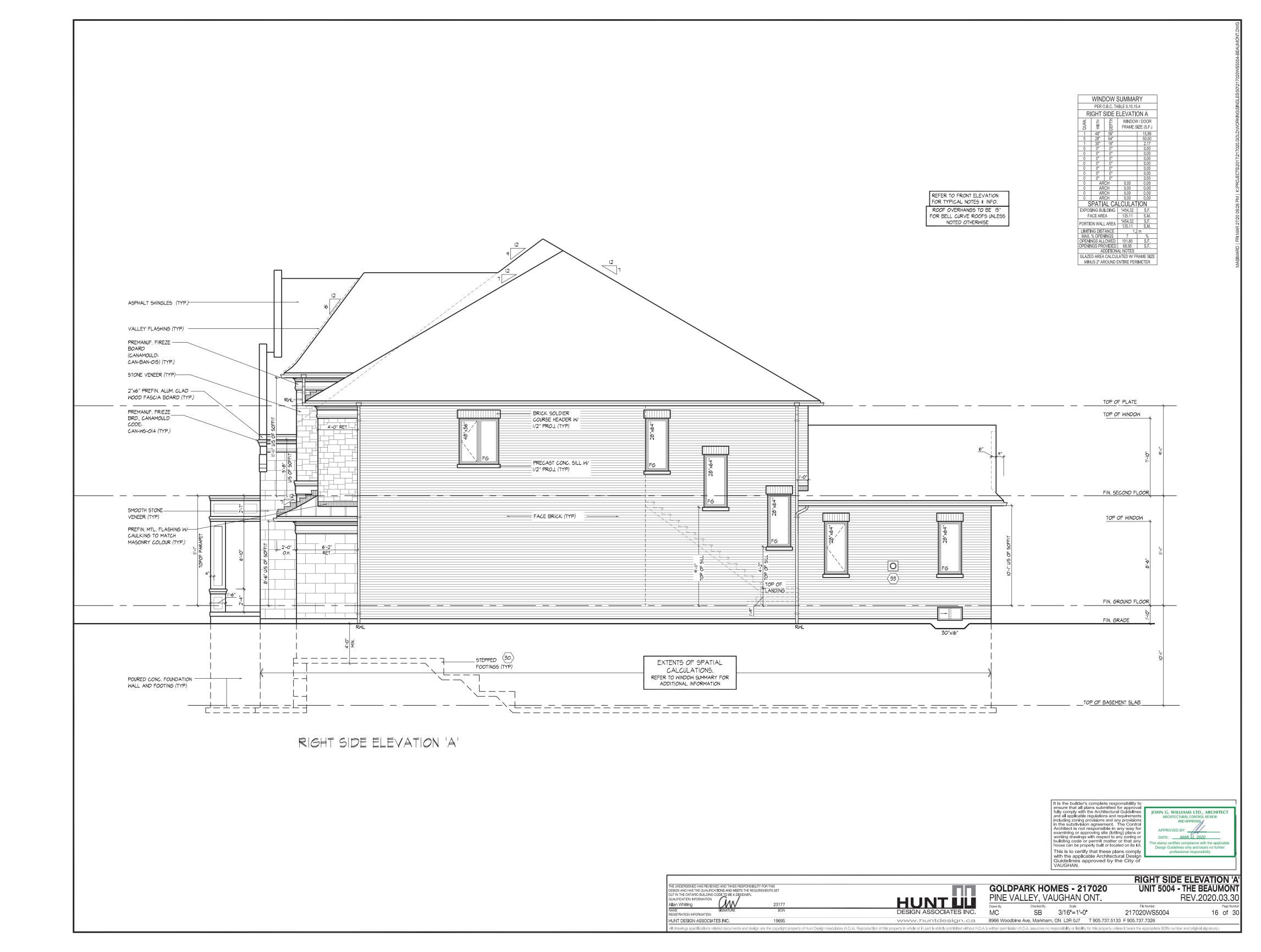
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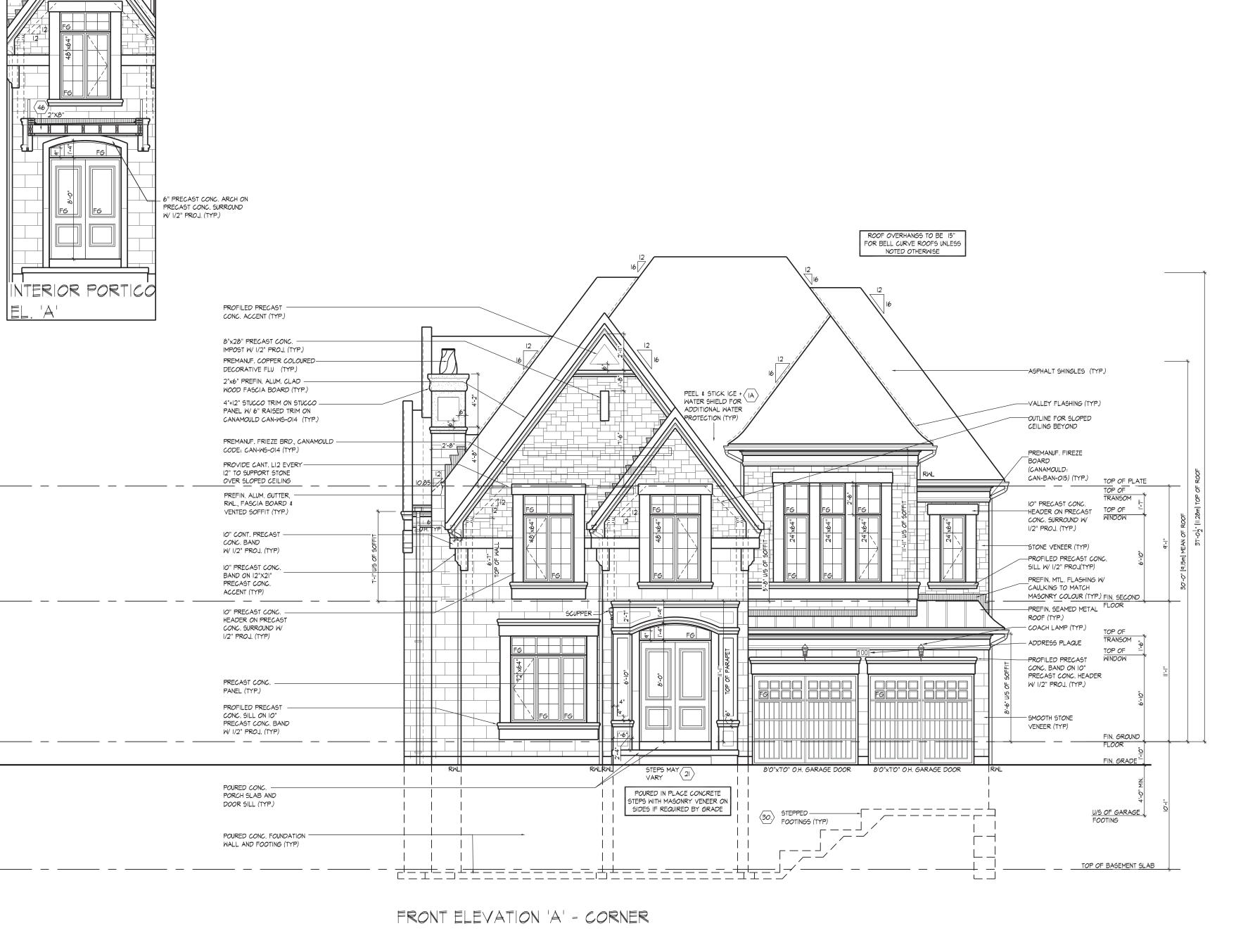












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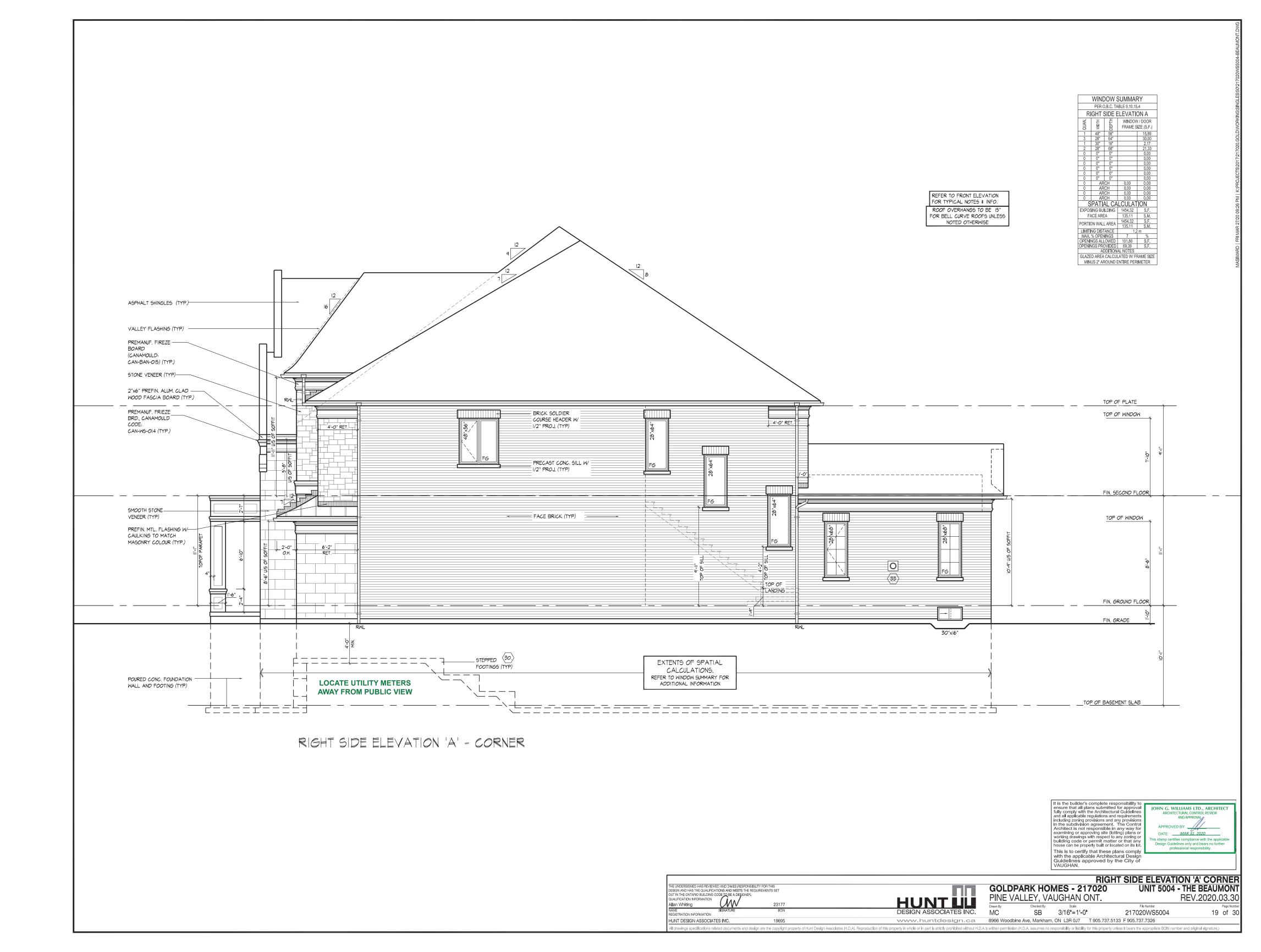
JOHN G. WILLIAMS LTD., ARCHITECT DATE: <u>MAR 31, 2020</u>

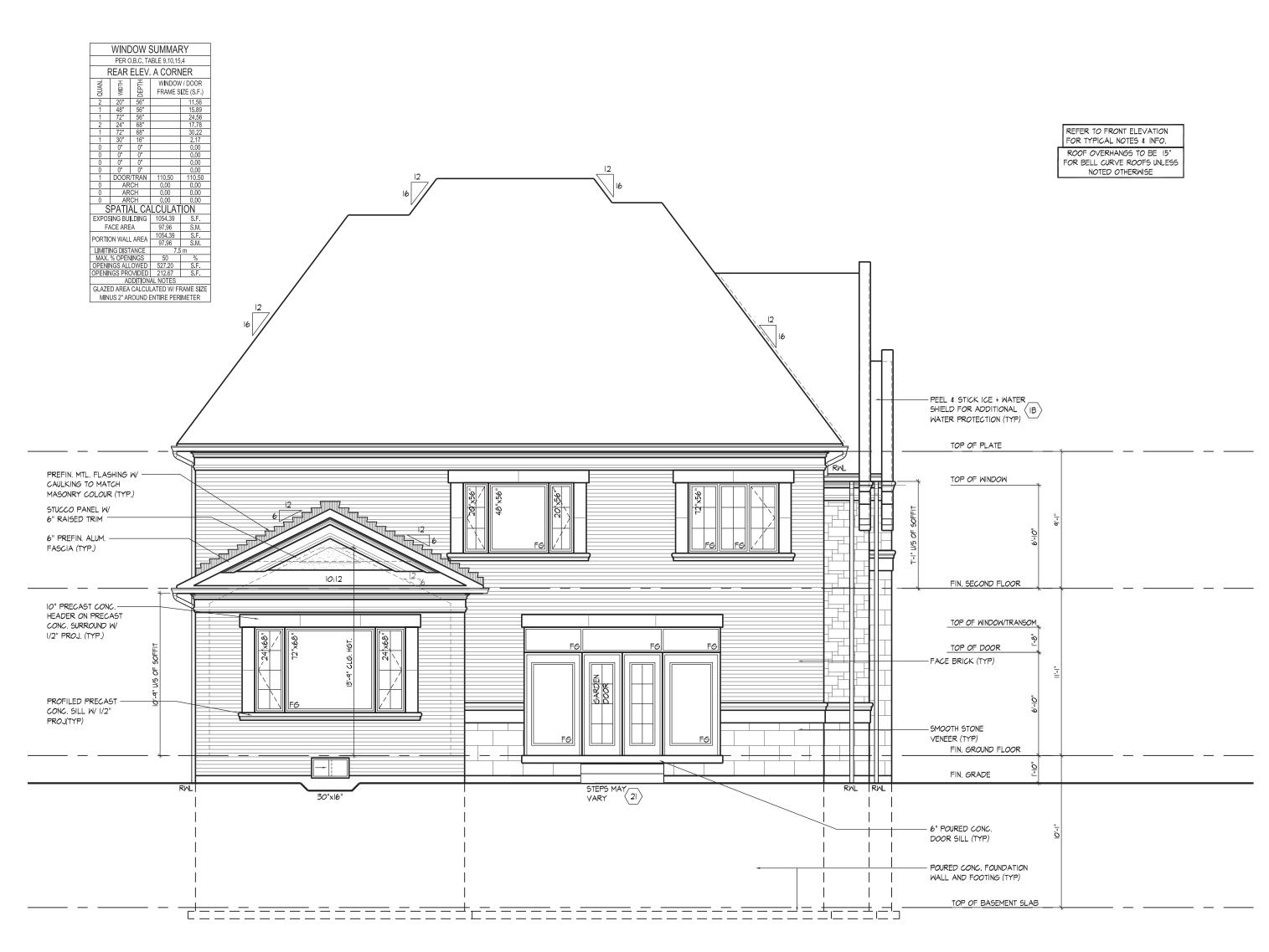
FRONT ELEVATION 'A' CORNER UNIT 5004 - THE BEAUMONT THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS **GOLDPARK HOMES - 217020** DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

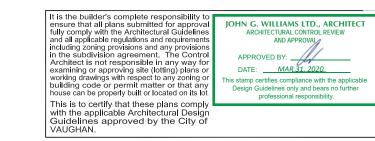
Allan Whiting 231 PINE VALLEY, VAUGHAN ONT. REV.2020.03.30 **HUNT JU** Allan Whiting File Number 217020WS5004 Drawn By SB 3/16"=1'-0" 17 of 30 NAME REGISTRATION INFORMATION 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326 HUNT DESIGN ASSOCIATES INC. www.huntdesign.ca



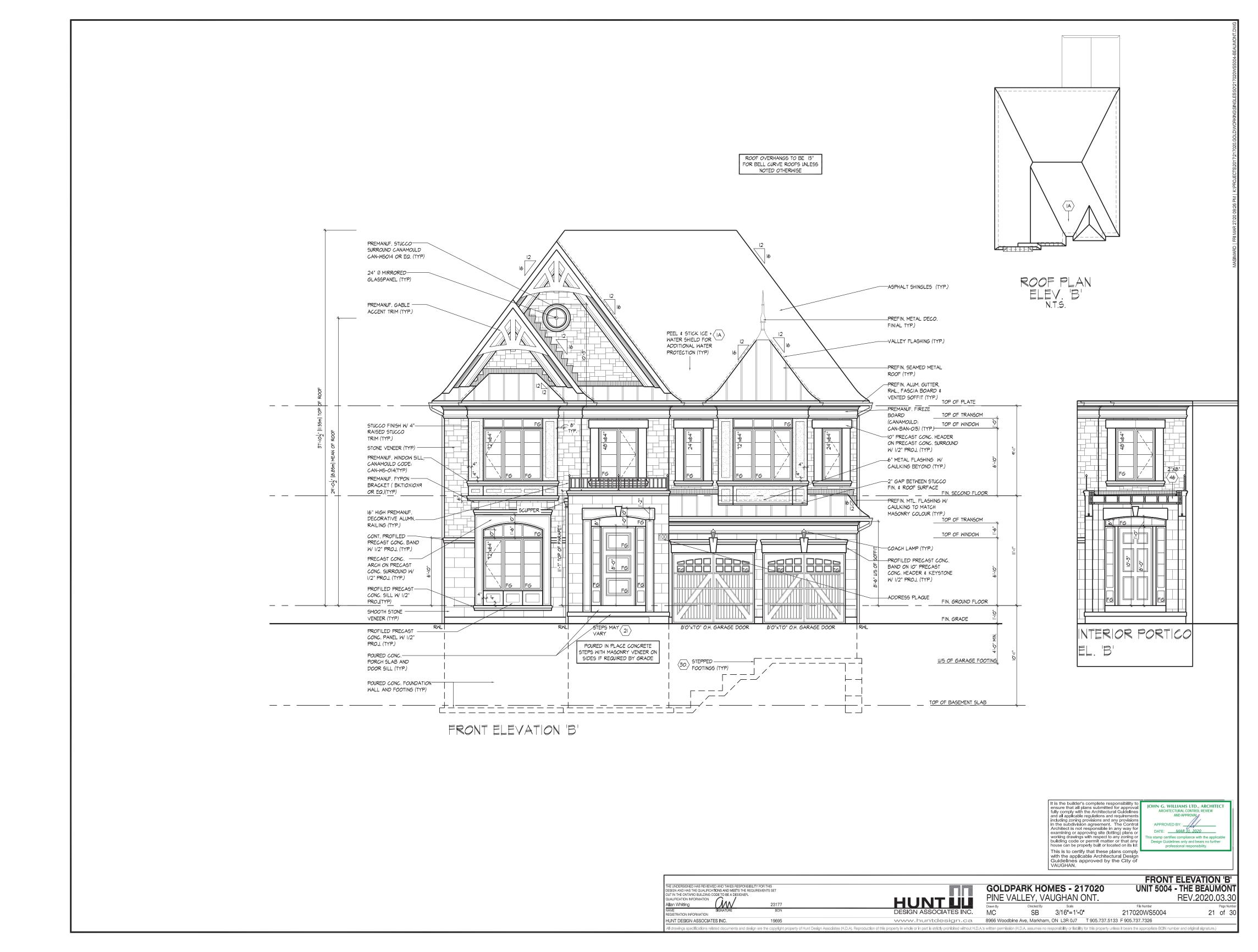


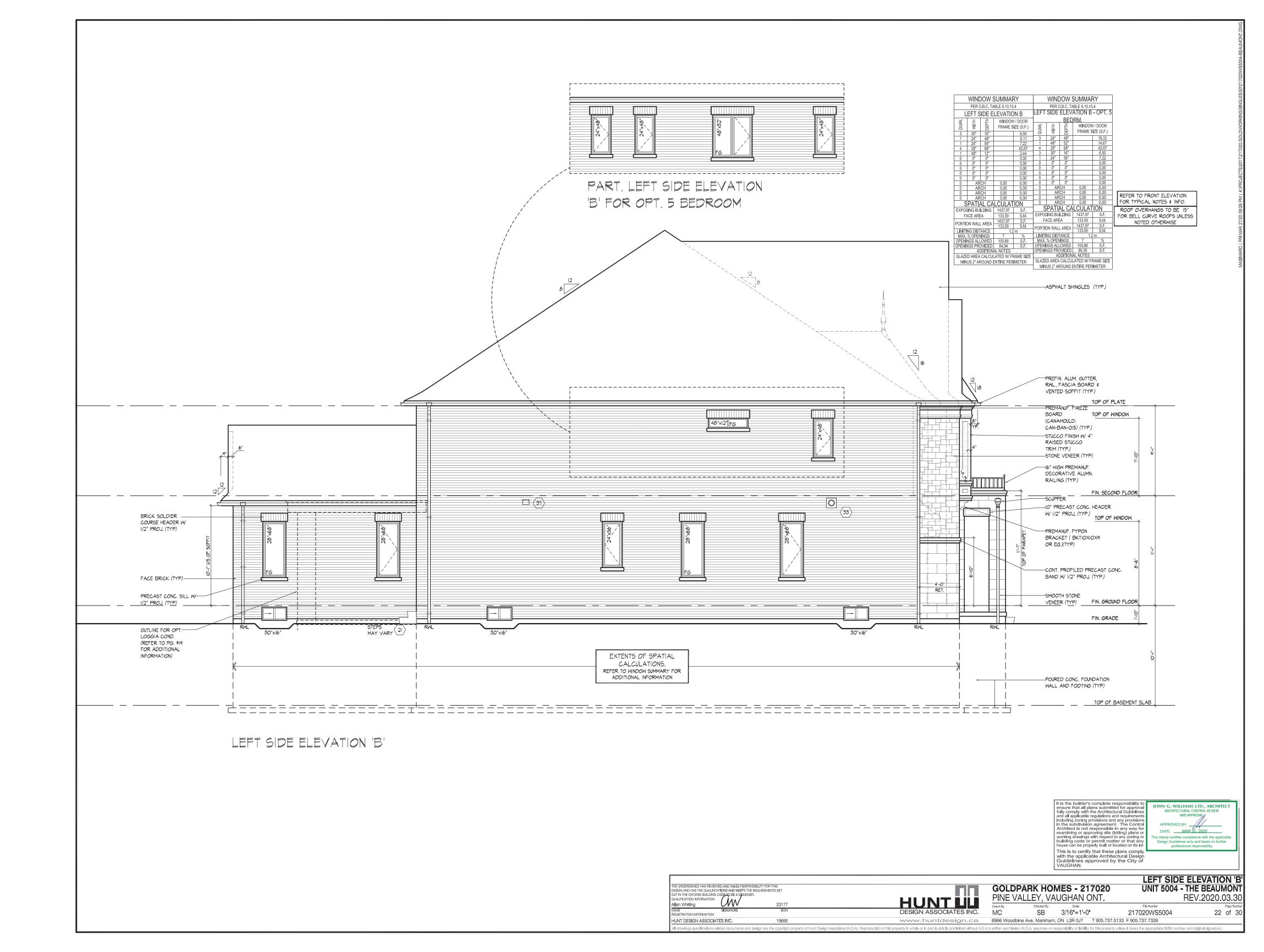


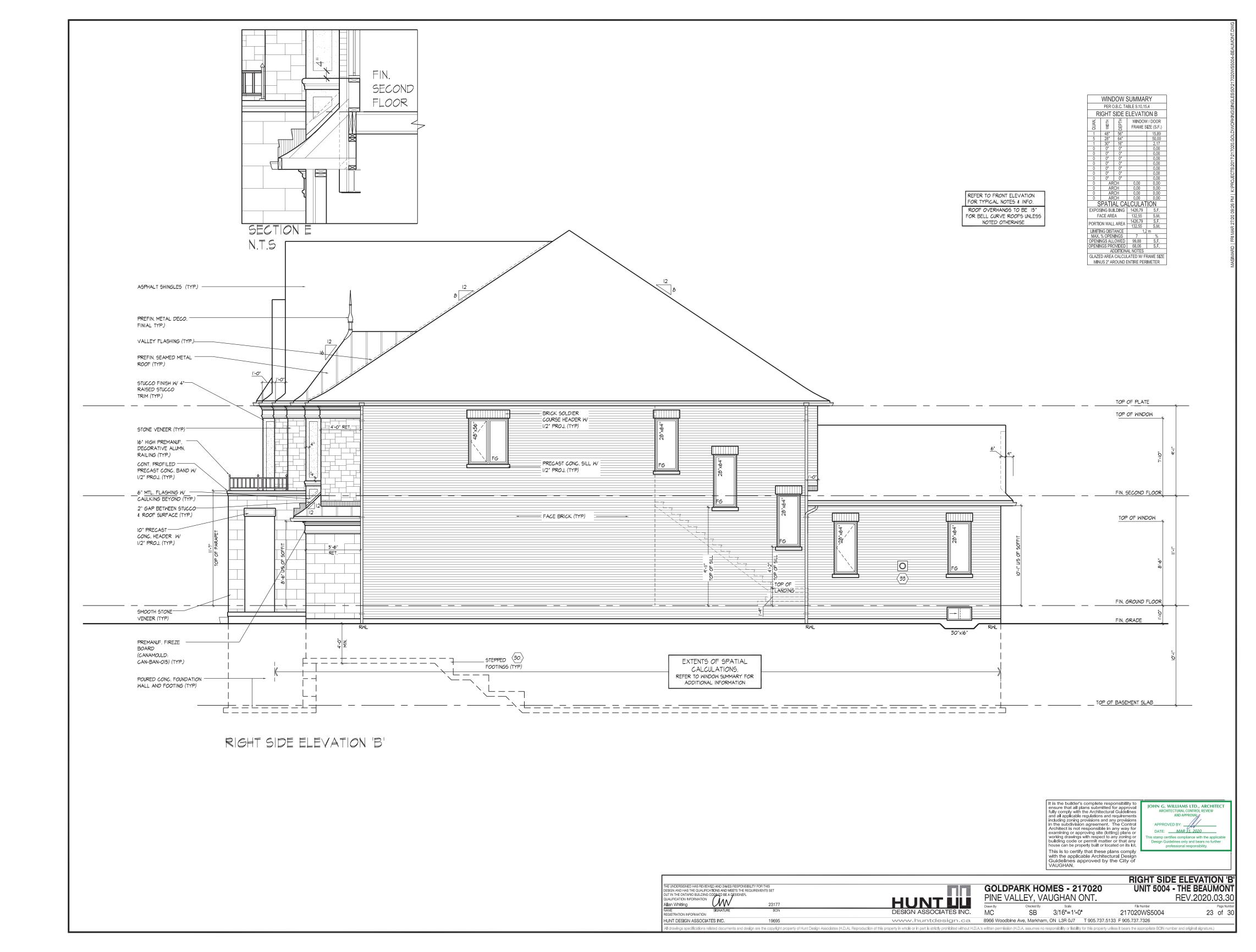
REAR ELEVATION 'A' - CORNER



					REAR ELEVAT	TON 'A' CORNER
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET		GOLDPA	RK HOM	/IES - 217020	UNIT 5004	- THE BEAUMON
OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. QUALIFICATION INFORMATION	HUNTUU	PINE VAL	LEY, VAL	UGHAN ONT.		REV.2020.03.30
Allan Whiting 23177 NAME SIGNATURE BOIN	DESIGN ASSOCIATES INC.	Drawn By	Checked By	Scale 3/16"=1'-0"	File Number 217020WS5004	Page Numb 20 of 30
REGISTRATION INFORMATION HUNT DESIGN ASSOCIATES INC. 19695	www.huntdesign.ca	8966 Woodbine A			.5133 F 905.737.7326	20 01 30
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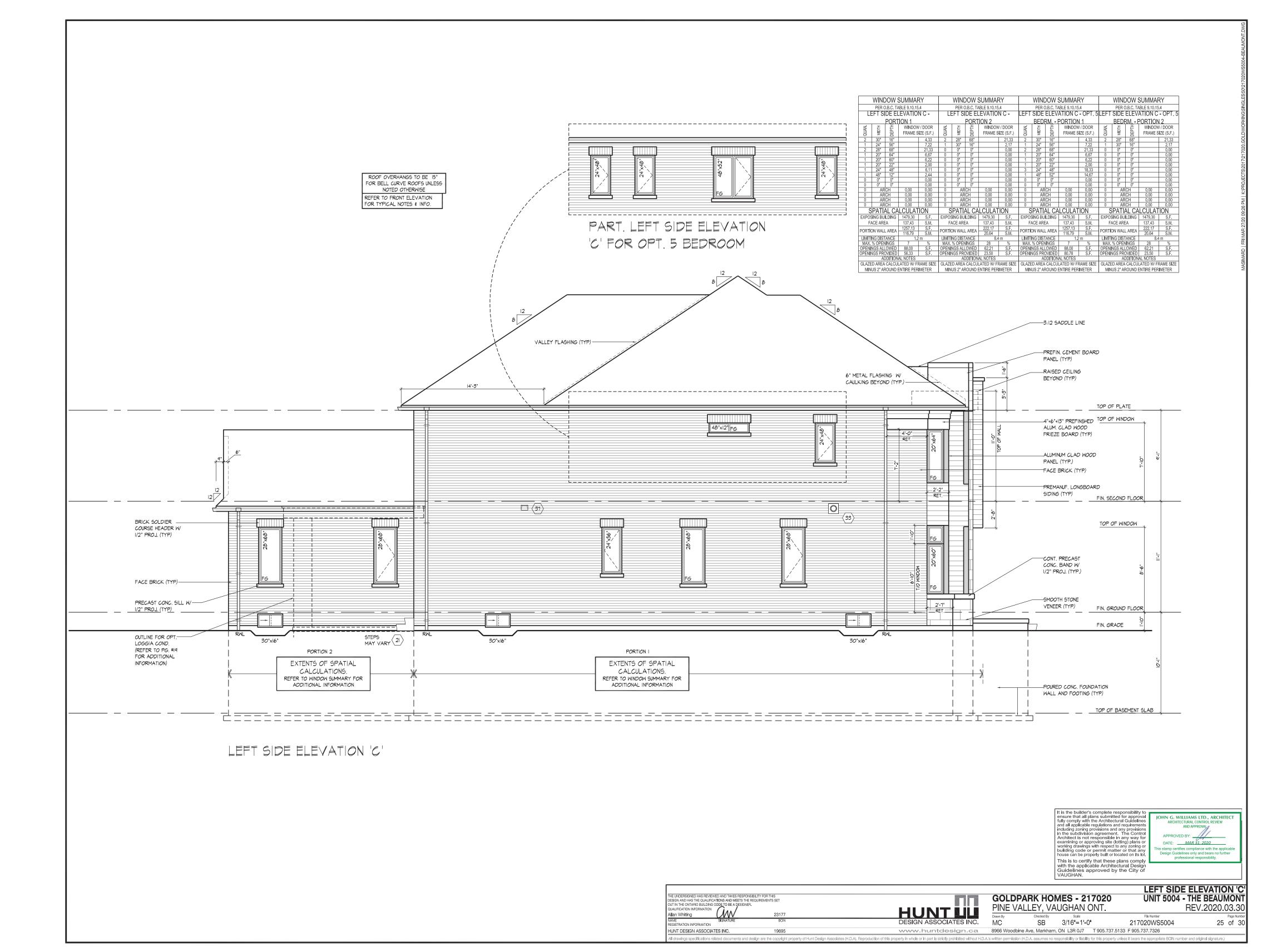
ROOF OVERHANGS TO BE 15" FOR BELL CURVE ROOFS UNLESS NOTED OTHERWISE

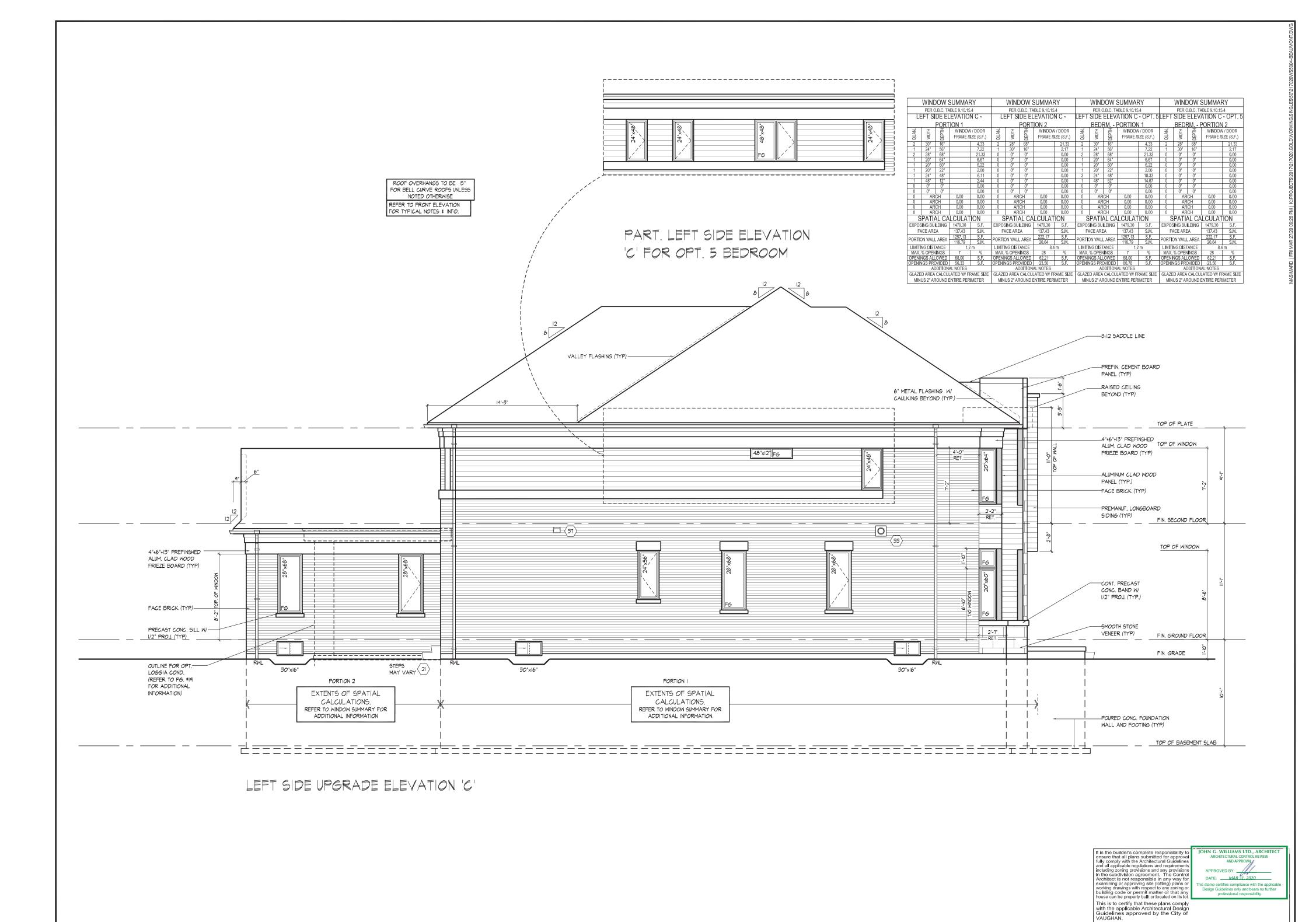


FRONT ELEVATION 'C'

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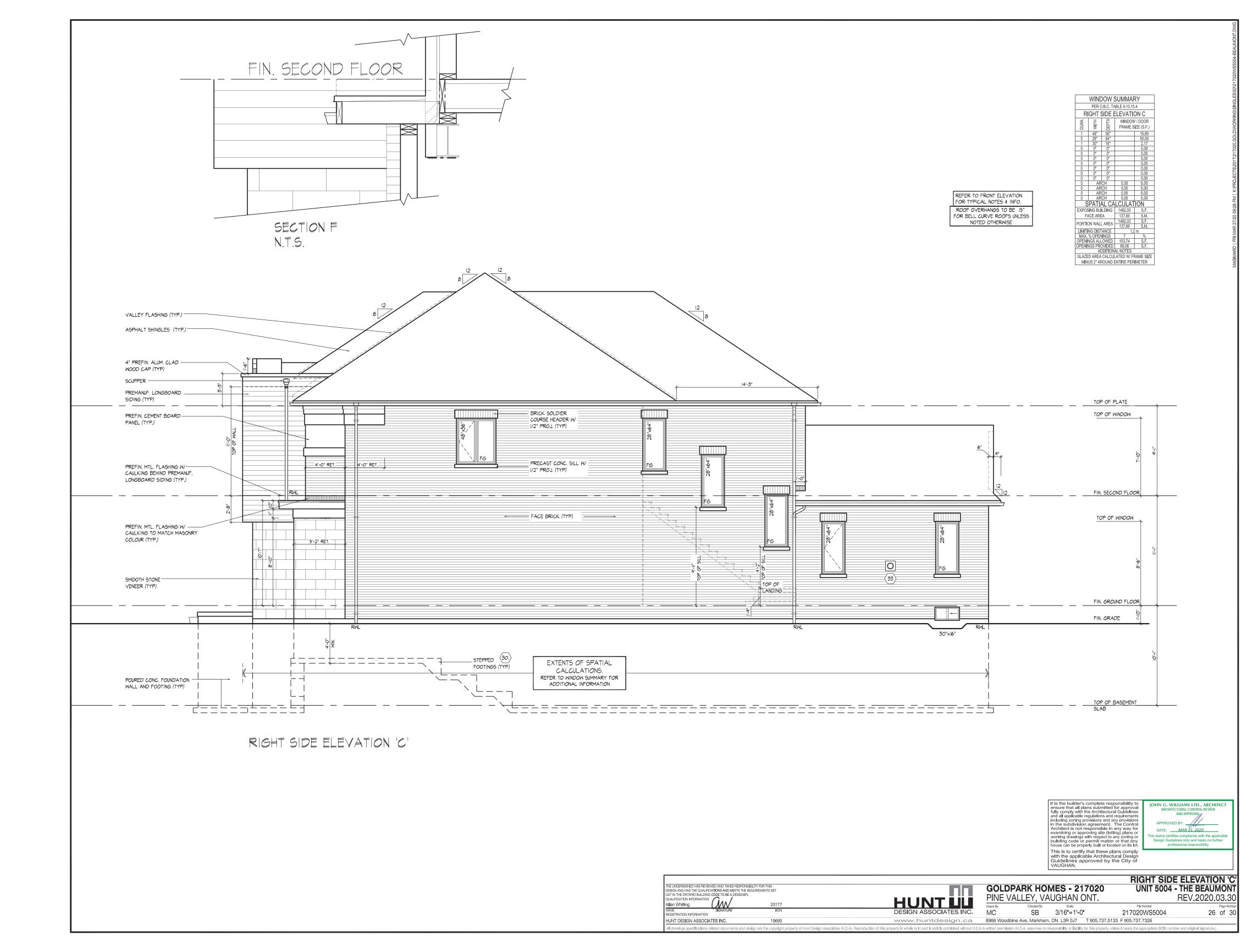
				FRONT	ELEVATION 'C'
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET	וחח	GOLDPARK HO	MES - 217020	UNIT 5004	- THE BEAUMON
OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. QUALIFICATION INFORMATION	HUINITÜÜ	PINE VALLEY, VA	AUGHAN ONT.		REV.2020.03.30
Allan Whiting 23177 NAME SIGNATURE BCIN	DESIGN ASSOCIATES INC.	Drawn By Checked By	Scale 3/16"=1'-0"	File Number 217020WS5004	Page Numb 24 of 3
REGISTRATION INFORMATION HUNT DESIGN ASSOCIATES INC. 19695		8966 Woodbine Ave, Markhan	9/10 1 0	.5133 F 905.737.7326	24 01 3
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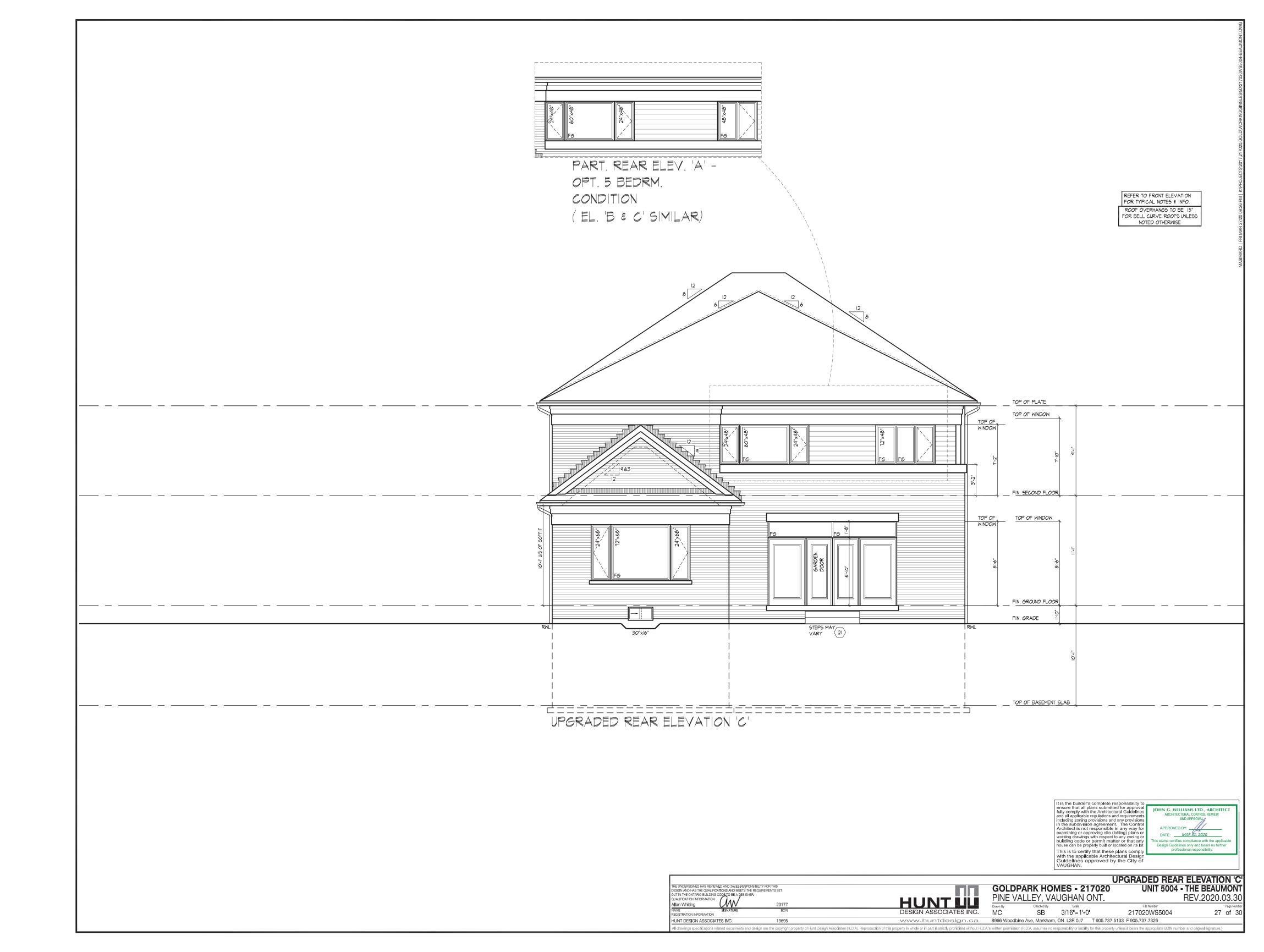




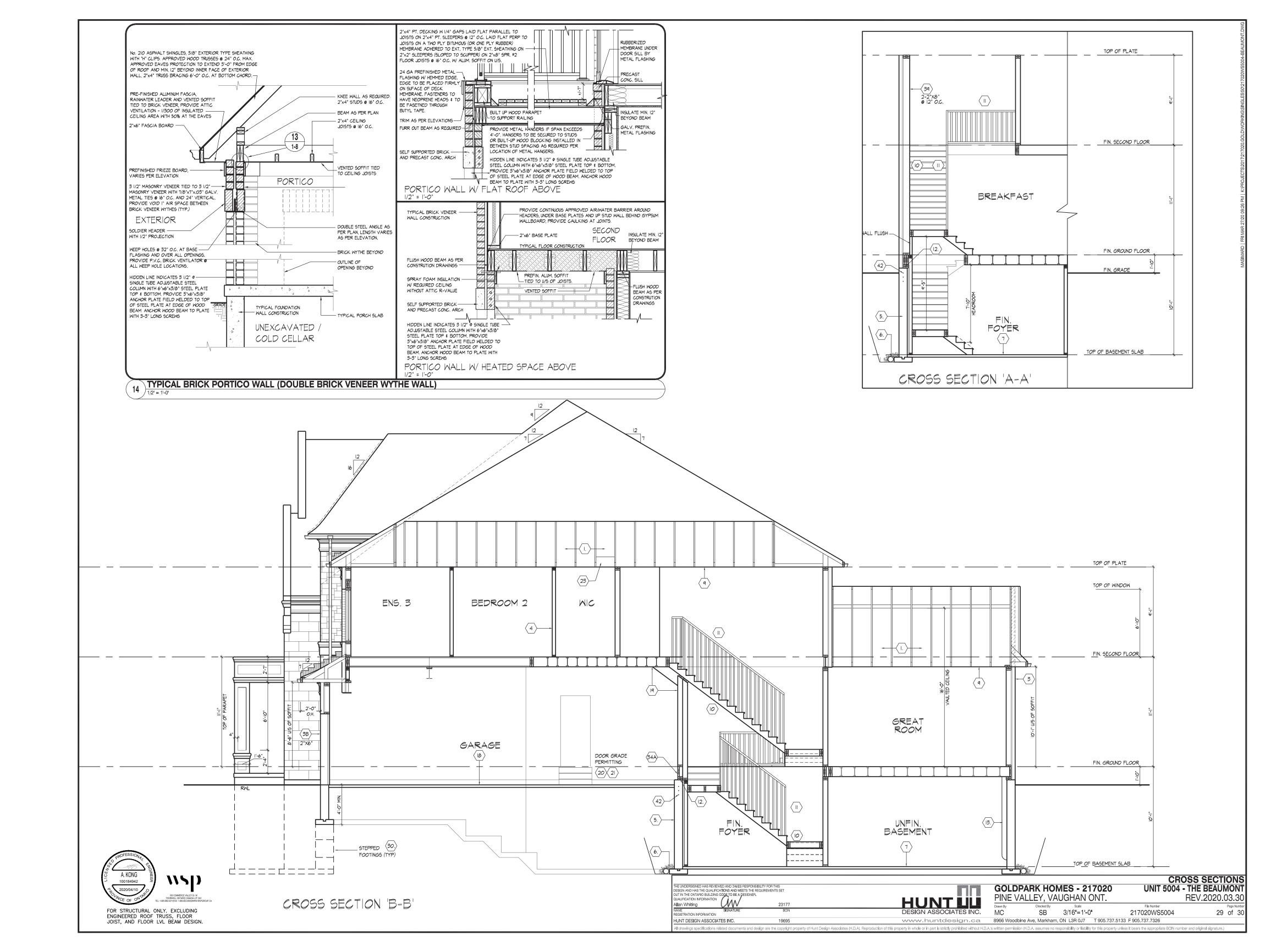
LEFT SIDE UPGRADE ELEVATION 'C' 020 UNIT 5004 - THE BEAUMONT THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS **GOLDPARK HOMES - 217020** DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION PINE VALLEY, VAUGHAN ONT. REV.2020.03.30 **HUNT LU** A**ll**an Whiting SB 3/16"=1'-0" 217020WS5004 25 of 30 MC NAME REGISTRATION INFORMATION 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326 HUNT DESIGN ASSOCIATES INC. www.huntdesign.ca









SECTION 1.0. CONSTRUCTION NOTES

ROOF CONSTRUCTION (9.19., 9.23.13., 9.23.15. NO. 210 (10.25 KG/M2) ASPHALT SHINGLES, 3/8" (9.5) PLYWOOD SHEATHING WITH "H" CLIPS. APPROVED WOOD TRUSSES @ 24" (610) O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 2"-11" (900) FROM EDGE OF ROOF AND MIN. 2" (305) BEYOND INNER FACE OF EXTERIOR WALL, 2"X4"(38X89) TRUSS 12 (305) BETOIND INNER FACE OF EATHERING WAREL, 2 A4 (38589) I RUSS BRACING @ 6-0" (1830) O.C. AT BOTTOM CHORD. PREFIN, ALUM. EAVESTROUGH, FASOIA, RWL & VENTED SOFFIT. ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% OR REQUIRED OPENINGS LOCATED AT TOP OF SPACE & MIN. 25% OF REQUIRED OPENINGS LOCATED AT BOTTOM OF SPACE, EAVESTROUGH TO BE 4" MIN. WITH RWL DISCHARGING ONTO CONCRETE SPLASH PADS OR PER MUNICIPAL REQUIREMENTS. TOWNHOUSE: TO HAVE 5" MIN. EAVESTROUGH WITH ELEC. TRACED HEATER CABLE ALONG

1A ICE AND WATER SHIELD

PROVIDE ICE AND WATER SHIELD IN THE AREAS INDICATED. THE ICE AND WATER SHIELD SHALL BE A SELF ADHERING AND SELF SEALING MEMBRANE. SIDE LAPS MUST BE A MINIMUM 3 1/2" (90) AND END LAPS A MINIMUM 6" (152). AND TO EXTEND UP DORMER WALLS A MINIMUM 12" (305).

PROFILED ROOF TRUSSES BOOE TRUSSES SHALL BE PROFILED AND/OR STEPPED AT BAISED COFFER/TRAY CEILINGS. ANGLED TRAY CEILINGS WILL BE SHEATHED W/ 3/8" (9.5) PLYWOOD.

SIDING WALL CONSTRUCTION

SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS OF APPROVED SHEATHING PAPER ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)

SIDING WALL CONSTRUCTION W/ CONTIN. INSULATION SIDING MATERIAL AS PER ELEVATION ATTACHED TO FURRING MEMBERS ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)

2B SIDING WALL @ GARAGE CONSTRUCTION SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS APPROVED SHEATHING PAPER ON 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1) & SECTION 1.1.,1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. (GYPSUM SHEATHING, RIGID INSULATION AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)

BRICK VENEER WALL CONSTRUCTION 3 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"X"2".0.03" (22x180x0.76) GALV. METAL TIES

@ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO
CONFORM WITH 9.20.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE
SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION
AND 6 "ID BOLVETLY LINE VARIOUS DEADNER WITH APPROVED CONTINUES." AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) BEHIND BUILDING PAPER (9.20.13.6.) (REFER TO 35 NOTE AS REQUIRED)

3A BRICK VENEER WALL CONSTRUCTION W/ CONTIN. INSULATION 3 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED AIRWATER BARRIER AS PER O.B.C 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800 O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) OVER RIGID INSULATION (9.20.13.6.) (REFER TO 35 NOTE AS REQUIRED)

(3B) BRICK VENEER WALL @ GARAGE CONSTRUCTION 3 1/2" (90) BRICK VENEER, MIN. 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH, PROVIDE WEEP BASE FLASHING UP 6" (150) MIN. BEHIND BUILDING PAPER (9.20.13.6.) (REFER TO 35 NOTE AS REQ.)

INTERIOR STUD PARTITIONS (9.23.9.8., 9.23.10) BEARING PARTITIONS SHALL BE A MINIMUM 2"x4" (38x89) @ 16" (406) O.C. FOR 2 STOREY AND 12" (305) O.C. FOR 3 STOREY, NON-BEARING PARTITIONS 2"x4" (38x89) @ 24" (610) O.C. PROVIDE 2"x4" (38x89) BOTTOM PLATE AND 2-2"x4" (2-38x89) TOP PLATE. 1/2" (12.7) INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 2"x6" (38x140) STUDS WHERE NOTED. PROVIDE 2"x4" (38x89) @ 24" (610) O.C. LADDER FRAMING WHERE WALLS INTERSECT PERPENDICULAR TO ONE ANOTHER. PROVIDE 2"x4" JOISTS WHEN NON-LOADBEARING WALLS ARE PARALLEL TO FLOOR JOISTS

4A EXT. LOFT WALL CONSTRUCTION - NO CLADDING 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.)

EXT. LOFT WALL CONSTRUCTION - NO CLADDING
W/ CONTINUOUS INSULATION
APPROVED AIRWATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.)

FOUNDATION WALL/FOOTINGS

POURED CONC. FOUNDATION WALL AS PER CHART BELOW ON CONTINUOUS KEYED CONCRETE FOOTING, FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 6" (150) ABOVE FINISHED GRADE. THE OUTSIDE OF THE FOUNDATION SHALL BE DAMPROOFED FROM THE TOP OF THE FOOTING TO FINISHED GRADE. AND BRUSH COAT FROM THE TOP TO 2" BELOW GRADE. PROVIDE A DRAINAGE LAYER ON THE OUTSIDE OF THE FOUNDATION WALL. SEAL THE DRAINAGE LAYER AT THE TOP. THE TOP OF THE CONC. FOOTING SHALL BE DAMPROOFED. CONCRETE FOOTINGS SUPPORTING JOIST SPANS GREATER THAN 16'-1" (4900 SHALL BE SIZED IN ACCORDANCE WITH 9.15.3.4 (1).(2) OF THE O.B.C. (REFER TO CHART BELOW FOR RESPECTIVE SIZE). BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 125kPa S L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY 125kPa S.L.S. OH COMPACTED ENGINEERED FILL WITH MINN. DECIDING OF A COURT OF 125kPa S.L.S. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED. ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL ENGINEERING REPORT.

REFER TO CONSTRUCTION DRAWINGS AND DETAILS FOR FOUNDATION WALL STRENGTH AND THICKNESS AND 9.15.4. FOUNDATION WALLS SHALL NOT EXCEED 9'-10" (3.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. 10.15.4.9.(1.1)

HEI	aHT U	NLESS OTHERWI	2E NOTED: [8:12	.4.2.(1.)]		
	UNRE	INFORCED SOL	D CONCRETE FO	DUNDATION WAL	LS (9.15.4.2.)	
표	SS	MAX	HEIGHT FROM FIN. SLAB TO GRADE			
STRENGTH	THICKNESS	UNSUPPORTED	Sl	JPPORTED AT TO)P	
STF	崖	AT TOP	≤2.5m	>2.5m & ≤2.75m	>2.75m & ≤3.0m	
МРа	* 8"	3'-11" (1.20m)	7'-0" (2.15m)	7'-0" (2.15m)	6'-10" (2.10m)	
≥	10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	8'-2" (2.50m)	
15	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)	
a	* 8"	3'-11" (1.20m)	7'-6" (2.30m)	7'-6" (2.30m)	7'-2" (2.20m)	
МРа	10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)	
8	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)	

★ 9" MIN. THICK FOUNDATION WALL IS REQUIRED FOR MASONRY VENEER FINISHED EXTERIOR WALLS WITH CONTINUOUS INSULATION CONDITION, TO PROVIDE MIN. BEARING FOR SILL PLATES, BEAMS AND FLOOR JOIST AS PER 9.23.7.2., 9.23.8.1., & 9.23.9.1. OF THE O.B.C.

	MINIMUM STRIP FO UNLESS NOTED O	OTING SIZES (9.15.3 THERWISE ON PLANS	3.)
NUMBER FLOORS SUPPORTED	SUPPORTING INT. LOAD BEARING MASONRY WALLS	SUPPORTING EXTERIOR	SUPPORTING PARTYWALL
1	16" WIDE x 6" THICK	16" WIDE x 6" THICK	16" WIDE x 6" THIC
2	24" WIDE x 8" THICK	20" WIDE x 6" THICK	24" WIDE x 8" THIC
3	36" WIDE v 1/1 THICK	36" WIDE v Q" THICK	36" WIDE v 14" THIC

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

FOUNDATION REDUCTION IN THICKNESS FOR MASONRY HERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS ERMIT THE INSTALLATION OF MASONRY EXTERIOR FACING. THE REDUCE SECTION SHALL BE NOT LESS THAN 3 1/2" (90) THICK, THE BRICK VENEER SHAL BE TIED TO THE FOUNDATION WALL WITH CORROSION RESISTANT METAL TIES @ 7 7/8" (200) VERTICAL AND 2-11" (889) HORIZONTAL. FILL VOID WITH MORTAR BETWEEN WALL AND BRICK VENEER (9.15.4.7(2)(3) & 9.20.9.4(3))

FOUNDATION REDUCTION IN THICKNESS FOR JOISTS WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF FLOOR JOISTS, THE REDUCED SECTION SHALL BE NOT MORE THAN 13 3/4" (350) HIGH & NOT LESS THAN 3 1/2" (90) THICK (9.15.4.7(1)) WEEPING TILE (9.14.3.)

(100) Ø WEEPING TILE W/ FILTER CLOTH WRAP & 6" (152) CRUSHED STONE COVER BASEMENT SLAB OR SLAB ON GRADE (9.16.4.3.) " (80) MIN. 25MPa (3600psi) CONC. SLAB ON 4" (100) COARSE GRANULAR FILL

OR 20MPa (2900nsi) CONC. WITH DAMPPROOFING BELOW SLAB. PROVIDE 1/2" (12.7) IMPERVIOUS BOARD FOR BOND BREAK AT EDGE. (9.13.) WHERE A BASEMENT SLAB IS WITHIN 24" (610) OF THE EXTERIOR GRADE PROVIDE RIGID INSUL. AROUND THE PERIMETER EXTENDING MIN. 24" (610) BELOW GRADE. FOR GRADE CONDITIONS RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB. ([SB-12] 3.1.1.7.(5) & (6))

EXPOSED FLOOR TO EXTERIOR (9.10.17.10 . & CAN/ULC-S705.2) PROVIDE SPRAY FOAM INSULATION BETWEEN CANT. JOIST AND INSTALL FIN. SOFFIT OR CLADDING AS PER ELEVATION TO U/S OF EXPOSED CANT. JOIST.

EXPOSED CEILING TO EXTERIOR w/ ATTIC (9.25.2.4) INSULATION, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD

INTERIOR FINISH OR APPROVED EQ. EXPOSED CEILING TO EXTERIOR W/O ATTIC

JOISTS/TRUSSES AS PER PLANS W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO JOISTS (PURLINS NOT REQ. W/ SPRAY FOAM OR ROOF TRUSSES), W/INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INT. FINISH OR APPROVED EQ. (CAN/ULC-S705.2, 9.19.1, 9.10.17.1) **ALL STAIRS/EXTERIOR STAIRS** (9.8.1.2., 9.8.2., 9.8.4.)

MAX. RISE MIN. RISE MAX. RUN MIN. RUN MAX. TREAD MIN. TREAD 7 7/8" (200) 5" (125) 14" (355) 8 1/4" (210) 14" (355) 9 1/4" (235 PUBLIC 7' (180) 5" (125) NO LIMIT 11" (280) NO LIMIT 11' (280) PUBLIC 2'-11" (900) MIN. AVG. RUN 7 7/8" (200)

** HEIGHT OVER STAIRS (HEADROOM) IS MEASURED VERTICALLY ACROSS WIDTH OF STAIRS FROM A STRAIGHT LINE TO THE TREAD & LANDING NOSING TO LOWEST POINT ABOVE AND NOT LESS THAN 6-5" (1950) FOR SINGLE WELLING UNIT & 6'-8 3/4" (2050) FOR EVERYTHING ELSE. (9.8.2.2.) REQUIRED LANDING IN GARAGE - O.B.C. 9.8.6.2.(3.)
FOR AN EXTERIOR STAIR SERVING A GARAGE W/ MORE THAN 3 RISERS

GUARDS, HANDRAILS & STEPS AS PER CONSTRUCTION HEX NOTE 10 & 11. **GUARDS/RAILINGS** (9.8.7., 9.8.8.) GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX. OPENING CONFORMING TO O.B.C. 9.8.8.5. & 9.8.8.6. AND BE ABLE TO RESIST LOADS AS PER TABLE 9 8 8 2

GUARD HEIGHTS - O.B.C. 9.8.8. INTERIOR GUARDS: 2'-11" (900) MIN. EXTERIOR GUARDS: 2'-11" (900) MIN. (LESS THAN 5'-11" (1800) TO GRADE) 3-6" (1070) MIN. (MORE THAN 5'-11" (1800) TO GRADE) GUARDS FOR EXIT STAIRS: 3'-0" (920) MIN.

GUARDS FOR LANDINGS @ EXIT STAIRS: 3'-6" (1070) MIN GUARDS FOR FLOORS & RAMPS IN GARAGES (SERVICE STAIRS)
FLOOR OR RAMP W/O EXTERIOR WALLS THAT IS 23 5/8" (600) OR MORE ABOVE
ADJACENT SURFACE REQUIRES CONT. CURB MIN. 6" (150) HIGH, AND GUARD MIN. 3'-6" (1070) HIGH. REQUIRED GUARDS

TWEEN WALKING SURFACE & ADJACENT SURFACE WITH A DIFFERENCE IN ELEVATION MORE THAN 23 5/8" (600) OR ADJACENT SURFACE WITHIN 3:-11" (1200) & WALKING SURFACE W/ A SLOPE MORE THAN 1 IN 12 SHALL BE PROTECTED WITH GUARDS PER CONSTRUCTION HEX NOTE 11.

HANDRAIL HEIGHTS - O.B.C. 9.8.7. - REQUIRED AS PER 9.8.7.1.(3) MIN. HEIGHT AT STAIRS OR RAMP: 2-10" (865) MAX. HEIGHT AT STAIRS OF RAMP: 3'-2" (965) MAX. HEIGHT AT LANDING: 3'-6" (1070)

STAIRS OR RAMP MIN. 7'-3" (2200) WIDE: 2'-9" (865) MIN. HEIGHT SILL PLATES 2"x4" (38x89) SILL PLATE WITH 1/2" (12.7)Ø ANCHOR BOLTS 8" (200) LONG, EMBÈDDED MIN. 4" (100) INTO CONC. @ 4-0" (1220) O.C., CAÙLKING OR GASKET BETWEEN PLATE AND TOP OF FOUNDATION WALL. USE NON-SHRINK GROUT TO

LEVEL SILL PLATE WHEN REQUIRED (9.23.7.) BASEMENT INSULATION ([SB-12] 3.1.1.7 PROVIDE CONTINUOUS BLANKET INSULATION W/ BUILT IN 6 mil POLYETHYLENE VAPOUR BARRIER. INSULATION TO EXTEND NO MORE THAN 8° (200) ABOVE FINISHED BASEMENT FLOOR. DAMPROOFED WITH BUILDING PAPER BETWEEN HE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL.

BEARING STUD PARTITION IN BASEMENT (9.15.3.6., 9.23.10.1.) 2"x4" (38x89) STUDS @ 16" (406) O.C., 2"x4" (38x89) SILL PLATE (2"x6" (38x140) AS REQUIRED) ON DAMPPROOFING MATERIAL OR 2 mil POLYETHYLENE FILM, 1/2" (12.7) Ø ANCHOR BOLTS 8" (200) LONG, EMBEDDED 4" (100) MIN. INTO CONC. @ 7-10" (2390) O.C. 4" (100) HIGH CONC. CURB ON CONC. FOOTING. FOR SIZE REFER TO HEX NOTE 5. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

ADJUSTABLE STEEL BASEMENT COLUMN (9.15.3.4.) 9'-10" (3000) MAX. SPAN BETWEEN COLUMNS. 3 1/2" (90)Ø SINGLE TUBE ADJUSTABLE STEEL COLUMN CONFORMING TO CAN/CGSB-7.2M, AND WITH 6"x6"x3,8" (152x152x9.5) STEEL PLATE TOP & BOTTOM, FIELD WELD BASEMENT COLUMN CONNECTION. POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 125KPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125KPa S.L.S. AS PER SOILS REPORT. SUPPORTING 2 STOREY FLR. LOAD PROVIDE 34"x34"x16" (870x870x410) CONC. FOOTING

SUPPORTING 3 STOREY FLR. LOAD PROVIDE 40"x40"x19" (1060x1060x480) CONC. FOOTING

(15A) NON-ADJUSTABLE STEEL BASEMENT COLUMN 188" (4 78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9 STEEL PLATE TOP & BOTTOM BOTTOM PLATE CW 2 1/2"/Ø x 1/2" LONG x2" HOOK ANCHORS. FIELD WELD BASEMENT COLUMN CONNECTION. POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 125kPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125kPa S.L.S. AS PER SOILS REPORT. SUPPORTING 2 STOREY FLR. LOAD PROVIDE 42"x42"x18" (1070x1070x460) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48"x48"x24" (1220x1220x610) CONC. FOOTING

NON-ADJUSTABLE STL. COLUMN AT FOUNDATION WALL 3 1/2" (90)Ø x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) STEEL TOP PLATE & 6"x4"x3/8" (152x100x9.5) BOTTOM PLATE, BASE (132702833) TELET OF TAIL & 0.347,0 (13240083) DOWN EAST. BASE PLATE 4-1/2"x10"x1/2" (120x250x12.7) WITH 2-1/2"0 x 12" LONG x 2" HOOK ANCHORS (2-12.70x305x50). FIELD WELD COLUMN TO BASE PLATE & STEEL BM.

STEEL BEAM BEARING AT FOUNDATION WALL (9.23.8.1.) BEAM POCKET OR 8"x8" (200x200) POURED CONC. NIB WALLS, MIN. BEARING 3 1/2" (90) **WOOD STRAPPING AT STEEL BEAMS** (9.23.4.3.(3.), 9.23.9.3.) 'x3" (19x64) CONTIN. WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

GARAGE SLAB (9.16., 9.35.)

4" (100) 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 4" (100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT @ 1% MIN. GARAGE TO HOUSE WALLS/CEILING (9.10.9.16.) 12.7) GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND

SARAGE PLUS REQUIRED INSULATION IN WALLS AND SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.17.10, CAN/ULC-S705.2 GARAGE TO HOUSE WALLS/CEILING W/ CONTIN. INSULATION (12.7) GYPSUM BOARD ON CEILING AND ON WALLS INSTALLED OVER 1/2" (12.7) GYPSUM BOARD ON CEILING AND ON WALLS INSTALLED OVER EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS ON 3/8" EXTERIOR GRADE SHEATHING ON STUDS BETWEEN HOUSE AND GARAGE, PLUS REQUIRED INSULATION IN WALLS & SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.9.16., 9.10.17.10, CAN/ULC-S705.2)

GARAGE DOOR TO HOUSE (9.10.9.16., 9.10.13.10., 9.10.13.15.) GAS-PROOF DOOR AND FRAME. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIPPING.

EXTERIOR AND GARAGE STEPS PRECAST CONC. STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER MAX RISE 7 7/8" (200), MIN. TREAD 9 1/4" (235). FOR THE REQUIRED NUMBER OF STEPS REFER TO SITING AND GRADING DRAWINGS. EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS AND 2 TREADS SHALL BE PROVIDED WITH OUNDATION AS REQUIRED BY ARTICLE 9.8.9.2. OR SHALL BE CANTILEVERED AS PER SUBSECTION 9.8.10.

CAPPED DRYER EXHAUST VENTED TO EXT. CONFORMING TO PART 6, OBC 9.32.

23 ATTIC ACCESS (9.19.2.1.) ATTIC ACCESS HATCH WITH MIN. AREA OF 0.32m2 AND NO DIM. LESS THAN 21 1/2" (545) WITH WEATHER STRIPPING. HATCHWAYS TO THE A OR ROOF SPACE WILL BE FITTED WITH DOORS OR COVERS AND WILL BE NSULATED WITH MIN. R20 (RSI 3.52) ([SB-12] 3.1.1.8.(1))

FIREPLACE CHIMNEYS (9.21.) TOP OF FIREPLACE CHIMNEY SHALL BE 2'-11" (889) ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 2'-0" (610) ABOVE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 10'-0" (3048) FROM THE CHIMNEY.

25 LINEN CLOSET
PROVIDE 4 SHELVES MIN. 14" (356) DEEP.

WALL AND/OR WOOD POST. (9.17.4.3.)

 26
 MECHANICAL VENTILATION (9.32.1.3.)

 MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO PROVIDE AT LEAST

ONE AIR CHANGE PER HOUR. SEE GENERAL NOTE 2.3. PARTY WALL BEARING

19.23.8) 12"x12"x5/8" (305x305x15.9) STEEL PLATE FOR STEEL BEAMS AND 12"x12"x1/2" (305x305x12.7) STEEL PLATE FOR WOOD BEAMS BEARING (MIN. 3-1/2" (89)) ON CONC. BLOCK PARTY WALL, ANCHORED WITH 2-3/4" (2-19) x 8" (200) LONG GALV.

ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL W/ NON-SHRINK GROUT

REFER TO NOTE SOLID BEARING (SECTION 3.0) FOR WD. STUD PARTY WALL. 28 WOOD FRAMING IN CONTACT TO CONCRETE WOOD BEARING WALLS, THE UNDERSIDE OF BUILT-UP WOOD POSTS AND SILLS SHALL BE WRAPPED WITH 2 mil POLY. STRIP FOOTINGS SUPPORTING THE FOUNDATION WALL SHALL BE WIDENED 6" (152) BELOW THE BEARING

29) BUILT-UP WOOD POST AND FOOTING (9.17.4.1., 9.15.3.7.) 3-2"x6" (3-38x140) BUILT-UP WOOD POST (UNLESS OTHERWISE NOTED) ON METAL BASE SHOE ANCHORED TO CONC. WITH 1/2" (12.7) Ø BOLT, 24"x24"x12" (610x610x305) CONC. FOOTING OR AS PROVIDED ON PLAN. REFER TO NOTE 28

STEP FOOTINGS (9.15.3.9.)

MIN. HORIZ. STEP = 23 5/8" (600). MAX. VERT. STEP = 23 5/8" (600). (9.16.4.)

MIN. 4" (100) CONCRETE SLAB ON GRADE ON 4" (100) COARSE GRANULAR FILL, REINFORCED WITH 6x6xW2.9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB, CONC. STRENGTH 32MPa (4640psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE.

FURNACE VENTING (9.32.) / DIRECT VENT FURNACE TERMINAL MIN. 3'-0" (915) FROM A GAS REGULATOR. MIN. 12" (305) ABOVE FIN. GRADE, FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 6"-0" (1830) FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.

(9.32.3.) OPENING AND ABOVE FIN. GRADE, REFER TO GAS UTILIZÁTION CODE.

34) **FLOOR FRAMING** (9.23.3.5., 9.23.9.4., 9.23.14.) T&G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION SEE O.B.C. 9.30.6. ALL JOISTS WHERE REQUIRED TO BE BRIDGED WITH 2"x2" (38x38) CROSS BRACING OR SOLID BLOCKING @ 6'-11" (2108) O.C. MAX. ALL JOISTS TO BE STRAPPED WITH 1"x3" (19x64) @ 6-11" (2108) O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.

HEADER CONSTRUCTION
PROVIDE CONTRUCTION

PROVIDE CONTINUOUS APPROVED AIR/VAPOUR BARRIER (HEADER WRAP) UNDER THE SILL PLATE, AROUND THE RIM BOARD AND UNDER THE BOTTOM PLATE. THE HEADER WRAP SHALL EXTEND 6" (152) BELOW THE TOP OF FOUNDATION WALL AND WILL BE SEALED TO THE CONCRETE FOUNDATION WALL. EXTEND HEADER WRAP 6" (152) UP THE INTERIOR SIDE OF THE STUD WALL AND OVERLAP WITH THE VAPOUR BARRIER AND SEAL THE JOINT. ALL EDGES/JOINTS MUST BE MECHANICALLY CLAMPED.

EXPOSED BUILDING FACE w/ LIMITING DISTANCE <= 3'-11" (1.20m) WALL ASSEMBLY CONTAINS INSULATION CONFORMING TO CAN/ULC-S7 A MASS OF NOT LESS THAN 1.22 KG/M2 OF WALL SURFACE AND 1/2" (12 GYPSUM WALLBOARD INTERIOR FINISH, EXTERIOR CLADDING MUST BE GTPSOM WALLDBARD INI FILIOR FINISH: EXTERIOR CLADDING MUST BE WHEN LIMITING DISTANCE IS 23 5/8" (0.60m) OR LESS. WALL ASSEMBLY REQUIRES TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES & CONFORMING TO O.B.C. (9.10.14. OR 9.10.15.), REFER TO DETAILS FOR TYPE & SPECS. ** AN OPENING IN AN EXPOSING BUILDING FACE NOT MORE THAN 20 in? (30cm²) SHALL NOT BE CONSIDERED AN UNPROTECTED OPENING AS PER 10.14.6

(9.39.) FOR MAX. 8'-2" (2500) PORCH DEPTH, 5" (127) 32 MPa (4640psi) CONC. SLAB W/5-8% AIR ENTRAINMENT. REINF, WITH 10M BARS @ 7 7/8" (200) O.C. EACH DIRECTION, W/1 1/4" (32) CLEAR COVER FROM BOTTOM OF SLAB TO FIRST LAYER OF BARS & SECOND LAYER OF BARS LAID DIRECTLY ON TOP OF LOWER LAYER IN OPPOSITE DIR. 24"X-24" (610x610) 10M DOWELS @ 23 5/8" (600) O.C., ANCLODED IN DEPTH HETER DIR. WILL OF LOWER AND COMPANY OF THE AND COMPANY OF THE

ANCHORED IN PERIMETER END, WALLS, SLOPE SLAB 1.0% FROM DOOR (37) RANGE HOODS AND RANGE-TOP FANS COOKING APPLIANCE EXHAUST FANS VENTED TO EXTERIOR MUST

CONFORM TO OBC 9.10.22, 9.32.3.9. & 9.32.3.10. (9.23.13., 9.23.15.) 2"x6" (38x140) RAFTERS @ 16" (406) O.C., 2"x8" (38x184) RIDGE BOARD. 2"x4" (38x89) COLLAR TIES AT MID-SPAN. CEILING JOISTS TO BE 2"x4" (38x89) 244" (38x89) OULLAR HES AT MID-SPAN, CEILING JUISTS TO BE 2'x4" (38x8) @ 16" (406) O.C. FOR MAX. 9-3" (2819) SPAN & 2'x6" (38x140) @ 16" (406) O.C. FOR MAX. SPAN 14'.7" (4450), RAFTERS FOR BUILT UP ROOF OVER PRE-ENGINEERED ROOF TRUSSES AND OR CONVENTIONAL FRAMING TO BE 2"x4" (38x89) @ 24" (610) O.C. UNLESS OTHERWISE SPECIFIED.

(9.23.10.1., 9.23.11.) **TWO STOREY VOLUME SPACES**

WALL AS	SSEMBLY	WIND LOADS				
EXTER I OR	STUDS	<= 0.5	kPA (q50)	> 0.5	kPa (q50)	
EXTENION	31003	SPACING	MAX HEIGHT	SPACING	MAX HEIGHT	
BRICK	2-2"x6" (2-38x140)	12" (305) O.C.	18'-4" (5588)	8" (200) O.C.	18'-4" (5588)	
SIDING	SPR.#2	16' (406) O.C.	18'-4" (5588)	12" (305) O.C.	18'-4" (5588)	
BRICK	2-2"x8" (2-38x184)	12" (305) O.C.	21'-0" (6400)	12" (305) O.C.	21'-0" (6400)	
SIDING	SPR.#2	16" (406) O.C.	21'-0" (6400)	16" (406) O.C.	21'-0" (6400)	
** STUD	SIZE & SPAC	ING TO BE V	ER IFI ED BY ST	RUCTURAL E	NGINEER **	
STUDS ARE	E TO BE CON	NTINUOUS, C SOLID WOOL	/W 3/8" (9.5) TI) BLOCK I NG E	HICK EXTERIO BETWEEN WO	OR PLYWOOD OOD STUDS	

9 4'-0" (1220) O.C. VERTICALLY. - FOR HORIZ. DISTANCES LESS THAN 9-6" (2896) PROVIDE 2'x6" (38x140) STUDS @ 16" (406) O.C. WITH CONTIN, 2-2"x6" (2-38x140) TOP PLATE + 1-2"x6" (1-38x140) BOTTOM PLATE & MIN. OF 3-2"x6" (3-38x184) CONT. HEADER AT GROUND FLOOR CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES & HEADERS.

cont. SECTION 1.0. CONSTRUCTION NOTES

1 HR. PARTY WALL (CONC. BLOCK) ([SB-3] WALL TYPE 'B6e' & 'B1b') 1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WD. STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE, FILL & SAND ALL GYPSUM FURRED WITH 2"x2" (38x38) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.

40 1 HR. PARTY WALL (DOUBLE STUD) ([SB-3] WALL TYPE W13c) 5/8" (15.9) TYPE 'X' GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2"x4" (38x89) STUDS @ 16" (406) O.C., MIN, 1" (25) APART ON SEF CAVITÝ WITH AT LEAST 90% OF ABSORPTIVE MATÉRIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE FILL AND SAND ALL GYPSUM JOINTS.

40A) 2 HR. FIREWALL ([SB-3] WALL TYPE 'B6e' & 'B1b') 1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"X2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C ON 8" (200) CONC. BLOCK 75% SOLID. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SNAW ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)

41 STUCCO WALL CONSTRUCTION STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOARD ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION. WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED

(41A) STUCCO WALL CONSTRUCTION W/ CONTIN. INSULATION STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON APPROVED AIRWATER BARRIER AS PER O.B. APPROVED DRAININGE MAI ON APPROVED AIRWAITER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALL FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 7/16" EXTERIOR TYP SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

41B STUCCO WALL @ GARAGE CONST.

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.I.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALL BOAD DATE FINISH (1955-1973) CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.) WALLBOARD INT. FINISH. (REPERTIO 35 NOTE AS REQ.)
**** FOR DWELLINGS USING CONTIN. INSULATION CONSTRUCTION,
PROVIDE APPROVED DRAINAGE MAT ON 7/16" (11) EXTERIOR TYPE SHEATHING
OVER FURRING (AS REQ.) AND STUDS IN LIEU OF 1 1/2" (38) E.F.I.S (MINIMUM)
ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD.

42 UNSUPPORTED FOUNDATION WALLS (9.15.4.2.) REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS. 20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING 3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" OPENING 4-20M BARS IN TOP PORTION OF WALL (10-0" TO 15-0" OPENING)
- BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL @ 6" O.C. REINFORCING AT BASEMENT WINDOW

15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN SILL EXTEND BARS 24" (610) BEYOND THE OPENING. 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING. - BARS TO HAVE MIN. 2" (50) CONC. COVER - BARS TO EXTEND 2'-0" (610) BEYOND BOTH SIDES OF OPENING

43 STUD WALL REINFORCEMENT PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.(1) AND 3.8.3.8.(3)) (REFER TO DETAILS)

WINDOW WELLS

WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE PRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE C/W A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.9.10.1.(5), 9.14.6.3.)

SLOPED CEILING CONSTRUCTION ([SB-12] 2.1.1.7., 9.23.4.2.) 2"x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX. (UNLESS OTHERWISE NOTED) W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST (PURLINS NOT REQ. W/ SPRAY FOAM), W/ INSULATION BETWEEN JOIST 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.52 RSI).

FLAT ROOF/BALCONY CONSTRUCTION

WATERPROOFING MEMBRANE (9.26.11, 9.26.15, 9.26.16) FULLY ADHERED TO 5/6 (15.9) T&G EXTERIOR GRADE PLYWOOD SHEATHING ON 2*/2* (38x38) PURLINS ANGLED TOWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2*x8* (38x184) FLOOR JOISTS @ 16* (406) O.C. (UNLESS OTHERWISE NOTED). BUILT U (38X184) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED). BUILT U CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR. CONTINUOUS L' TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPPER DRA TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE. PREFINISHED ALUMINUM C PANEL FOR UNDERSIDE OF SOFFIT (9.23.2.3). REMOVE CURB WHERE REQ. BALCONY CONDITION

SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE. INCLUDE 2"x4" (38x89) PT. DECKING W/ 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2"x4" (38x89) PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDICULAR TO JOISTS BALCONY OVER HEATED SPACE CONDITION

ANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND

INTERIOR FINISH BARREL VAULT CONSTRUCTION

LIFICATION INFORMATION

STRATION INFORMATION

HUNT DESIGN ASSOCIATES INC

Allan Whiting

CANTILEVERED 2"x4" (38x89) SPACERS LAID FLAT ON 2"x10" (38x235) SPR. #2
ROOF JOIST NAILED TO BUILT-UP 3-3/4" (19) PLYWOOD HEADER PROFILED FOR BARREL. SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. INTERIOR FIN. (REFER TO DETAILS)

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

SECTION 1.1. WALL STUDS

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR LS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.

- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

SIZE	& SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)						
MIN.		SUPPORTED LO					
STUD SIZE.	ROOF w/ OR w/o ATTIC	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR			
in (mm)		MAX. STUD SPAC	ING, in (mm) O.C				
(11111)	N	MAX. UNSUPPOR	TED HGT., ft-in (m	1)			
2"x4"	24" (610)	16" (405)	12" (305)	N/A			
(38x89)	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A			
2"x6"	-	24" (610)	16" (406)	12" (305)			
(38x140)	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)			

SECTION 2.0. GENERAL NOTES

2.1. WINDOWS

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m2 UNOBSTRUCTED OPEI PORTION W/ NO DIMENSION LESS THAN 1-3" (380), CAPABLE OF MAINTAINING THI OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT. CONFORMING TO 9.9.10 2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800). (9.8.8.1.) 3) WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2'-11" (900) [3'-6" (1070) FOR ALL OTHER BUILDINGS] SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE). OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN

4) REFER TO TITLE PAGE FOR MAX. U-VALUE REQUIREMENTS

2.2. CEILING HEIGHTS

	Z.Z. CLILING HLIGHTS	
	THE CEILING HEIGHTS OF R	OOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1.
	ROOM OR SPACE	MINIMUM HEIGHTS
	LIVING ROOM, DINING ROOM AND KITCHEN	7'-7" OVER 75% OF REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 6'-11" AT ANY POINT
	BEDROOM	7'-7" OVER 50% OF REQUIRED FLOOR AREA OR 6'-11" OVER ALL OF THE REQUIRED FLOOR AREA.
	BASEMENT	6'-11" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-5".
	BATHROOM, LAUNDRY AREA ABOVE GRADE	6'-11" IN ANY AREA WHERE A PERSON WOULD NORMALLY BE STANDING
	FINISHED ROOM NOT MENTIONED ABOVE	6-11"
	MEZZANINES	6'-11" ABOVE & BELOW FLOOR ASSEMBLY (9.5.3.2.)
	STORAGE GARAGE	6'-7" (9.5.3.3.)

2) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO OBC 9.31.6. 3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC

4) DRAIN WATER HEAT RECOVERY UNIT(S) WILL BE INSTALLED CONFORMING TO THE RÉQUIREMENTS OF 3.1.1.12. OF THE O.B.C.

2.4. LUMBER1) ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE. 2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE. 3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE

BY FLOOR AND ROOF TRUSS MANUFACTURER.) JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BÚILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS.

2.5. STEEL (9.23.4.3.)

2.6. FLAT ARCHES

FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7'-10" (2400) A.F. (3) FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2600) A.F.F.

2.7. ROOF OVERHANGS
1) ALL ROOF OVERHANGS SHALL BE 1'-0" (305). UNLESS NOTED OTHERWISE.

TI THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. CONFORM TO 9.14.6.

ALL REQUIRED INDMDUAL COMPONENTS THAT FORM PART OF ANY 'ULC LISTED ASSEMBLY', SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER MATERIAL/PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED CIRCUMSTANCES IN ANY 'ULC LISTED ASSEMBLY' IDENTIFIED IN THESE DRAWINGS

SECTION 3.0. LEGEND 3.1. WOOD LINTELS AND BUILT-UP WOOD (DIVISION B PART 9. TABLES A8 TO A10 AND A12, A15 & A16)

2"x10" SPRUCE #2 2/2"x8" (2/38x184) L3 2/2"x10" (2/38x235) L5 2/2"x12" (2/38x286) B3 3/2"x10" (3/38x235) B5 3/2"x12" (3/38x286) 3/2"x8" (3/38x184) 4/2"x12" (4/38x286) 4/2"x8" (4/38x184) B4 4/2"x10" (4/38x235) B6 5/2"x8" (5/38x184) B8 5/2"x10" (5/38x235) B9 5/2"x12" (5/38x286) ENGINEERED LUMBER SCHEDULE - GRADE 2.0E (UNLESS NOTED OTHERWISE) 1 3/4" x 11 7/8" LVL 1 3/4" x 9 1/2" LVL 1-1 3/4"x9 1/2" LVL3 1-1 3/4"x11 7/8" LVL10 1-1 3/4"x14" 2-1 3/4"x9 1/2" LVL6 2-1 3/4"x11 7/8" LVL11 2-1 3/4"x14" LVL12 3-1 3/4"x14" 3-1 3/4"x9 1/2" LVL7 3-1 3/4"x11 7/8" 4-1 3/4"x9 1/2" LVL9 4-1 3/4"x11 7/8" LVL13 4-1 3/4"x14"

ORMING PART OF SENTENCE 9.23.4.2.(3), 9.23.4.2.(4), 9.23.12.3.(1),(3), 9.23.13.8.(2), 9.37.3.1

3.2. STEEL LINTELS SUPPORTING MASONRY VENEER (DIVISION B PART 9. TABLE 9.20.5.2.B.)

	FORMING PART OF SENTENCE 9.20.	5.2.(2) & 9.20.5.2.(3)	
CODE	SIZE	BRICK	STONE
L7	3 1/2" x 3 1/2" x 1/4" (89 x 89 x 6.4)	8'-1" (2.47m)	7'-6" (2.30m)
L8	4" x 3 1/2" x 1/4" (102 x 89 x 6.4)	8'-9" (2.66m)	8'-1" (2.48m)
L9	4 7/8" x 3 1/2" x 5/16" (127 x 89 x 7.9)	10'-10" (3.31m)	10'-1" (3.03m)
L10	4 7/8" x 3 1/2" x 3/8" (127 x 89 x 11)	11'-5" (3.48m)	10'-7" (3.24m)
L11	5 7/8" x 3 1/2" x 3/8" (152 x 89 x 11)	12'-6" (3.82m)	11'-7" (3.54m)
112	7 1/0" v 4" v 2/0" /170 v 100 v 11\	14' 1" (4.20m)	12! 1" /2 00m

3.3. DOOR SCHEDULE CONFORMING TO SECTIONS 9.5.11, 9.6., 9.7.2.1, 9.7.5.2, & 9.10.13.10 EXTERIOR | 2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) A | EXTERIOR | 2'-10" x 6'-8" x 1-3/4" (865 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)

C | EXTERIOR | 2'-6" x 6'-8" x 1-3/4" (760 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) EXTERIOR | 2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INS. MIN. R4 (RSI 0.7) (SEE HEX NOTE 2 EXTERIOR | 3'-0" x 8'-0" x 1-3/4" (915 x 2440 x 45) INSULATED MIN. R4 (RSI 0.7) 2A | EXTERIOR | 2'-8' x 6'-8' x 1-3/4" (815 x 2030 x 45) 20 MIN. F.R.R. DOOR/FRAME WITH APP. SELF CLOSING DEVICE 2 | INTERIOR | 2'-8" x 6'-8" x 1-3/8" (815 x 2030 x 35)

B | EXTERIOR | 3'-0" x 6'-8" x 1-3/4" (915 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)

3 INTERIOR 2'-6" x 6'-8" x 1-3/8" (760 x 2030 x 35) PROVIDE 8'-0" HIGH BA INTERIOR 2'-4" x 6'-8" x 1-3/8" (710 x 2030 x 35) INTERIOR DOORS 4 INTERIOR 2'-0" x 6'-8" x 1-3/8" (610 x 2030 x 35) FOR ALL 10' CEILING

EXTERIOR INSULATION FINISH SYSTEM RWL RAIN WATER LEADER

IRV HEAT RETURN VENTILATION UNIT WIC WALK IN CLOSET

NG | ENGINEERED

ST | FSTIMATE

FA FLAT ARCH

FLUSH

IB HOSE BIB

NT │ HOT WATER TANK

CLASS 'B' VENT

→ POT LIGHT

DUPLEX OUTLET (12" HIGH)

HEAVY DUTY OUTLET

CHARGING STATION (9.34.4)

CO LIGHT FIXTURE (PULL CHAIN)

CENTRAL VACUUM OUTLE

CABLE T.V. JACK

FLOOR DRAIN

G FIXED GLASS

SB | SOLID BEARING WOOD POST

SBFA SB FROM ABOVE

J SINGLE JOIS

SPR SPRUCE

O TOP OF

TYPICAL

S UNDERS**i**de

WP | WEATHER PROOF

S EXHAUST VENT

TELEPHONE JACK

DUPLEX OUTLET (HEIGHT AS NOTED A.F

- LIGHT FIXTURE (WALL MOUNTED)

CHANDELIER (CEILING MOUNTE)

2 HR. FIREWALL REFER TO HEX NOTE 40A.

1.01 **kPa**

0.44 **kPa**

TL STEEL

wo Lwoon

3.5. SYMBOLS

ALL ELECTRICAL FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 9.34

ROUGH IN FOR ELECTRIC VEHICLE - LIGHT FIXTURE (CEILING MOUNTE

PROVIDE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS ARE TO BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN

LEEPING ROOMS AND CONNECTING HALLWAYS AND WIRED TO BE INTERCONNECTED

TCHECK LOCAL BY-LAWS FOR REQUIREMENTS ** A CARBON MONOXIDE ALARM(S) CONFORMING TO CAN/CGA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH OWELLING UNIT ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE ALARM(S)

HALL BE PERMANENTLY WIRED WITH NO DISCONNECT SWITCH, WITH AN ALARM THAT I

SB SOLID BEARING (BUILT-UP WOOD COLUMNS AND STUD POSTS)

SUPPORTED MEMBER, BUILT-UP WOOD COLUMNS SHALL BE NAILED TOGETHER WITH

₩ TWO STOREY VOLUME SPACE. SEE CONSTRUCTION NOTE 39.

NOT LESS THAN 3" (76) NAILS SPACED NOT MORE THAN 11 3/4" (300) O.C. THE NUMBER
OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL

AUDIBLE WITHIN SLEEPING ROOMS WHEN THE INTERVENING DOORS ARE CLOSED.

THE WIDTH OF A WOOD COLUMN SHALL NOT BE LESS THAN THAN THE WIDTH

D ACTIVATE ALL ALARMS IF ONE SOUNDS. ALARMS ARE TO BE CONNECTED TO AN ECTRICAL CIRCUIT AND WITH A BATTERY BACKUP. ALARM SIGNAL SHALL MEET MPORAL SOUND PATTERNS MIN. ALARMS SHALL HAVE A VISUAL SIGNALLING

OMPONENT AS PER THE "NATIONAL FIRE ALARM AND SIGNALING CODE 72".

CMD CARBON MONOXIDE ALARM (9.33.4.)

CONFORM TO TABLES A-34 TO A-37. (9.17.4., 9.23.10.7.)

CONDITIONS 4A | INTERIOR | 2'-2" x 6'-8" x 1-3/8" (660 x 2030 x 35) INTERIOR | 1'-6" x 6'-8" x 1-3/8" (460 x 2030 x 35) 3.4. ACRONYMS ABOVE FINISHED FLOOR t Luois BEAM BY FLOOR MANUFACTURER LIN LINEN CLOSE FIXED GLASS W/ BLACK BACKING LAMINATED VENEER LUMBER B/AL OPEN TO BELOW/ABOVE PL POINT LOAD RM BEAM BY ROOF MANUFACTURER PLT | PLATE COMPLETE WITH PT PRESSURE TREATED /TJ| DOUBLE JOIST/ TRIPLE JOIST D PAINTED DO OVER D POWDER ROOM RP DROPPED ROOF TRUSS

2.3. MECHANICAL / PLUMBING

1) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24 HOURS, WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM TO OBC 9.32.3.4. WHEN A HRV IS REQUIRED, CONFORM TO 9.32.3.11. REFER TO

HOT WATER HEATER MINIMUM EFFICIENCIES.

TREATED OR CEDAR, UNLESS NOTED OTHERWISE. 4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED

6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil POLYETHYLE FILM, No.50 (45lbs) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND.

1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300W. HOLLOW STRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H". 2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

FOR 8'-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 6'-10" (2080) A.F.F.

2.8. FLASHING (9.20.13., 9.26.4. & 9.27.3.)

1) FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.

2.10. ULC SPECIFIED ASSEMBLIES

VARYING PLATES, BUILT-OUT FLOORS, BEARING WALLS, ICE & WATER SHIELD EXPOSED BUILDING FACE -O.B.C. 9.10.14. OR 9.10.15.

REFER TO HEX NOTE 35. & DETAILS FOR TYPE AND SPECIFICATIONS.

> 1 HR. PARTY WALL REFER TO HEX NOTE 40. **SECTION 4.0. CLIMATIC DATA**

DESIGN SNOW LOAD (9.4.2.2.): WIND LOAD (q50) (SB-1.2.):



JOIST, AND FLOOR LVL BEAM DESIGN

IN HACTOR MUST VERIET ALL DIMENSIONS ON THE JOB, REPORT ANY DISCREPANCIES TO HUNI SIGIR ASSOCIATES INC. (H.D.A.I.) BEFORE PROCEEDING WITH THE WORK, ALL THE DRAWINGS & "ECIFICATIONS ARE THE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A.I. L CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECIFICATIONS AND TO CONFORM TO THE STARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAWING JURISDICTION. INSTRUCTION NOTE REVISION DATE: MARCH 21, 2018

GOLDPARK HOMES - 217020

CONSTRUCTION NOTES UNIT 5004 - THE BEAUMONT REV.2020.03.30

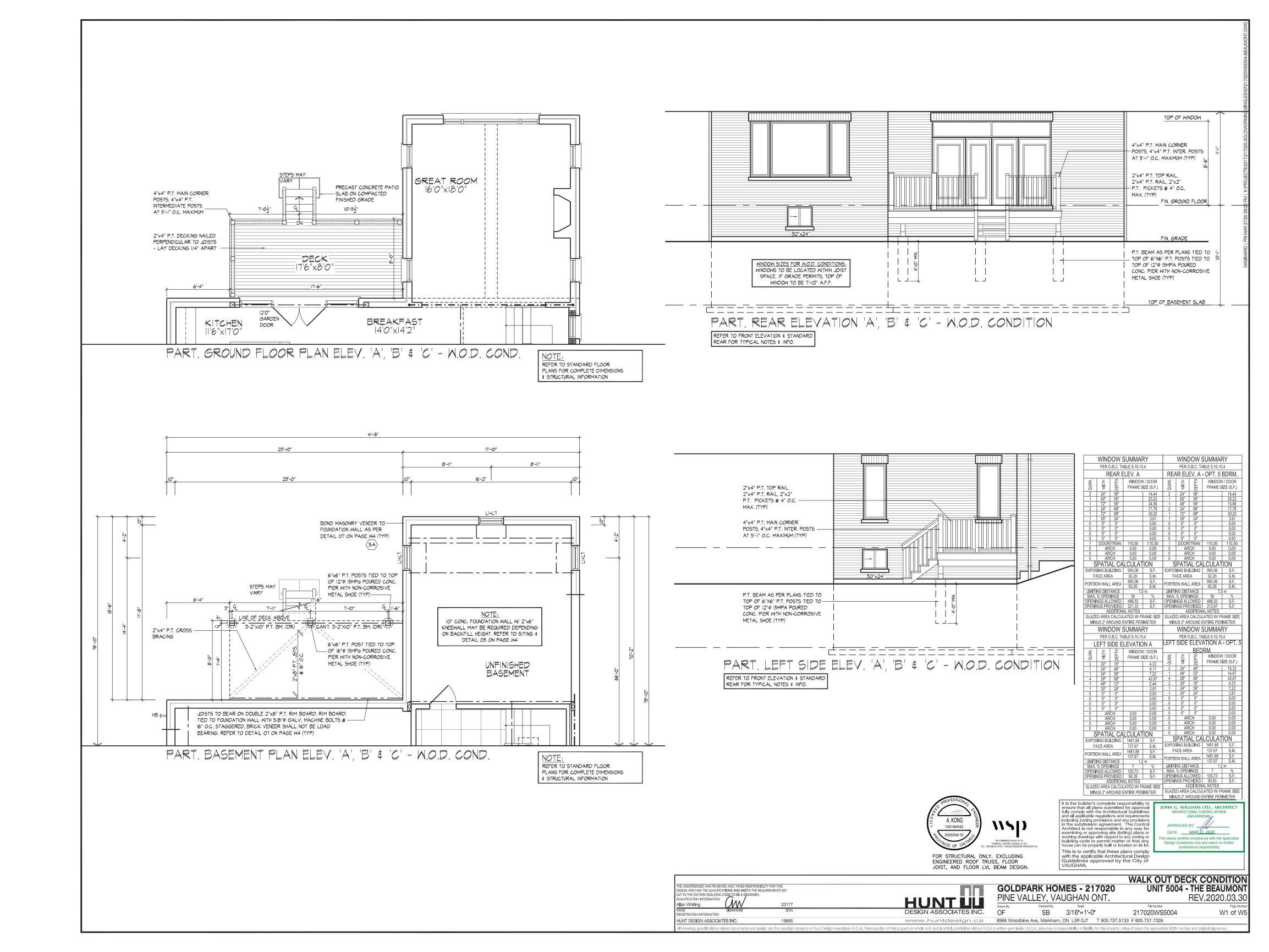
HE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE SIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQU IT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. HUNTUU

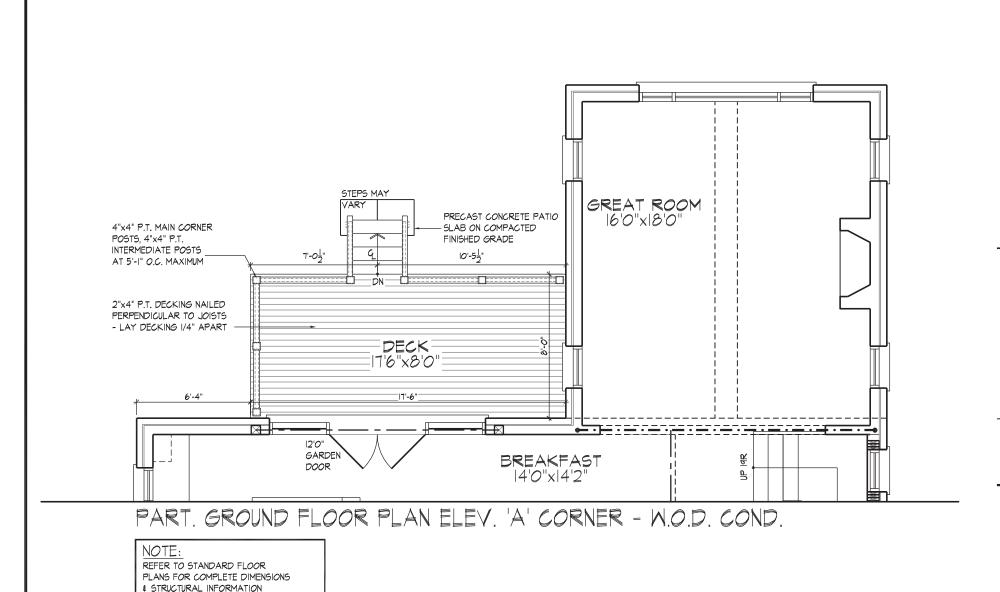
PINE VALLEY, VAUGHAN ONT. MC SB 3/16"=1'-0**"**

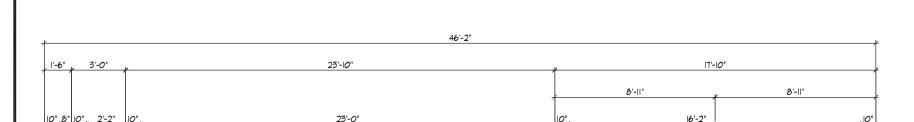
217020WS5004 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

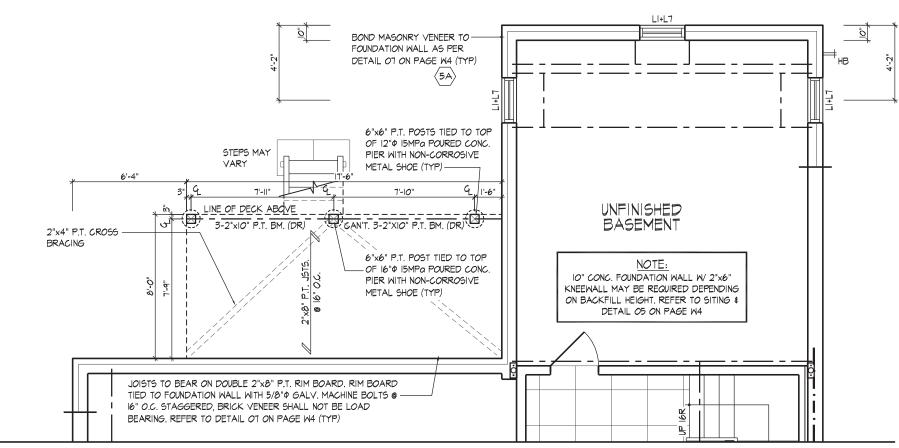
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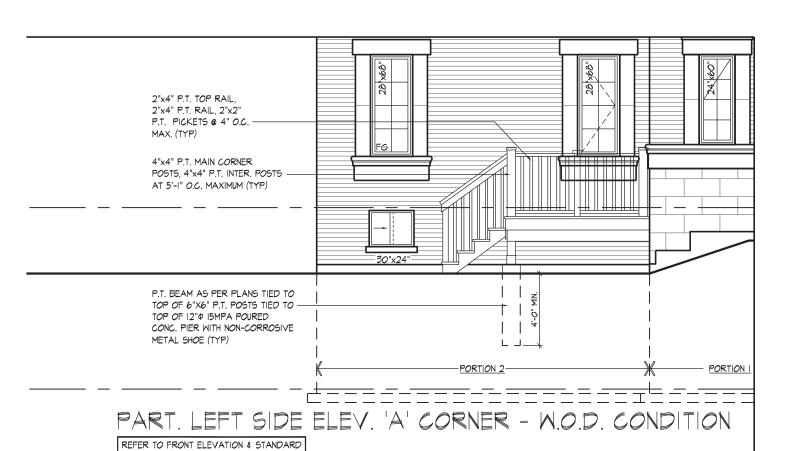
PART. BASEMENT PLAN ELEV. 'A' CORNER - W.O.D. COND.

REFER TO STANDARD FLOOR PLANS FOR COMPLETE DIMENSIONS & STRUCTURAL INFORMATION

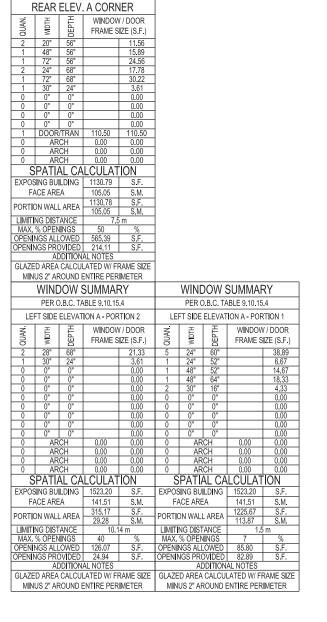


ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.





REFER TO FRONT ELEVATION & STANDARD REAR FOR TYPICAL NOTES & INFO.



TOP OF 16" P ISMPA POURED CONC. PIER WITH NON-CORROSIVE

METAL SHOE (TYP)

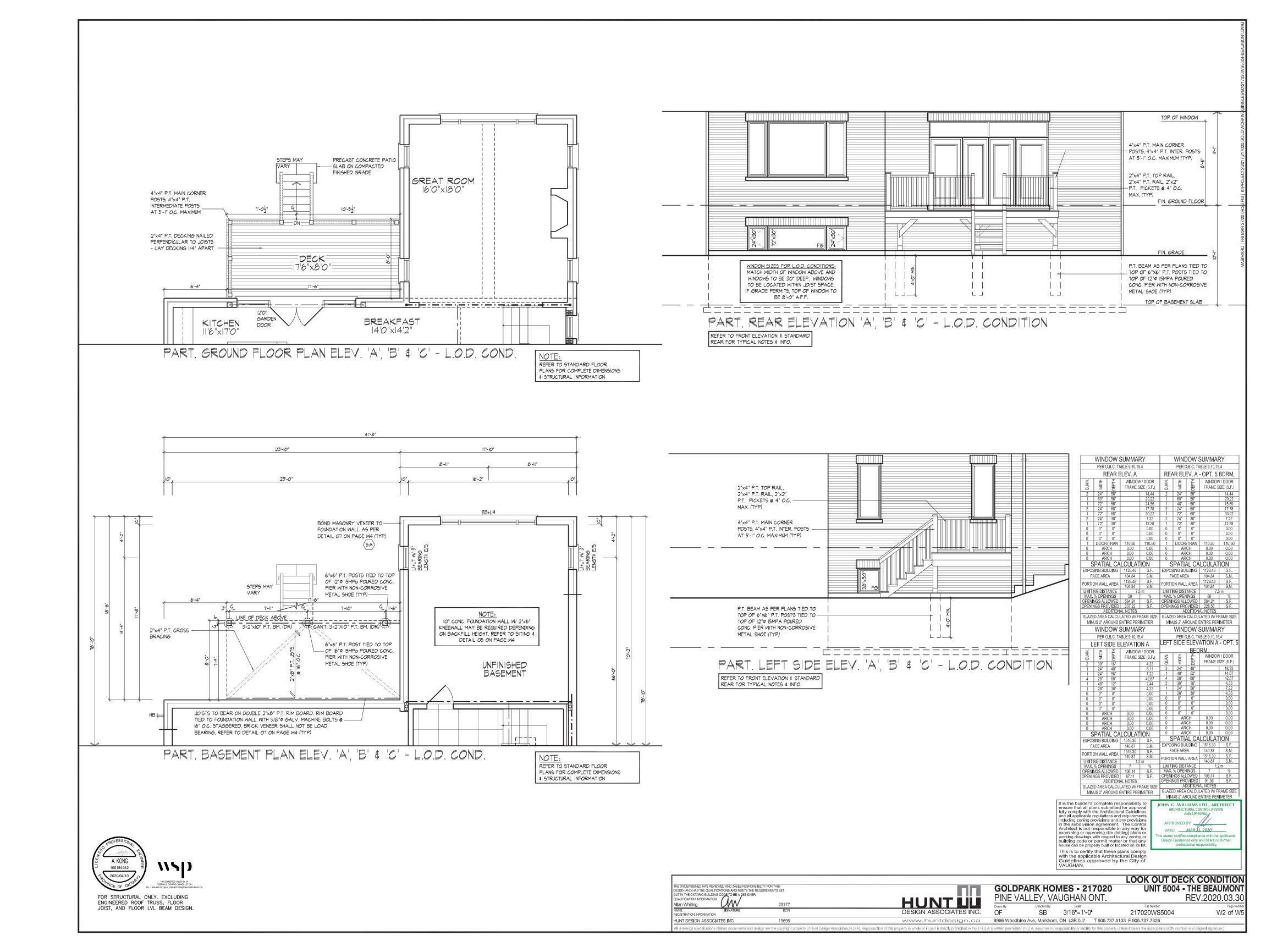
WINDOW SUMMARY PER O.B.C. TABLE 9.10.15.4

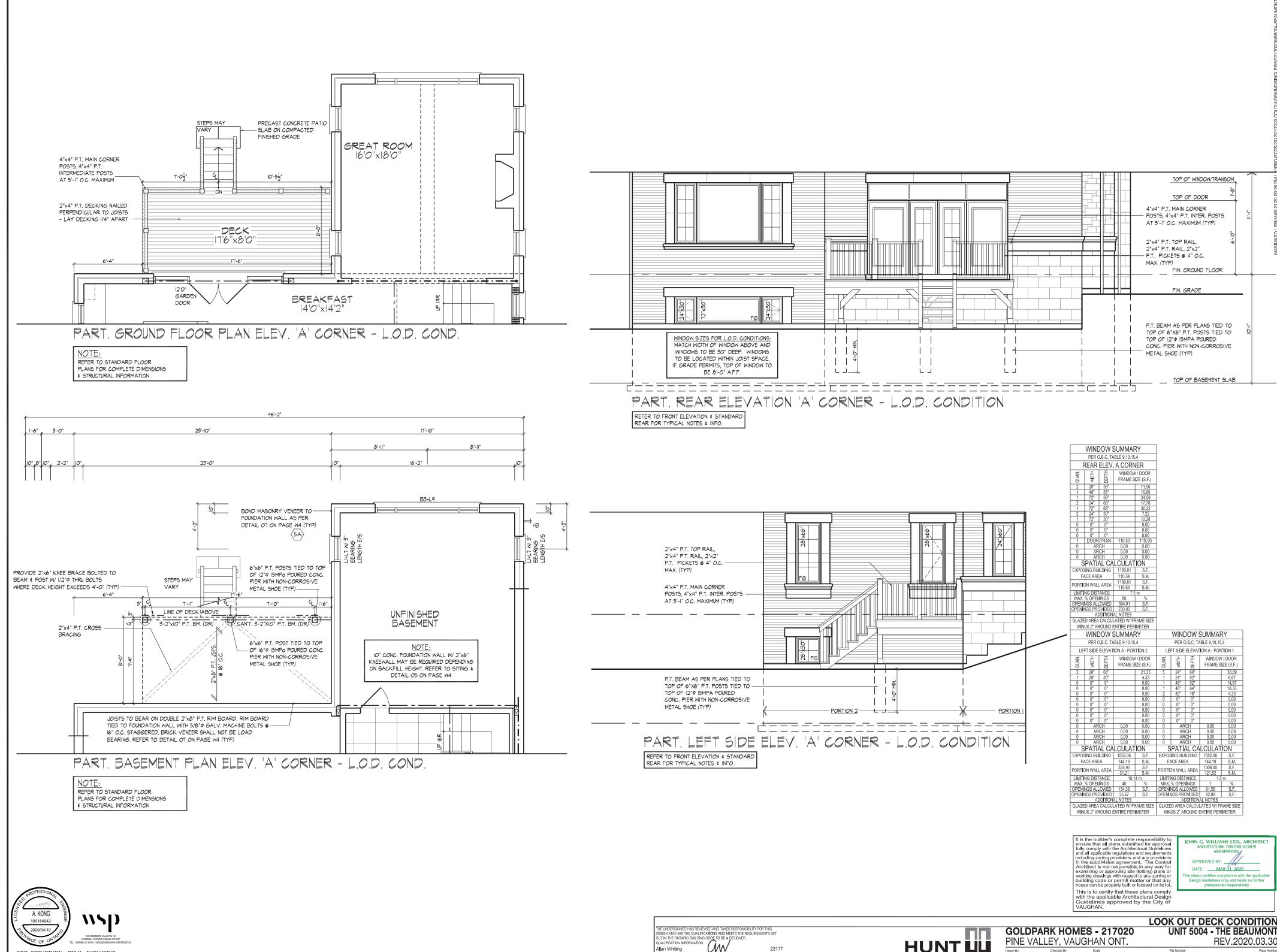
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW

AND APPROVAL APPROVED BY: DATE: <u>MAR 31, 2020</u> This stamp certifies compliance with the applicab Design Guidelines only and bears no further professional responsibility.

						WALK OUT DE	CK CONDITION	
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. QUALIFICATION INFORMATION Allan Whiting 23177		ПП	GOLDPARK HOMES - 217020 PINE VALLEY, VAUGHAN ONT. Drawn By Checked By Scale				UNIT 5004 - THE BEAUMON	
		HUNTÜÜ				File Number	REV.2020.03.30	
NAME SIGNATURE REGISTRATION INFORMATION	BCIN	DESIGN ASSOCIATES INC.	OF	SB	3/16"=1'-0 "	217020WS5004	W1A of W5	
HUNT DESIGN ASSOCIATES INC.	19695	www.huntdesign.ca	8966 Woodk	bine Ave, Markham	n, ON L3R 0J7 T 905	.737.5133 F 905.737.7326		
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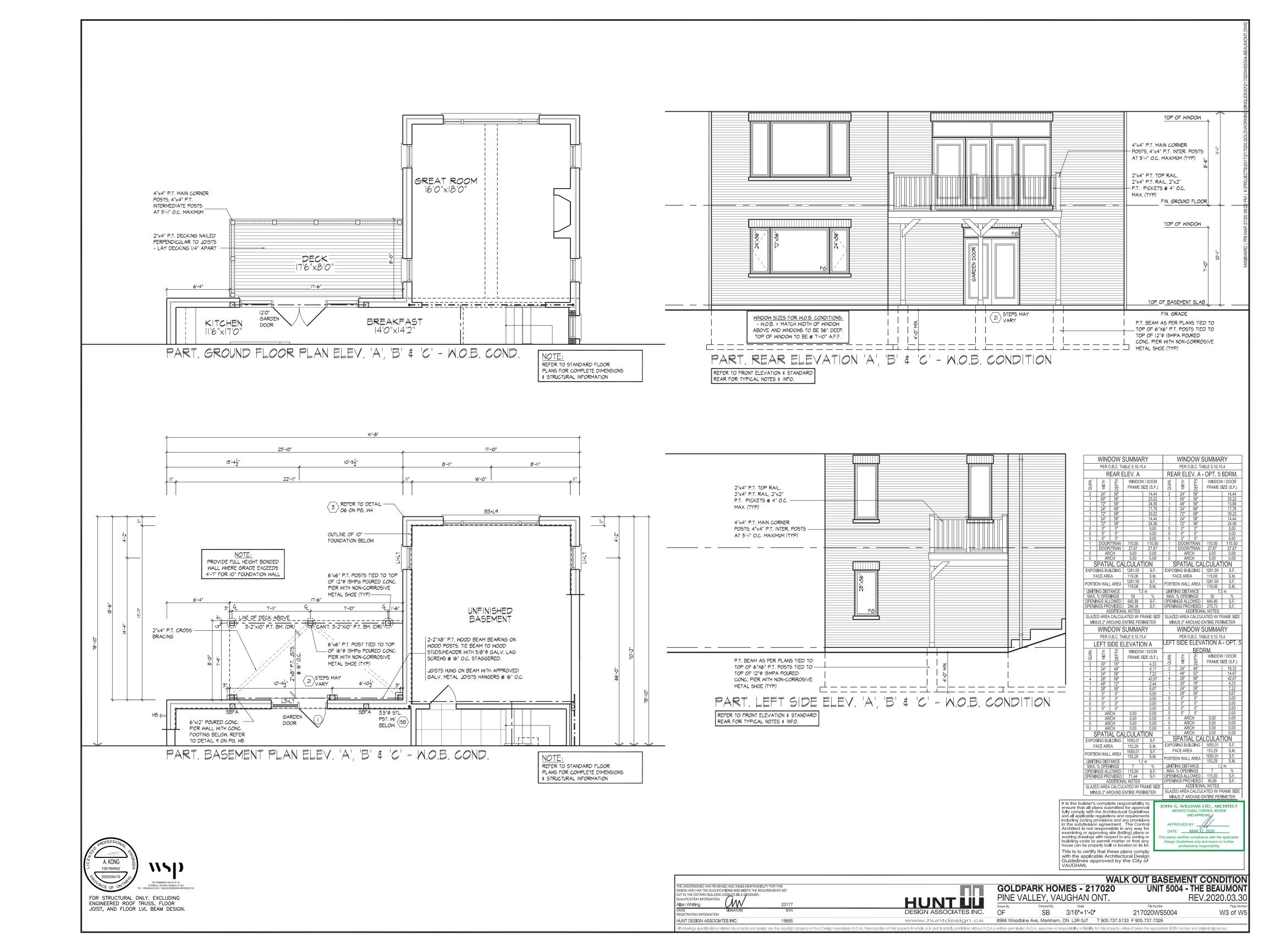


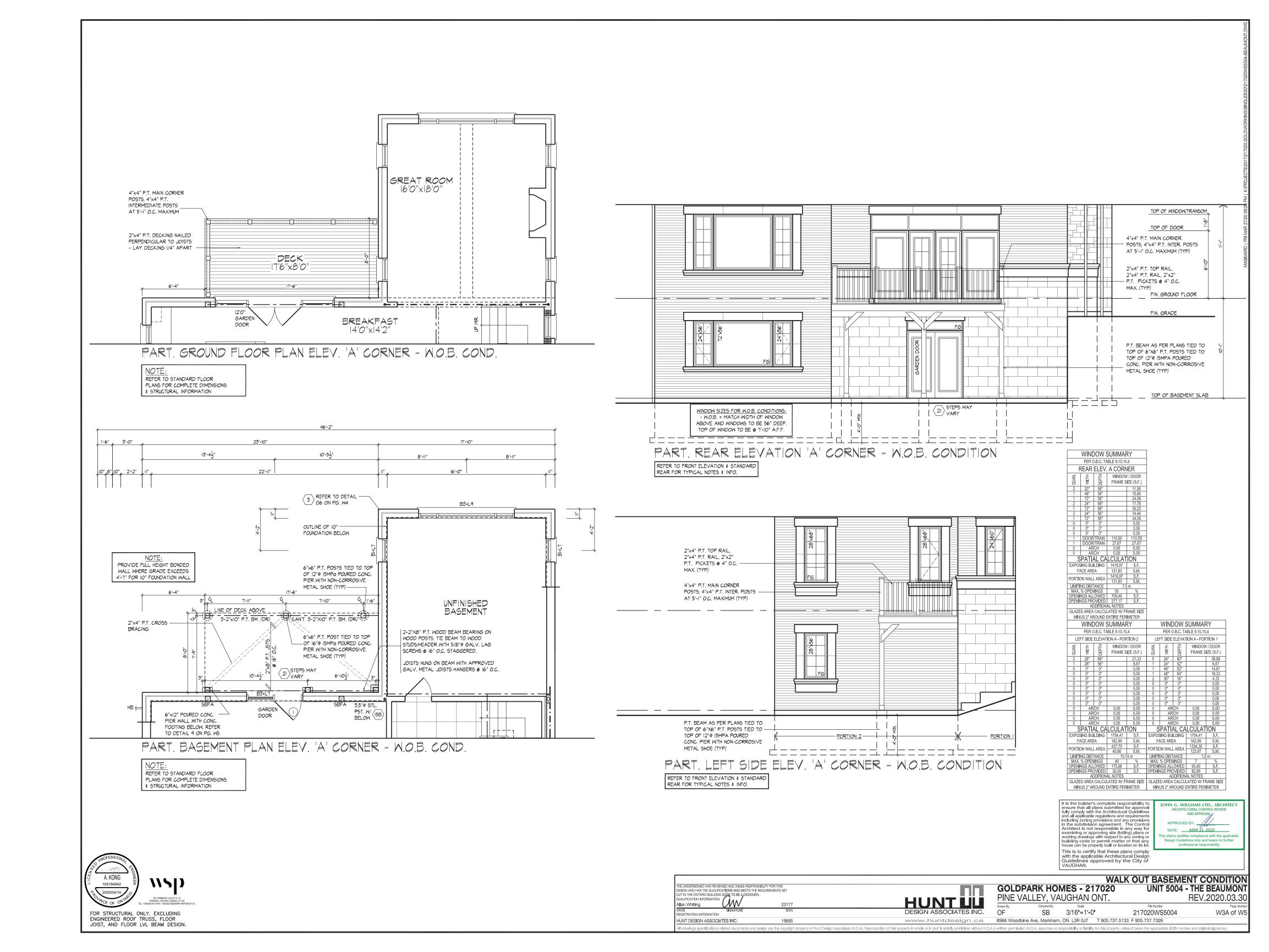
REGISTRATION INFORMATION

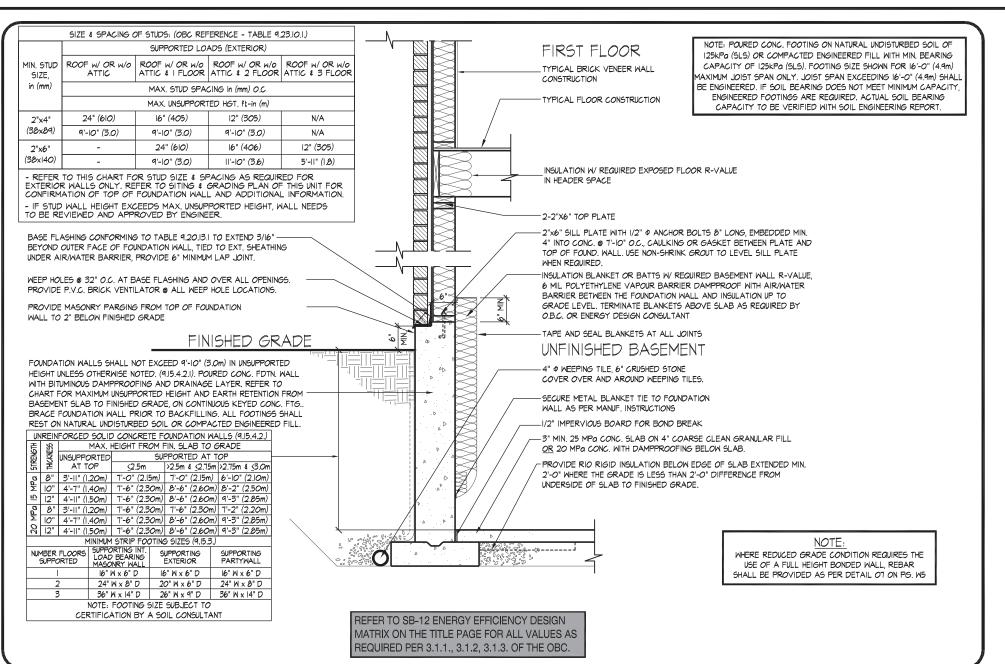
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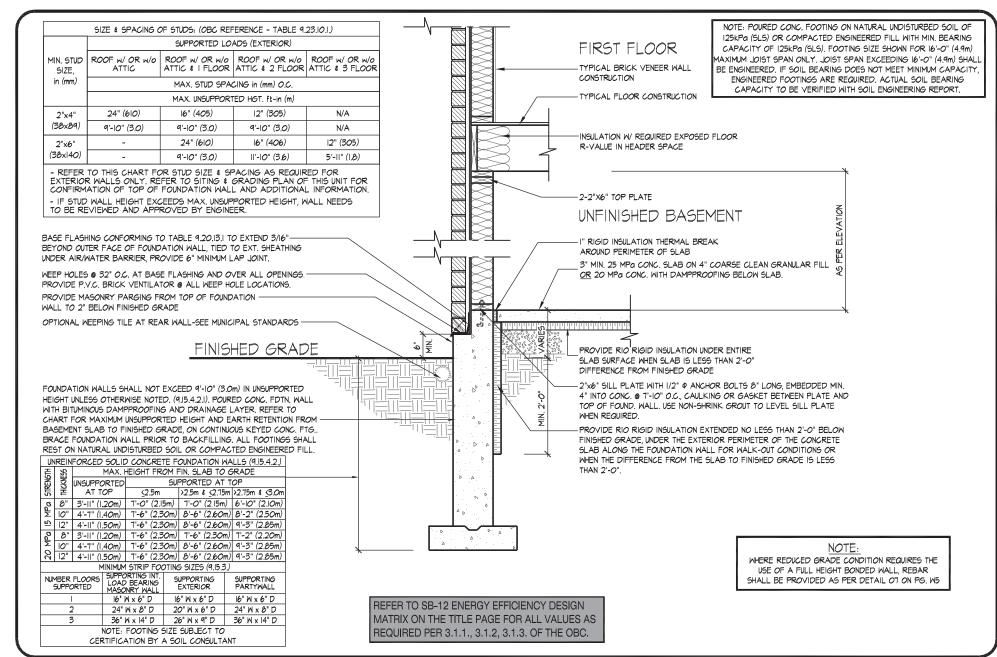
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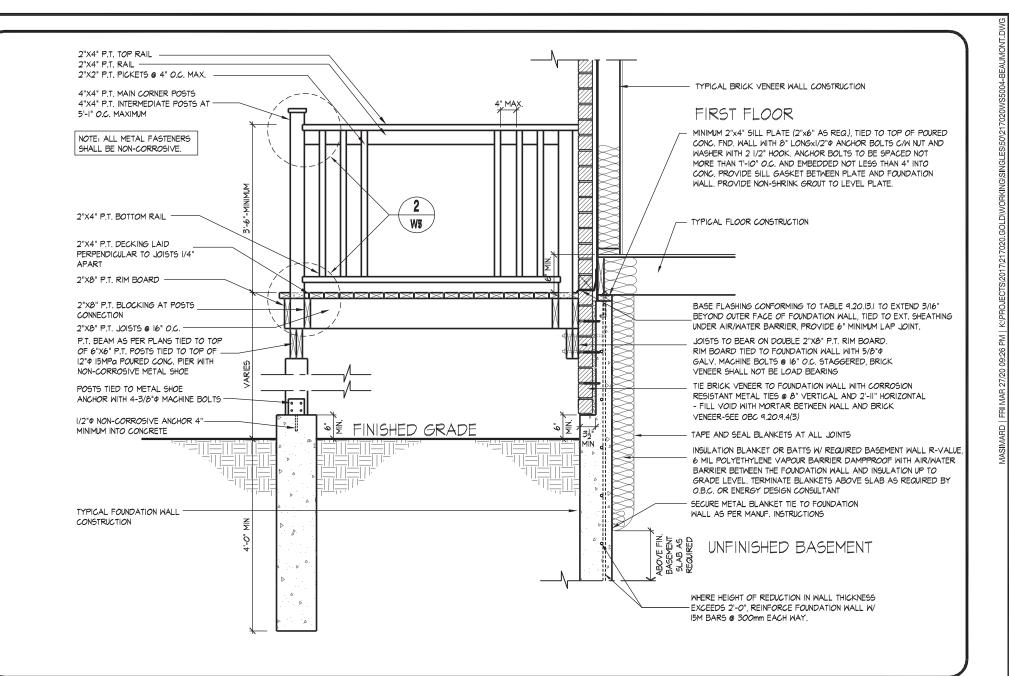


MASONRY VENEER, 2"x6" STUDS, 10' FOUNDATION WALL LATERALLY UNSUPPORTED

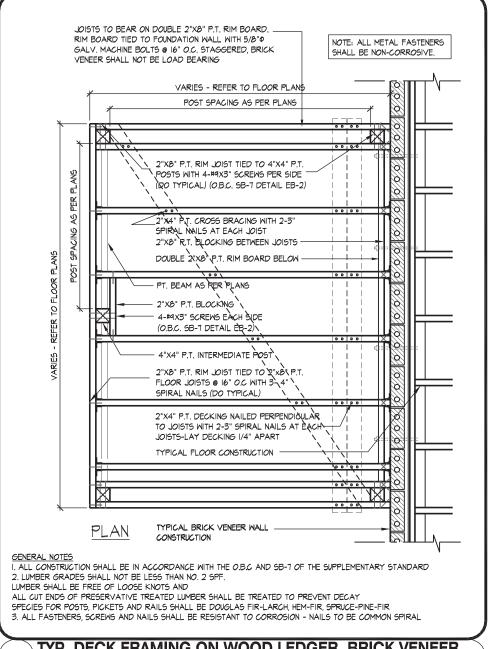


MASONRY VENEER, 2"x6" STUDS, SLAB ON GRADE / WALK OUT BASEMENT CONDITION 06

A. KONG 100184942 2020/04/10 FOR STRUCTURAL ONLY. EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.



MASONRY VENEER, TYPICAL WALK/LOOK OUT WOOD DECK, SOLID MASONRY

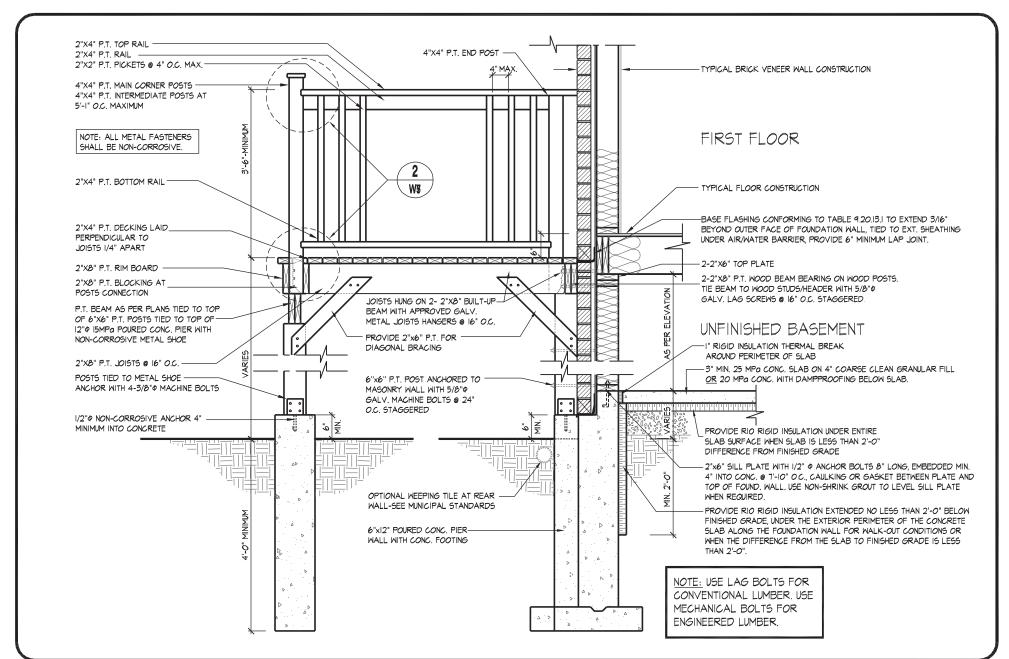


TYP. DECK FRAMING ON WOOD LEDGER, BRICK VENEER 80

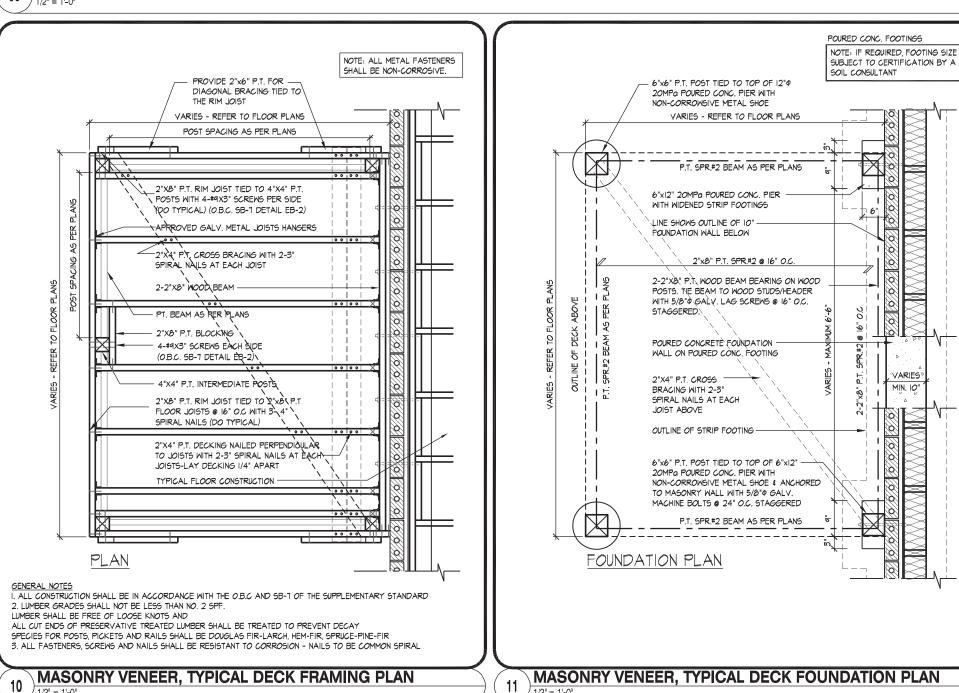
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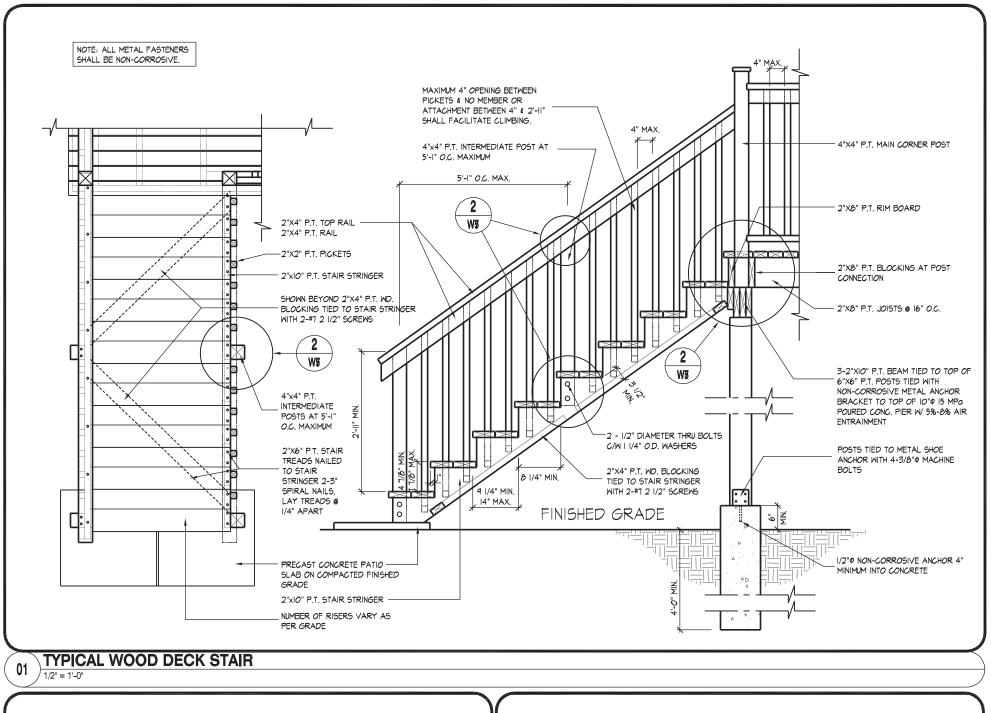
DECK DETAILS 1 GOLDPARK HOMES - 217020 UNIT 5004 - THE BEAUMONT PINE VALLEY, VAUGHAN ONT. REV.2020.03.30

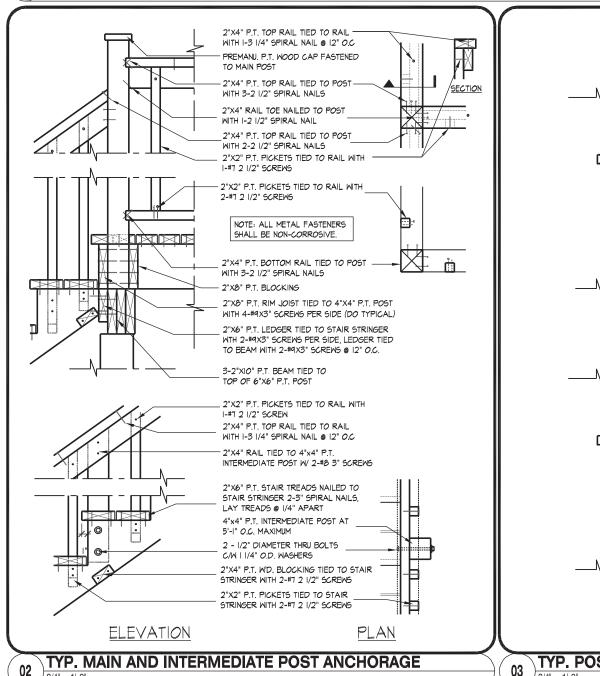
HDAI 3/16"=1'-0" 217020WS5004 W4 of W5 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326 HUNT DESIGN ASSOCIATES INC www.huntdesign.ca



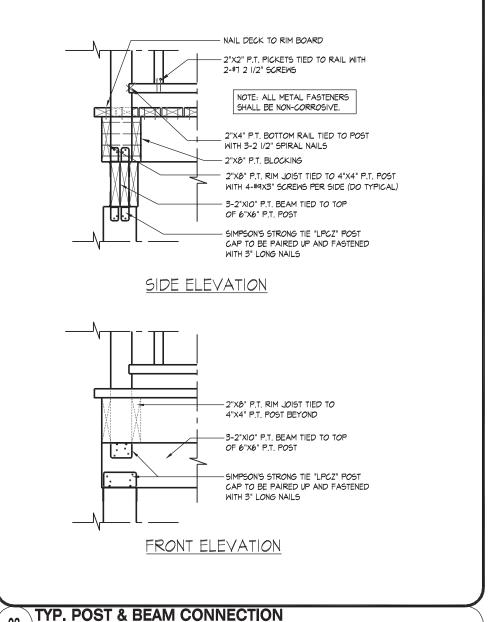
MASONRY VENEER. TYPICAL WOOD DECK FOR WALK OUT BASEMENT







VARIES





JOIST, AND FLOOR LVL BEAM DESIGN.

							DECK DETAILS 2
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OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. QUALIFICATION INFORMATION		HUNTÜÜ	PINE VALLEY, VAUGHAN ONT.			REV.2020.03.30	
Allan Whiting NAME SIGNATURE	23177		Drawn By	Checked By	Scale	File Number	Page Number
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