



ELEVATION 'B'

UNIT 5006 - LOT 132

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

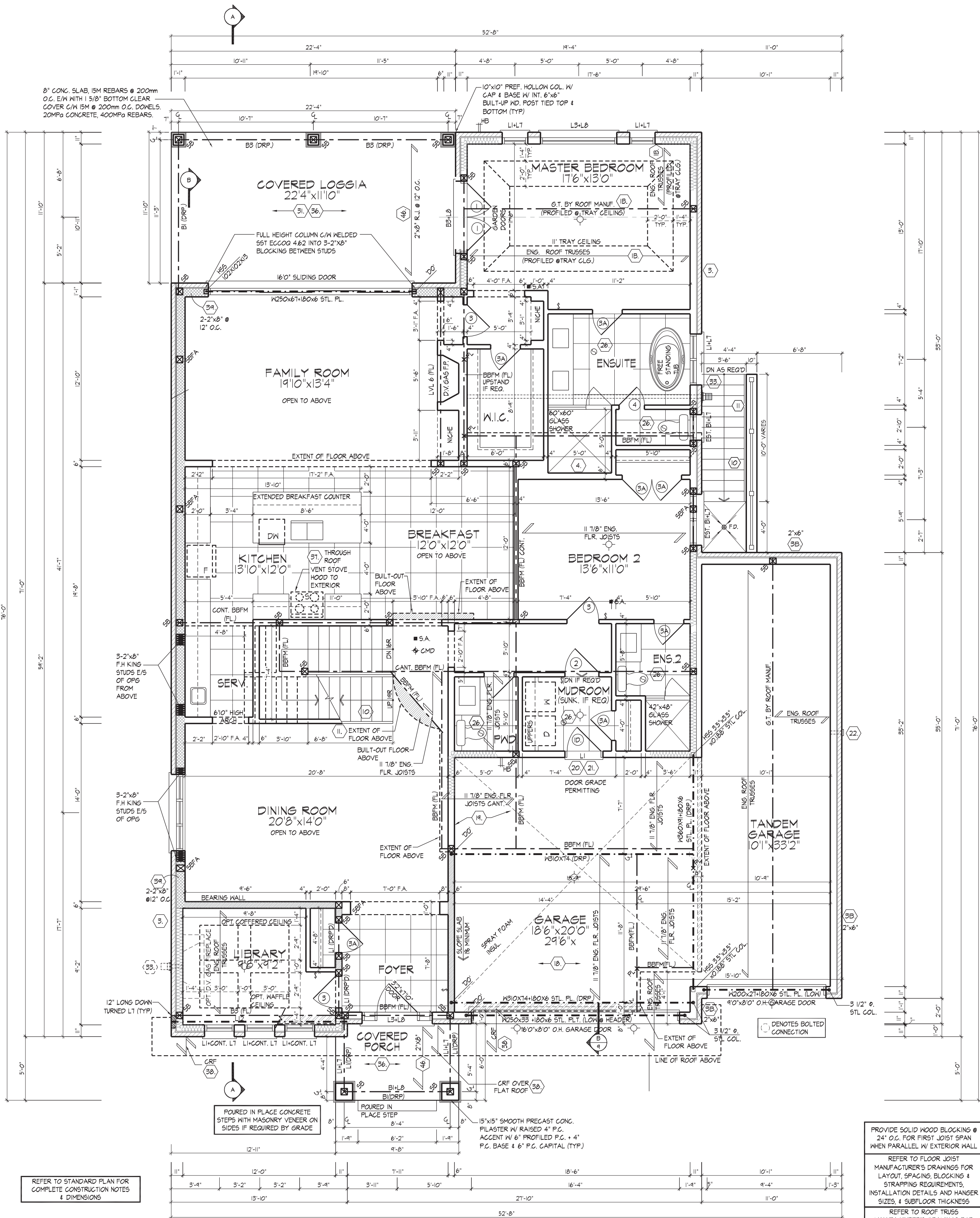
PRESCRIPTIVE COMPLIANCE	SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A	
	SPACE HEATING FUEL	
PACKAGE A1	<input checked="" type="checkbox"/> GAS	<input type="checkbox"/> OIL
	<input type="checkbox"/> ELECTRIC	<input type="checkbox"/> PROPANE
	<input type="checkbox"/> EARTH	<input type="checkbox"/> SOLID FUEL

BUILDING COMPONENT	REQUIRED	PROPOSED
INSULATION RSI (R) VALUE		
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)
BASEMENT WALLS	3.52 ci	3.52 ci
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)	(R20 ci) *	(R20 ci) *
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
WINDOWS & DOORS		
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8
APPLIANCE EFFICIENCY		
SPACE HEATING EQUIP. (AFUE%)	96%	96%
HRV EFFICIENCY (%)	75%	75%
DHW HEATER (EF)	0.8	0.8

AREA CALCULATIONS	EL. 'B'
GROUND FLOOR AREA	STD. PLAN 2260 sq. ft. (209.96 sq. m.)
SECOND FLOOR AREA	2056 sq. ft. (191.01 sq. m.)
SUBTOTAL	4316 sq. ft. (400.97 sq. m.)
DEDUCT ALL OPEN AREAS	881 sq. ft. (81.85 sq. m.)
TOTAL NET AREA	3435 sq. ft. (319.12 sq. m.)
FINISHED BASEMENT AREA	118 sq. ft. (10.96 sq. m.)
COVERAGE W/OUT PORCH	3051 sq. ft. (283.45 sq. m.)
COVERAGE W/ PORCH	3108 sq. ft. (288.74 sq. m.)
COVERAGE W/ LOGGIA	3372 sq. ft. (313.27 sq. m.)
WINDOW / WALL AREA CALCULATIONS	EL. 'B' STD. PLAN
GROSS WALL AREA	4715.24 sq. ft. (438.06 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	571.60 sq. ft. (53.10 sq. m.)
TOTAL WINDOW %	12.12 %

- 1 - TITLE PAGE
- 2 - BASEMENT PLAN, EL. 'B'
- 3 - GROUND FLOOR PLAN, EL. 'B'
- 4 - SECOND FLOOR PLAN, EL. 'B'
- 5 - FRONT ELEVATION 'B'
- 6 - LEFT SIDE ELEVATION 'B'
- 7 - RIGHT SIDE ELEVATION 'B'
- 8 - REAR ELEVATION 'A' & 'B'
- 9 - SECTION 'B-B'
- 10 - CONSTRUCTION NOTES

<div><div>GOLDPARK</div><div>WORTH MORE™</div></div> <div><div>PINE VALLEY</div><div>FOREVERGREEN</div></div>	7. -	-	-
	6. -	-	-
	5. -	-	-
	4. REVISED PER STRUCT. COMMENTS	2020.05.14	NEA
	3. REVISED PER STRUCT. COMMENTS & ISSUED FOR PERMIT	2020.05.08	AW
	2. CO-ORD. W/FLOOR & TRUSS LAYOUTS	2020.04.14	AW
	1. ISSUED FOR CLIENT REVIEW	2020.03.31	AW
	REVISIONS	DATE (YYYYMMDD)	BY



GROUND FLOOR PLAN, EL. 'B' (LOT 132)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Vaughan.

APPROVED BY: DATE: MAY 18, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



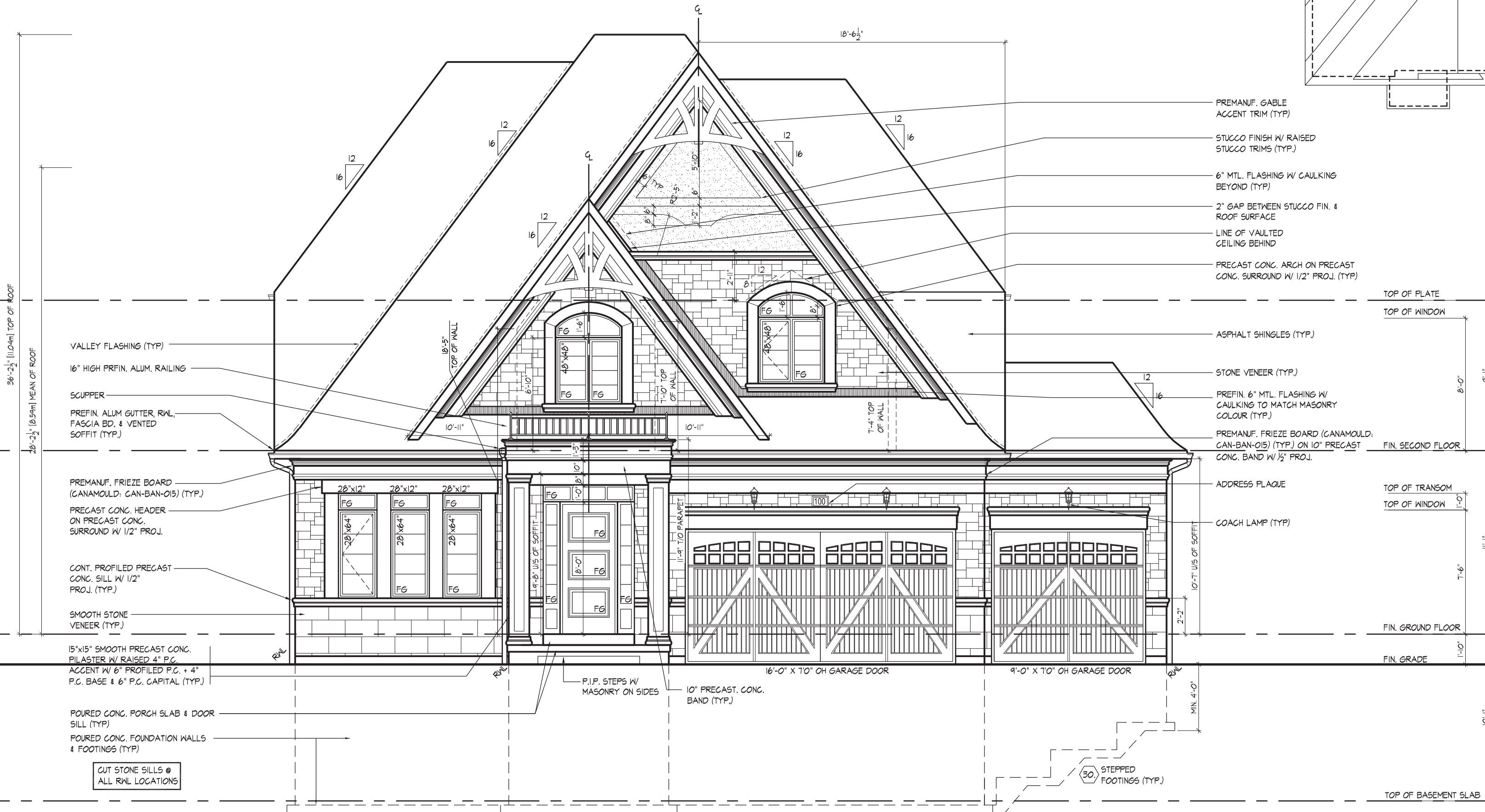
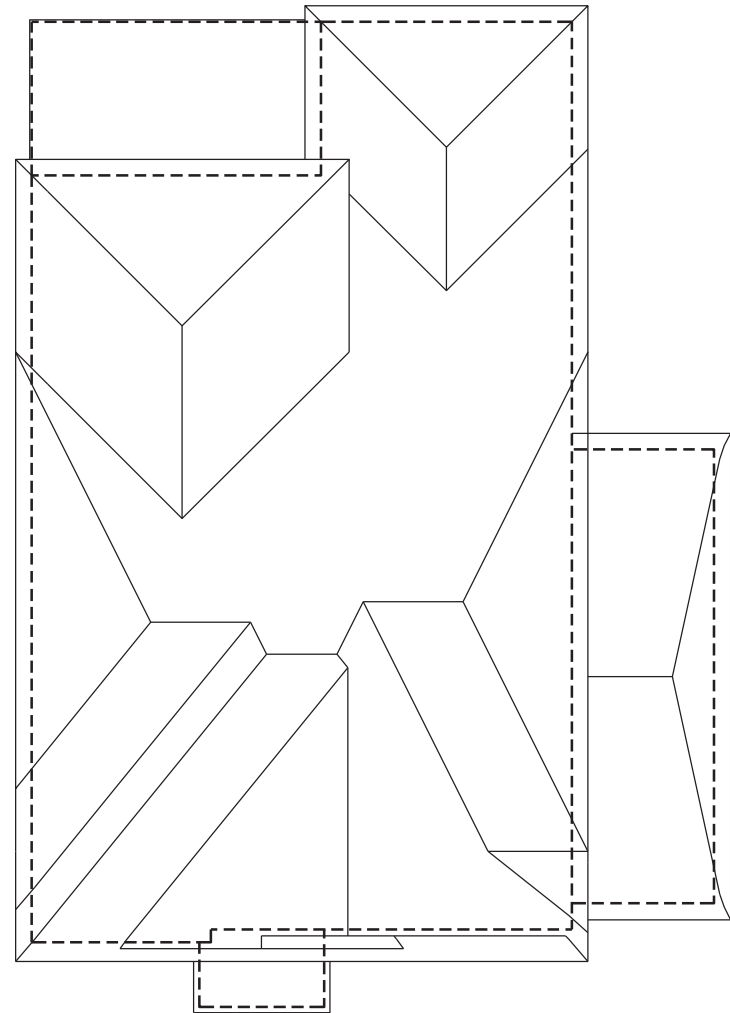
FOR STRUCTURAL ONLY, EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, AND FLOOR LVL BEAM DESIGN.

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL.

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS.

REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.

ROOF OVERHANGS TO BE 15"
UNLESS NOTED OTHERWISE



FRONT ELEVATION 'B' (LOT 132)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: MAY 15, 2020
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Albin Whitting
SIGNATURE: *[Signature]* BCIN 23177
HUNT DESIGN ASSOCIATES INC. 19995

HUNT
DESIGN ASSOCIATES INC.
www.hunt-design.ca

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

Drawn By: JK
Checked By: AW
Scale: 3/16"=1'-0"
8966 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326

File Number: 217020WS5006-Lot 132

FRONT ELEVATION 'B'
UNIT 5006 - LOT 132
REV.2020.05.14

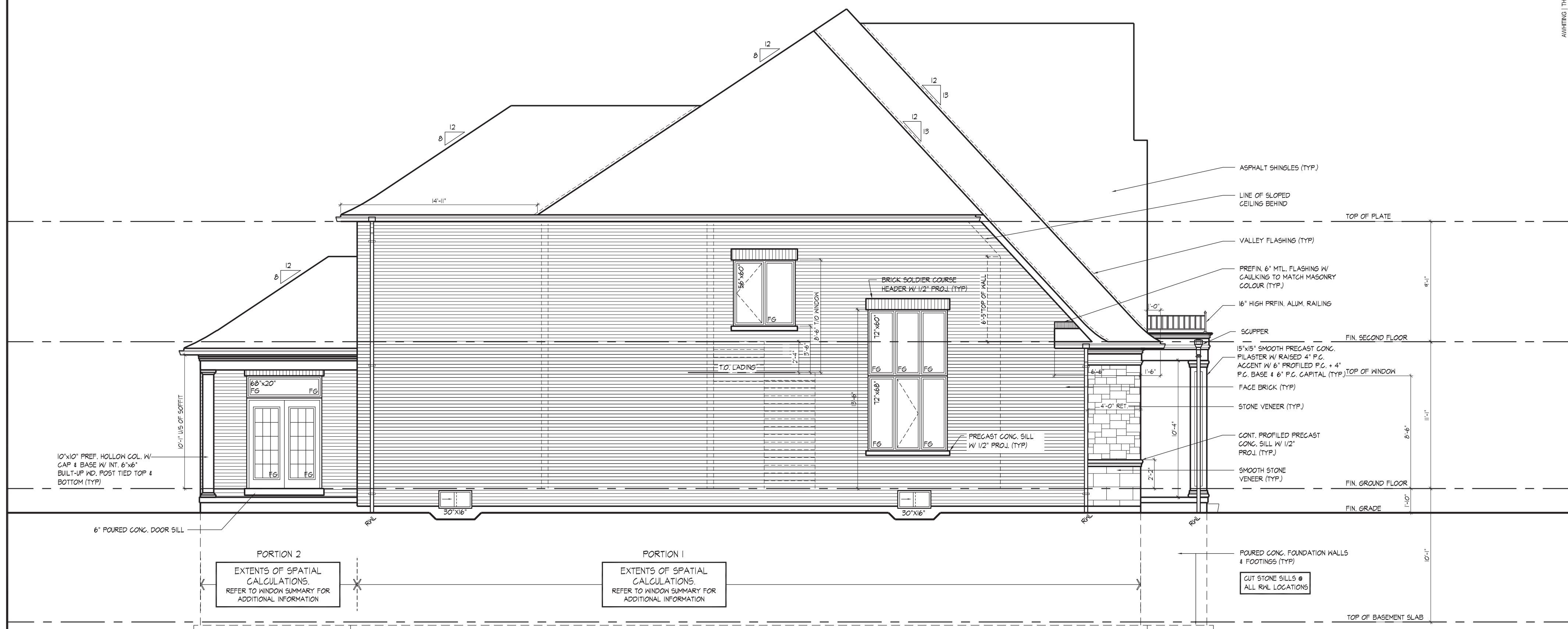
Page Number: 5 of 10

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A.). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature).

ROOF OVERHANGS TO BE 15"
UNLESS NOTED OTHERWISE

WINDOW SUMMARY				
PER O.B.C. TABLE 10.10.15.4				
LEFT SIDE ELEVATION BWP.DOT.1				
QUANTITY	UNIT	DESCRIPTION	WINDOW/DOT FRAME SIZE	
1	m ²	72" 60"	30.22	
1	m ²	72" 60"	26.44	
1	m ²	58" 60"	20.22	
2	m ²	30" 18"	4.33	
0	m ²	0" 0"	0.00	
0	m ²	0" 0"	0.00	
0	m ²	0" 0"	0.00	
0	m ²	0" 0"	0.00	
0	m ²	0" 0"	0.00	
0	m ²	DOOR	0.00	
0	m ²	ARCH	0.00	
0	m ²	ARCH	0.00	
0	m ²	ARCH	0.00	
0	m ²	ARCH	0.00	
0	m ²	ARCH	0.00	
SPATIAL CALCULATION				
EXPOSING BUILDING		144.25	S.F.	
FACE AREA		134.45	S.F.	
PORTION WALL AREA		1308.21	S.F.	
		121.35	S.F.	
LIMITING DISTANCE		1.2 m		
MAX. % OPENINGS		%		
OPENINGS PROVIDED		91.43	%	
OPENINGS PROVIDED		81.22	%	
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE				
MINUS 2" AIRPORT EXTRUSION PERMITS				

WINDOW SUMMARY			
FOR O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION B PORT 2			
QUAN	UNIT	WINDOW / DOOR FRAME SIZE (L x H)	GLAZED AREA (S.F.)
0	"0"	0' 0" x 1' 1"	0.00
0	"0"	0' 0" x 0' 0"	0.00
0	"0"	0' 0" x 0' 0"	0.00
0	"0"	0' 0" x 0' 0"	0.00
0	"0"	0' 0" x 0' 0"	0.00
0	"0"	0' 0" x 0' 0"	0.00
0	"0"	0' 0" x 0' 0"	0.00
0	"0"	0' 0" x 0' 0"	0.00
2	DOOR	0' 0" x 9' 10"	18.38
0	ARCH	0' 0" x 0' 0"	0.00
0	ARCH	0' 0" x 0' 0"	0.00
0	ARCH	0' 0" x 0' 0"	0.00
0	ARCH	0' 0" x 0' 0"	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING FACE AREA		144.22	S.F.
PORTION WALL AREA		134.45	S.F.
		141.01	S.F.
		13.10	S.F.
LIMITING DISTANCE		8.0 m	
MAX. % OPENINGS		28	%
OPENINGS ALLOWED		39.48	S.F.
OPENINGS PROVIDED		26.49	S.F.
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



LEFT SIDE ELEVATION 'B' W/ LOGGIA (LOT 132)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: MAY 19, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

CODE TO BE A DESIGNER		
QUALIFICATION INFORMATION		
Allan Whiting		2317
NAME	SIGNATURE	BO

REGISTRATION INFORMATION	
HUNT DESIGN ASSOCIATES INC.	1965

All drawings specifications related documents and design are the copyright

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

Drawn By	Checked By	Scale
----------	------------	-------

JK	AW	3/16"=1'-0"
----	----	-------------

8966 Woodbine Ave, Markham, ON L3R 0J7

A's written permission (H.D.A. assumes no responsibility or liability)

LEFT SIDE ELEVATION 'B'
UNIT 5006 - LOT 132

REV.2020.05.14

File Number Page Number

OWS5006-Lot 132 6 of 10

5.737.7326

(Include the appropriate BCIN number and original signature.)

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

ROOF OVERHANGS TO BE 15"
UNLESS NOTED OTHERWISE

WINDOW SUMMARY			
PER O.B.C. TABLE 8.10.15.4			
RIGHT SIDE ELEVATION B			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	30"	16"	2.17
1	24"	36"	4.44
1	48"	52"	14.67
2	48"	60"	34.22
1	24"	60"	7.78
1	24"	48"	6.11
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	DOOR		0.00
0	ARCH		0.00
0	ARCH		0.00
0	ARCH		0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	1447.22	S.F.	
FACE AREA	134.45	S.M.	
PORTION WALL AREA	1447.22	S.F.	
	134.45	S.M.	
LIMITING DISTANCE	1.2 m		
MAX. % OPENINGS	7	%	
OPENINGS ALLOWED	101.31	S.F.	
OPENINGS PROVIDED	69.39	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



RIGHT SIDE ELEVATION 'B' (LOT 132)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: MAY 12, 2020
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Albin Whiting
SIGNATURE *[Signature]* BCIN 23177
HUNT DESIGN ASSOCIATES INC. 19995

HUNT
DESIGN ASSOCIATES INC.
www.hunt-design.ca

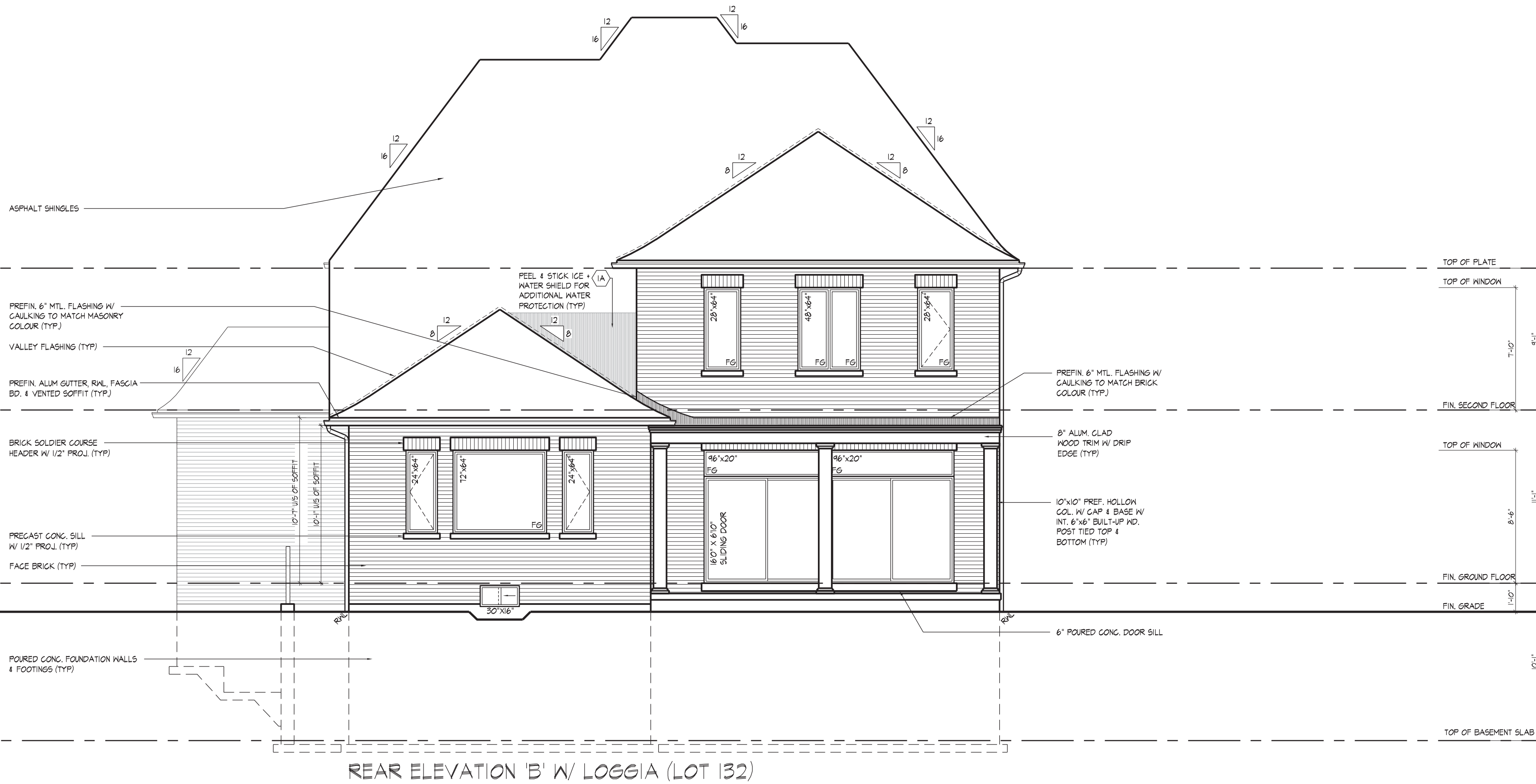
GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

Drawn By: JK
Checked By: AW
Scale: 3/16"=1'-0"
File Number: 217020WS5006-Lot 132
Page Number: 7 of 10

RIGHT SIDE ELEVATION 'B'
UNIT 5006 - LOT 132
REV.2020.05.14

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A.). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature).

WINDOW SUMMARY				
PER O.B.C. TABLE 9.10.15.4				
REAR ELEVATION B				
QTY	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	
2	28"	64"		20.00
1	48"	64"		18.33
2	24"	64"		18.87
1	72"	64"		28.33
1	180"	102"	DR/TRAN.	127.84
1	30"	16"		2.17
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	ARCH			0.00
0	ARCH			0.00
0	ARCH			0.00
0	ARCH			0.00
SPATIAL CALCULATION				
EXPOSING BUILDING	921.71	S.F.		
FACE AREA	85.63	S.M.		
PORTION WALL AREA	921.71	S.F.		
	85.63	S.M.		
LIMITING DISTANCE		7.50 m		
MAX. % OPENINGS	50.50	%		
OPENINGS ALLOWED	485.46	S.F.		
OPENINGS PROVIDED	213.44	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: MAY 19, 2020
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

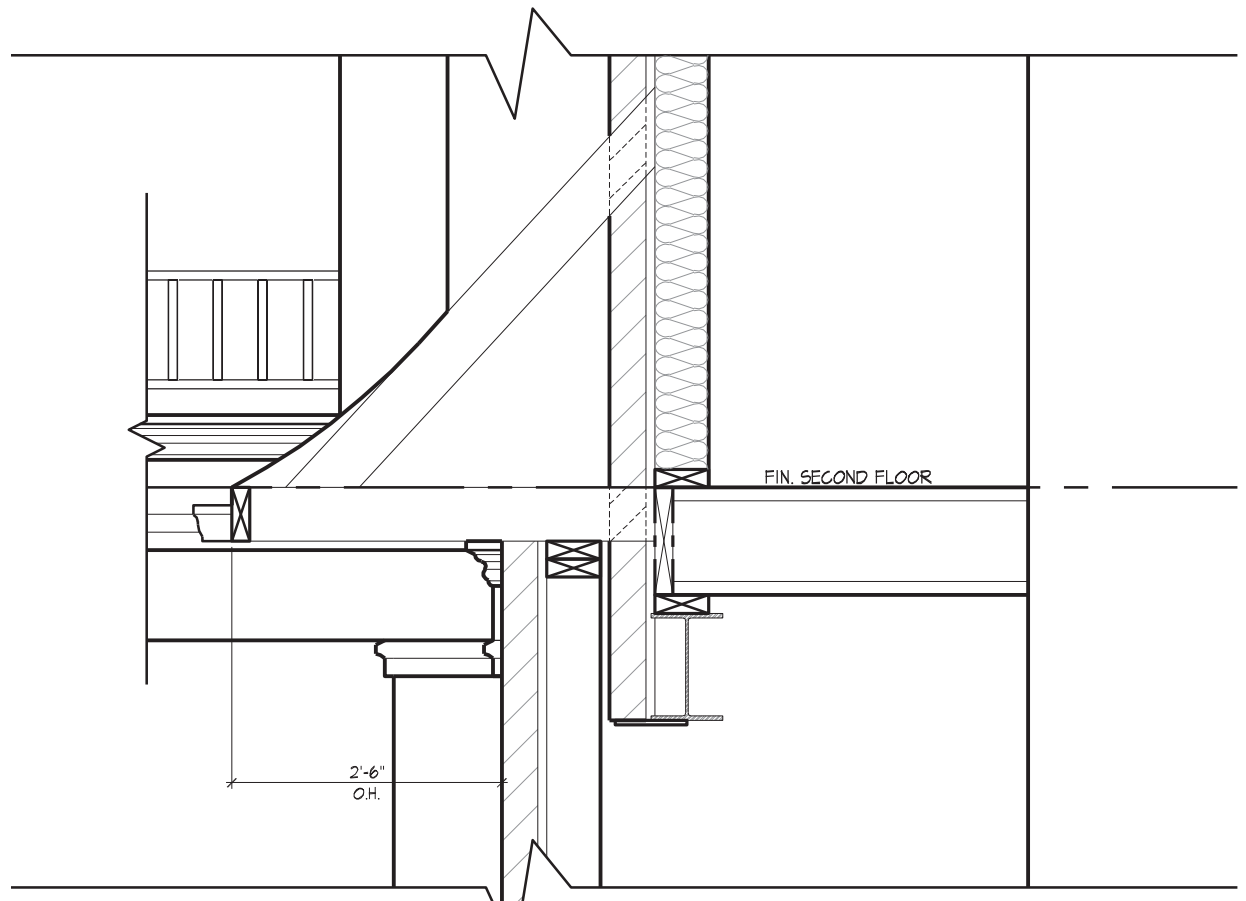
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Albin Whiting
SIGNATURE: *[Signature]* BCIN 23177
HUNT DESIGN ASSOCIATES INC. 19895

HUNT DESIGN ASSOCIATES INC.
8966 Woodbine Ave, Markham, ON L3R 0J7
www.hunt-design.ca
T 905.737.5133 F 905.737.7326

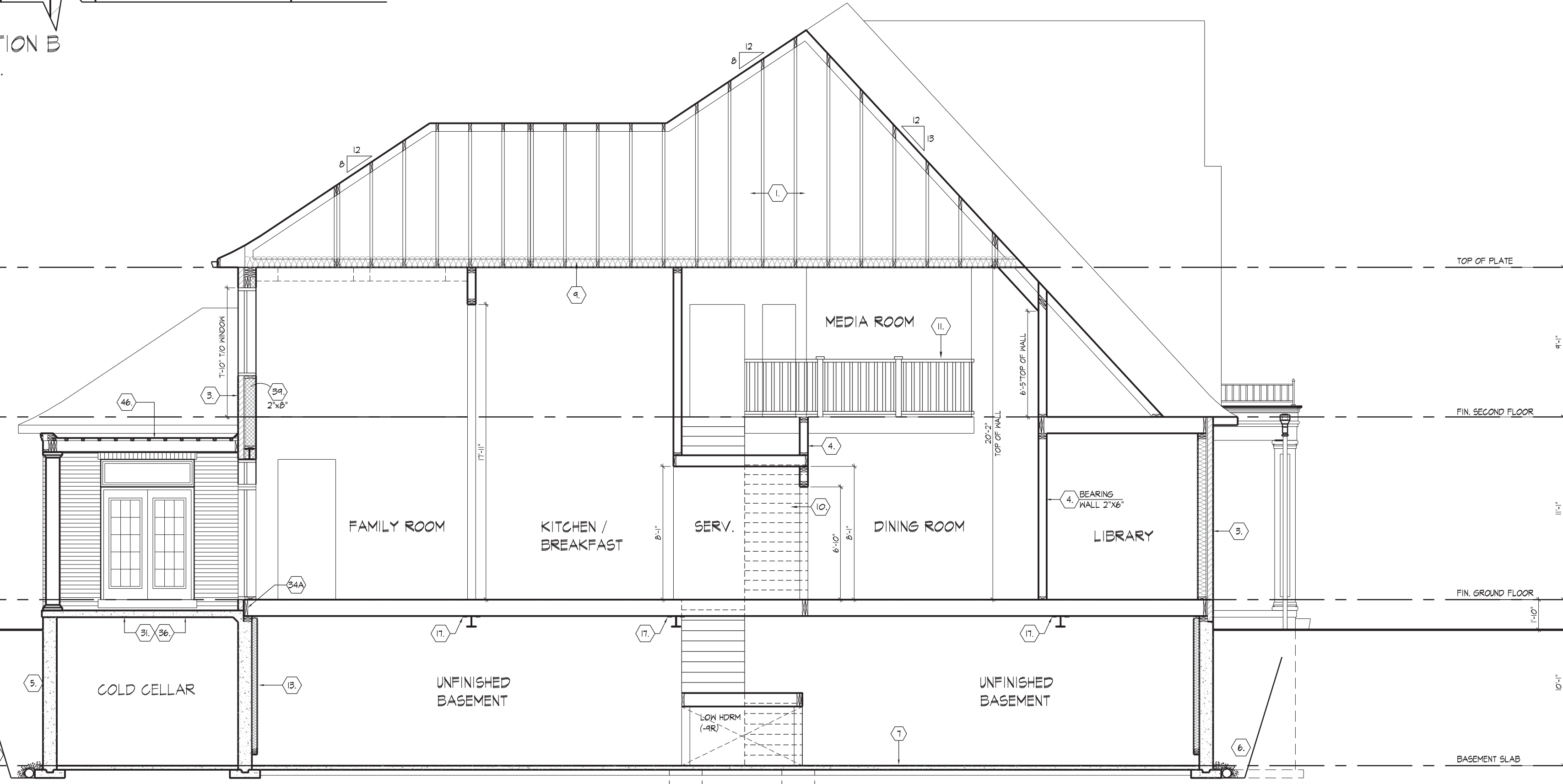
GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

Down By: JK
Checked By: AW
Scale: 3/16"=1'-0"
File Number: 217020WS5006-Lot 132
Page Number: 8 of 10

REAR ELEVATION 'A' & 'B'
UNIT 5006 - LOT 132
REV. 2020.05.14



SECTION B
N.T.S.



CROSS SECTION 'A-A'

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

ROOF OVERHANGS TO BE 15"
UNLESS NOTED OTHERWISE



FOR STRUCTURAL ONLY, EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL. BEAM DESIGN.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS
THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING
CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Albin Whiting
SIGNATURE
BCIN
23177
HUNT DESIGN ASSOCIATES INC.
19995



GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

Drawn By JK
Checked By AW
Scale 3/16"=1'-0"
8966 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326

SECTION 'B-B'
UNIT 5006 - LOT 132
REV.2020.05.14

File Number 217020WS5006-Lot 132
Page Number 9 of 10

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A.). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature.)

