

**TYP. BOX-OUT PROJECTED WINDOW PLAN VIEW**

### AREA CALCULATIONS

[illegible]

# FRONT ELEVATION 'C'



# UNIT 5004 - 'THE BEAUMONT'

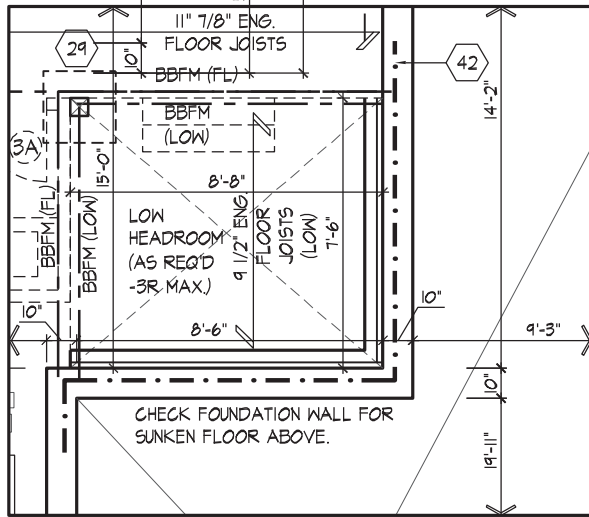
# SB-12 ENERGY EFFICIENCY DESIGN MATRIX

# PACKAGE A1

BUILDING COMPONENT		REQUIRED	PROPOSED
INSULATION (R) (R) VALUE			
CEILING w/ ATTIC SPACE	10.56 (R60)	10.56 (R60)	
CEILING w/O ATTIC SPACE	5.46 (R31)	5.46 (R31)	
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)	
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)	
BASEMENT WALLS	3.52 ci (R20 ci)	3.52 ci (R20 ci)	*
** PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76d (R12+R10d)			
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE			
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)	
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)	
WINDOWS & DOORS			
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6	
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8	
APPLIANCE EFFICIENCY			
SPACE HEATING EQUIP. (A/FUE%)	96%	96%	
HVAC EFFICIENCY (%)	75%	75%	
DHW HEATER (EF)	0.8	0.8	

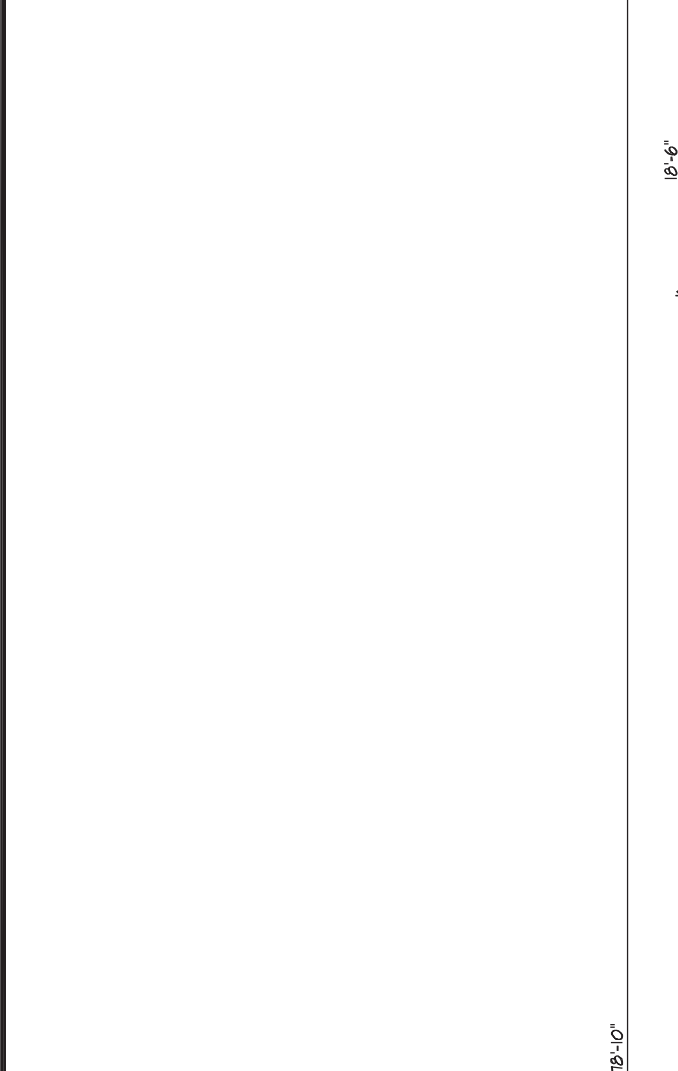
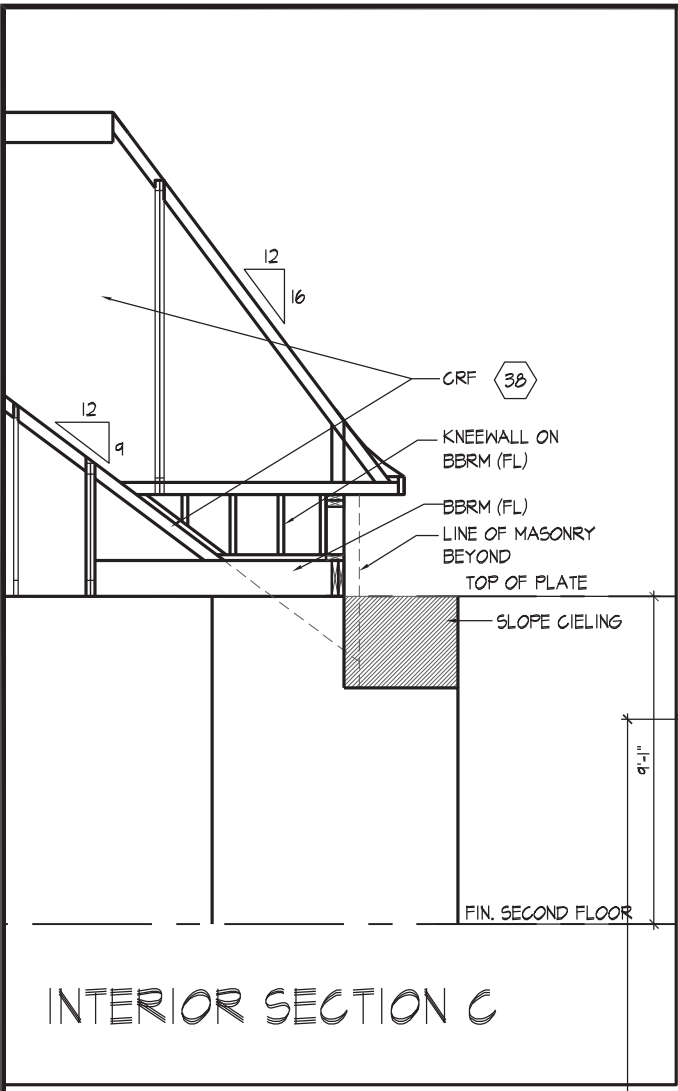
- 1 - TITLE PAGE
- 2 - BASEMENT PLAN, EL. 'A'
- 3 - GROUND FLOOR PLAN, EL. 'A'
- 4 - SECOND FLOOR PLAN, EL. 'A'
- 5 - OPT. 3 BED, SECOND FLOOR PLAN, EL. 'A'
- 6 - BASEMENT PLAN, EL. 'A' CORNER
- 7 - GROUND FLOOR PLAN, EL. 'A' CORNER
- 8 - SECOND FLOOR PLAN, EL. 'A' CORNER
- 9 - PART, BASEMENT, GROUND & SECOND FLOOR PLAN, EL. 'B'
- 10 - PART, BASEMENT, GROUND & SECOND FLOOR PLAN, EL. 'C'
- 11 - PART, FLOOR PLANS - OPT ELEVATOR CONDITION
- 12 - PART, FLOOR PLANS, OPT. LOGGIA CONDITION
- 13 - PART, FLOOR PLANS ELEV. 'A' CORNER, OPT. LOGGIA CONDITION
- 14 - FRONT & REAR ELEVATION 'A' (REAR EL. "B&C SIMILAR)
- 15 - LEFT SIDE ELEVATION 'A'
- 16 - RIGHT SIDE ELEVATION 'A'
- 17 - FRONT ELEVATION 'A' CORNER
- 18 - LEFT SIDE ELEVATION 'A' CORNER
- 19 - RIGHT SIDE ELEVATION 'A' CORNER
- 20 - REAR ELEVATION 'A' CORNER
- 21 - FRONT ELEVATION 'B'
- 22 - LEFT SIDE ELEVATION 'B'
- 23 - RIGHT SIDE ELEVATION 'B'
- 24 - FRONT ELEVATION 'C'
- 25 - LEFT SIDE ELEVATION 'C'
- 26 - RIGHT SIDE ELEVATION 'C'
- 27 - UPGRADED REAR ELEVATION 'C'
- 28 - ELEVATIONS LOGGIA CONDITION
- 29 - CROSS SECTIONS
- 30 - CONSTRUCTION NOTES
- W1 - WALK OUT DECK CONDITION
- W1A - WALK OUT DECK CONDITION
- W2 - LOOK OUT DECK CONDITION
- W2A - LOOK OUT DECK CONDITION
- W3 - WALK OUT BASEMENT CONDITION
- W3A - WALK OUT BASEMENT CONDITION

 		
8. -		-
7. -		-
6. -		-
5. -		-
4. -		-
3. -		-
2. REV. AS PER FLOOR, ROOF AND STRUCTURAL ENGINEER ISSUE FOR PERMIT		2020.03.30
1. REVISED DESIGN AS PER CLIENT COMMENTS		2019/11/25
REVISIONS	DATE (YYYYMMDD)	BY







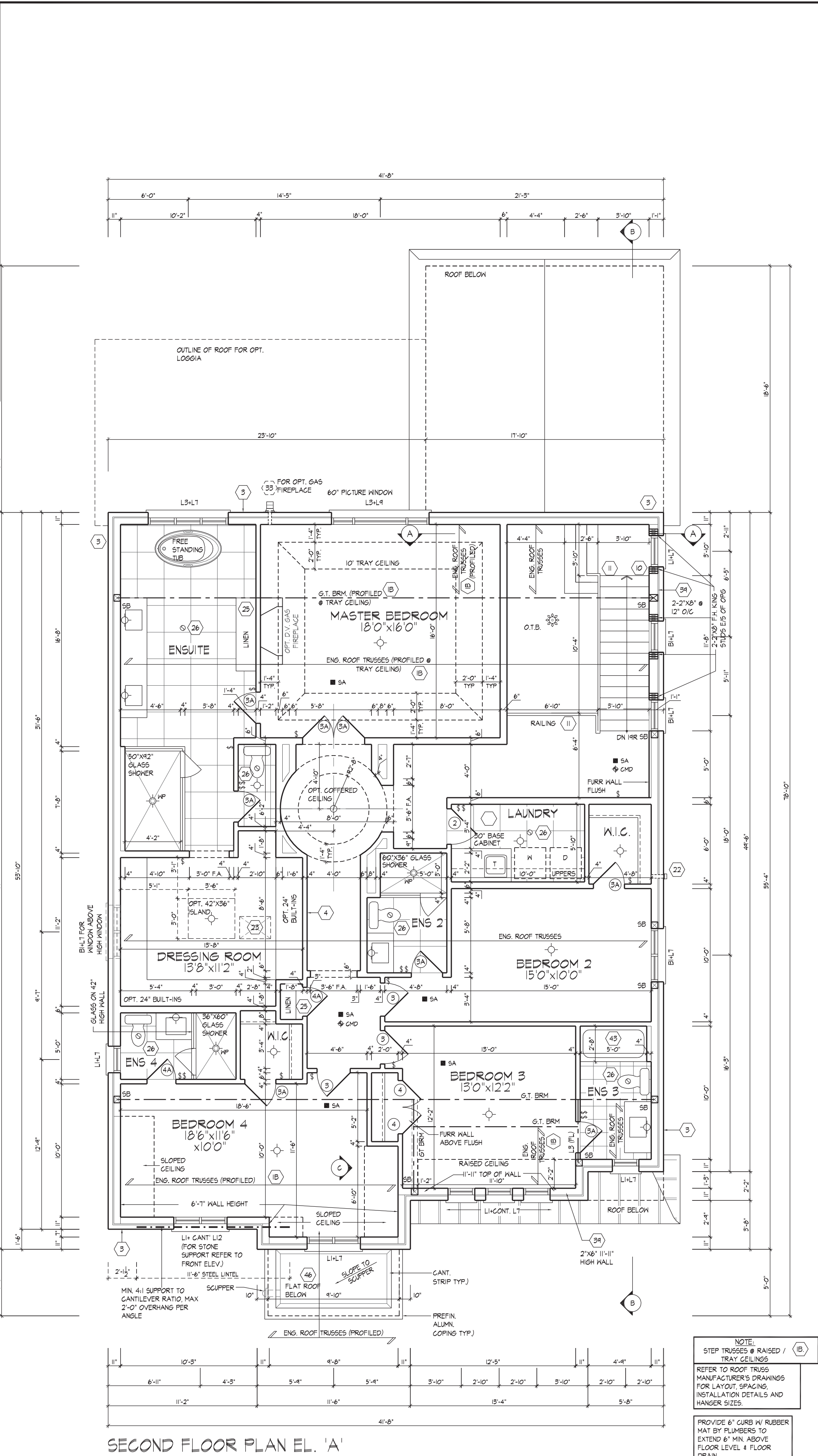


**HUNT DESIGN ASSOCIATES INC.**  
23777  
19995  
Vancouver, British Columbia, Canada  
www.hunt.ca  
8666 Woodbine Ave. Markham, ON L3R 0J7  
T 905.737.9133 F 905.737.7326

**GOLDPARK HOMES - 217020**  
PINE VALLEY, VAUGHAN ONT.  
UNIT 5004 - THE BEAUMONT  
REV. 2020.03.30

**SECOND FLOOR PLAN, EL. 'A'**

Drawn By: MC  
Checked By: SB  
Scale: 3/16"=1'-0"  
File Number: 217020WS5004  
Page Number: 4 of 30



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY: [Signature]  
DATE: MAR 31, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

**PROFESSIONAL ENGINEER**  
A. KONG  
100184942  
2020/04/10  
PROVINCE OF ONTARIO

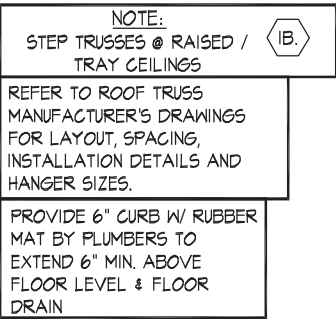
**wsp**  
180 COMMERCIAL AVENUE, SUITE 101  
TORONTO, ONTARIO M5C 1B4  
TEL: 1-866-462-4714 FAX: 1-866-462-0889 WWW.WSPGROUP.CA

FOR STRUCTURAL ONLY, EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL BEAM DESIGN.

NOTE:  
STEP TRUSSES @ RAISED / TRAY CEILINGS  
REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.  
PROVIDE 6" CURB W/ RUBBER MAT BY PLUMBERS TO EXTEND 6" MIN. ABOVE FLOOR LEVEL & FLOOR DRAIN



Diagram of Interior Section C, showing a cross-section through the roof and upper floors. The diagram includes labels for structural elements: KNEEWALL ON BERM (FL), BERM (FL), LINE OF MASONRY BEYOND TOP OF PLATE, SLOPE CEILING, and FIN. SECOND FLOOR. A vertical dimension line on the right indicates a height of 6'-0".



WS|D

100 COMMERCE VALLEY DR. W.  
THORNHILL, ONTARIO CANADA L3T 0A1  
TEL: 1-800-882-4211 FAX: 1-800-822-0066 WWW.WSPGROUP.CA

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

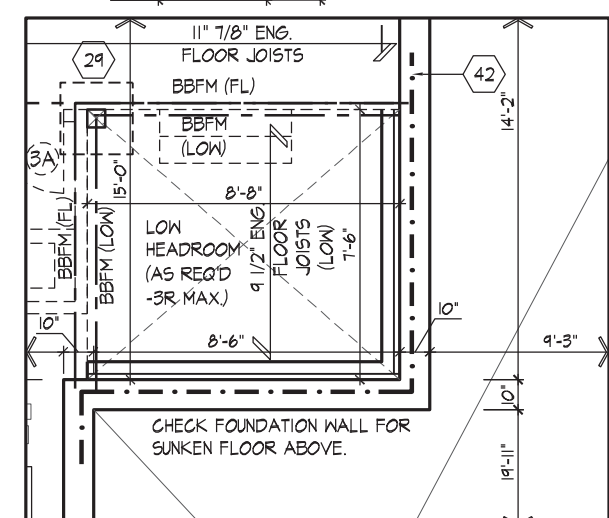
**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: MAR 31, 2020

This stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
professional responsibility.

---

MASIMARD | FRI MAR 27/20 09:26 PM | K:\PROJECTS\2017\217020.GOLD\WORKING\SINGLES\50\217020WS5004-BEAUMONT.DWG



PART. BASEMENT PLAN EL. 'A'  
SUNKEN MUDROOM CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and rules (including zoning provisions and any provisions of the subdivision agreement). The City of Vaughan Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings, or for determining whether building code or permit matter or that any other matter is properly built or not built. It is to be certified that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

**JOHN G. WILLIAMS LTD., ARCHITECT**  
**ARCHITECTURAL CONSULTANTS**  
 AND APPROVAL

APPROVED BY: \_\_\_\_\_

DATE: \_\_\_\_\_ MAR 31, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



100 COMMERCE VALLEY DR. W.  
THORNHILL, ONTARIO CANADA L3T 0A1  
TEL: 1-800-880-ANALFAX, 1-800-870-DESKMAN (TOLL FREE)

MASIMARD | FRI MAR 27/20 09:26 PM | K:\PROJECTS\2017\217020.GOLD\WORKING\SINGLES\50\217020WS5004-BEAUMONT.DWG

THE INFORMATION HEREON IS UNCLASSIFIED AND THE RESPONSIBILITY FOR THIS STATUS IS NOT ASSUMED BY THE NATIONAL ARCHIVES. THE INFORMATION IS UNCLASSIFIED AND THE QUALIFICATIONS AND MEET THE REQUIREMENTS SET FORTH IN THE NATIONAL ARCHIVES. THE INFORMATION IS UNCLASSIFIED AND THE QUALIFICATIONS AND MEET THE REQUIREMENTS SET FORTH IN THE NATIONAL ARCHIVES.

NAME: Alan Whiting  
DOB: 2317  
REGISTRATION INFORMATION: 16665  
HUNT ID: 16665  
HUNT ASSOCIATES INC.

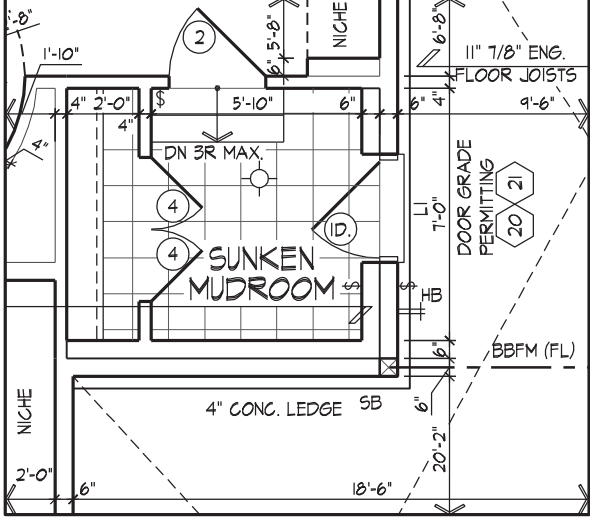
DESIGN ASSOCIATES INC.

GOLDPARK HOMES - 217020  
PINE VALLEY, VAUGHAN ONT.  
UNIT 5004 - THE BEAUMONT  
REV. 2020.03.30

SB 3/4-1-10\*  
MC 212020MSU004  
6 of 30

6966 Woodbine Ave. Markham, ON L3R 0V7  
T 905.737.5133 F 905.737.1226





MASIMARD | FRI MAR 27/20 09:26 PM | K:\PROJECTS\2017\217020.GOLD\WORKING\SINGLES\50\217020WS5004-BEAUMONT.DWG

GROUND FLOOR PLAN EL. 'A' - CORNER

POURED IN PLACE CONCRETE  
STEPS WITH MASONRY VENEER ON  
SIDES IF REQUIRED BY GRADE

REFER TO FLOOR JOIST  
MANUFACTURER'S DRAWINGS FOR  
LAYOUT, SPACING, BLOCKING &  
STRAPPING REQUIREMENTS,  
INSTALLATION DETAILS AND HANGER  
SIZES, & SUBFLOOR THICKNESS



FOR STRUCTURAL ONLY. EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL BEAM DESIGN.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

<p>THE INFORMATION HAS BEEN PREPARED AND MADE RESPONSIBLY FOR THIS PROJECT BY THE DESIGN PROFESSIONAL. THE INFORMATION IS NOT TO BE USED FOR ANY OTHER BUILDING PROJECT TO BE A REPRODUCED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE DESIGN PROFESSIONAL.</p>			
<p>DATE: 2/21/20</p>		<p>23172</p>	
<p>25000</p>		<p>8204</p>	
<p>REGISTRATION INFORMATION</p>			
<p>DESIGN ASSOCIATES INC.</p>		<p>19695</p>	
<p>THE INFORMATION HAS BEEN PREPARED AND MADE RESPONSIBLY FOR THIS PROJECT BY THE DESIGN PROFESSIONAL. THE INFORMATION IS NOT TO BE USED FOR ANY OTHER BUILDING PROJECT TO BE A REPRODUCED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE DESIGN PROFESSIONAL.</p>			
<p>DATE: 2/21/20</p>		<p>23172</p>	
<p>25000</p>		<p>8204</p>	
<p>REGISTRATION INFORMATION</p>			
<p>DESIGN ASSOCIATES INC.</p>		<p>19695</p>	

<p>THE INFORMATION HAS BEEN PREPARED AND MADE RESPONSIBLY FOR THIS PROJECT BY THE DESIGN PROFESSIONAL. THE INFORMATION IS NOT TO BE USED FOR ANY OTHER BUILDING PROJECT TO BE A REPRODUCED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE DESIGN PROFESSIONAL.</p>			
<p>DATE: 2/21/20</p>		<p>23172</p>	
<p>25000</p>		<p>8204</p>	
<p>REGISTRATION INFORMATION</p>			
<p>DESIGN ASSOCIATES INC.</p>		<p>19695</p>	
<p>THE INFORMATION HAS BEEN PREPARED AND MADE RESPONSIBLY FOR THIS PROJECT BY THE DESIGN PROFESSIONAL. THE INFORMATION IS NOT TO BE USED FOR ANY OTHER BUILDING PROJECT TO BE A REPRODUCED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE DESIGN PROFESSIONAL.</p>			
<p>DATE: 2/21/20</p>		<p>23172</p>	
<p>25000</p>		<p>8204</p>	
<p>REGISTRATION INFORMATION</p>			
<p>DESIGN ASSOCIATES INC.</p>		<p>19695</p>	

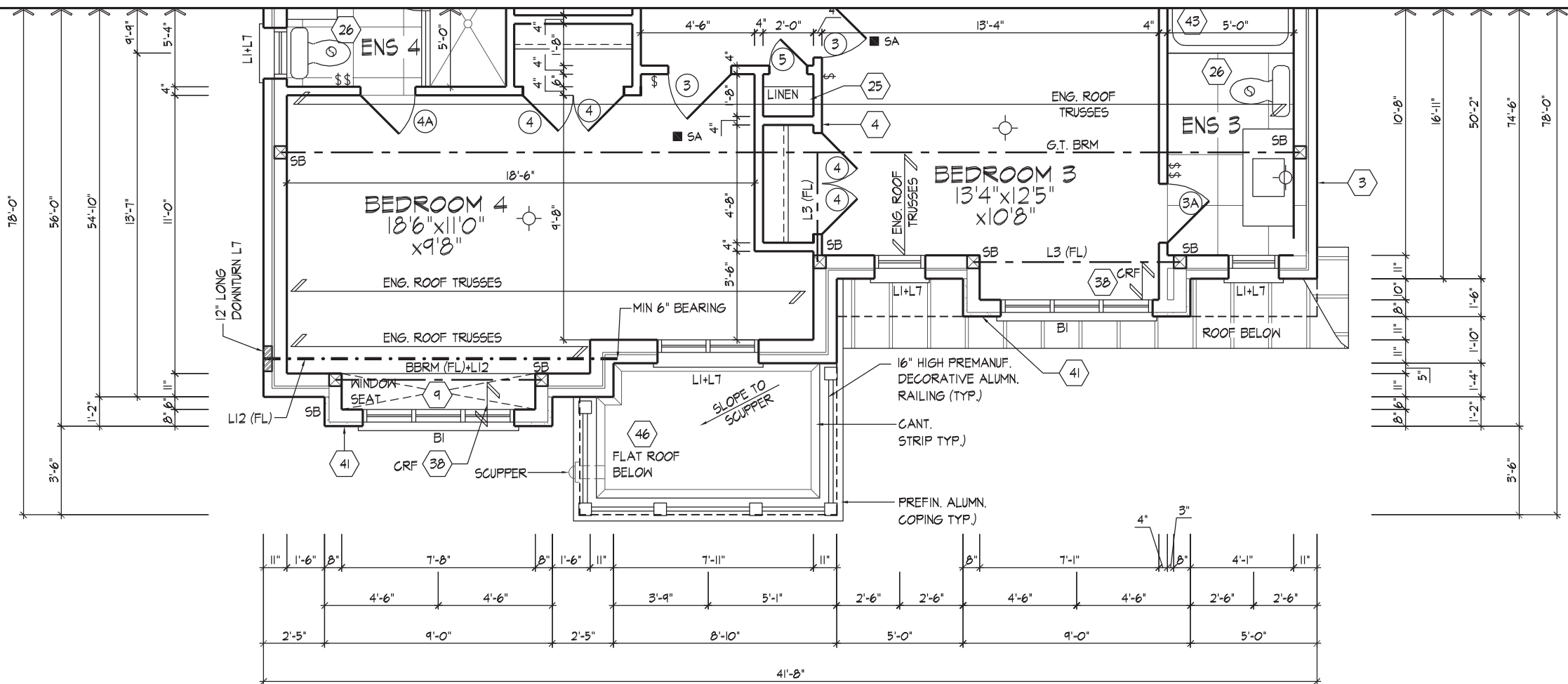




REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

NOTE:  
STEP TRUSSES @ RAISED / TRAY CEILINGS

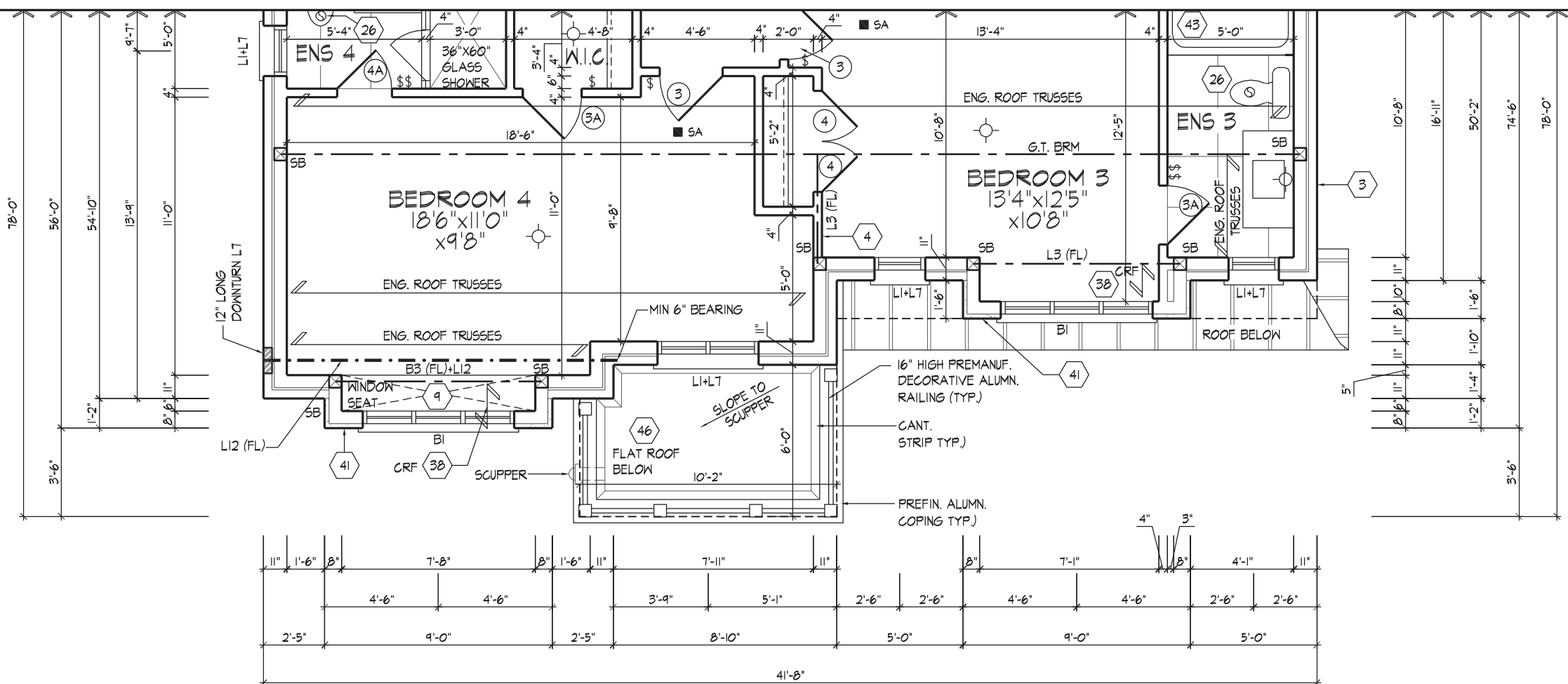
REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.



PART. OPT. 5 BED. SECOND FLOOR PLAN EL. 'B'

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.



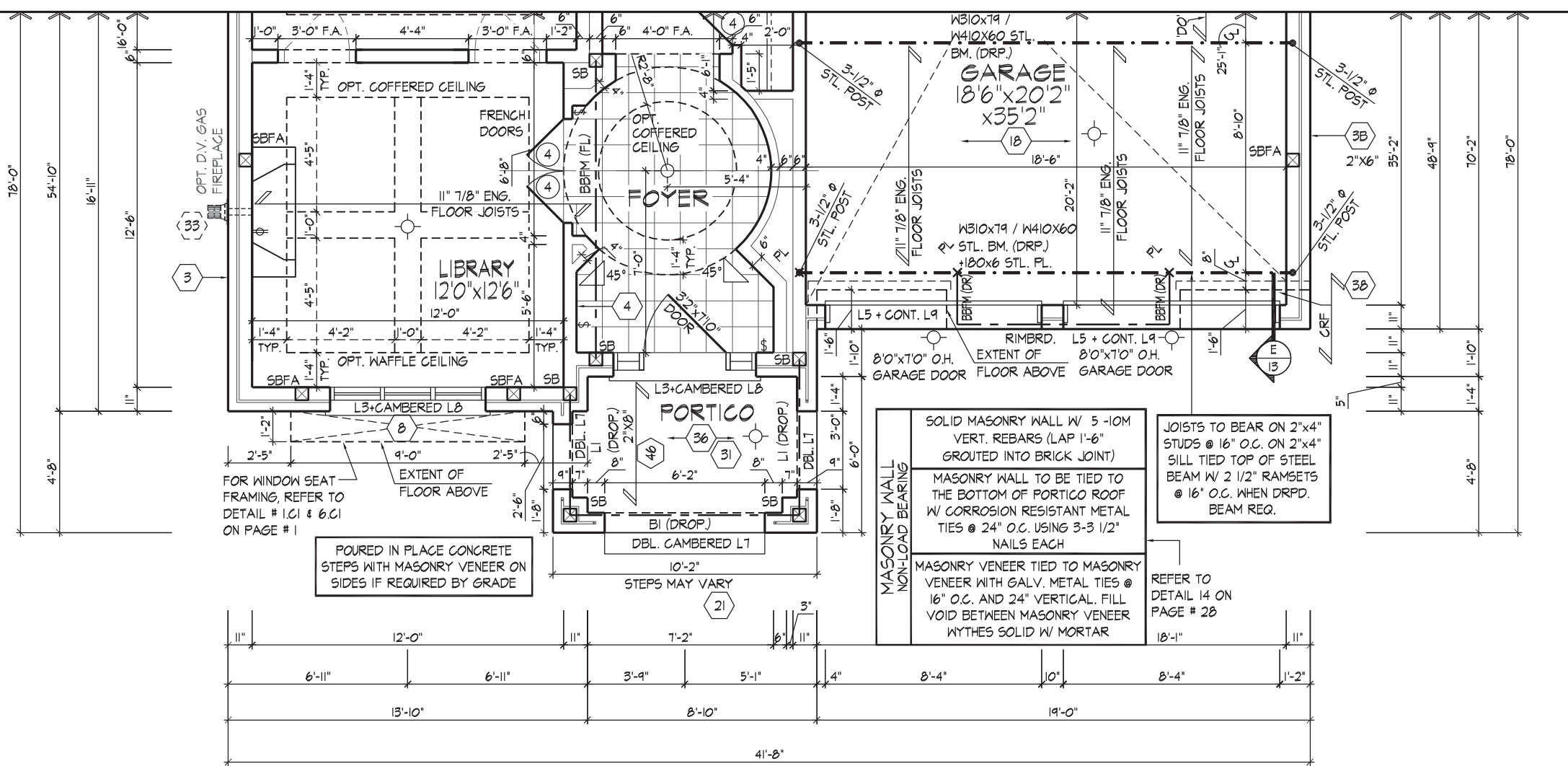
PART. SECOND FLOOR PLAN EL. 'B'

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS



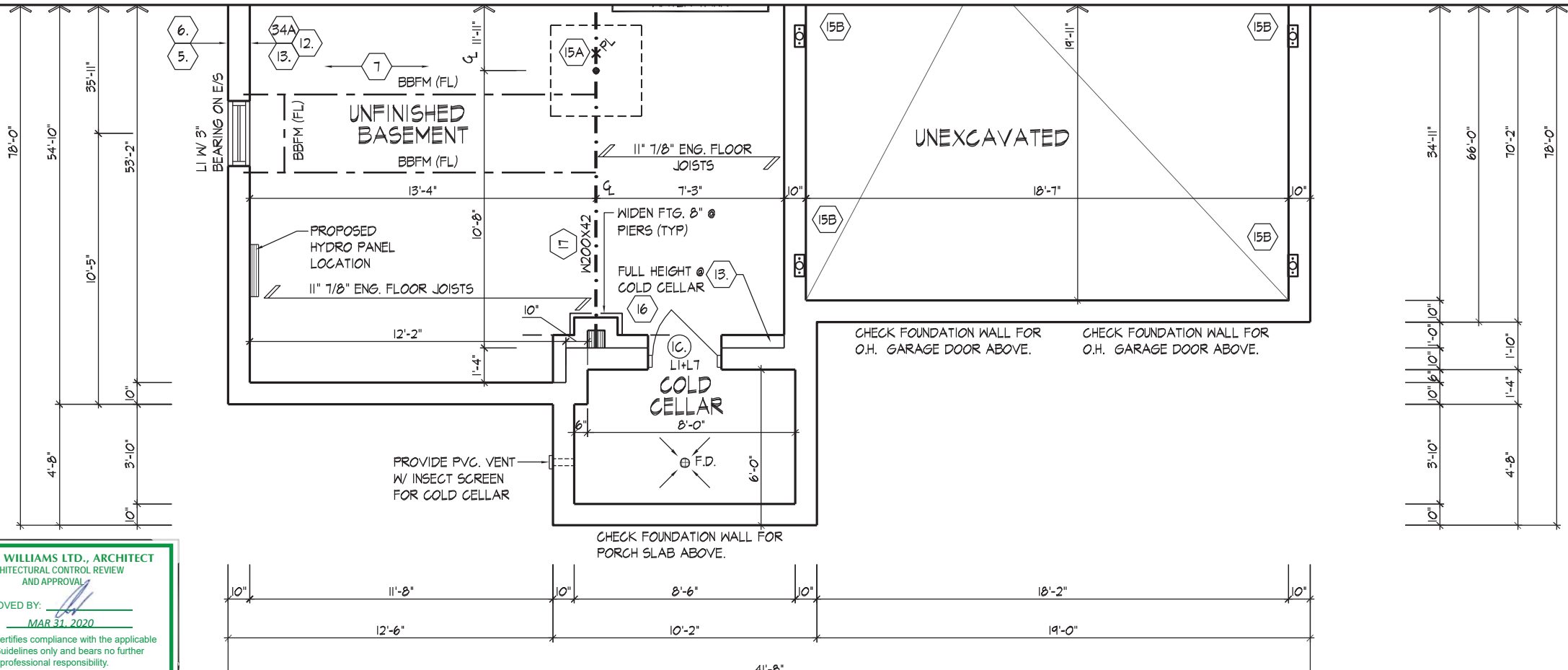
PART. GROUND FLOOR PLAN EL. 'B'

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS



PART. BASEMENT PLAN EL. 'B'



wsp

100 COMMERCIAL AVENUE, 8  
THORNHILL, ONTARIO CANADA L3T 0A1  
TEL: 1-800-962-0774 / 1-800-962-0098 WWW.WSP.CA

FOR STRUCTURAL ONLY, EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL. BEAM DESIGN.

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]  
DATE: MAR 31, 2020

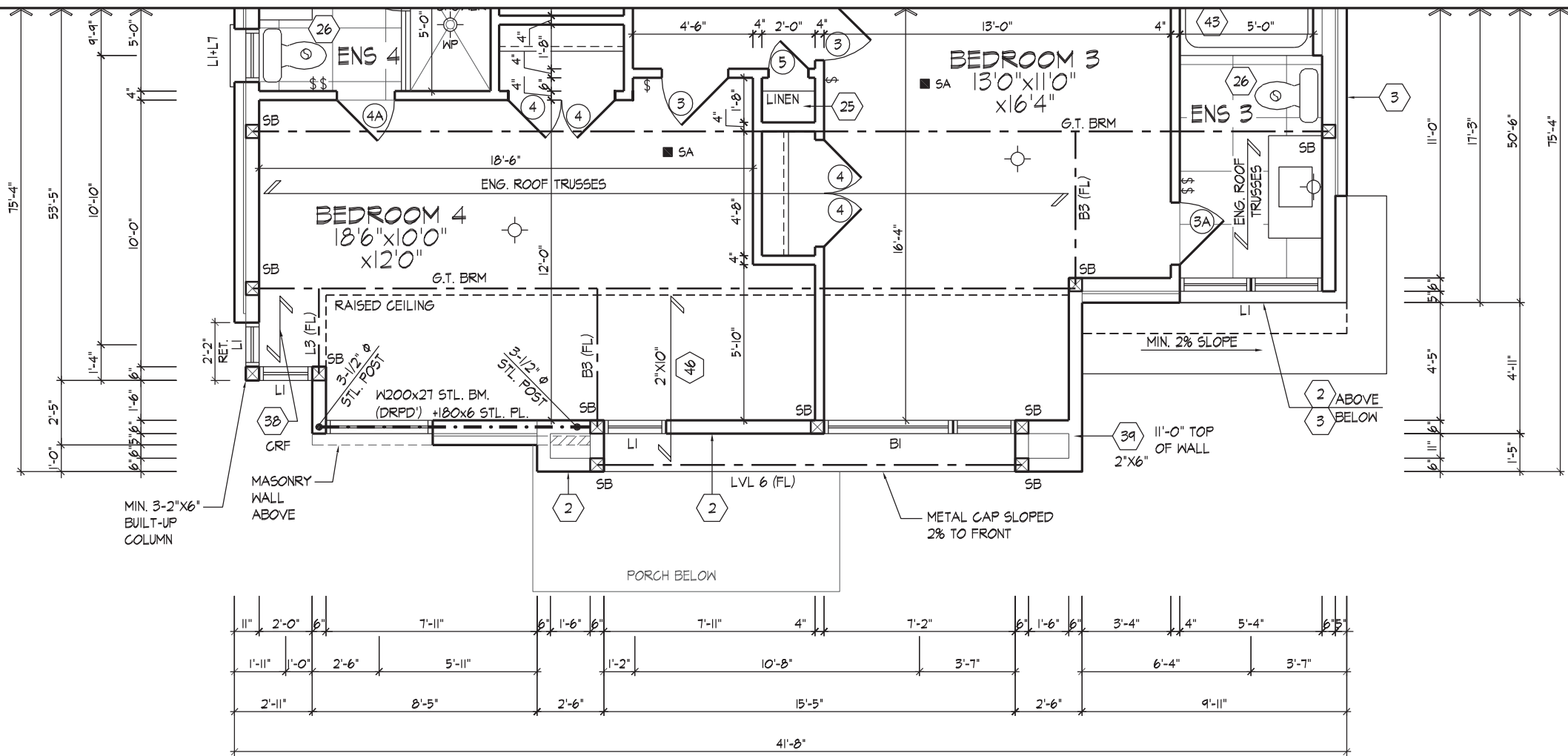
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

NOTE:  
STEP TRUSSES @ RAISED / TRAY CEILINGS

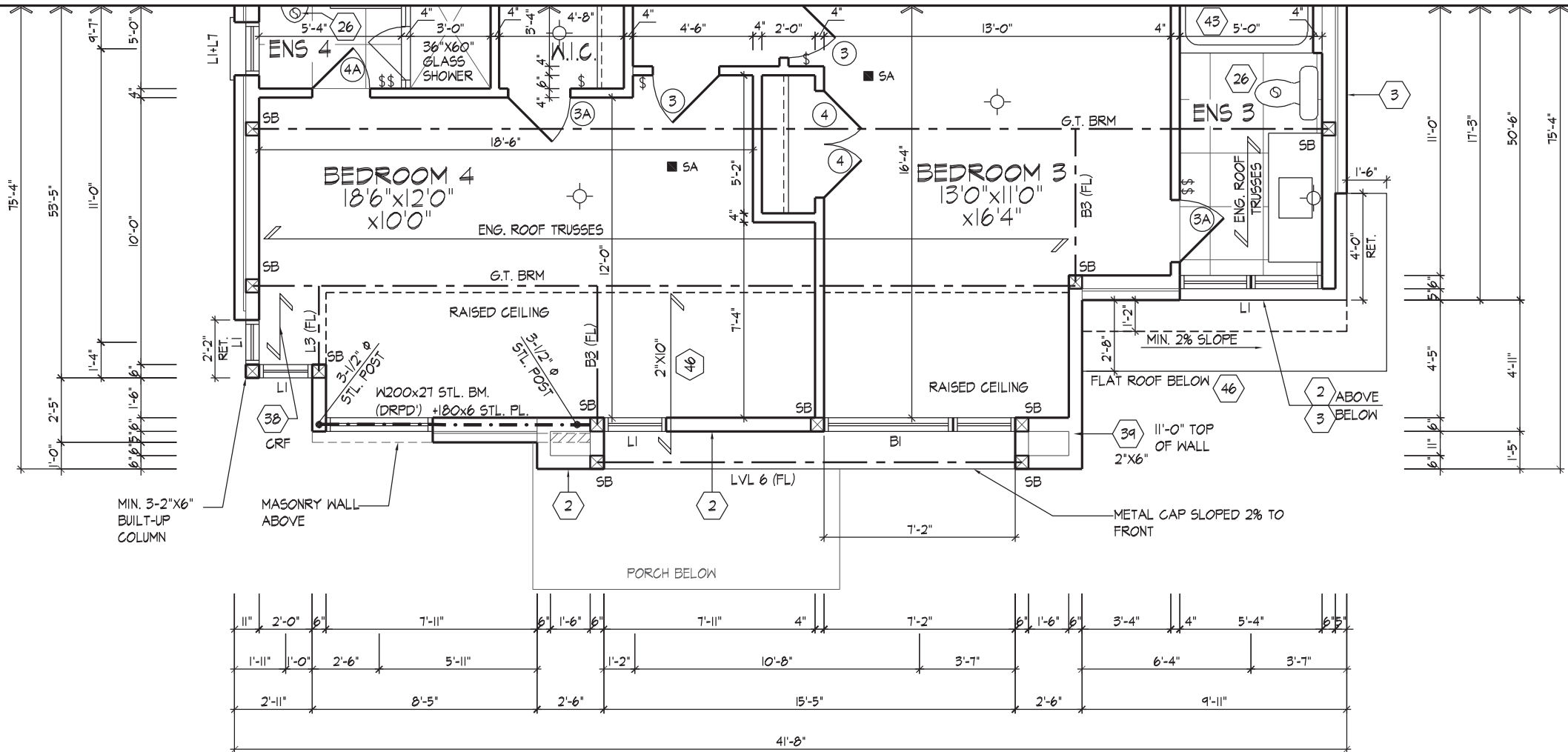
REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.



PART. OPT. 5 BED. SECOND FLOOR PLAN EL. 'C'

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.



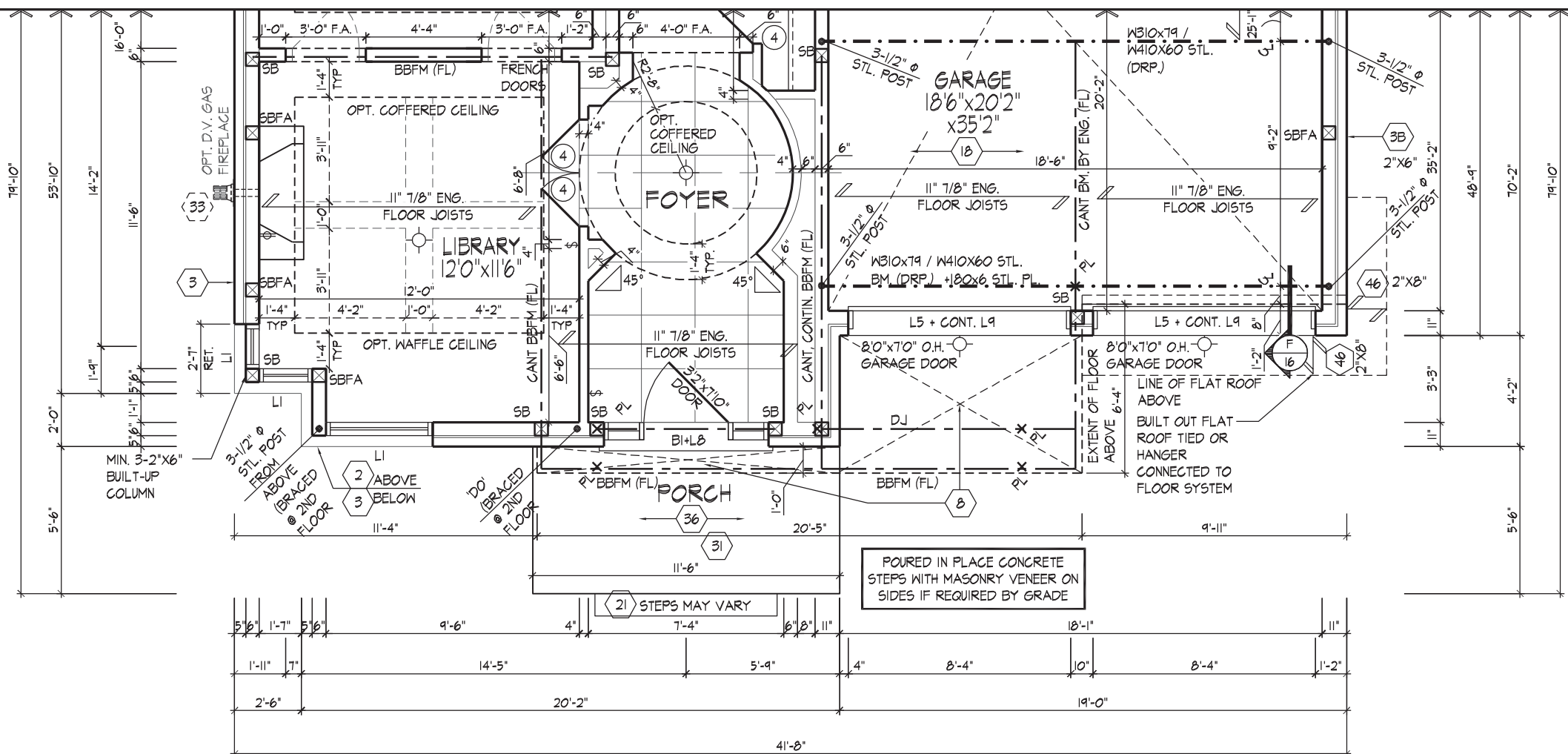
PART. SECOND FLOOR PLAN EL. 'C'

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS



PART. GROUND FLOOR PLAN EL. 'C'



FOR STRUCTURAL ONLY, EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

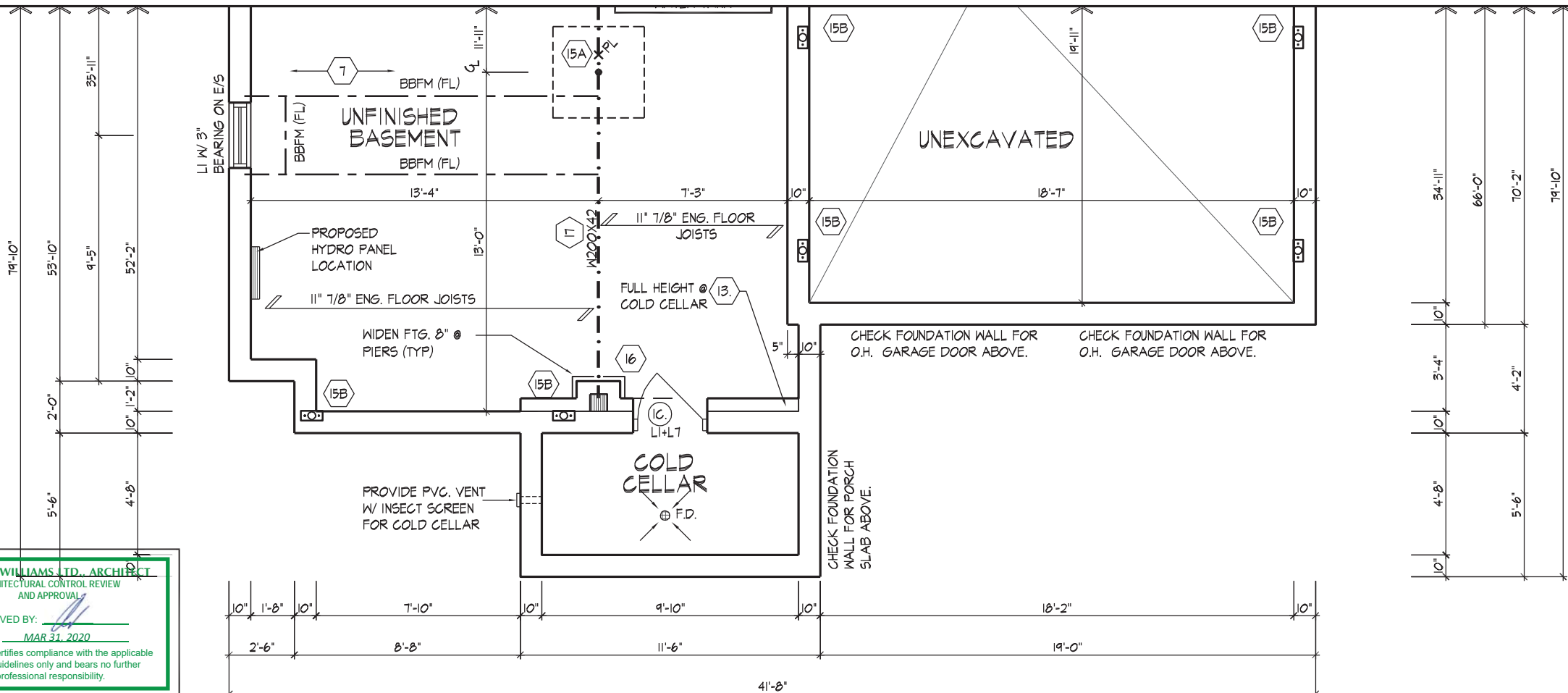
SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD. ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY: [Signature]  
DATE: MAR 31, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

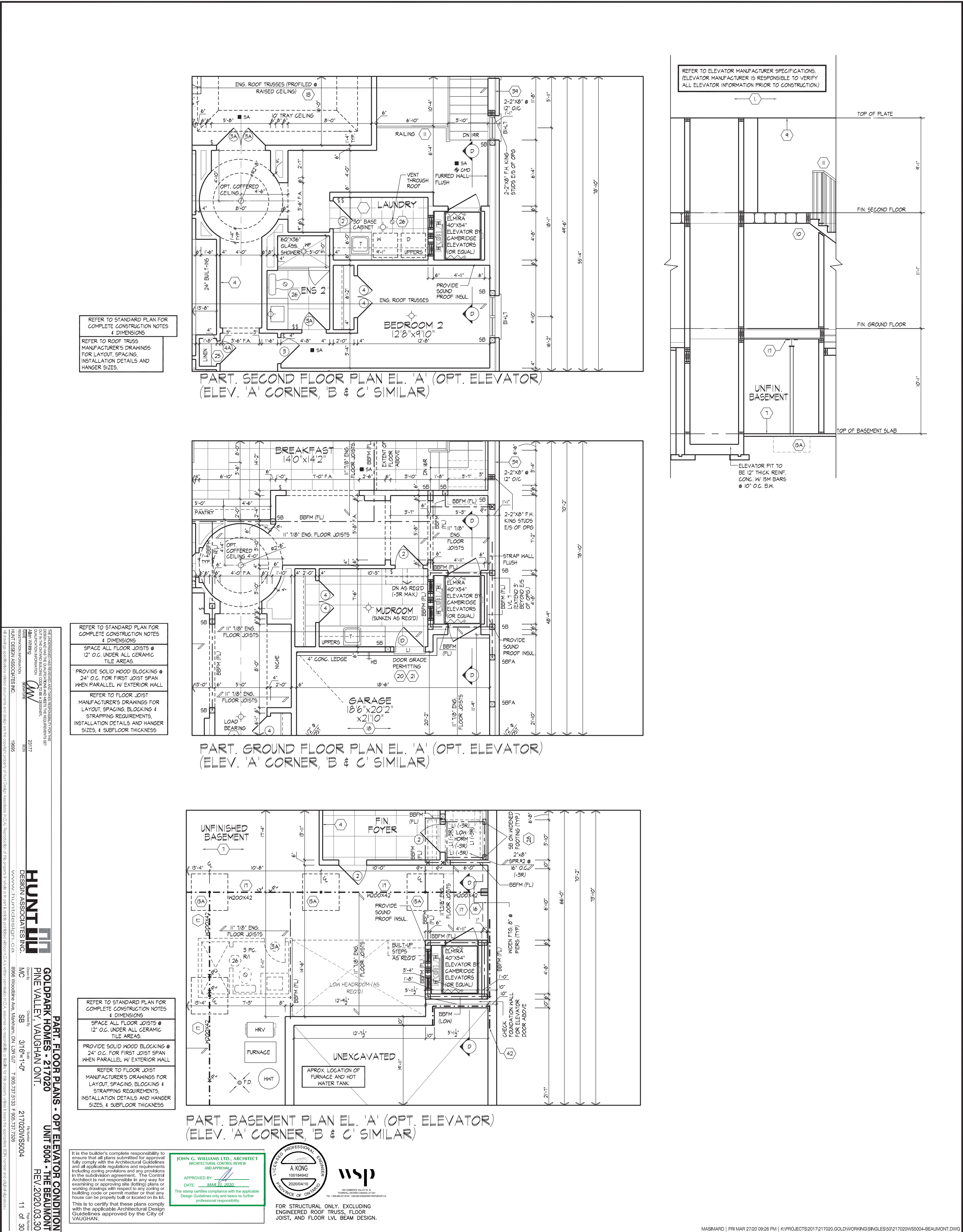


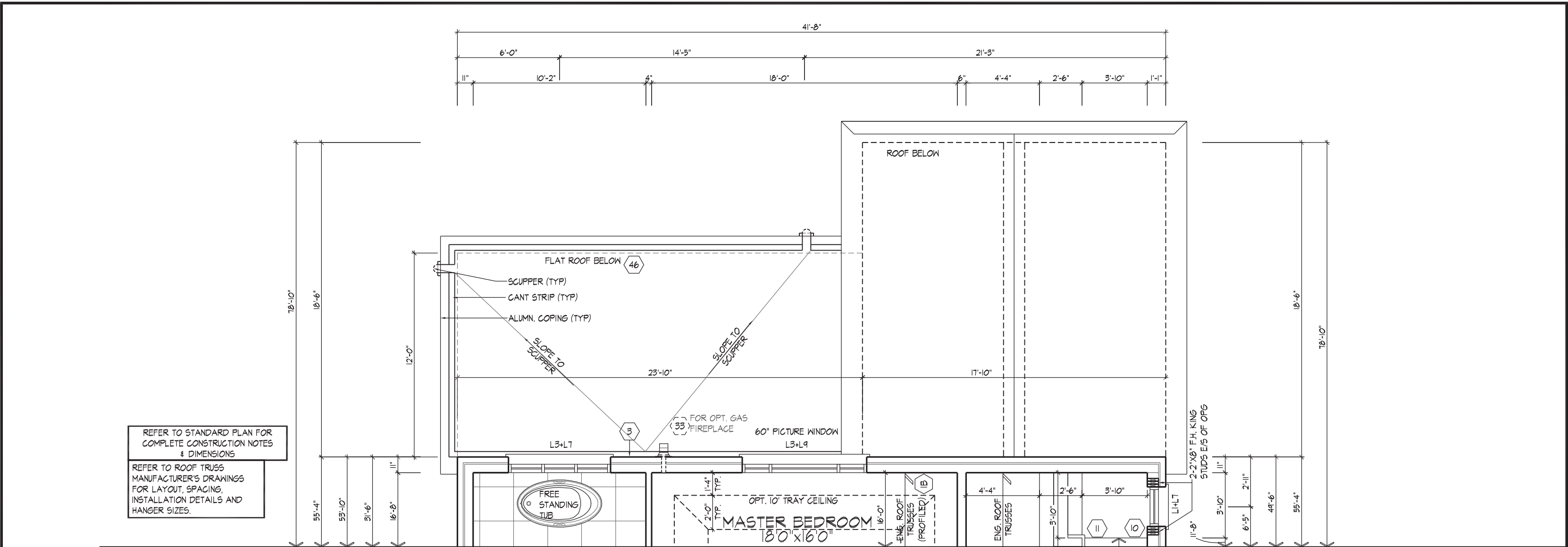
PART. BASEMENT PLAN EL. 'C'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND THE CALCULATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ARCHITECTURAL DESIGN STANDARDS AND SPECIFICATIONS OF THE PROFESSION OF ARCHITECTS.

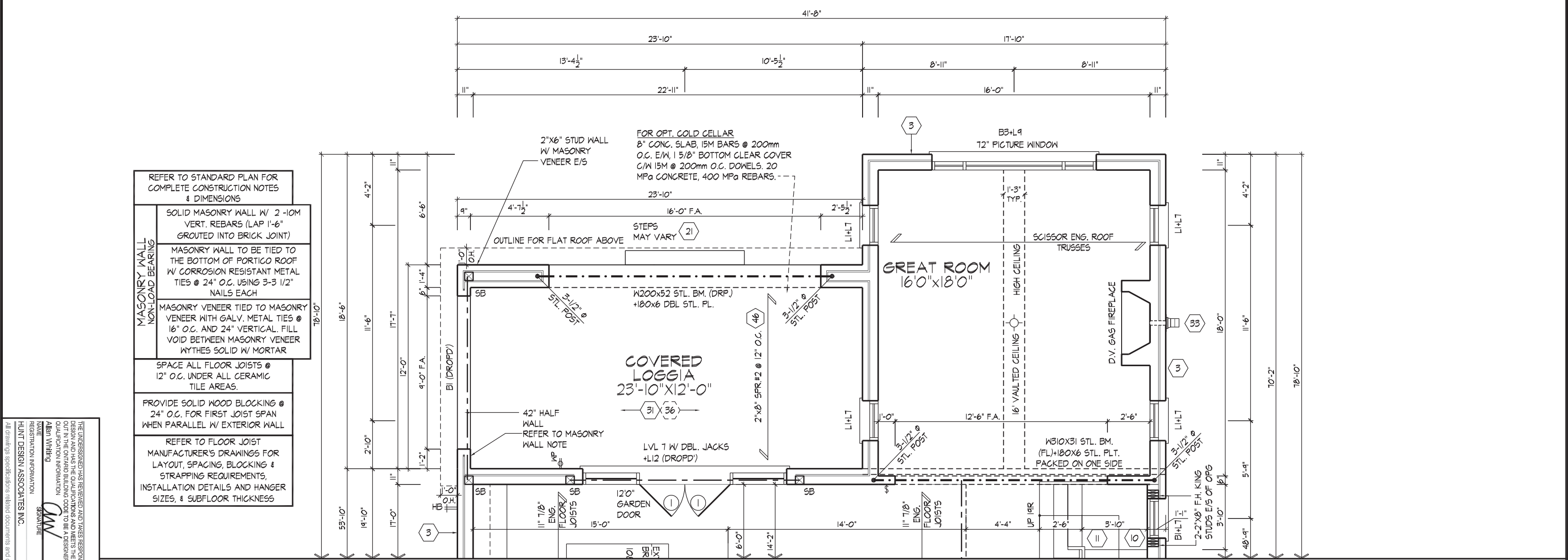
ALVIN WILKING  
HUNT DESIGN ASSOCIATES INC.  
23177  
19695  
VVAUVAU, HUNTEDALE CAN, C.A.  
DESIGN ASSOCIATES INC.  
8866 Woodbine Ave. Markham, ON L3R 0J7 T 905.737.9133 F 905.737.7326  
217020WS5004  
10 of 30



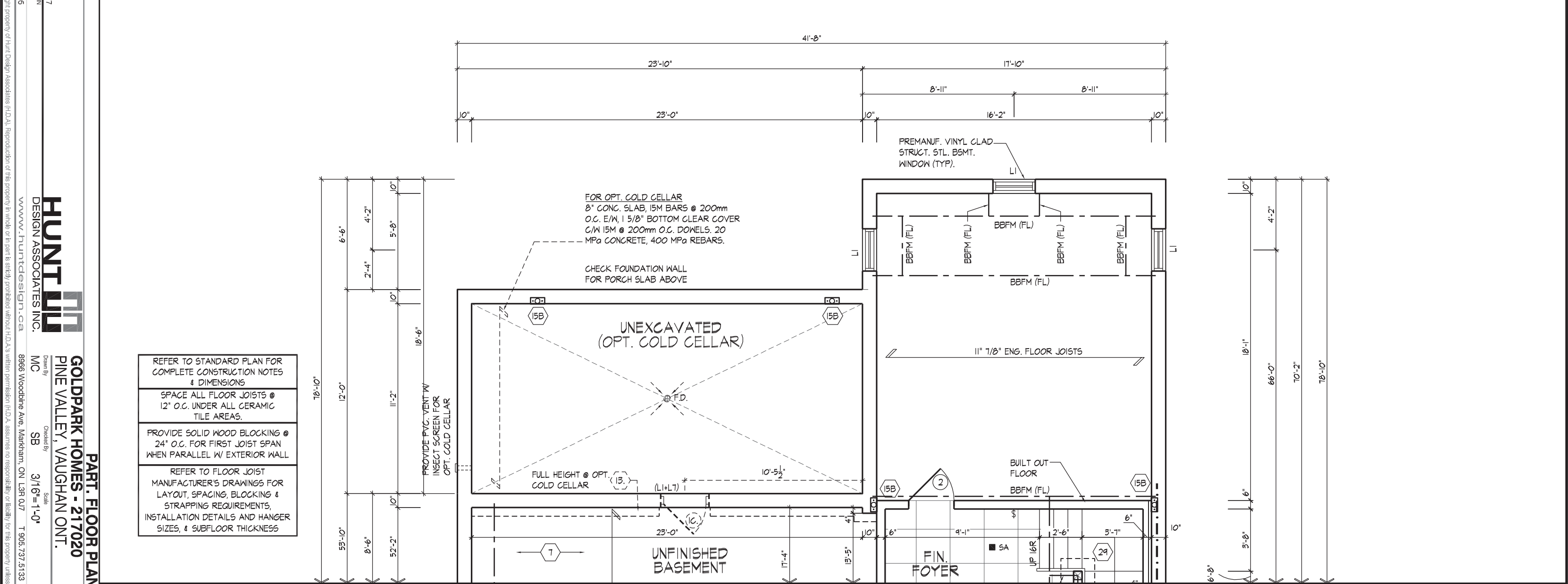




PART. SECOND FLOOR PLAN EL. 'A' - OPT. LOGGIA CONDITION  
(EL. 'B&C' SIMILAR)

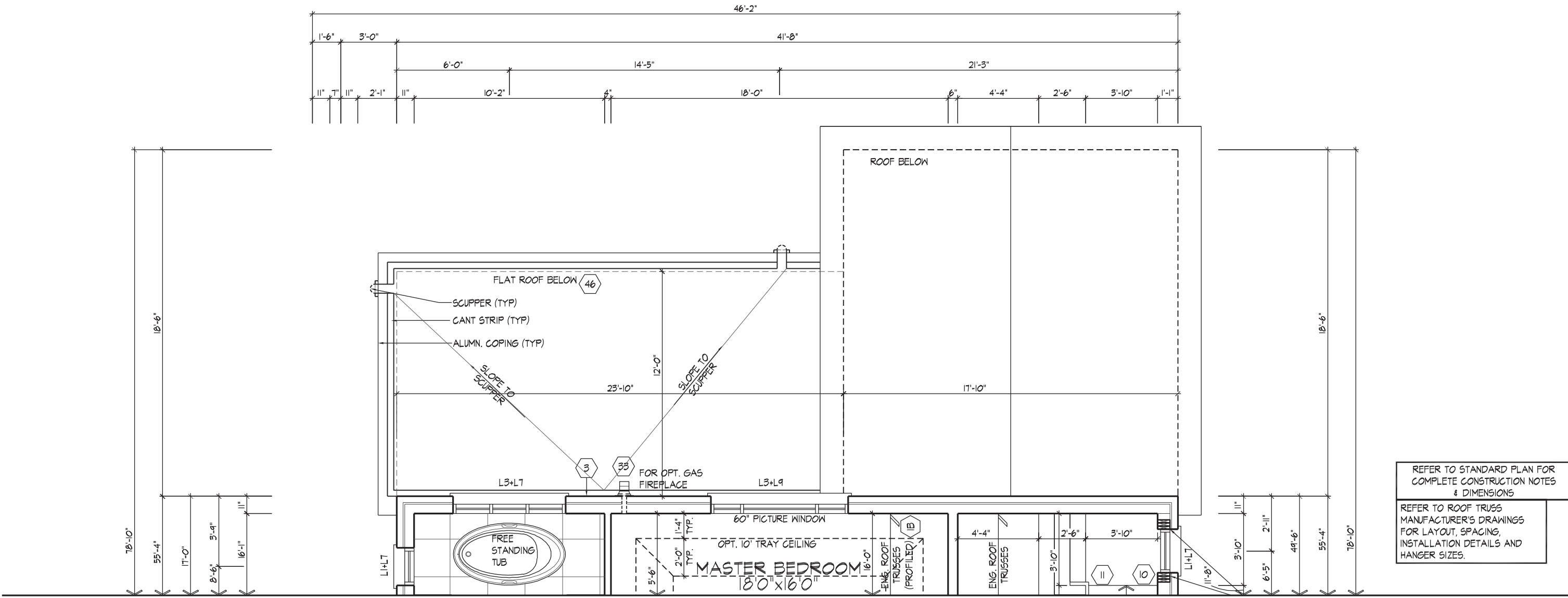


PART. GROUND FLOOR PLAN EL. 'A' - OPT. LOGGIA CONDITION  
(EL. 'B&C' SIMILAR)

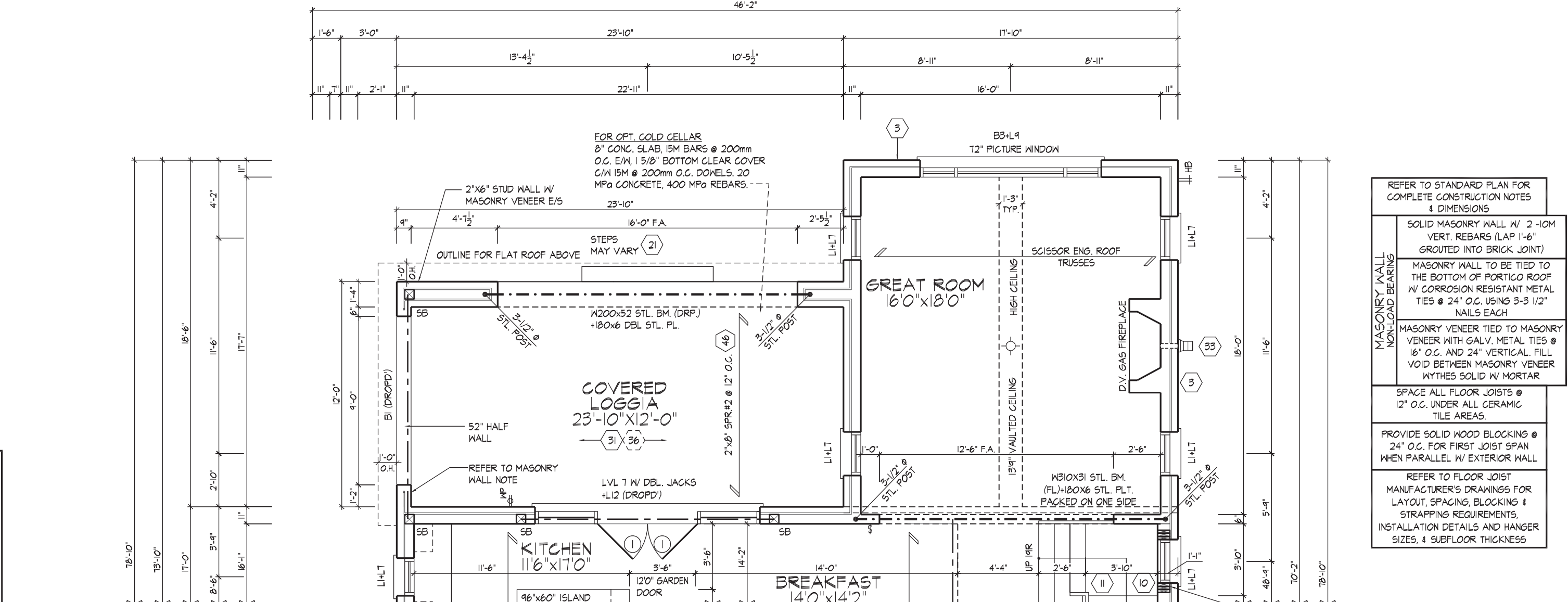


PART. BASEMENT PLAN EL. 'A' - OPT. LOGGIA CONDITION  
(EL. 'B&C' SIMILAR)

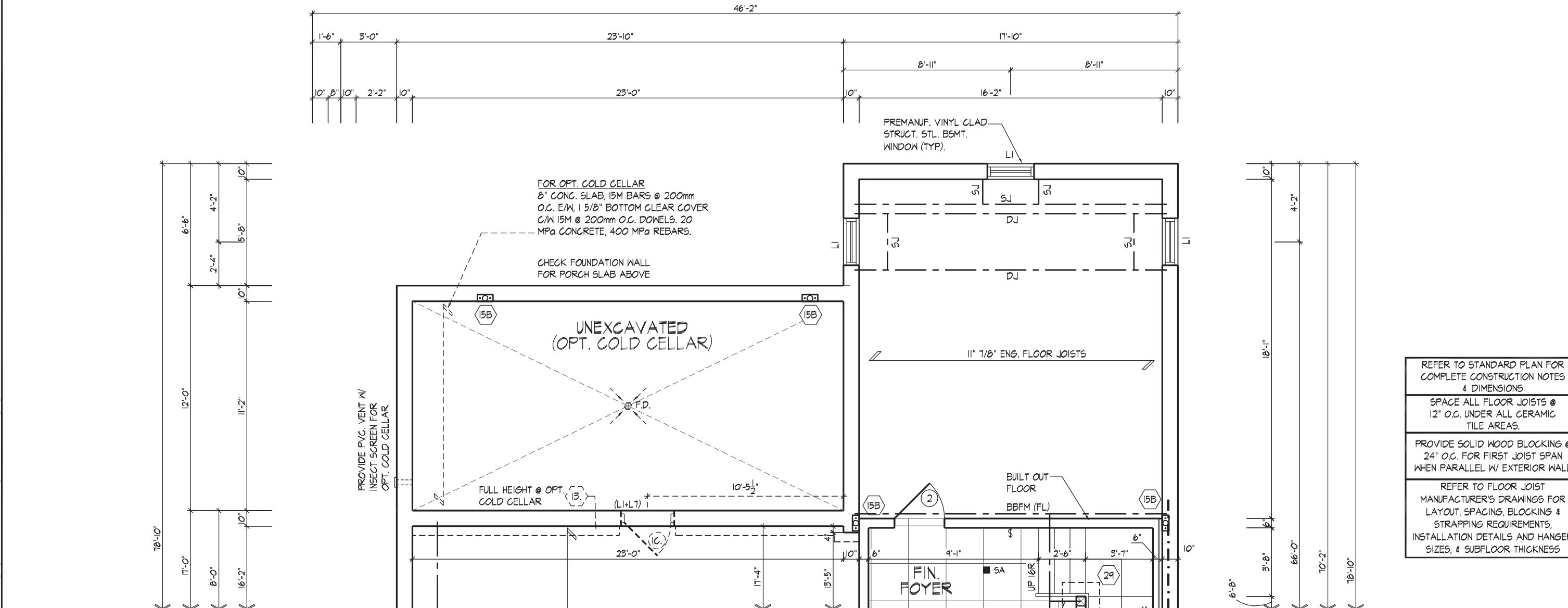




PART. SECOND FLOOR PLAN EL. 'A' CORNER - OPT. LOGGIA CONDITION



PART. GROUND FLOOR PLAN EL. 'A' CORNER - OPT. LOGGIA CONDITION



PART. BASEMENT PLAN EL. 'A' CORNER - OPT. LOGGIA CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: MAR 31, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



FOR STRUCTURAL ONLY, EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL. BEAM DESIGN.



REAR ELEVATION 'A' (EL. 'B&amp;C' SIMILAR)

FRONT ELEVATION 'A'

WINDOW SUMMARY				WINDOW SUMMARY				WINDOW SUMMARY				WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
REAR ELEV. A				REAR ELEV. A - OPT. 5 BDRM.				REAR ELEV. B				REAR ELEV. B - OPT. 5 BDRM.				REAR ELEV. C			
QUAN.	WIDTH	DEPTH	FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	FRAME SIZE (S.F.)
2	24"	56"	14.44	2	24"	56"	14.44	2	24"	56"	14.44	2	24"	56"	14.44	2	24"	56"	14.44
1	60"	56"	20.22	1	60"	56"	20.22	1	60"	56"	20.22	1	60"	56"	20.22	1	60"	56"	20.22
1	72"	56"	24.56	1	48"	56"	15.89	1	72"	56"	24.56	1	72"	56"	24.56	1	72"	56"	24.56
2	24"	68"	17.78	2	24"	68"	17.78	2	24"	68"	17.78	2	24"	68"	17.78	2	24"	68"	17.78
1	72"	68"	30.22	1	72"	68"	30.22	1	72"	68"	30.22	1	72"	68"	30.22	1	72"	68"	30.22
1	36"	16"	2.17	1	36"	16"	2.17	1	36"	16"	2.17	1	36"	16"	2.17	1	36"	16"	2.17
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
1	DOOR/TRAN	110.50	110.50	1	DOOR/TRAN	110.50	110.50	1	DOOR/TRAN	110.50	110.50	1	DOOR/TRAN	110.50	110.50	1	DOOR/TRAN	110.50	110.50
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION				SPATIAL CALCULATION				SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING	916.67	S.F.		EXPOSING BUILDING	916.67	S.F.		EXPOSING BUILDING	916.67	S.F.		EXPOSING BUILDING	916.67	S.F.		EXPOSING BUILDING	916.67	S.F.	
FACE AREA	85.16	S.M.		FACE AREA	85.16	S.M.		FACE AREA	85.16	S.M.		FACE AREA	85.16	S.M.		FACE AREA	85.16	S.M.	
PORTION WALL AREA	916.67	S.F.		PORTION WALL AREA	916.67	S.F.		PORTION WALL AREA	916.67	S.F.		PORTION WALL AREA	916.67	S.F.		PORTION WALL AREA	916.67	S.F.	
GLAZED AREA CALCULATED W/ FRAME SIZE	85.16	S.M.		GLAZED AREA CALCULATED W/ FRAME SIZE	85.16	S.M.		GLAZED AREA CALCULATED W/ FRAME SIZE	85.16	S.M.		GLAZED AREA CALCULATED W/ FRAME SIZE	85.16	S.M.		GLAZED AREA CALCULATED W/ FRAME SIZE	85.16	S.M.	
MINUS 2" AROUND ENTIRE PERIMETER				MINUS 2" AROUND ENTIRE PERIMETER				MINUS 2" AROUND ENTIRE PERIMETER				MINUS 2" AROUND ENTIRE PERIMETER				MINUS 2" AROUND ENTIRE PERIMETER			

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: MAR 31, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



[illegible]

It is the builder's complete responsibility to ensure that all plans submitted for approval are in compliance with the Architectural and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The County Architect is not responsible in any way for examining or approving the plans or any zoning or working drawings with respect to any zoning or building code or permit matter or that any other agency has property jurisdiction over the lot.

This is to certify that the plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: \_\_\_\_\_  
DATE: MAR 31, 2020

This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.

REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES & INFO.

ROOF OVERHANGS TO BE 15"  
FOR BELL CURVE ROOFS UNLESS  
NOTED OTHERWISE



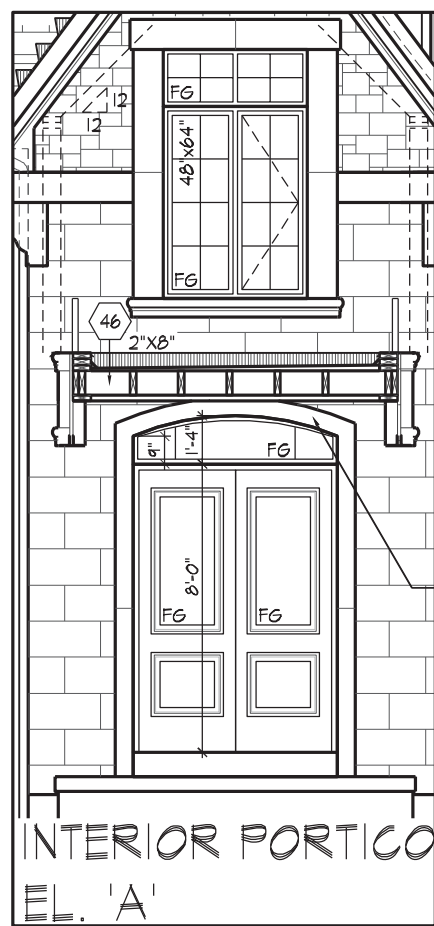
JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: \_\_\_\_\_

DATE: MAR 31, 2020

This stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
professional responsibility.





6" PRECAST CONC. ARCH ON  
PRECAST CONC. SURROUND  
W/ 1/2" PROJ. (TYP.)

INTERIOR PORTICO  
EL. 'A'

PROFILLED PRECAST  
CONC. ACCENT (TYP.)

8"x28" PRECAST CONC.  
IMPOST W/ 1/2" PROJ. (TYP.)  
PREMANUF. COPPER COLOURED  
DECORATIVE FLU (TYP.)  
2"x6" PREFIN. ALUM. CLAD  
WOOD FASCIA BOARD (TYP.)  
4"x12" STUCCO TRIM ON STUCCO  
PANEL W/ 6" RAISED TRIM ON  
CANAMOULD CAN-MS-014 (TYP.)

PREMANUF. FRIEZE BRD., CANAMOULD  
CODE: CAN-MS-014 (TYP.)  
PROVIDE CANT. L12 EVERY  
12" TO SUPPORT STONE  
OVER SLOPED CEILING

PREFIN. ALUM. GUTTER,  
RNL, FASCIA BOARD &  
VENTED SOFFIT (TYP.)

10" CONT. PRECAST  
CONC. BAND  
W/ 1/2" PROJ. (TYP.)

10" PRECAST CONC.  
BAND ON 12"x21"  
PRECAST CONC.  
ACCENT (TYP.)

10" PRECAST CONC.  
HEADER ON PRECAST  
CONC. SURROUND W/  
1/2" PROJ. (TYP.)

PRECAST CONC.  
PANEL (TYP.)

PROFILLED PRECAST  
CONC. SILL ON 10"  
PRECAST CONC. BAND  
W/ 1/2" PROJ. (TYP.)

POURED CONC.  
PORCH SLAB AND  
DOOR SILL (TYP.)

POURED CONC. FOUNDATION  
WALL AND FOOTING (TYP.)

PEEL & STICK ICE +  
WATER SHIELD FOR  
ADDITIONAL WATER  
PROTECTION (TYP.)

ROOF OVERHANGS TO BE 15"  
FOR BELL CURVE ROOFS UNLESS  
NOTED OTHERWISE

ASPHALT SHINGLES (TYP.)

VALLEY FLASHING (TYP.)

OUTLINE FOR SLOPED  
CEILING BEYOND

PREFMANUF. FIREZE  
BOARD  
(CANAMOULD,  
CAN-BAN-015) (TYP.)

10" PRECAST CONC.  
HEADER ON PRECAST  
CONC. SURROUND W/  
1/2" PROJ. (TYP.)

STONE VENEER (TYP.)

PROFILLED PRECAST CONC.  
SILL W/ 1/2" PROJ. (TYP.)

PREFIN. MTL. FLASHING W/  
CAULKING TO MATCH  
MASONRY COLOUR (TYP.) FIN. SECOND  
FLOOR

PREFIN. SEAMED METAL  
ROOF (TYP.)

COACH LAMP (TYP.)

ADDRESS PLAQUE

PROFILLED PRECAST  
CONC. BAND ON 10"  
PRECAST CONC. HEADER  
W/ 1/2" PROJ. (TYP.)

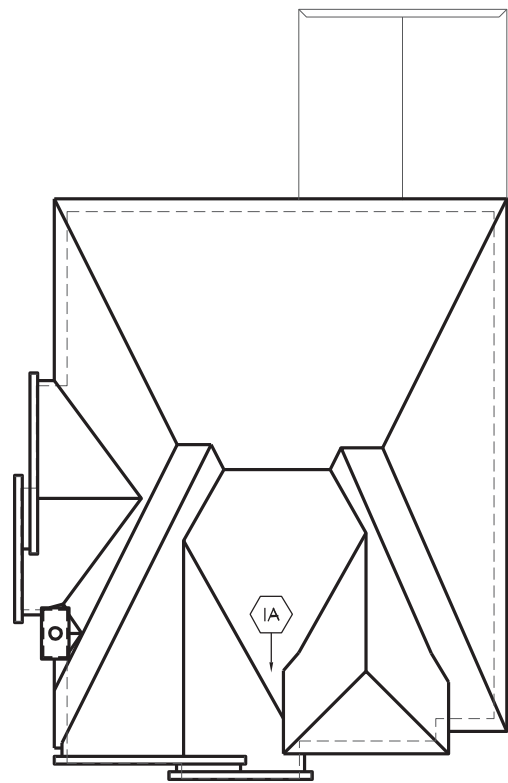
SMOOTH STONE  
VENEER (TYP.)

POURED IN PLACE CONCRETE  
STEPS WITH MASONRY VENEER ON  
SIDES IF REQUIRED BY GRADE

STEPPED  
FOOTINGS (TYP.)

FRONT ELEVATION 'A' - CORNER

ROOF PLAN  
ELEV. 'A' CORNER  
N.T.S.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY:   
DATE: MAR 31, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.  
QUALIFICATION INFORMATION  
NAME: Allan Whiting  
SIGNATURE:   
REGISTRATION INFORMATION: BCIN 23177  
HUNT DESIGN ASSOCIATES INC. 19695

HUNT  
DESIGN ASSOCIATES INC.  
www.huntdesign.ca

GOLDPARK HOMES - 217020  
PINE VALLEY, VAUGHAN ONT.  
Down By: MC  
Checked By: SB  
Scale: 3/16"=1'-0"  
8966 Woodbine Ave, Markham, ON L3R 0J7  
T 905.737.5133 F 905.737.7326

FRONT ELEVATION 'A' CORNER  
UNIT 5004 - THE BEAUMONT  
REV.2020.03.30

File Number: 217020WS5004  
Page Number: 17 of 30

Architectural elevation drawing of a two-story house with a gabled roof. The drawing shows the exterior walls, windows, and roof details. Key features include a central chimney, a gabled roof with a 4:12 saddle, and various window types including double-hung and bay windows. The drawing includes dimensions for heights and widths, as well as material callouts for roof shingles, flashing, precast concrete, and masonry. A table of spatial calculations is provided in the top right corner.

PORTION WALL AREA		PORTION WALL AREA	
LIMITING DISTANCE	10.14 m	LIMITING DISTANCE	1.5 m
MAX. % OPENINGS	40 %	MAX. % OPENINGS	7 %
OPENINGS ALLOWED	110.48 S.F.	OPENINGS ALLOWED	85.45 S.F.
OPENINGS PROVIDED	23.50 S.F.	OPENINGS PROVIDED	82.89 S.F.

ADDITIONAL NOTES:  
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER

ADDITIONAL NOTES:  
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER

NOTED OTHER:

ASPHALT SHINGLES (TYP.)

VALLEY FLASHING (TYP.)

PREFIN. MTL. FLASHING W/ CAULKING TO MATCH MASONRY COLOUR (TYP.)

PEEL & STICK ICE + WATER SHIELD FOR ADDITIONAL WATER PROTECTION (TYP.)

PREMANUF. FIREZARD BOARD (CANAMOULD: CAN-BAN-015) (TYP.)

TOP OF PLATE

TOP OF WINDOW

2"x6" PREFIN. ALUM. CLAD WOOD FASCIA BOARD (TYP.)

PREMANUF. FRIEZE BRD. (CANAMOULD CODE: CAN-MS-014) (TYP.)

FIN. SECOND FLOOR

SCUPPER

SMOOTH STONE VENEER (TYP.)

TOP OF WINDOW

FACE BRICK (TYP.)

FIN. GROUND FLOOR

FIN. GRADE

POURED CONC. FOUNDATION WALL AND FOOTING (TYP.)

TOP OF BASEMENT SLAB

PROFILES PRECAST CONC. ACCENT (TYP.)

8"x28" PRECAST CONC. IMPOST W/ 1/2" PROJ. (TYP.)

PROVIDE CANT. L12 EVERY 12" TO SUPPORT STONE OVER SLOPED CEILING

4:12 ROOF SADDLE

WALL HEIGHT

1'-1" U/S OF SOFFIT

5'-8" U/S OF SOFFIT

1'-5" OH.

FACE BRICK (TYP.)

10'-4" U/S OF SOFFIT

30"x16"

STEPS MAY VARY (2)

30"x16"

PORTION 2

EXTENTS OF SPATIAL CALCULATIONS. REFER TO WINDOW SUMMARY FOR ADDITIONAL INFORMATION

PORTION 1

EXTENTS OF SPATIAL CALCULATIONS. REFER TO WINDOW SUMMARY FOR ADDITIONAL INFORMATION

OUTLINE FOR OPT. LOGGIA COND. (REFER TO PG. #21 FOR ADDITIONAL INFORMATION)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: MAR 31, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES & INFO.

ROOF OVERHANGS TO BE 15"  
FOR BELL CURVE ROOFS UNLESS  
NOTED OTHERWISE



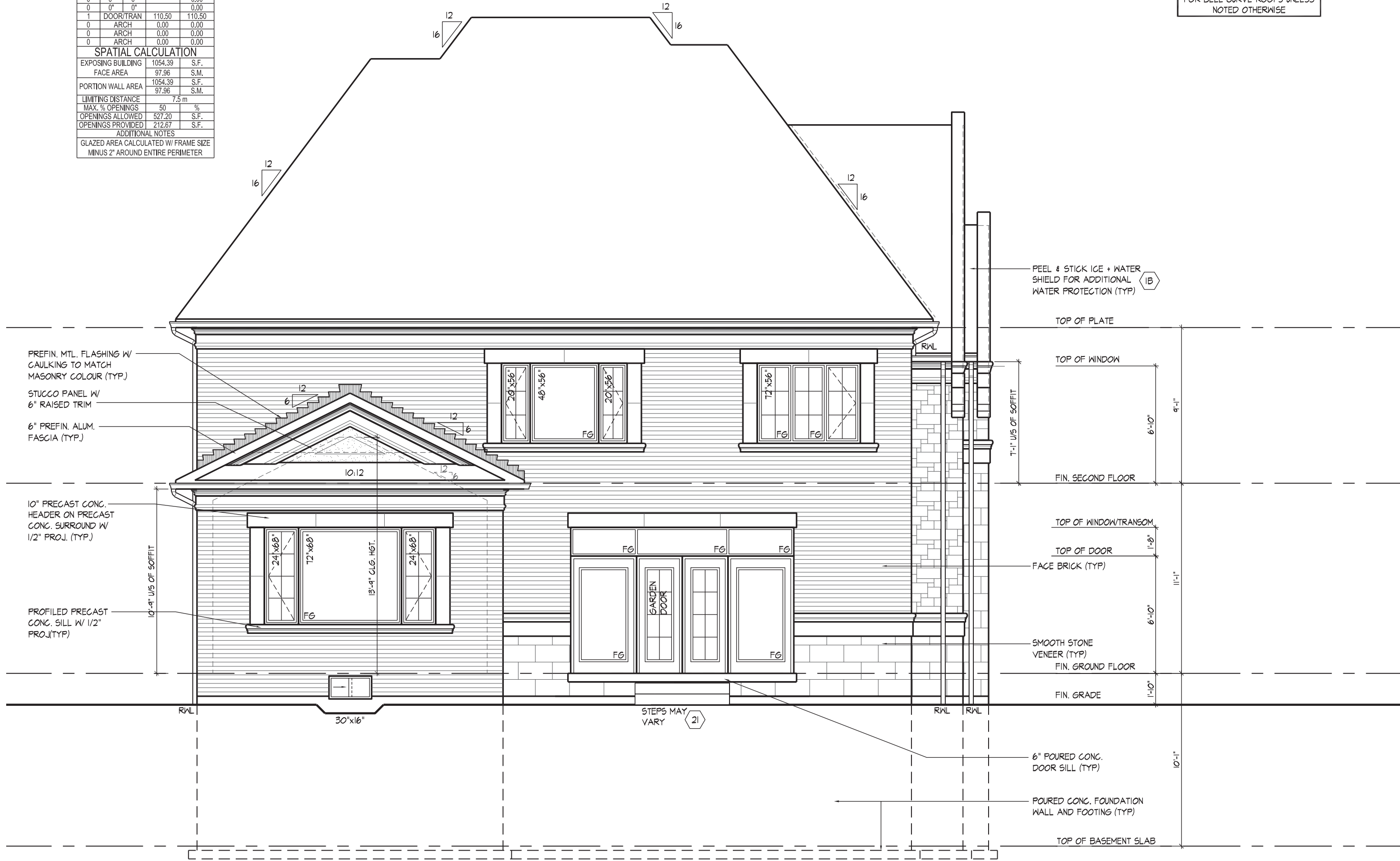
**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: \_\_\_\_\_

DATE: MAR 31, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

WINDOW SUMMARY			
PER O.B.C. TABLE 8.10.15.4			
REAR ELEV. A CORNER			
QUAN.	WIDTH	DEPTH	WINDOW/DOOR FRAME SIZE (S.F.)
2	20"	56"	11.56
1	48"	56"	15.89
1	72"	56"	24.56
2	24"	68"	17.78
1	72"	68"	30.22
1	30"	16"	2.17
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
1	DOOR/TRAN	110.50	110.50
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	1054.39	S.F.	
FACE AREA	97.96	S.M.	
PORTION WALL AREA	1054.39	S.F.	
	97.96	S.M.	
LIMITING DISTANCE	7.5 m		
MAX. % OPENINGS	50	%	
OPENINGS ALLOWED	527.20	S.F.	
OPENINGS PROVIDED	212.87	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES & INFO.  
ROOF OVERHANGS TO BE 15"  
FOR BELL CURVE ROOFS UNLESS  
NOTED OTHERWISE

REAR ELEVATION 'A' - CORNER

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY:   
DATE: MAR 11, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION  
Allan Whiting 23177  
SIGNATURE BCIN  
NAME  
REGISTRATION INFORMATION  
HUNT DESIGN ASSOCIATES INC. 19695

**HUNT**  
DESIGN ASSOCIATES INC.  
www.hunt-design.ca

**GOLDPARK HOMES - 217020**  
PINE VALLEY, VAUGHAN ONT.

Drawn By MC Checked By SB Scale 3/16"=1'-0"

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

**REAR ELEVATION 'A' CORNER**  
**UNIT 5004 - THE BEAUMONT**  
REV.2020.03.30

File Number 217020WS5004

Page Number 20 of 30

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A.). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature.)





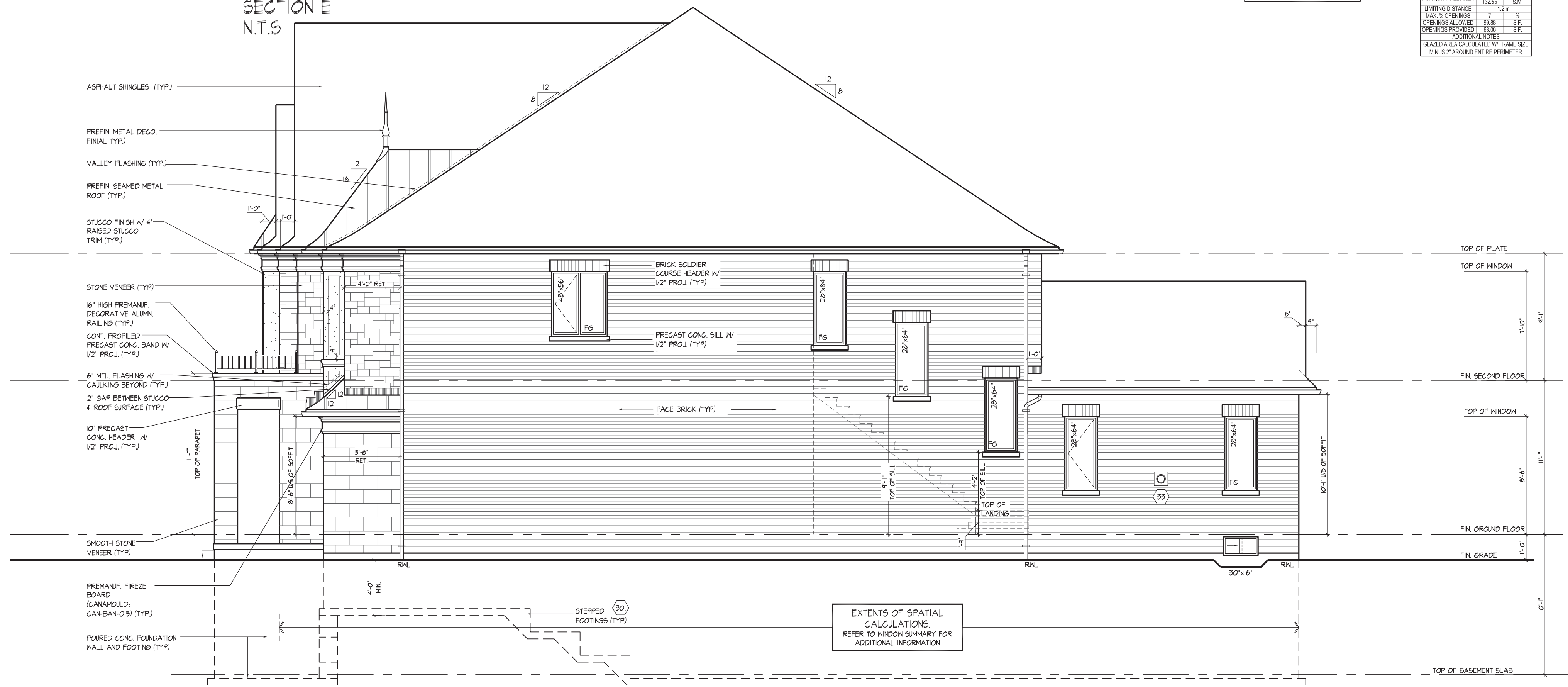




REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES & INFO.

ROOF OVERHANGS TO BE 15"  
FOR BELL CURVE ROOFS UNLESS  
NOTED OTHERWISE

WINDOW SUMMARY			
PER O.B.C. TABLE 10.10.15.4			
RIGHT SIDE ELEVATION B			
QUANT.	UNIT	HEIGHT / DEPTH	WINDOW / DOOR FRAME SIZE / S.F.
1	48"	56"	15.8
5	28"	64"	50.00
0	30"	16"	2.17
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
<b>SPATIAL CALCULATION</b>			
EXPOSING BUILDING		1426.79	S.F.
FACE AREA		132.55	S.F.
PORTION WALL AREA		132.55	S.F.
LIMITING DISTANCE		7	1.2 m
MAX. 2' OPENINGS			
OPENINGS ALLOWED		99.88	S.F.
OPENINGS PROVIDED		68.06	S.F.
<b>ADDITIONAL NOTES</b>			
GLAZED AREA CALCULATED IN FRAME SIZE			
MINUS 2' AREA ENTIRE PERIMETER			



RIGHT SIDE ELEVATION 'B'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for approving or disapproving (noting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: MAR 31, 2020

This stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Allan Whiting

NAME

REGISTRATION INFORMATION

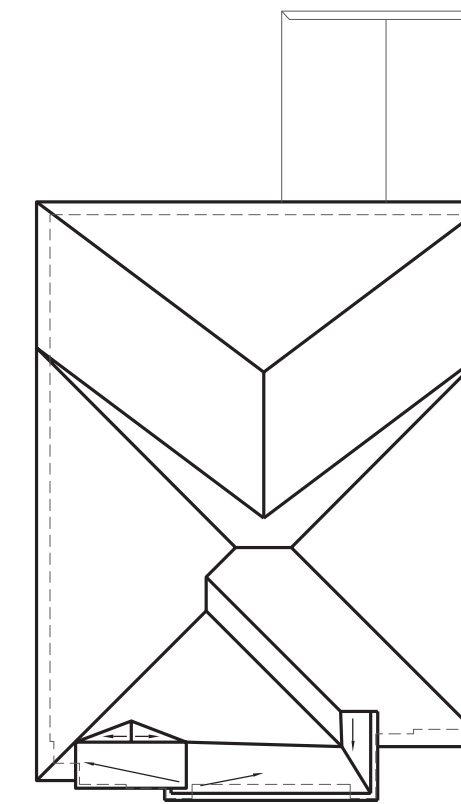
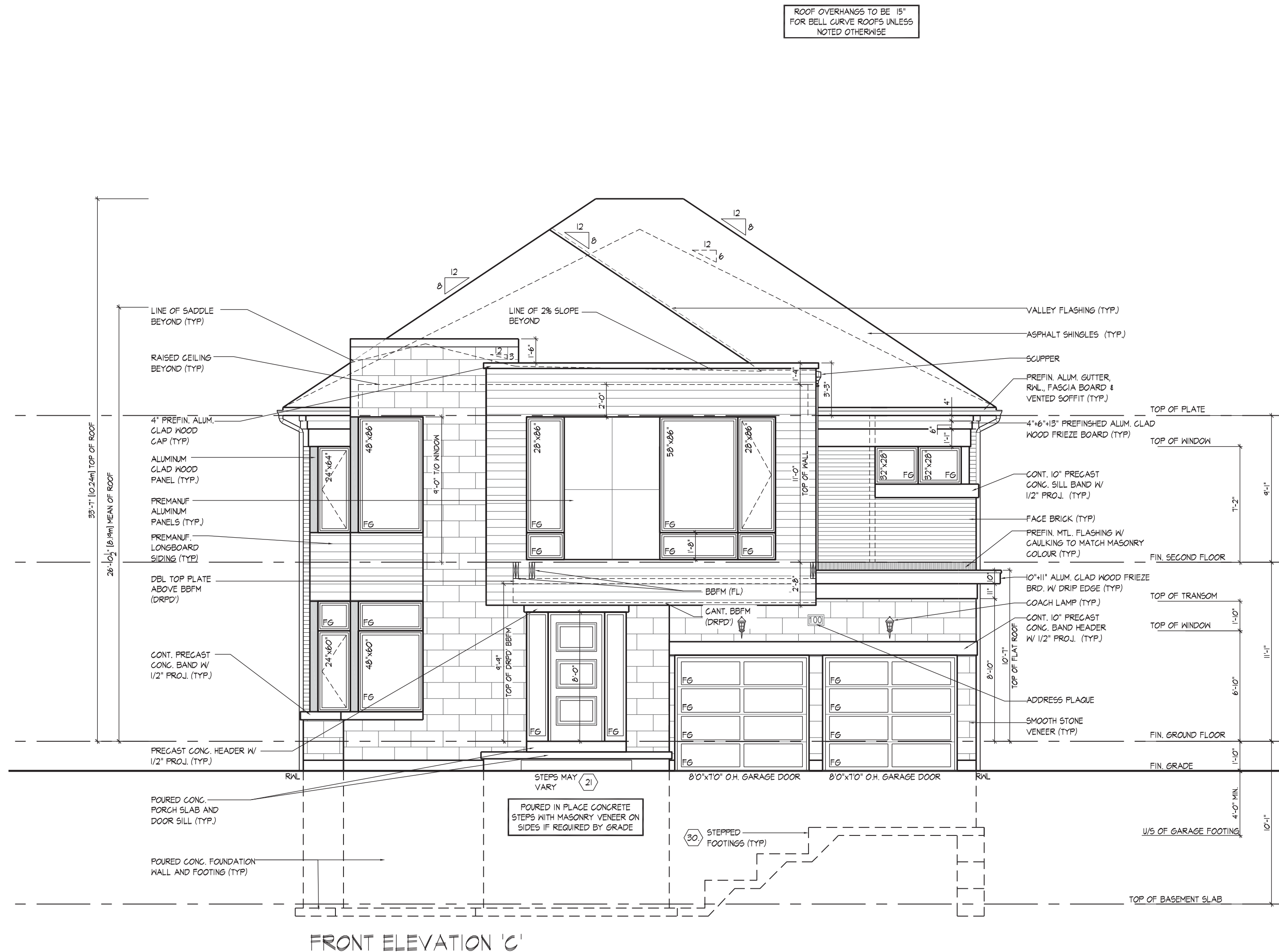
HUNT DESIGN ASSOCIATES INC.

**HUNT**   
DESIGN ASSOCIATES INC.  
[www.huntdesign.ca](http://www.huntdesign.ca)

**GOLDPARK HOMES - 217020**  
PINE VALLEY, VAUGHAN ONT.

**RIGHT SIDE ELEVATION 'B'**  
**UNIT 5004 - THE BEAUMONT**  
REV.2020.03.30

Allan Whiting		23177			Drawn By <b>MC</b>	Checked By <b>SB</b>	Scale <b>3/16"=1'-0"</b>	File Number <b>217020WS5004</b>	Page Number <b>23 of 30</b>
NAME		SIGNATURE	BCIN						
REGISTRATION INFORMATION									
HUNT DESIGN ASSOCIATES INC.		19695	<a href="http://www.huntdesign.ca">www.huntdesign.ca</a>		8966 Woodbine Ave, Markham, ON L3R 0T7 T 905.737.5133 F 905.737.7326				



ROOF PLAN  
ELEV. 'C'  
N.T.S.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:

DATE: MAR 11, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION:  
NAME: Allan Whiting BCIN: 23177  
REGISTRATION INFORMATION:  
HUNT DESIGN ASSOCIATES INC. 19695

**HUNT**  
DESIGN ASSOCIATES INC.  
www.hunt-design.ca

**GOLDPARK HOMES - 217020**  
PINE VALLEY, VAUGHAN ONT.

Drawn By: MC Checked By: SB Scale: 3/16"=1'-0"

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

**FRONT ELEVATION 'C'**  
**UNIT 5004 - THE BEAUMONT**  
REV.2020.03.30

File Number: 217020WS5004 Page Number: 24 of 30

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A.). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature.)





**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: \_\_\_\_\_

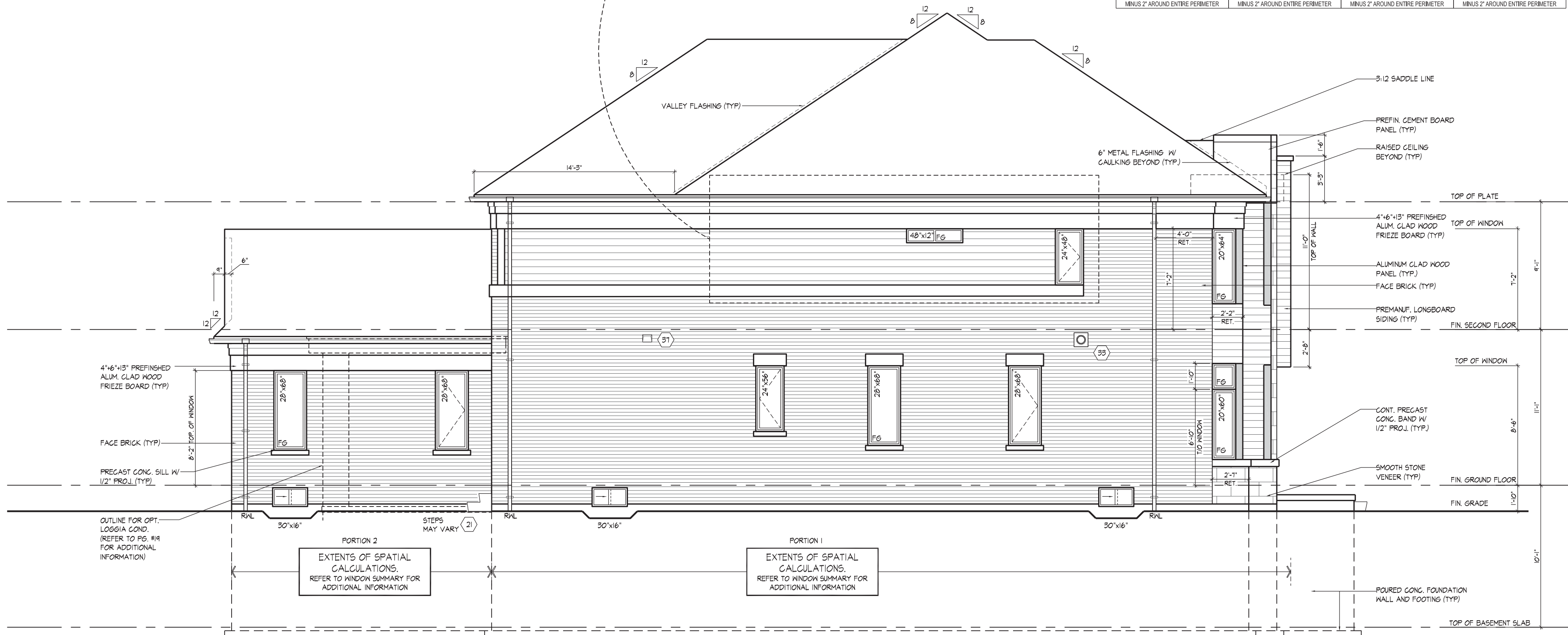
DATE: MAR 31, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

ROOF OVERHANGS TO BE 15"  
FOR BELL CURVE ROOFS UNLESS  
NOTED OTHERWISE  
REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES & INFO.

PART. LEFT SIDE ELEVATION  
'C' FOR OPT. 5 BEDROOM

WINDOW SUMMARY				WINDOW SUMMARY				WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION C -				LEFT SIDE ELEVATION C -				LEFT SIDE ELEVATION C - OPT. 5				LEFT SIDE ELEVATION C - OPT. 5			
PORTION 1				PORTION 2				BEDRM. - PORTION 1				BEDRM. - PORTION 2			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	24"	66"	4.33	2	28"	66"	21.33	2	24"	66"	4.33	2	28"	66"	21.33
1	20"	64"	6.67	0	0"	0"	0.00	1	20"	64"	6.67	0	0"	0"	0.00
1	20"	60"	6.22	0	0"	0"	0.00	1	20"	60"	6.22	0	0"	0"	0.00
1	20"	22"	2.00	0	0"	0"	0.00	1	20"	22"	2.00	0	0"	0"	0.00
1	24"	48"	6.11	0	0"	0"	0.00	3	24"	48"	18.33	0	0"	0"	0.00
1	48"	12"	2.44	0	0"	0"	0.00	1	48"	52"	14.87	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION				SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING	1479.30	S.F.		EXPOSING BUILDING	1479.30	S.F.		EXPOSING BUILDING	1479.30	S.F.		EXPOSING BUILDING	1479.30	S.F.	
FACE AREA	137.43	S.M.		FACE AREA	137.43	S.M.		FACE AREA	137.43	S.M.		FACE AREA	137.43	S.M.	
PORTION WALL AREA	1257.13	S.F.		PORTION WALL AREA	222.17	S.F.		PORTION WALL AREA	1257.13	S.F.		PORTION WALL AREA	222.17	S.F.	
PORTION WALL AREA	116.79	S.M.		PORTION WALL AREA	20.64	S.M.		PORTION WALL AREA	116.79	S.M.		PORTION WALL AREA	20.64	S.M.	
LIMITING DISTANCE	1.2 m			LIMITING DISTANCE	8.4 m			LIMITING DISTANCE	1.2 m			LIMITING DISTANCE	8.4 m		
MAX. % OPENINGS	7	%		MAX. % OPENINGS	28	%		MAX. % OPENINGS	7	%		MAX. % OPENINGS	28	%	
OPENINGS ALLOWED	88.00	S.F.		OPENINGS ALLOWED	62.21	S.F.		OPENINGS ALLOWED	88.00	S.F.		OPENINGS ALLOWED	62.21	S.F.	
OPENINGS PROVIDED	66.33	S.F.		OPENINGS PROVIDED	23.50	S.F.		OPENINGS PROVIDED	88.78	S.F.		OPENINGS PROVIDED	23.50	S.F.	
ADDITIONAL NOTES				ADDITIONAL NOTES				ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



LEFT SIDE UPGRADE ELEVATION 'C'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

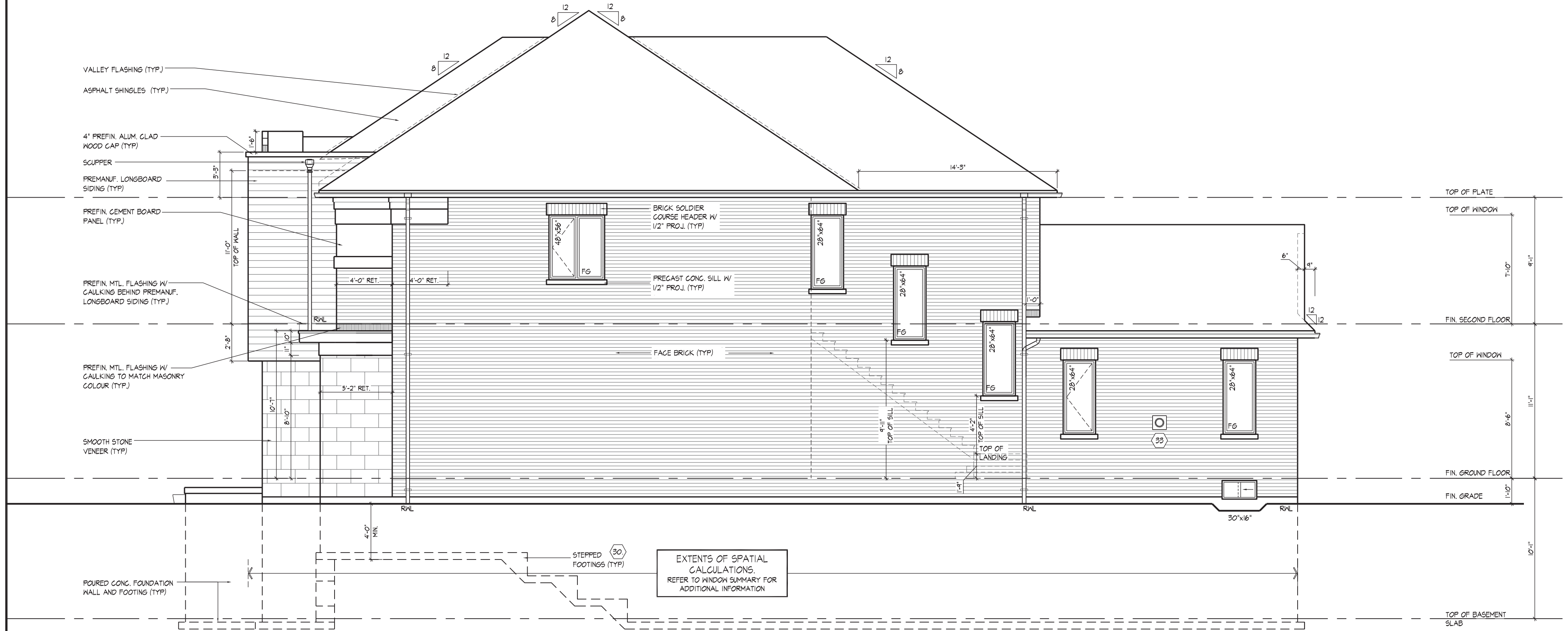
JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY:   
DATE: MAR 31, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES & INFO.

ROOF OVERHANGS TO BE 15"  
FOR BELL CURVE ROOFS UNLESS  
NOTED OTHERWISE

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
RIGHT ELEV ELEVATION C			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	48"	56"	15.89
5	28"	64"	50.00
0	36"	16"	2.17
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING FACE AREA		1482.03	S.F.
PORTION WALL AREA		137.69	S.M.
		1482.03	S.F.
PORTION WALL AREA		137.69	S.M.
LIMITING DISTANCE		7	1.2 m
OPENINGS ALLOWED		103.74	S.F.
OPENINGS PROVIDED		88.86	S.F.
ADDITIONAL NOTES			
GLAZED AREA CALCULATED BY FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



RIGHT SIDE ELEVATION 'C'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: \_\_\_\_\_  
DATE: MAR 31, 2020

This stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME	ALLAN WHITTING	2317
SIGNATURE		BCR
REGISTRATION INFORMATION		
HUNT DESIGN ASSOCIATES INC.		1969

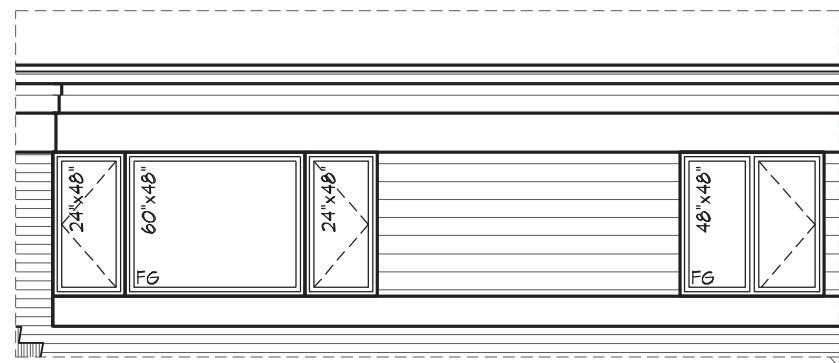
All drawings specifications related documents and design are the copyright of Hunt Design Associates Inc.

**HUNT**   
DESIGN ASSOCIATES INC.  
[www.huntdesign.ca](http://www.huntdesign.ca)

**GOLDPARK HOMES - 217020**  
**PINE VALLEY, VAUGHAN ONT.**

Drawn By	Checked By	Scale
MC	SB	3/16"=1'-0"

**RIGHT SIDE ELEVATION 'C'**  
**UNIT 5004 - THE BEAUMONT**  
REV.2020.03.30



PART. REAR ELEV. 'A' -  
OPT. 5 BEDRM.  
CONDITION  
(EL. 'B' & 'C' SIMILAR)

REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES & INFO.  
ROOF OVERHANGS TO BE 15"  
FOR BELL CURVE ROOFS UNLESS  
NOTED OTHERWISE



UPGRADED REAR ELEVATION 'C'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY:   
DATE: MAR 31, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.  
QUALIFICATION INFORMATION:  
NAME: Allan Whiting SIGNATURE: BCIN: 23177  
REGISTRATION INFORMATION:  
HUNT DESIGN ASSOCIATES INC. 19695

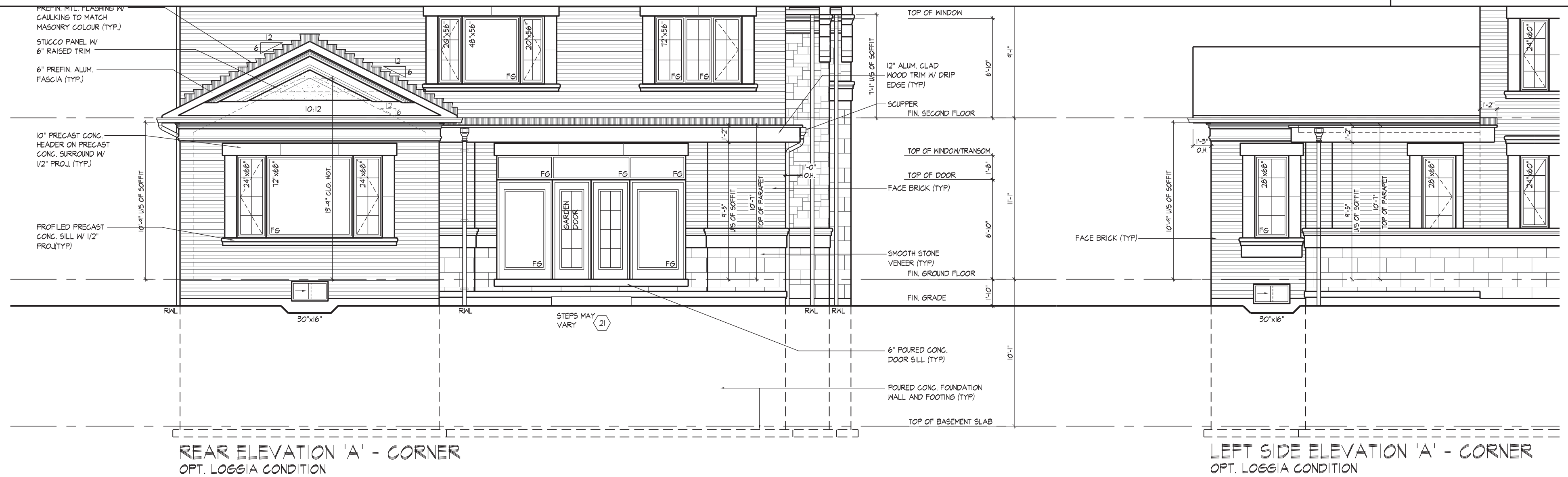
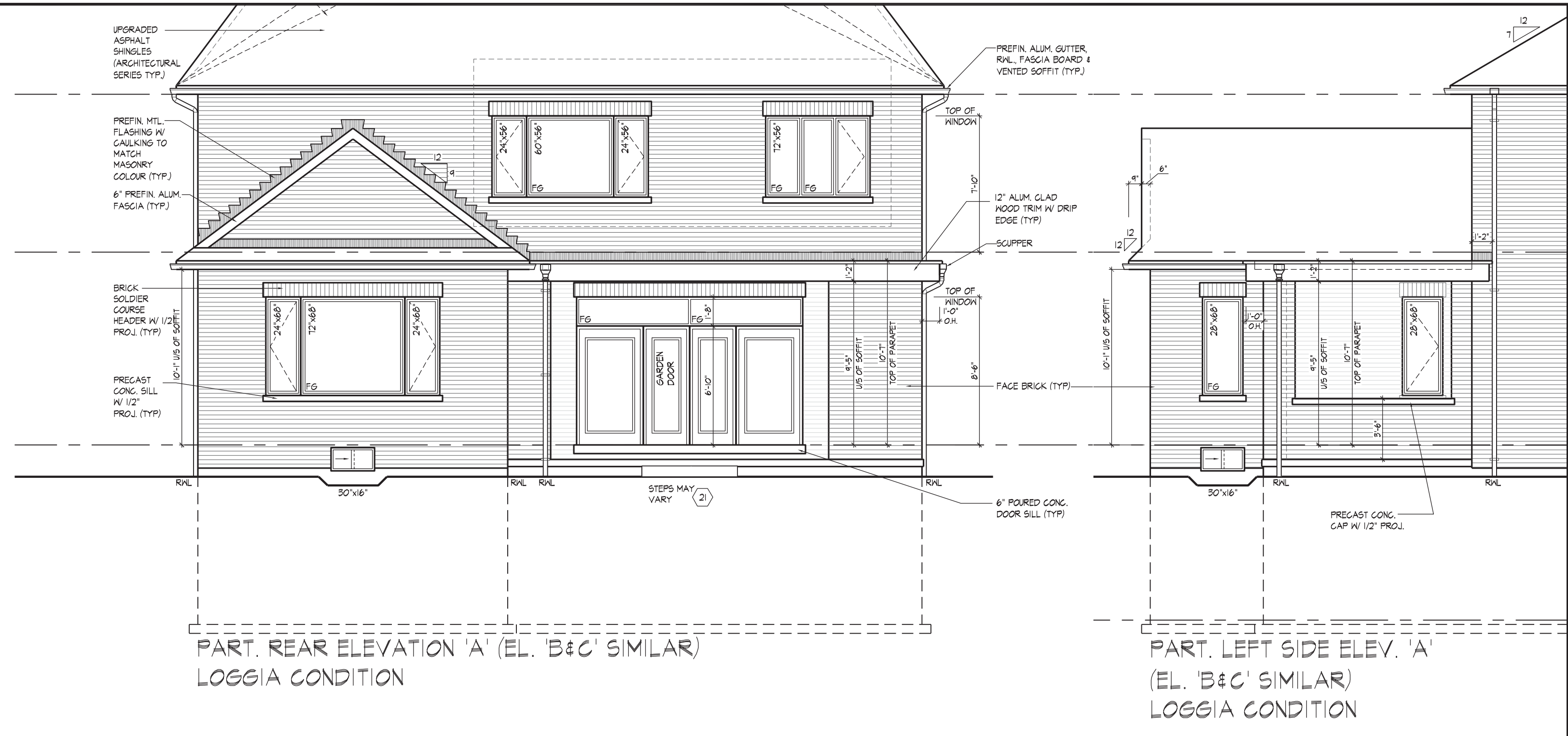
**HUNT**   
DESIGN ASSOCIATES INC.  
www.hunt-design.ca

**GOLDPARK HOMES - 217020**  
PINE VALLEY, VAUGHAN ONT.  
Down By: MC Checked By: SB Scale: 3/16"=1'-0"  
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326  
File Number: 217020WS5004 Page Number: 27 of 30

**UPGRADED REAR ELEVATION 'C'**  
**UNIT 5004 - THE BEAUMONT**  
REV.2020.03.30

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A.). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature.)





It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY:   
DATE: MAR 31, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.  
QUALIFICATION INFORMATION:  
NAME: Allan Whiting BCIN: 23177  
SIGNATURE:   
HUNT DESIGN ASSOCIATES INC. 19695

**HUNT**  
DESIGN ASSOCIATES INC.  
www.hunt-design.ca

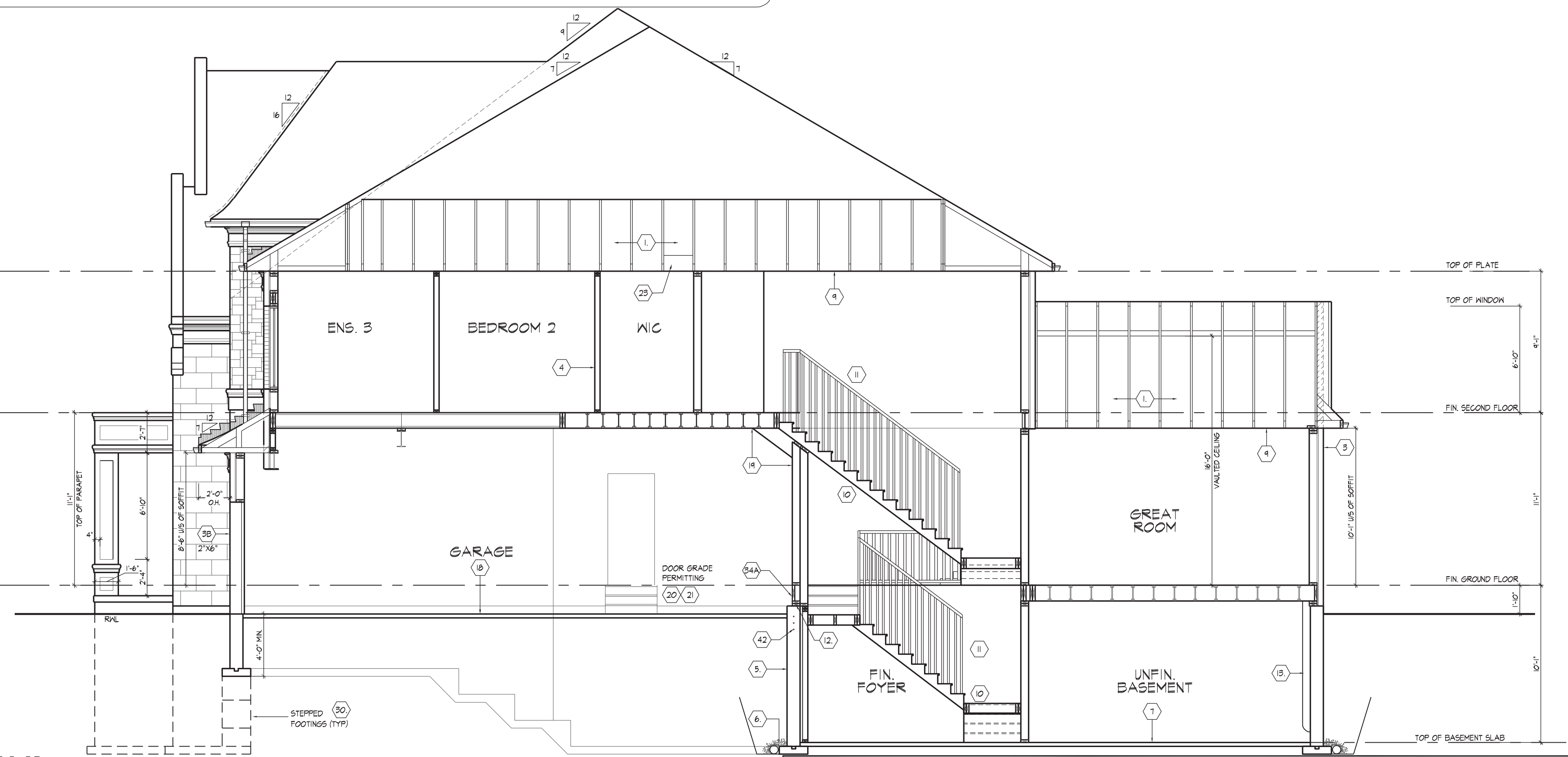
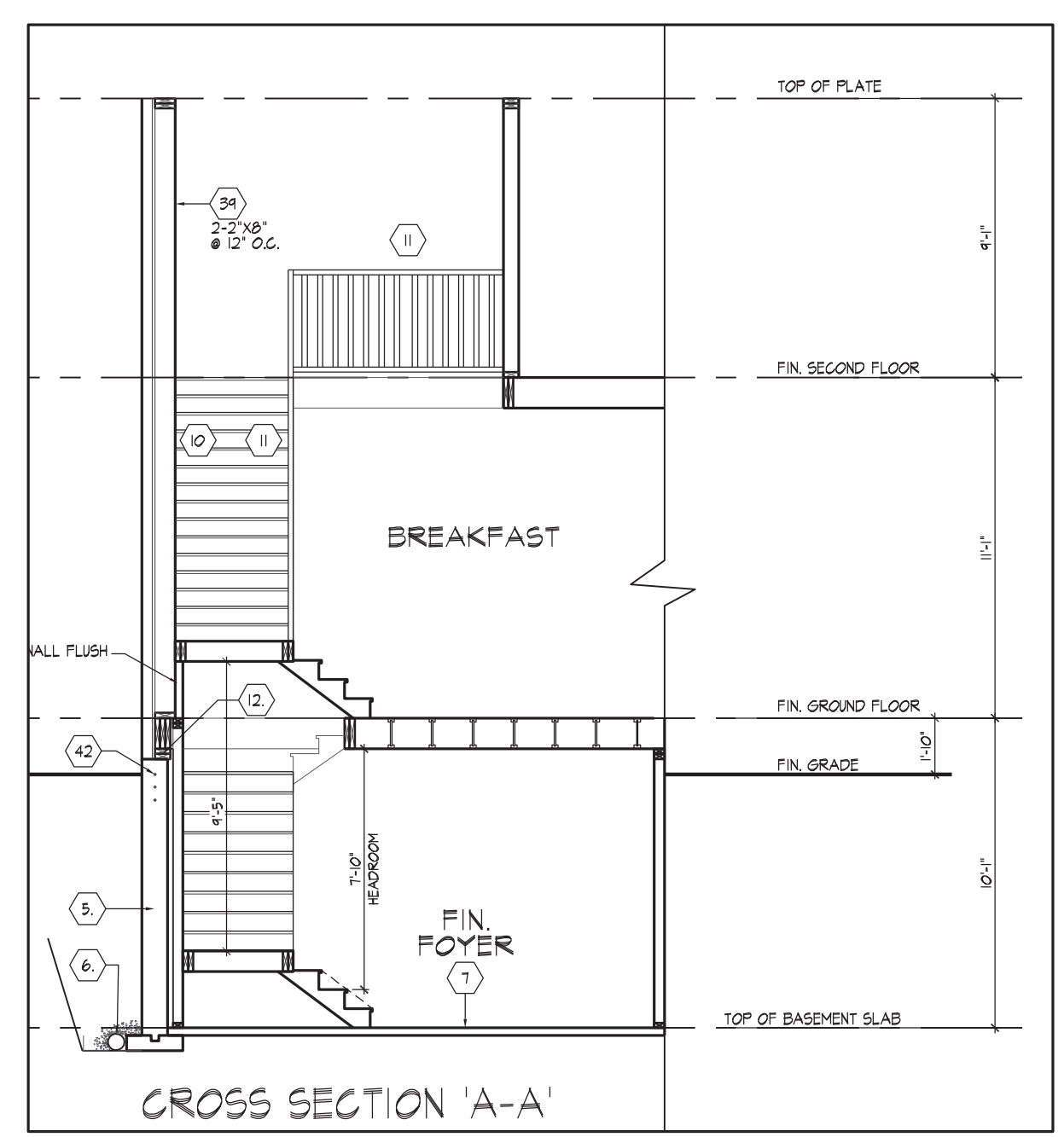
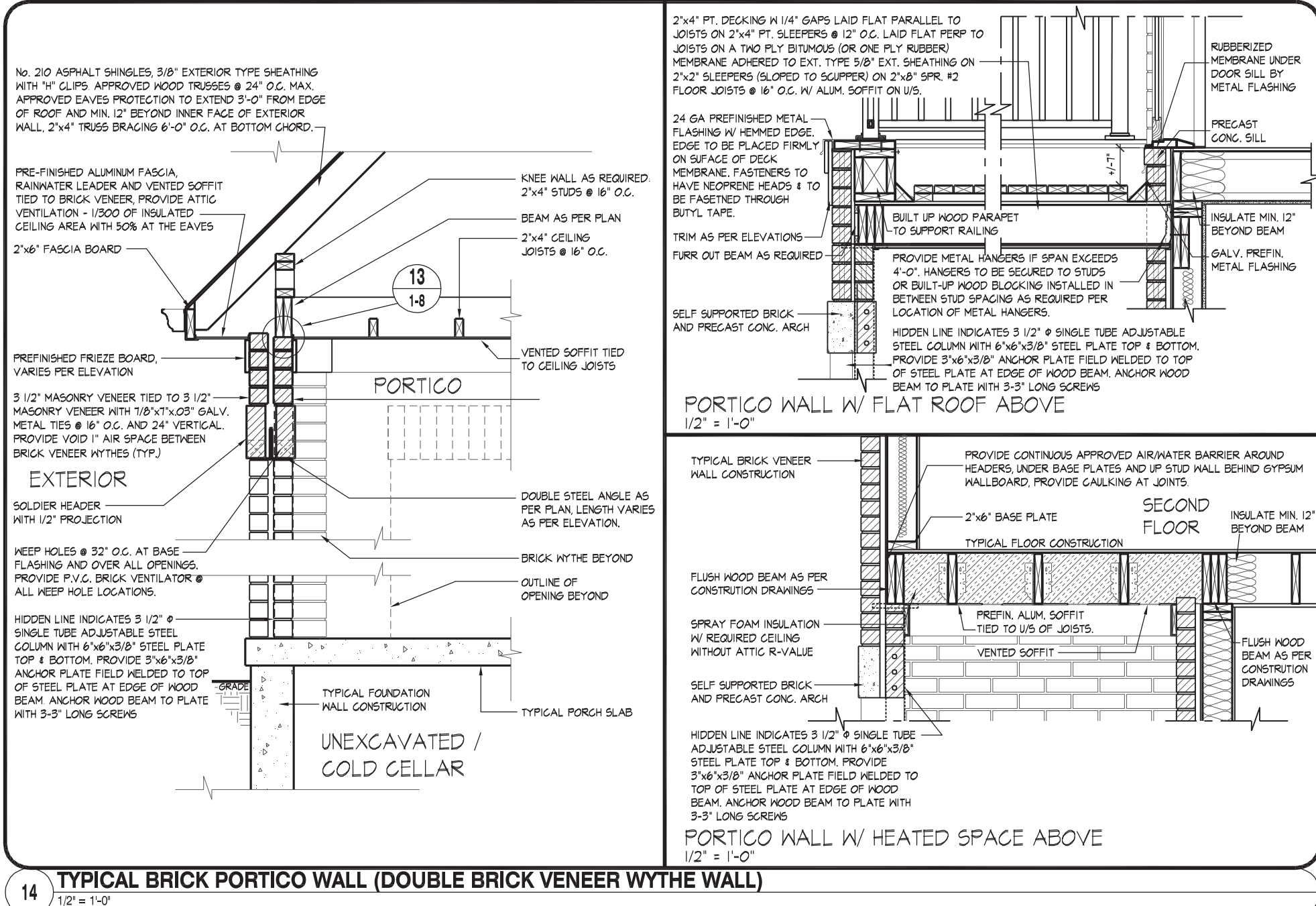
**GOLDPARK HOMES - 217020**  
PINE VALLEY, VAUGHAN ONT.

Down By: MC Checked By: SB Scale: 3/16"=1'-0"  
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

**ELEVATIONS LOGGIA CONDITION**  
**UNIT 5004 - THE BEAUMONT**  
REV.2020.03.30

File Number: 217020WS5004 Page Number: 28 of 30

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A.). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature.)



FOR STRUCTURAL ONLY, EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL BEAM DESIGN.

CROSS SECTION 'B-B'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS  
DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET  
OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.  
QUALIFICATION INFORMATION  
NAME: Allan Whiting  
SIGNATURE: [Signature]  
BCIN: 23177  
REGISTRATION INFORMATION  
HUNT DESIGN ASSOCIATES INC.  
19695

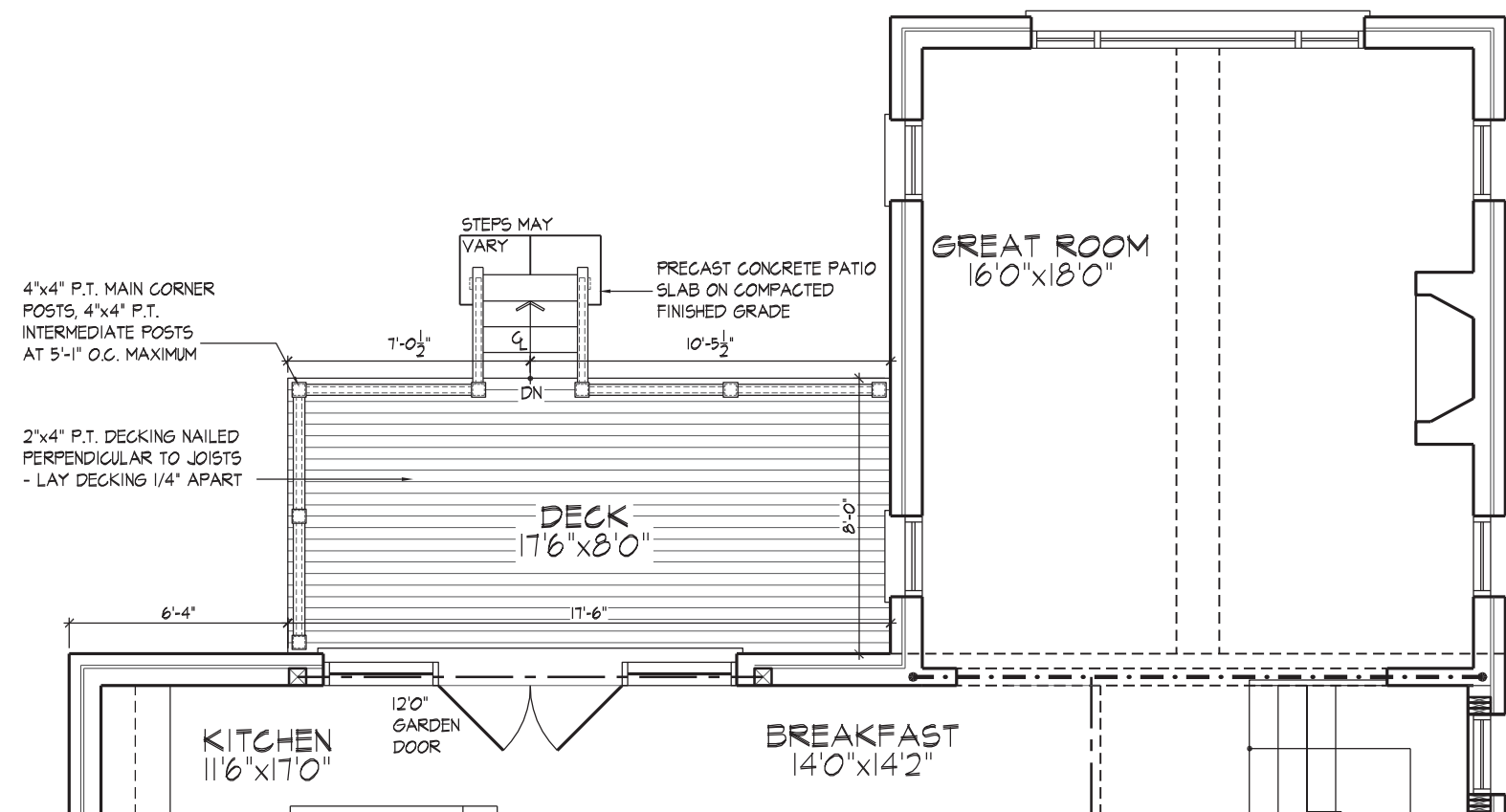


**GOLDPARK HOMES - 217020**  
**PINE VALLEY, VAUGHAN ONT.**  
Unit 5004 - THE BEAUMONT  
REV.2020.03.30  
Drawn By: MC  
Checked By: SB  
Scale: 3/16"=1'-0"  
File Number: 217020WS5004  
Page Number: 29 of 30  
8966 Woodbine Ave, Markham, ON L3R 0J7  
T 905.737.5133 F 905.737.7326









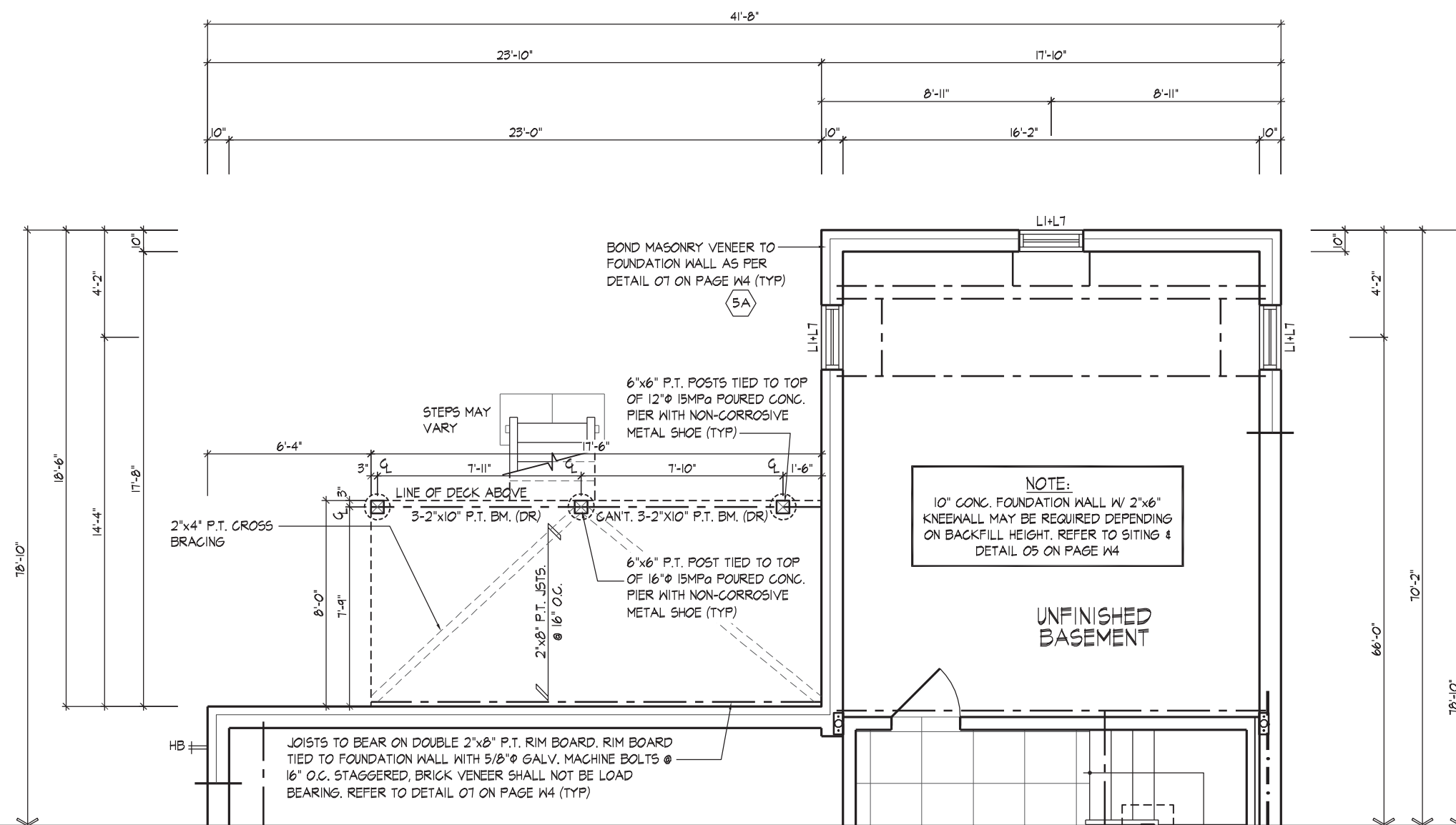
PART. GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' - W.O.D. COND.

NOTE:  
REFER TO STANDARD FLOOR  
PLANS FOR COMPLETE DIMENSIONS  
& STRUCTURAL INFORMATION



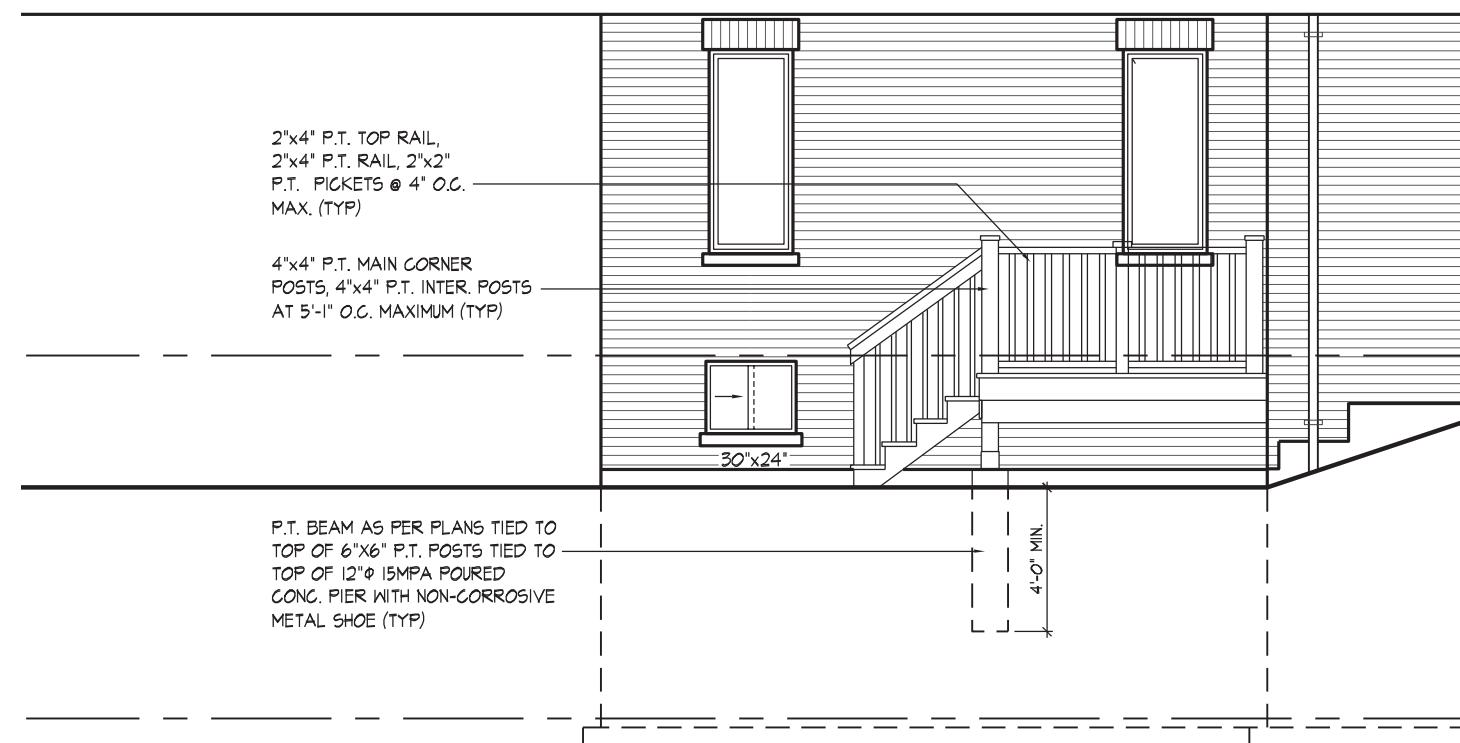
PART. REAR ELEVATION 'A', 'B' & 'C' - W.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD  
REAR FOR TYPICAL NOTES & INFO.



PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - W.O.D. COND.

NOTE:  
REFER TO STANDARD FLOOR  
PLANS FOR COMPLETE DIMENSIONS  
& STRUCTURAL INFORMATION



PART. LEFT SIDE ELEV. 'A', 'B' & 'C' - W.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD  
REAR FOR TYPICAL NOTES & INFO.

WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
REAR ELEV. A				REAR ELEV. A - OPT. 5 BDRM.			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	24"	56"	14.44	2	24"	56"	14.44
1	60"	56"	20.22	1	60"	56"	20.22
1	72"	56"	24.56	1	48"	56"	15.59
2	24"	68"	17.78	2	24"	68"	17.78
1	72"	68"	30.22	1	72"	68"	30.22
1	30"	24"	3.61	1	30"	24"	3.61
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
1	DOOR/TRAN	110.50	110.50	1	DOOR/TRAN	110.50	110.50
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING	993.06	S.F.	EXPOSING BUILDING	993.06	S.F.		
FACE AREA	92.26	S.M.	FACE AREA	92.26	S.M.		
PORTION WALL AREA	92.26	S.F.	PORTION WALL AREA	92.26	S.F.		
LIMITING DISTANCE	7.5 m	%	LIMITING DISTANCE	7.5 m	%		
MAX. % OPENINGS	50	%	MAX. % OPENINGS	50	%		
OPENINGS ALLOWED	496.53	S.F.	OPENINGS ALLOWED	496.53	S.F.		
OPENINGS PROVIDED	221.33	S.F.	OPENINGS PROVIDED	212.67	S.F.		
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			
WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION A				LEFT SIDE ELEVATION A - OPT. 5 BDRM.			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	30"	16"	4.33	2	24"	48"	18.33
1	24"	48"	6.11	1	48"	48"	14.87
1	24"	56"	7.22	1	48"	56"	14.87
4	28"	68"	42.87	4	28"	68"	42.87
1	48"	12"	2.44	2	30"	16"	4.33
1	30"	24"	3.61	1	24"	56"	7.22
0	0"	0"	0.00	1	30"	24"	3.61
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING	1481.88	S.F.	EXPOSING BUILDING	1481.88	S.F.		
FACE AREA	137.67	S.M.	FACE AREA	137.67	S.M.		
PORTION WALL AREA	137.67	S.F.	PORTION WALL AREA	1481.88	S.F.		
LIMITING DISTANCE	7	1.2 m	LIMITING DISTANCE	7	1.2 m		
MAX. % OPENINGS	7	%	MAX. % OPENINGS	7	%		
OPENINGS ALLOWED	103.73	S.F.	OPENINGS ALLOWED	103.73	S.F.		
OPENINGS PROVIDED	66.39	S.F.	OPENINGS PROVIDED	40.83	S.F.		
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



FOR STRUCTURAL ONLY. EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL BEAM DESIGN.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:

DATE: MAR 11 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION:

NAME: Allan Whiting

REGISTRATION INFORMATION: BCIN 23177

HUNT DESIGN ASSOCIATES INC. 19695

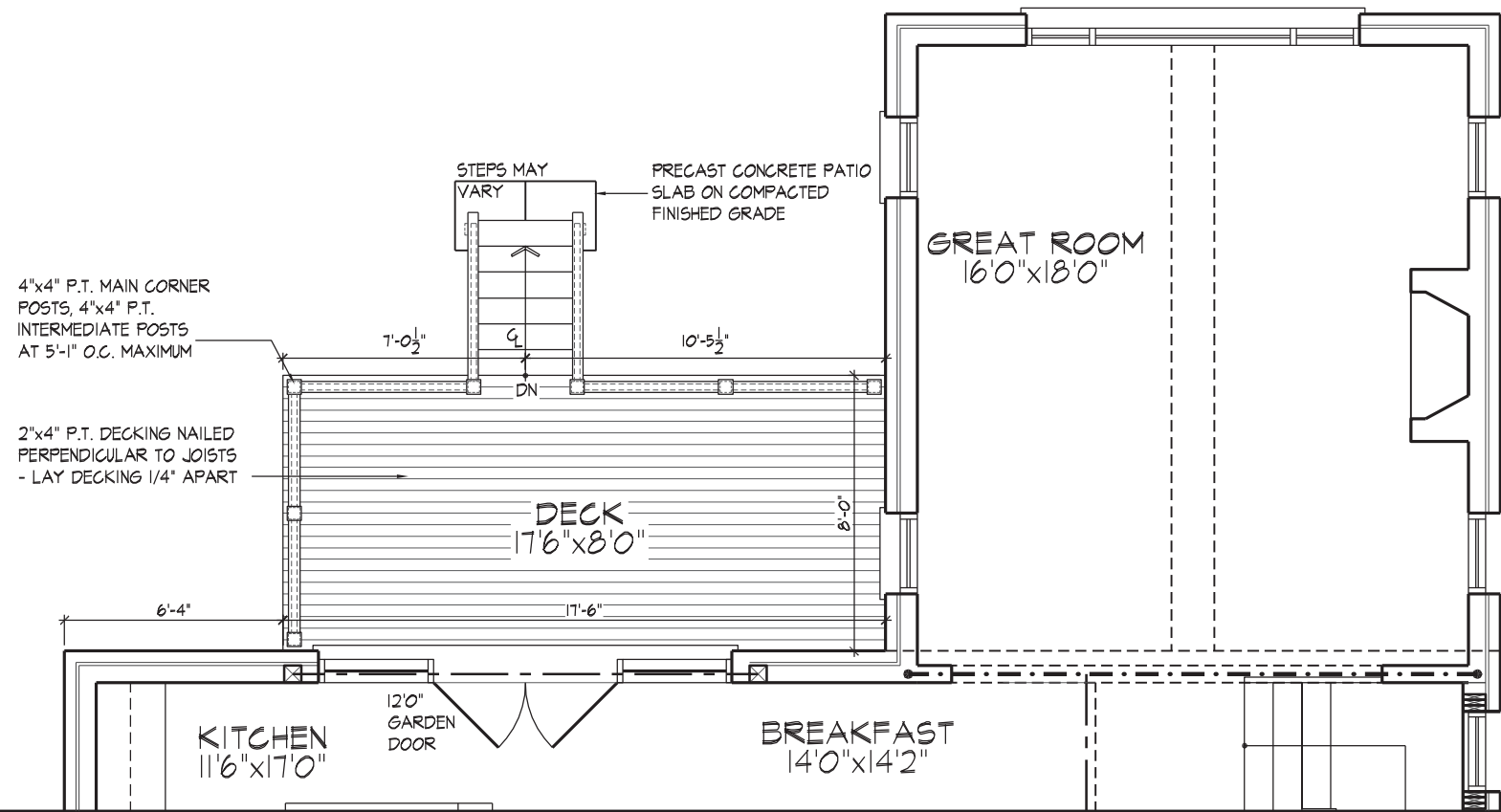
**HUNT**  
DESIGN ASSOCIATES INC.  
www.huntdesign.ca

**GOLDPARK HOMES - 217020**  
PINE VALLEY, VAUGHAN ONT.  
OF SB 3/16"=1'-0"  
8966 Woodbine Ave, Markham, ON L3R 0J7  
T 905.737.5133 F 905.737.7326

**WALK OUT DECK CONDITION**  
**UNIT 5004 - THE BEAUMONT**  
REV.2020.03.30  
217020WS5004  
W1 of W5

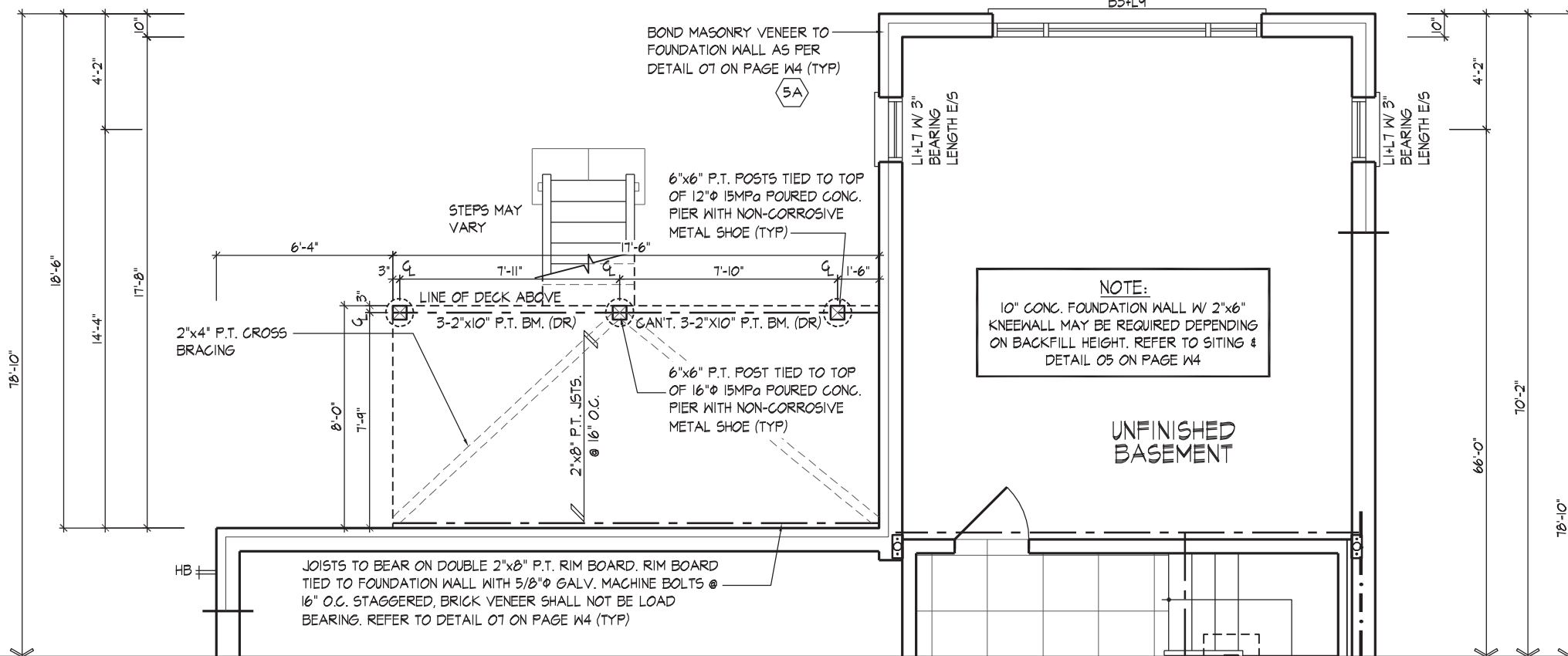
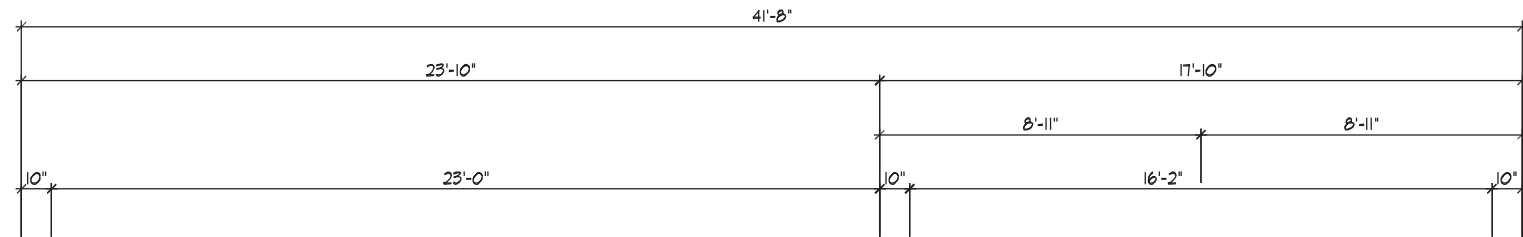






PART. GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' - L.O.D. COND.

NOTE:  
REFER TO STANDARD FLOOR  
PLANS FOR COMPLETE DIMENSIONS  
& STRUCTURAL INFORMATION



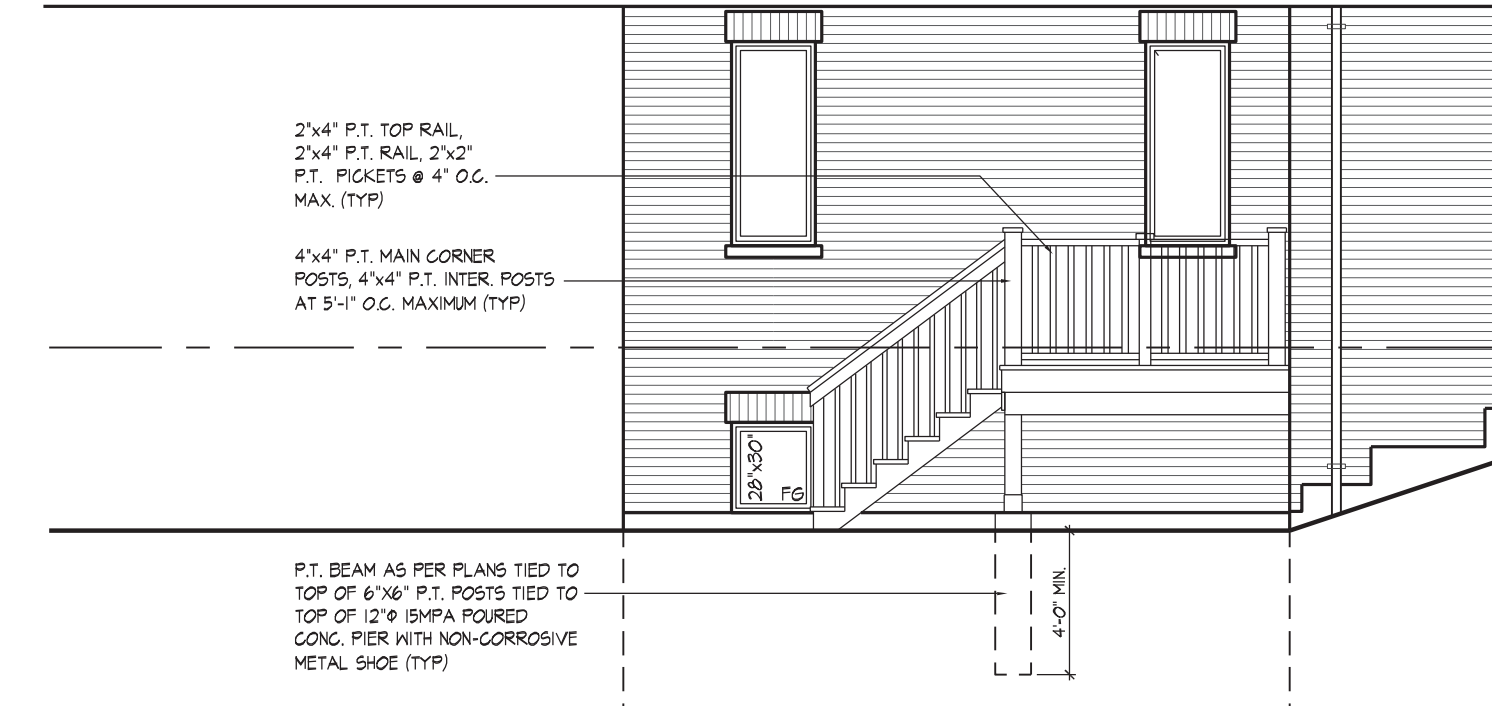
PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - L.O.D. COND.

NOTE:  
REFER TO STANDARD FLOOR  
PLANS FOR COMPLETE DIMENSIONS  
& STRUCTURAL INFORMATION



PART. REAR ELEVATION 'A', 'B' & 'C' - L.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD  
REAR FOR TYPICAL NOTES & INFO.



PART. LEFT SIDE ELEV. 'A', 'B' & 'C' - L.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD  
REAR FOR TYPICAL NOTES & INFO.

WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
REAR ELEV. A				REAR ELEV. A - OPT. 5 BDRM.			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	24"	56"	14.44	2	24"	56"	14.44
1	60"	56"	20.22	1	60"	56"	20.22
1	72"	56"	24.56	1	48"	56"	15.89
2	24"	68"	17.78	2	24"	68"	17.78
1	72"	68"	30.22	1	72"	68"	30.22
2	24"	30"	7.22	2	24"	30"	7.22
1	72"	30"	12.28	1	72"	30"	12.28
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
1	DOOR/TRAN	110.50	110.50	1	DOOR/TRAN	110.50	110.50
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING	1128.48	S.F.		EXPOSING BUILDING	1128.48	S.F.	
FACE AREA	104.84	S.M.		FACE AREA	104.84	S.M.	
PORTION WALL AREA	104.84	S.M.		PORTION WALL AREA	104.84	S.M.	
LIMITING DISTANCE	7.5 m	%		LIMITING DISTANCE	7.5 m	%	
MAX. % OPENINGS	50	%		MAX. % OPENINGS	50	%	
OPENINGS ALLOWED	564.24	S.F.		OPENINGS ALLOWED	564.24	S.F.	
OPENINGS PROVIDED	237.22	S.F.		OPENINGS PROVIDED	237.22	S.F.	
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			
WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION A				LEFT SIDE ELEVATION A - OPT. 5 BDRM.			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	30"	16"	4.33	3	24"	48"	18.33
1	24"	48"	6.11	1	48"	56"	14.87
1	24"	56"	7.22	1	48"	56"	14.87
4	28"	68"	42.87	4	28"	68"	42.87
1	48"	12"	2.44	2	30"	16"	4.33
1	28"	30"	4.33	1	24"	56"	7.22
0	0"	0"	0.00	1	28"	30"	4.33
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING	1516.30	S.F.		EXPOSING BUILDING	1516.30	S.F.	
FACE AREA	140.87	S.M.		FACE AREA	140.87	S.M.	
PORTION WALL AREA	140.87	S.M.		PORTION WALL AREA	1516.30	S.F.	
LIMITING DISTANCE	7	1.2 m		LIMITING DISTANCE	7	1.2 m	
MAX. % OPENINGS	7	%		MAX. % OPENINGS	7	%	
OPENINGS ALLOWED	106.14	S.F.		OPENINGS ALLOWED	106.14	S.F.	
OPENINGS PROVIDED	67.11	S.F.		OPENINGS PROVIDED	91.56	S.F.	
ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY:   
DATE: MAR 31, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



FOR STRUCTURAL ONLY, EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL. BEAM DESIGN.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.  
QUALIFICATION INFORMATION  
NAME: Allan Whiting  
SIGNATURE:   
REGISTRATION INFORMATION: BCN  
HUNT DESIGN ASSOCIATES INC. 19695

**HUNT**  
DESIGN ASSOCIATES INC.  
www.huntdesign.ca

**GOLDPARK HOMES - 217020**  
PINE VALLEY, VAUGHAN ONT.  
Down By: OF  
Checked By: SB  
Scale: 3/16"=1'-0"

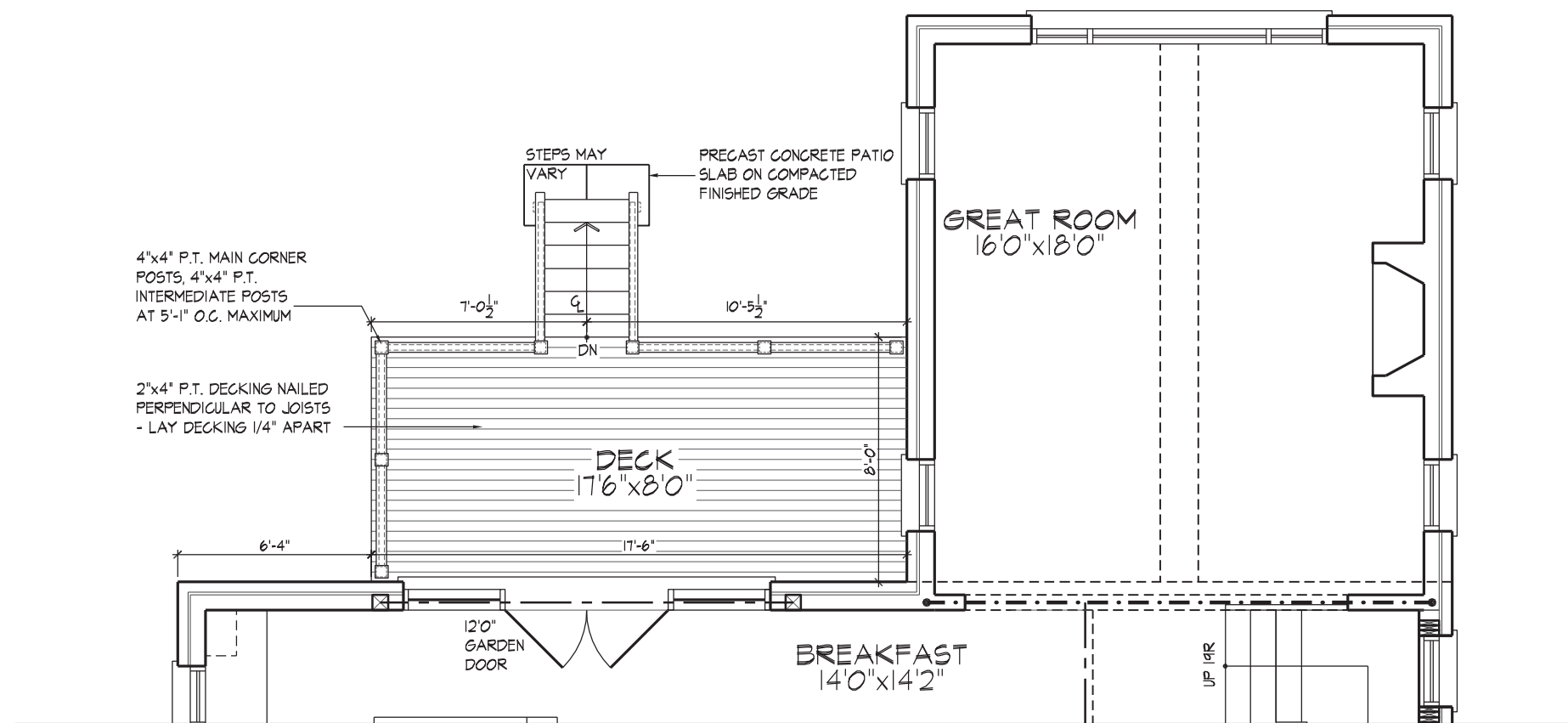
**LOOK OUT DECK CONDITION**  
**UNIT 5004 - THE BEAUMONT**  
REV.2020.03.30

File Number: 217020WS5004  
Page Number: W2 of W5

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A.). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCN number and original signature.)

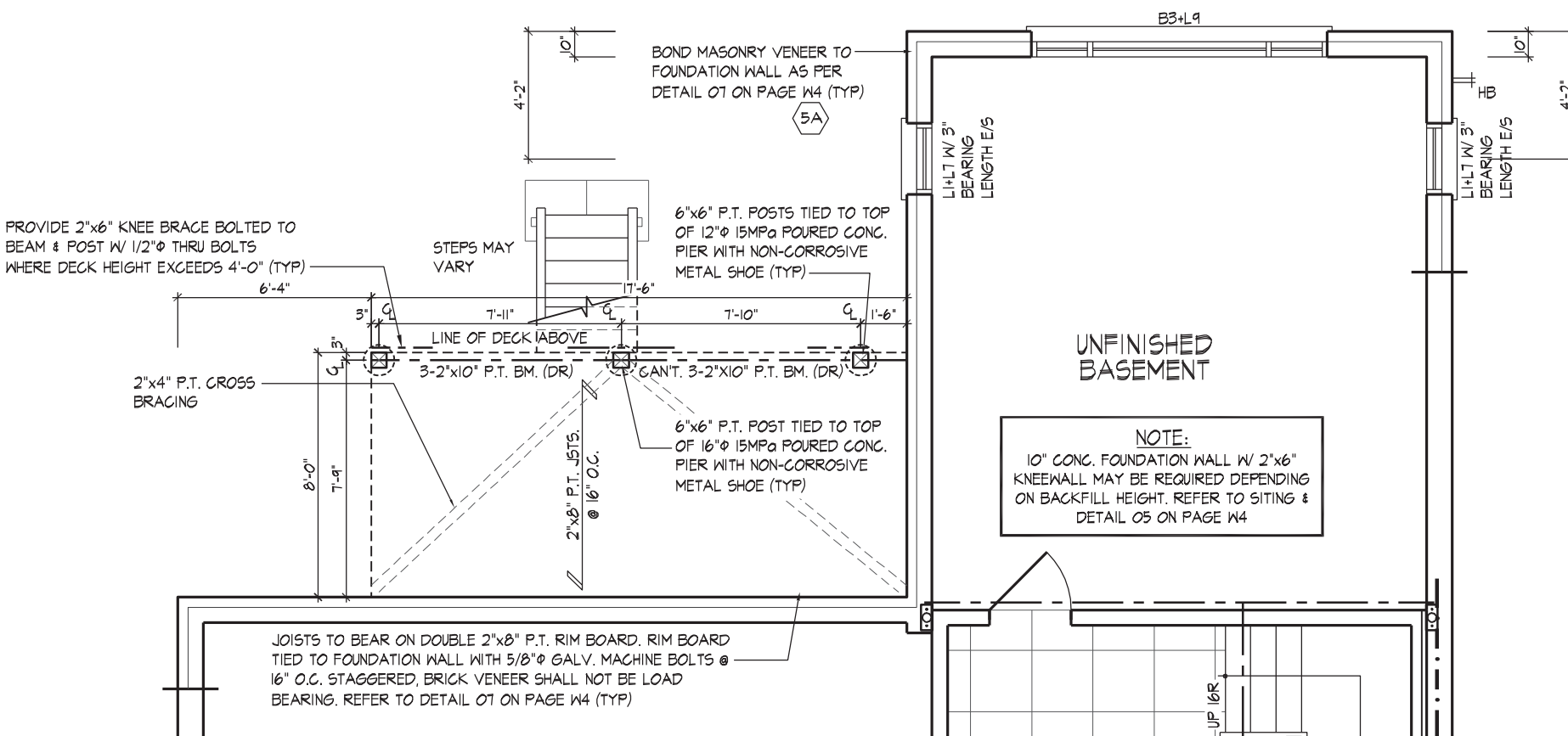
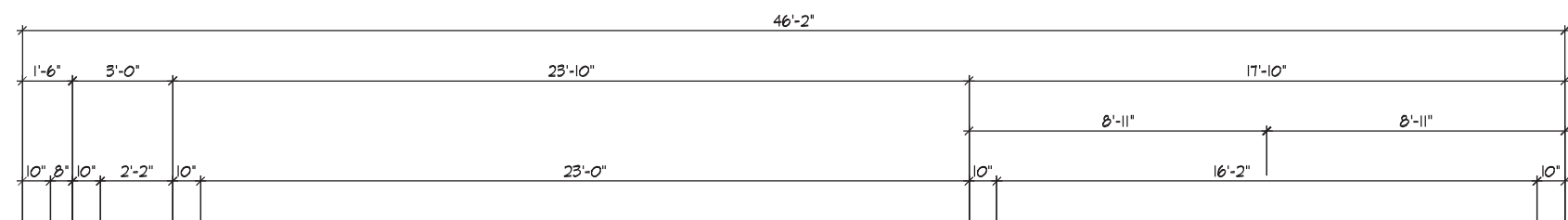
MASIMARD - FRU MAR 27 2020 09:28 PM | K:\PROJECTS\2017\217020-GOLDPARK-HOMES-5004-BEAUMONT.DWG





PART. GROUND FLOOR PLAN ELEV. 'A' CORNER - L.O.D. COND.

NOTE:  
REFER TO STANDARD FLOOR  
PLANS FOR COMPLETE DIMENSIONS  
& STRUCTURAL INFORMATION



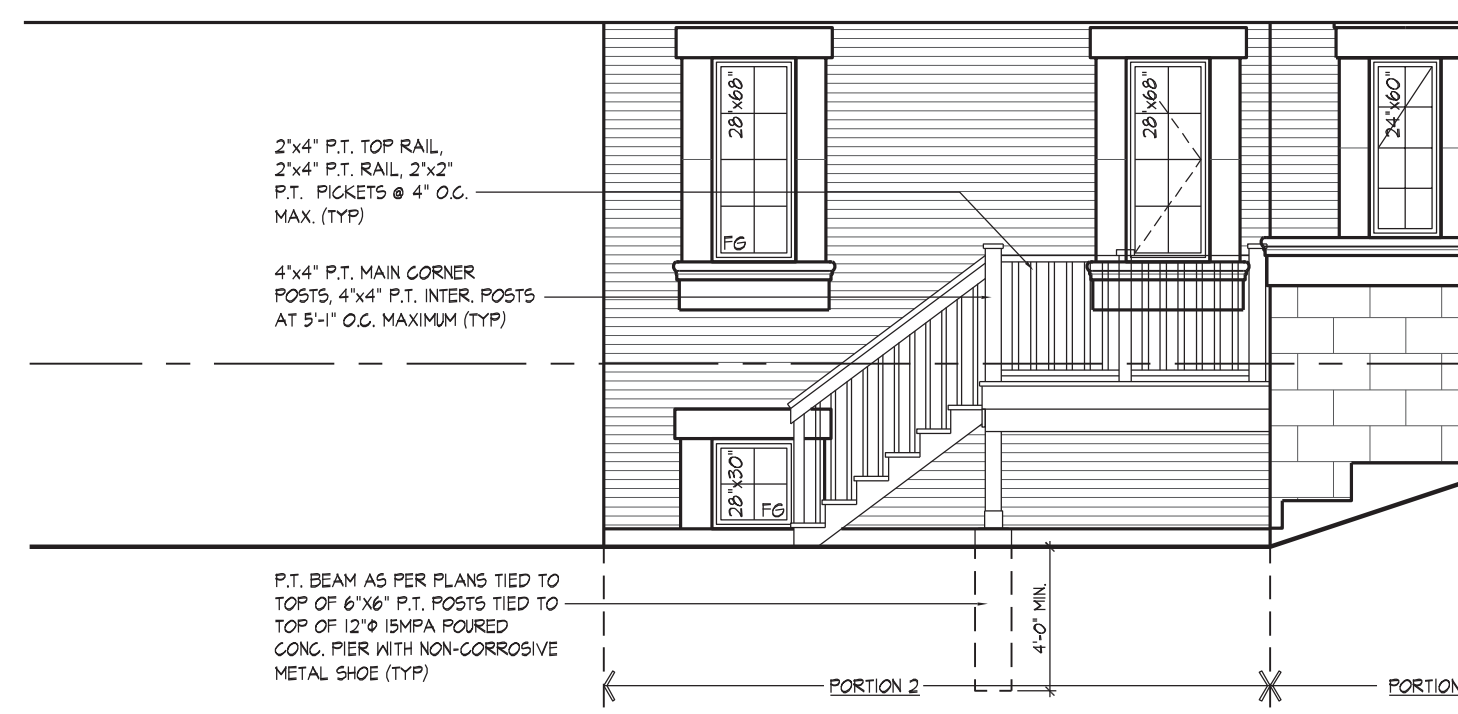
PART. BASEMENT PLAN ELEV. 'A' CORNER - L.O.D. COND.

NOTE:  
REFER TO STANDARD FLOOR  
PLANS FOR COMPLETE DIMENSIONS  
& STRUCTURAL INFORMATION



PART. REAR ELEVATION 'A' CORNER - L.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD  
REAR FOR TYPICAL NOTES & INFO.



PART. LEFT SIDE ELEV. 'A' CORNER - L.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD  
REAR FOR TYPICAL NOTES & INFO.

WINDOW SUMMARY					WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4				
REAR ELEV. A CORNER					LEFT SIDE ELEVATION A - PORTION 2				
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)		QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
2	20"	56"	11.56		5	24"	60"	38.89	
1	48"	56"	15.89		1	28"	52"	6.67	
1	72"	56"	24.56		0	0"	0"	0.00	
2	24"	68"	17.78		0	0"	0"	0.00	
1	72"	68"	30.22		0	0"	0"	0.00	
2	24"	30"	7.22		0	0"	0"	0.00	
1	72"	30"	12.58		0	0"	0"	0.00	
0	0"	0"	0.00		0	0"	0"	0.00	
0	0"	0"	0.00		0	0"	0"	0.00	
1	DOOR/TRAN	110.50	110.50		0	0"	0"	0.00	
0	ARCH	0.00	0.00		0	0"	0"	0.00	
0	ARCH	0.00	0.00		0	0"	0"	0.00	
0	ARCH	0.00	0.00		0	0"	0"	0.00	
SPATIAL CALCULATION					SPATIAL CALCULATION				
EXPOSING BUILDING	1189.81	S.F.			EXPOSING BUILDING	1552.06	S.F.		
FACE AREA	1189.81	S.F.			FACE AREA	144.19	S.M.		
PORTION WALL AREA	1189.81	S.F.			PORTION WALL AREA	335.95	S.F.		
LIMITING DISTANCE	7.5 m	%			LIMITING DISTANCE	10.14 m	%		
MAX. % OPENINGS	59	%			MAX. % OPENINGS	49	%		
OPENINGS ALLOWED	594.91	S.F.			OPENINGS ALLOWED	134.38	S.F.		
OPENINGS PROVIDED	230.00	S.F.			OPENINGS PROVIDED	25.67	S.F.		
ADDITIONAL NOTES					ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER					GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: MAR 31, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



FOR STRUCTURAL ONLY, EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL. BEAM DESIGN.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS  
DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET  
OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION  
NAME: Allan Whiting  
SIGNATURE: [Signature]  
REGISTRATION INFORMATION: BCIN 23177  
HUNT DESIGN ASSOCIATES INC. 19695



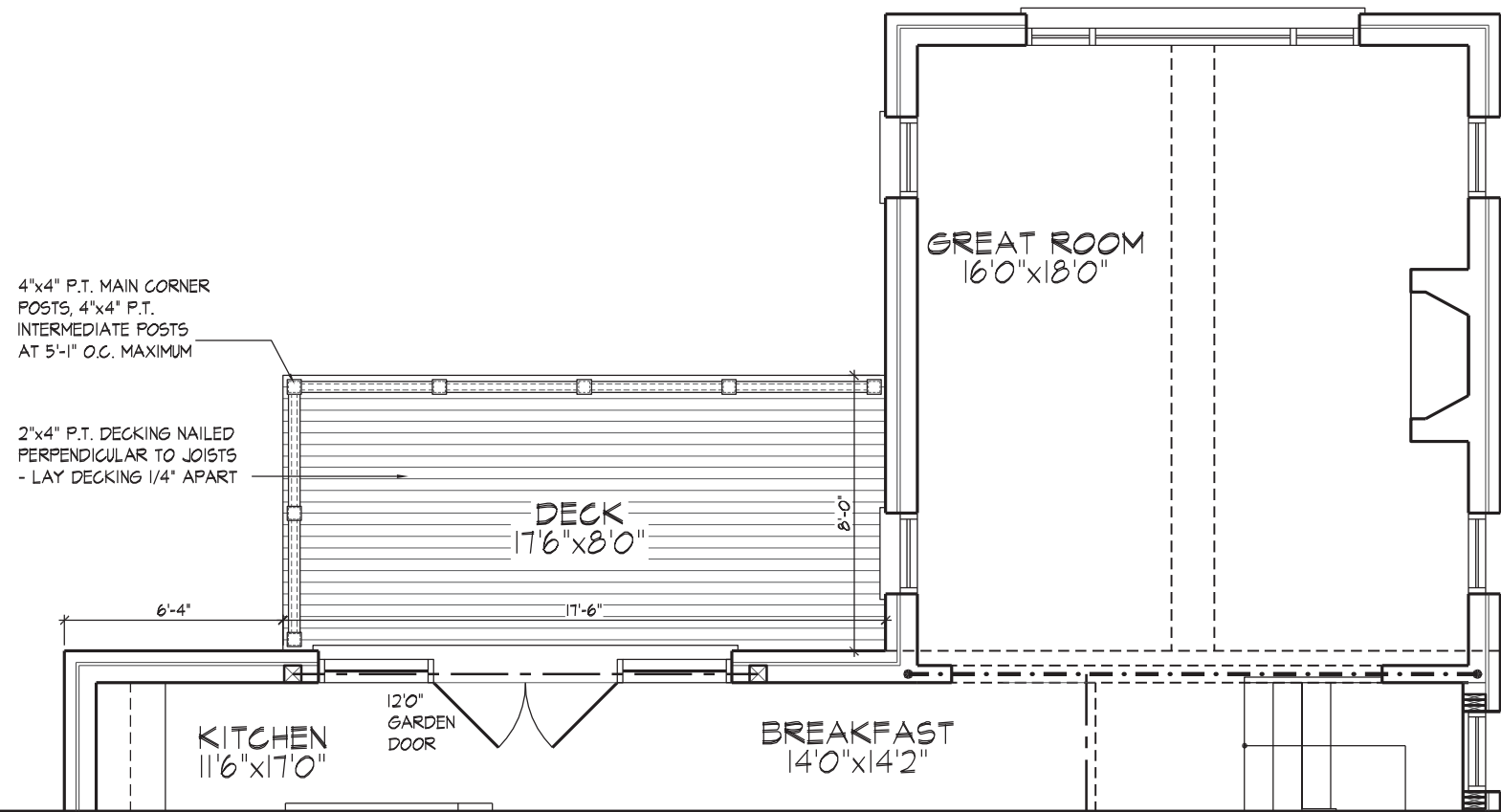
GOLDPARK HOMES - 217020  
PINE VALLEY, VAUGHAN ONT.

Down By: SB  
Checked By: SB  
Scale: 3/16"=1'-0"  
8966 Woodbine Ave, Markham, ON L3R 0J7  
T 905.737.5133 F 905.737.7326

LOOK OUT DECK CONDITION  
UNIT 5004 - THE BEAUMONT  
REV.2020.03.30

File Number: 217020WS5004  
Page Number: W2A of W5

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A.). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission. H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature.



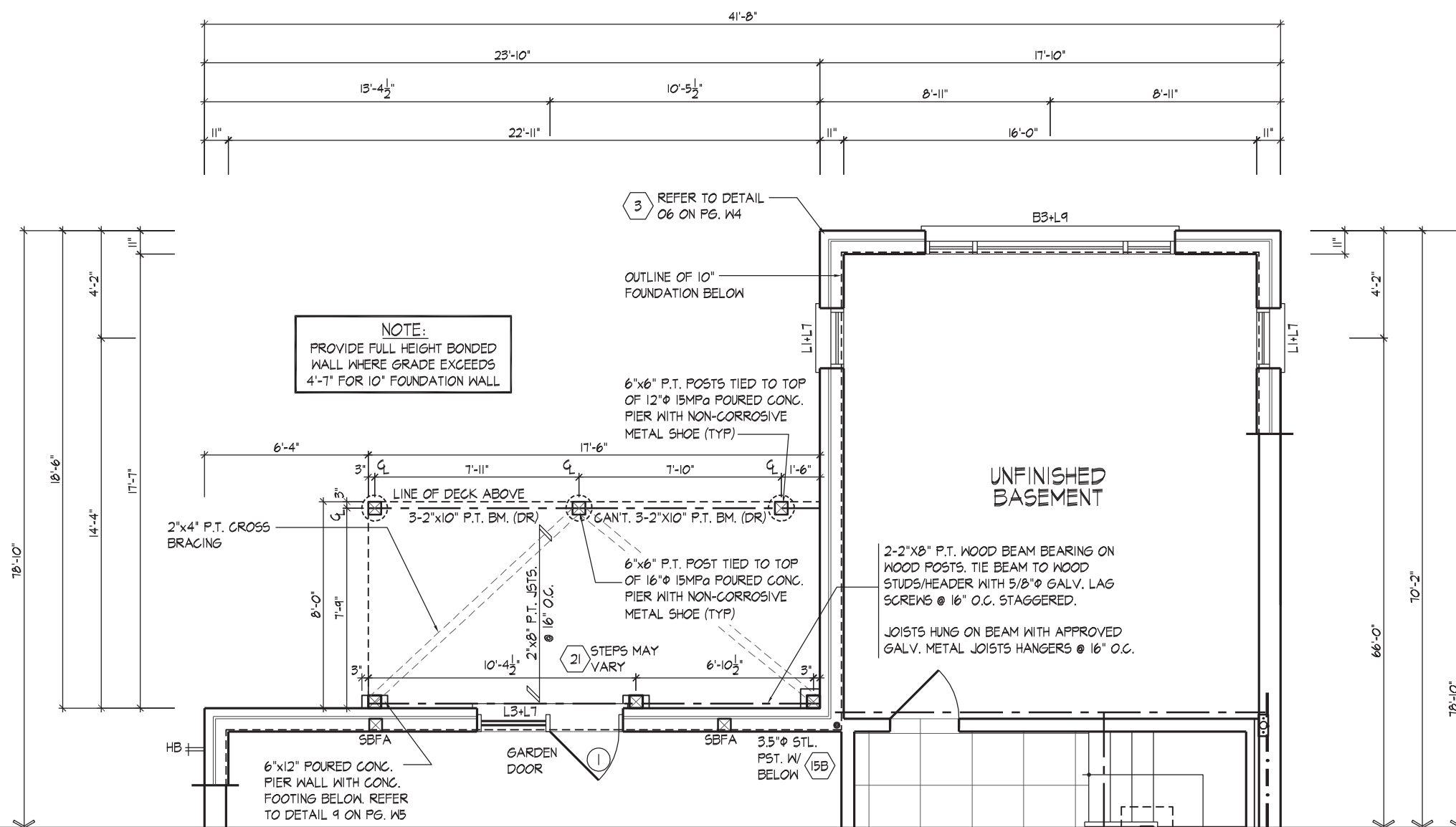
PART. GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' - W.O.B. COND.

NOTE:  
REFER TO STANDARD FLOOR  
PLANS FOR COMPLETE DIMENSIONS  
& STRUCTURAL INFORMATION



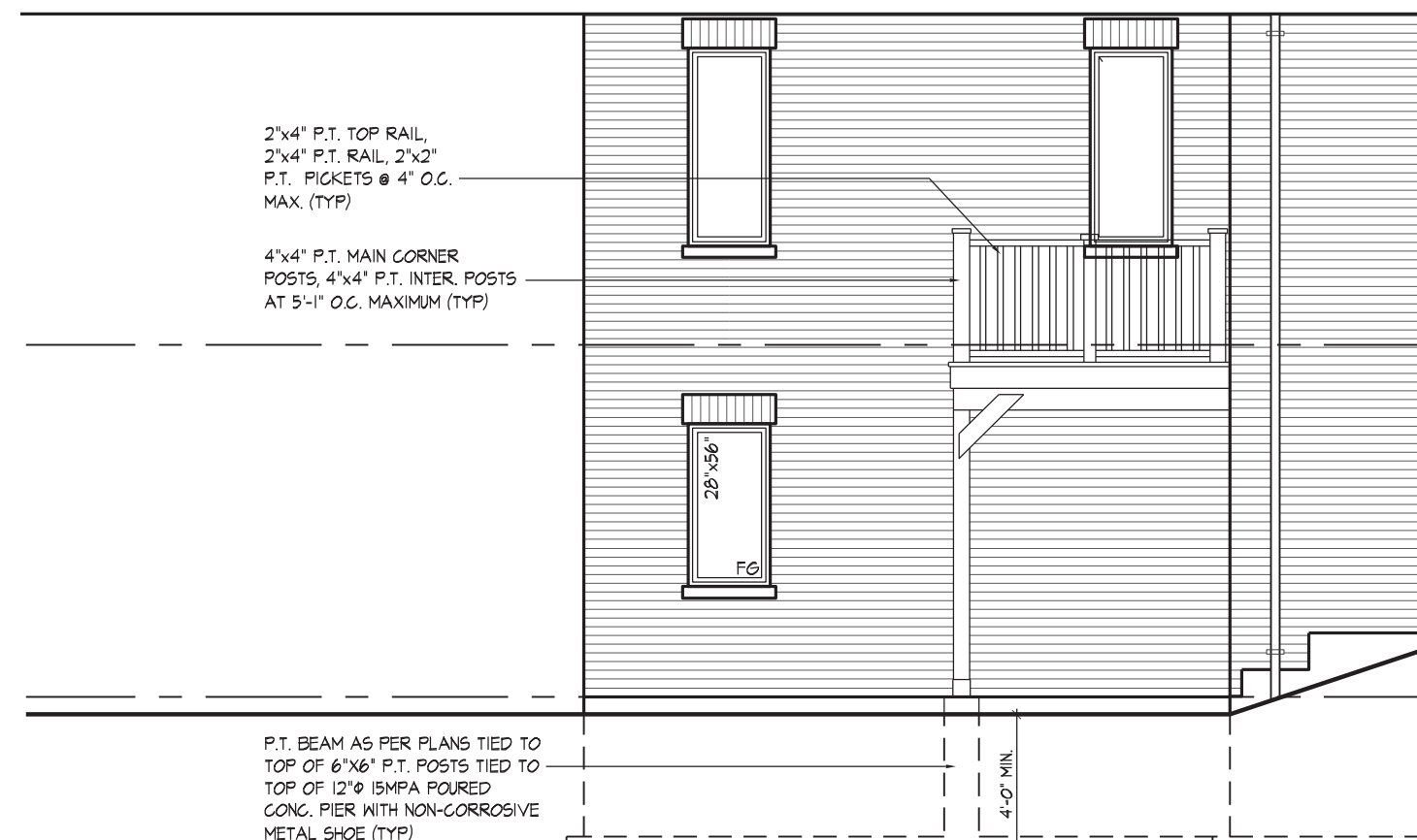
PART. REAR ELEVATION 'A', 'B' & 'C' - W.O.B. CONDITION

REFER TO FRONT ELEVATION & STANDARD  
REAR FOR TYPICAL NOTES & INFO.



PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - W.O.B. COND.

NOTE:  
REFER TO STANDARD FLOOR  
PLANS FOR COMPLETE DIMENSIONS  
& STRUCTURAL INFORMATION



PART. LEFT SIDE ELEV. 'A', 'B' & 'C' - W.O.B. CONDITION

REFER TO FRONT ELEVATION & STANDARD  
REAR FOR TYPICAL NOTES & INFO.

WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
REAR ELEV. A				REAR ELEV. A - OPT. 5 BDRM.			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	24"	56"	14.44	2	24"	56"	14.44
1	60"	56"	20.22	1	60"	56"	20.22
1	72"	56"	24.56	1	48"	56"	15.59
2	24"	68"	17.78	2	24"	68"	17.78
1	72"	68"	30.22	1	72"	68"	30.22
2	24"	56"	14.44	2	24"	56"	14.44
1	72"	56"	24.56	1	72"	56"	24.56
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
1	DOOR/TRAN	110.50	110.50	1	DOOR/TRAN	110.50	110.50
1	DOOR/TRAN	27.67	27.67	1	DOOR/TRAN	27.67	27.67
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING	1281.59	S.F.		EXPOSING BUILDING	1281.59	S.F.	
FACE AREA	1281.59	S.F.		FACE AREA	1281.59	S.F.	
PORTION WALL AREA	119.06	S.F.		PORTION WALL AREA	119.06	S.F.	
LIMITING DISTANCE	7.5 m	%		LIMITING DISTANCE	7.5 m	%	
MAX. % OPENINGS	50	%		MAX. % OPENINGS	50	%	
OPENINGS ALLOWED	640.80	S.F.		OPENINGS ALLOWED	640.80	S.F.	
OPENINGS PROVIDED	284.39	S.F.		OPENINGS PROVIDED	275.73	S.F.	
WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION A				LEFT SIDE ELEVATION A - OPT. 5 BDRM.			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	30"	16"	4.33	2	24"	48"	18.33
1	24"	48"	6.11	1	48"	56"	14.87
1	24"	56"	7.22	1	48"	56"	14.87
4	28"	68"	42.87	4	28"	68"	42.87
1	48"	12"	2.44	2	30"	16"	4.33
1	24"	56"	6.87	1	24"	56"	7.22
0	0"	0"	0.00	1	28"	56"	8.67
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING	1650.01	S.F.		EXPOSING BUILDING	1650.01	S.F.	
FACE AREA	1650.01	S.F.		FACE AREA	1650.01	S.F.	
PORTION WALL AREA	153.29	S.F.		PORTION WALL AREA	153.29	S.F.	
LIMITING DISTANCE	7	1.2 m		LIMITING DISTANCE	7	1.2 m	
MAX. % OPENINGS	7	%		MAX. % OPENINGS	7	%	
OPENINGS ALLOWED	115.50	S.F.		OPENINGS ALLOWED	115.50	S.F.	
OPENINGS PROVIDED	71.44	S.F.		OPENINGS PROVIDED	65.88	S.F.	
WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION A				LEFT SIDE ELEVATION A - OPT. 5 BDRM.			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	30"	16"	4.33	2	24"	48"	18.33
1	24"	48"	6.11	1	48"	56"	14.87
1	24"	56"	7.22	1	48"	56"	14.87
4	28"	68"	42.87	4	28"	68"	42.87
1	48"	12"	2.44	2	30"	16"	4.33
1	24"	56"	6.87	1	24"	56"	7.22
0	0"	0"	0.00	1	28"	56"	8.67
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING	1650.01	S.F.		EXPOSING BUILDING	1650.01	S.F.	
FACE AREA	1650.01	S.F.		FACE AREA	1650.01	S.F.	
PORTION WALL AREA	153.29	S.F.		PORTION WALL AREA	153.29	S.F.	
LIMITING DISTANCE	7	1.2 m		LIMITING DISTANCE	7	1.2 m	
MAX. % OPENINGS	7	%		MAX. % OPENINGS	7	%	
OPENINGS ALLOWED	115.50	S.F.		OPENINGS ALLOWED	115.50	S.F.	
OPENINGS PROVIDED	71.44	S.F.		OPENINGS PROVIDED	65.88	S.F.	

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY:   
DATE: MAR 31, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



wsp

FOR STRUCTURAL ONLY, EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND FLOOR LVL. BEAM DESIGN.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS  
DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET  
OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION  
Allan Whiting  
SIGNATURE:   
REGISTRATION INFORMATION: BCN  
HUNT DESIGN ASSOCIATES INC. 19695

HUNT  
DESIGN ASSOCIATES INC.  
www.huntdesign.ca

GOLDPARK HOMES - 217020  
PINE VALLEY, VAUGHAN ONT.

Down By: OF  
Checked By: SB  
Scale: 3/16"=1'-0"  
8966 Woodbine Ave, Markham, ON L3R 0J7  
T 905.737.5133 F 905.737.7326

WALK OUT BASEMENT CONDITION  
UNIT 5004 - THE BEAUMONT  
REV. 2020.03.30

Page Number: W3 of W5  
File Number: 217020WS5004

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A.). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCN number and original signature.)







MIN. STUD SIZE, in (mm)	SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.2.3.10.1)			
	SUPPORTED LOADS (EXTERIOR)			
	ROOF w/ OR w/o ATTIC	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR
	MAX. STUD SPACING in (mm) O.C.			
2"x4" (50x84)	24" (610)	16" (405)	12" (305)	N/A
2"x6" (50x140)	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A
2"x6" (50x140)	-	24" (610)	16" (406)	12" (305)
2"x6" (50x140)	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.

- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

BASE FLASHING CONFORMING TO TABLE 9.2.0.13.1 TO EXTEND 3/16" BEYOND OUTER FACE OF FOUNDATION WALL, TIED TO EXT. SHEATHING UNDER AIR/WATER BARRIER, PROVIDE 6" MINIMUM LAP JOINT.

KEEP HOLES @ 32" O.C. AT BASE FLASHING AND OVER ALL OPENINGS. PROVIDE P.V.C. BRICK VENTILATOR @ ALL KEEP HOLE LOCATIONS. PROVIDE MASONRY PARINGS FROM TOP OF FOUNDATION WALL TO 2" BELOW FINISHED GRADE

FOUNDATION WALLS SHALL NOT EXCEED 9'-10" (3.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. (9.15.4.2.1). POURED CONC. FDN. WALL WITH BITUMINOUS DAMPPROOFING AND DRAINAGE LAYER. REFER TO CHART FOR MAXIMUM UNSUPPORTED HEIGHT AND EARTH RETENTION FROM BASEMENT SLAB TO FINISHED GRADE, ON CONTINUOUS KEYS CONC. FTG. BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL.

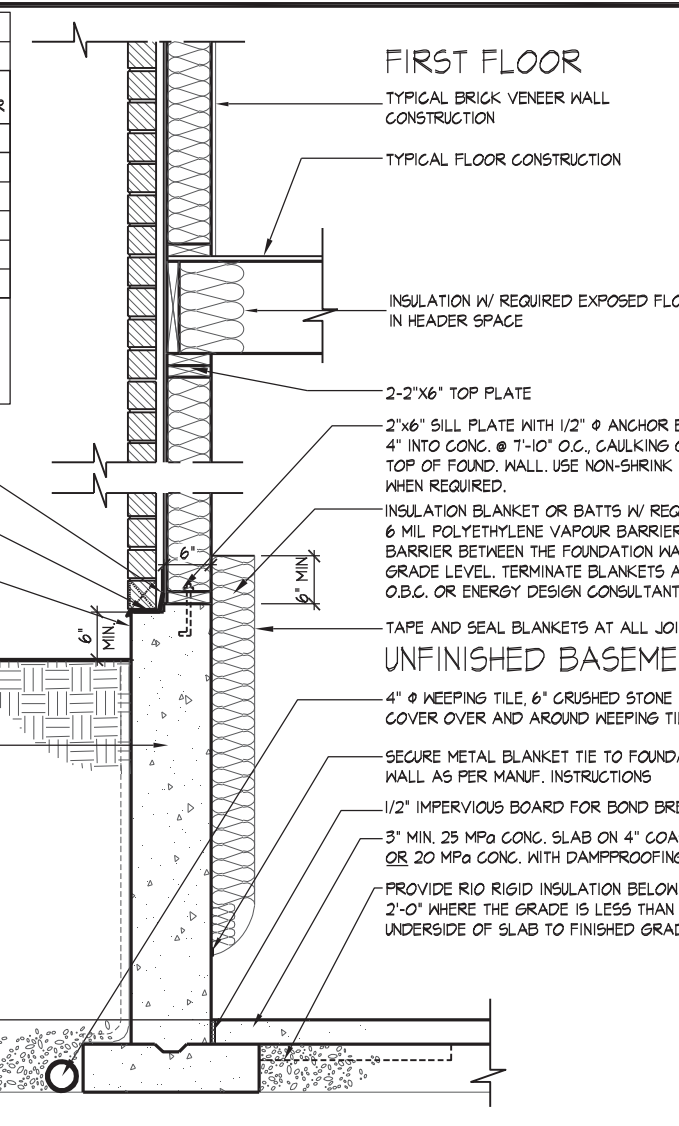
UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2.1)

STRENGTH RANGES	MAX. HEIGHT FROM FIN. SLAB TO GRADE			
	UNSUPPORTED AT TOP	SUPPORTED AT TOP	UNSUPPORTED AT TOP	SUPPORTED AT TOP
8"	5'-11" (1.20m)	1'-0" (2.15m)	1'-0" (2.15m)	6'-10" (2.10m)
10"	4'-11" (1.40m)	1'-6" (2.30m)	8'-6" (2.60m)	8'-2" (2.50m)
12"	4'-11" (1.50m)	1'-6" (2.30m)	8'-6" (2.60m)	4'-3" (2.85m)
14"	8"	3'-11" (1.20m)	1'-6" (2.30m)	1'-2" (2.20m)
16"	10"	4'-11" (1.40m)	1'-6" (2.30m)	8'-6" (2.60m)
18"	12"	4'-11" (1.50m)	1'-6" (2.30m)	8'-6" (2.60m)
20"	12"	4'-11" (1.50m)	1'-6" (2.30m)	8'-6" (2.60m)

MINIMUM STRIP FOOTING SIZES (9.15.3)

NUMBER FLOORS SUPPORTED	SUPPORTING INT. LOAD BEARING MASONRY WALL	SUPPORTING EXTERIOR MASONRY WALL	SUPPORTING PARTY WALL
1	16" X 8" D	16" X 8" D	16" X 8" D
2	24" X 8" D	20" X 8" D	24" X 8" D
3	36" X 14" D	28" X 8" D	36" X 14" D

NOTE: FOOTING SIZE SUBJECT TO CERTIFICATION BY A SOIL CONSULTANT



NOTE: POURED CONC. FOOTING ON NATURAL UNDISTURBED SOIL OF 125kPa (5LS) OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125kPa (5LS). FOOTING SIZE SHOWN FOR 16'-0" (4.9m) MAXIMUM JOIST SPAN ONLY. JOIST SPAN EXCEEDING 16'-0" (4.9m) SHALL BE ENGINEERED. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED. ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL ENGINEERING REPORT.

NOTE: WHERE REDUCED GRADE CONDITION REQUIRES THE USE OF A FULL HEIGHT BONDED WALL, REBAR SHALL BE PROVIDED AS PER DETAIL 07 ON PG. 16

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1, 3.1.2, 3.1.3. OF THE OBC.

## 05 MASONRY VENEER, 2"x6" STUDS, 10' FOUNDATION WALL Laterally Unsupported

1/2" = 1'-0"

MIN. STUD SIZE, in (mm)	SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.2.3.10.1)			
	SUPPORTED LOADS (EXTERIOR)			
	ROOF w/ OR w/o ATTIC	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR
	MAX. STUD SPACING in (mm) O.C.			
2"x4" (50x84)	24" (610)	16" (405)	12" (305)	N/A
2"x6" (50x140)	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A
2"x6" (50x140)	-	24" (610)	16" (406)	12" (305)
2"x6" (50x140)	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.

- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

BASE FLASHING CONFORMING TO TABLE 9.2.0.13.1 TO EXTEND 3/16" BEYOND OUTER FACE OF FOUNDATION WALL, TIED TO EXT. SHEATHING UNDER AIR/WATER BARRIER, PROVIDE 6" MINIMUM LAP JOINT.

KEEP HOLES @ 32" O.C. AT BASE FLASHING AND OVER ALL OPENINGS. PROVIDE P.V.C. BRICK VENTILATOR @ ALL KEEP HOLE LOCATIONS. PROVIDE MASONRY PARINGS FROM TOP OF FOUNDATION WALL TO 2" BELOW FINISHED GRADE

OPTIONAL KEEPING TILE AT REAR WALL-SEE MUNICIPAL STANDARDS

FOUNDATION WALLS SHALL NOT EXCEED 9'-10" (3.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. (9.15.4.2.1). POURED CONC. FDN. WALL WITH BITUMINOUS DAMPPROOFING AND DRAINAGE LAYER. REFER TO CHART FOR MAXIMUM UNSUPPORTED HEIGHT AND EARTH RETENTION FROM BASEMENT SLAB TO FINISHED GRADE, ON CONTINUOUS KEYS CONC. FTG. BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL.

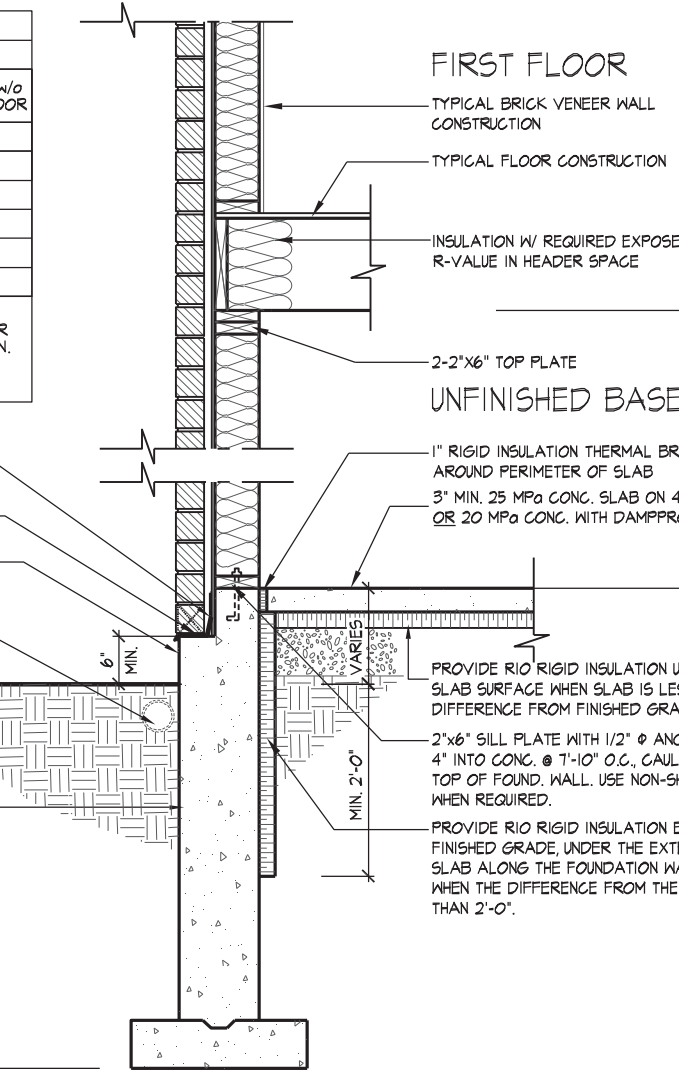
UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2.1)

STRENGTH RANGES	MAX. HEIGHT FROM FIN. SLAB TO GRADE			
	UNSUPPORTED AT TOP	SUPPORTED AT TOP	UNSUPPORTED AT TOP	SUPPORTED AT TOP
8"	5'-11" (1.20m)	1'-0" (2.15m)	1'-0" (2.15m)	6'-10" (2.10m)
10"	4'-11" (1.40m)	1'-6" (2.30m)	8'-6" (2.60m)	8'-2" (2.50m)
12"	4'-11" (1.50m)	1'-6" (2.30m)	8'-6" (2.60m)	4'-3" (2.85m)
14"	8"	3'-11" (1.20m)	1'-6" (2.30m)	1'-2" (2.20m)
16"	10"	4'-11" (1.40m)	1'-6" (2.30m)	8'-6" (2.60m)
18"	12"	4'-11" (1.50m)	1'-6" (2.30m)	8'-6" (2.60m)
20"	12"	4'-11" (1.50m)	1'-6" (2.30m)	8'-6" (2.60m)

MINIMUM STRIP FOOTING SIZES (9.15.3)

NUMBER FLOORS SUPPORTED	SUPPORTING INT. LOAD BEARING MASONRY WALL	SUPPORTING EXTERIOR MASONRY WALL	SUPPORTING PARTY WALL
1	16" X 8" D	16" X 8" D	16" X 8" D
2	24" X 8" D	20" X 8" D	24" X 8" D
3	36" X 14" D	28" X 8" D	36" X 14" D

NOTE: FOOTING SIZE SUBJECT TO CERTIFICATION BY A SOIL CONSULTANT



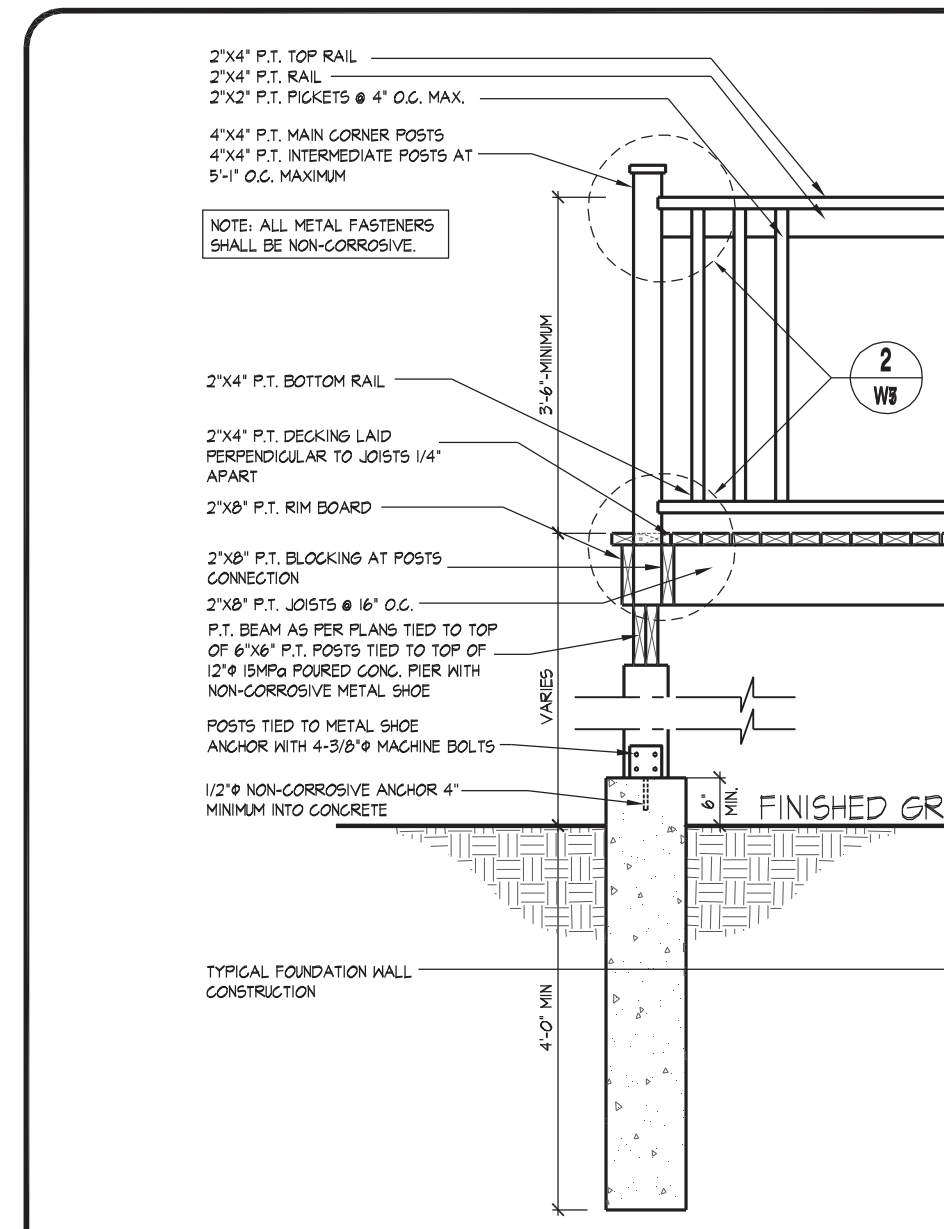
NOTE: POURED CONC. FOOTING ON NATURAL UNDISTURBED SOIL OF 125kPa (5LS) OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125kPa (5LS). FOOTING SIZE SHOWN FOR 16'-0" (4.9m) MAXIMUM JOIST SPAN ONLY. JOIST SPAN EXCEEDING 16'-0" (4.9m) SHALL BE ENGINEERED. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED. ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL ENGINEERING REPORT.

NOTE: WHERE REDUCED GRADE CONDITION REQUIRES THE USE OF A FULL HEIGHT BONDED WALL, REBAR SHALL BE PROVIDED AS PER DETAIL 07 ON PG. 16

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1, 3.1.2, 3.1.3. OF THE OBC.

## 06 MASONRY VENEER, 2"x6" STUDS, SLAB ON GRADE / WALK OUT BASEMENT CONDITION

1/2" = 1'-0"

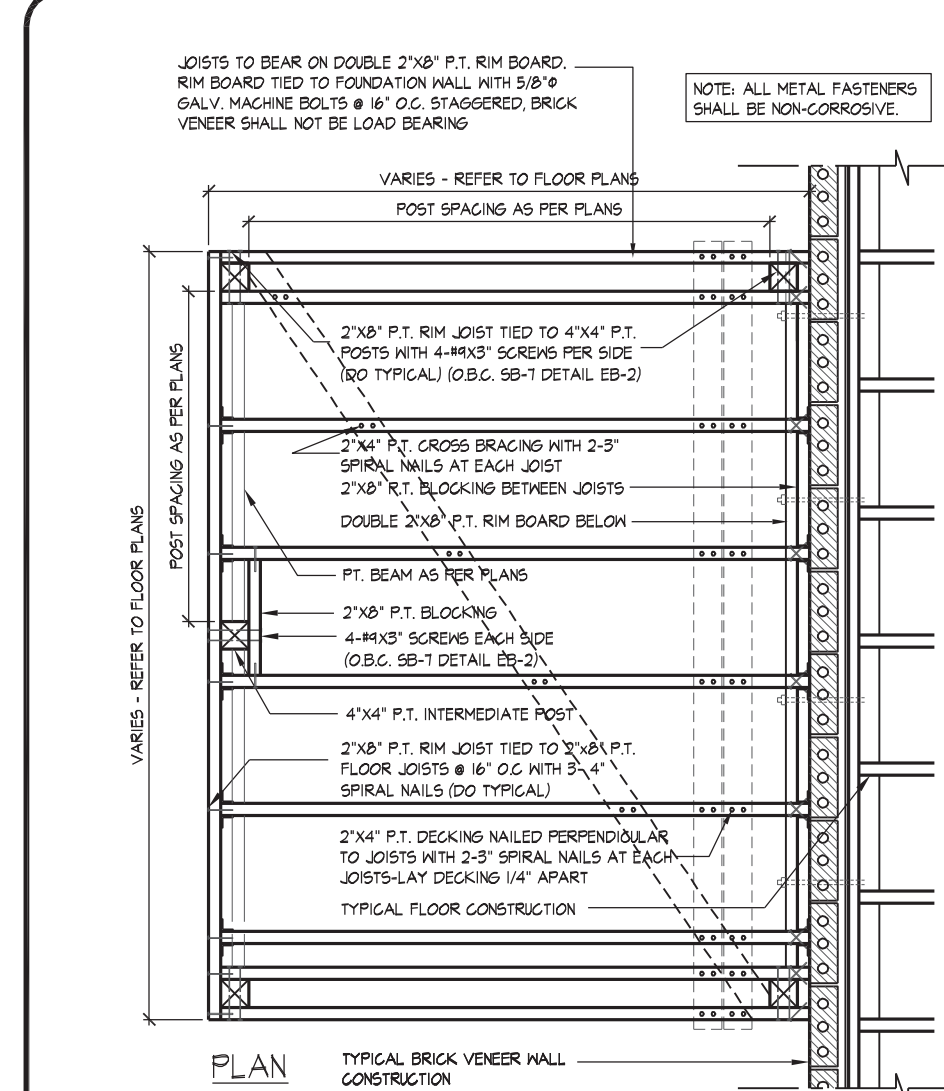


NOTE: POURED CONC. FOOTING ON NATURAL UNDISTURBED SOIL OF 125kPa (5LS) OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125kPa (5LS). FOOTING SIZE SHOWN FOR 16'-0" (4.9m) MAXIMUM JOIST SPAN ONLY. JOIST SPAN EXCEEDING 16'-0" (4.9m) SHALL BE ENGINEERED. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED. ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL ENGINEERING REPORT.

NOTE: WHERE REDUCED GRADE CONDITION REQUIRES THE USE OF A FULL HEIGHT BONDED WALL, REBAR SHALL BE PROVIDED AS PER DETAIL 07 ON PG. 16

## 07 MASONRY VENEER, TYPICAL WALK/LOOK OUT WOOD DECK, SOLID MASONRY

1/2" = 1'-0"



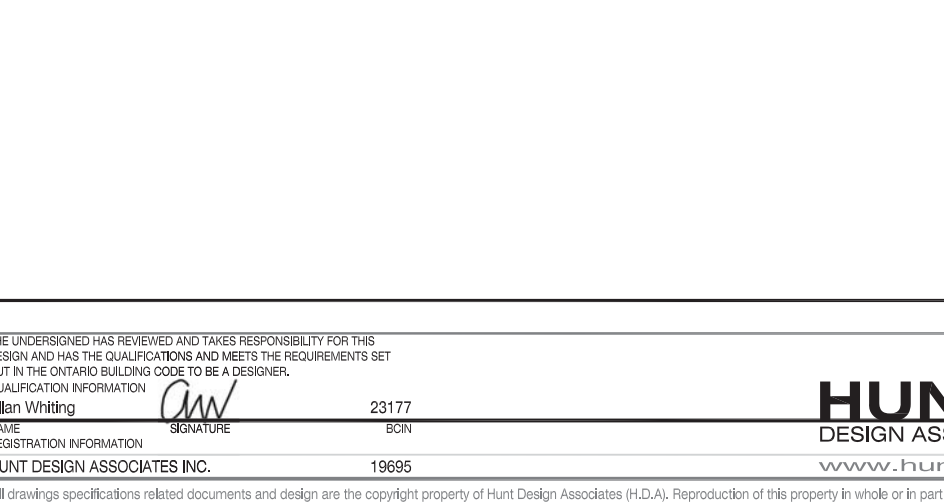
NOTE: POURED CONC. FOOTING ON NATURAL UNDISTURBED SOIL OF 125kPa (5LS) OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125kPa (5LS). FOOTING SIZE SHOWN FOR 16'-0" (4.9m) MAXIMUM JOIST SPAN ONLY. JOIST SPAN EXCEEDING 16'-0" (4.9m) SHALL BE ENGINEERED. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED. ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL ENGINEERING REPORT.

NOTE: WHERE REDUCED GRADE CONDITION REQUIRES THE USE OF A FULL HEIGHT BONDED WALL, REBAR SHALL BE PROVIDED AS PER DETAIL 07 ON PG. 16

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1, 3.1.2, 3.1.3. OF THE OBC.

## 08 TYP. DECK FRAMING ON WOOD LEDGER, BRICK VENEER

1/2" = 1'-0"



GENERAL NOTES:  
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE O.B.C. AND SB-1 OF THE SUPPLEMENTARY STANDARD  
2. LUMBER GRADES SHALL NOT BE LESS THAN NO. 2 SPF.  
3. LUMBER SHALL BE FREE OF LOOSE KNOTS AND ALL CUT ENDS OF PRESERVATIVE TREATED LUMBER SHALL BE TREATED TO PREVENT DECAY  
SPECIES FOR POSTS, PICKETS AND NAILS SHALL BE DOUGLAS FIR-LARCH, HEM-FIR, SPRUCE-PINE-FIR  
4. ALL FASTENERS, SCREWS AND NAILS SHALL BE RESISTANT TO CORROSION - NAILS TO BE COMMON SPIRAL



