

## UNIT 4202 - 'THE ROSEDALE' - LOT 1

### SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PRESCRIPTIVE COMPLIANCE	SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A	
	SPACE HEATING FUEL	
PACKAGE A1	<input checked="" type="checkbox"/> GAS	<input type="checkbox"/> OIL
	<input type="checkbox"/> ELECTRIC	<input type="checkbox"/> PROPANE
	<input type="checkbox"/> EARTH	<input type="checkbox"/> SOLID FUEL

BUILDING COMPONENT	REQUIRED	PROPOSED
INSULATION RSI (R) VALUE		
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)
BASEMENT WALLS	3.52 ci (R20 ci) *	3.52 ci (R20 ci) *
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)		
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
WINDOWS & DOORS		
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8
APPLIANCE EFFICIENCY		
SPACE HEATING EQUIP. (AFUE%)	96%	96%
HRV EFFICIENCY (%)	75%	75%
DHW HEATER (EF)	0.8	0.8

AREA CALCULATIONS	EL. 'A'
	STD. PLAN
GROUND FLOOR AREA	1549 sq. ft. (143.91 sq. m.)
SECOND FLOOR AREA	2079 sq. ft. (193.15 sq. m.)
SUBTOTAL	3628 sq. ft. (337.05 sq. m.)
DEDUCT ALL OPEN AREAS	24 sq. ft. (2.23 sq. m.)
TOTAL NET AREA	3604 sq. ft. (334.82 sq. m.)
FINISHED 9 FT. BASEMENT AREA	79 sq. ft. (7.34 sq. m.)
COVERARGE W/OUT PORCH	2149 sq. ft. (199.65 sq. m.)
COVERARGE W/ PORCH	2199 sq. ft. (204.29 sq. m.)
WINDOW / WALL AREA CALCULATIONS	EL. 'A'
	STD. PLAN
GROSS WALL AREA	4653.11 sq. ft. (432.29 sq. m.)
GROSS WINDOW AREA	504.71 sq. ft. (46.89 sq. m.)
	10.85 %

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- 2 - BASEMENT PLAN, EL. 'A' - LOT 1
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- 4 - GROUND FLOOR PLAN, EL. 'A' - LOT 1
- 5 - FRONT ELEVATION 'A' - LOT 1
- 6 - LEFT ELEVATION 'A' - LOT 1
- 7 - RIGHT ELEVATION 'A' - LOT 1
- 8 - FRONT ELEVATION 'A' - LOT 1
- 9 - CROSS SECTION A-A
- 10 - CONSTRUCTION NOTES

7. -	-	-
6. -	-	-
5. -	-	-
4. REVISED PER ENG. STRUCT. COMMENTS & ISSUED FOR PERMIT	2022.09.21	AW
3. CO-ORD. W/FLOOR & TRUSS LAYOUTS	2022.09.13	AW
2. ISSUED FOR FLOOR/TRUSS/HVAC	2022.08.10	WT
1. ISSUED FOR CLIENT REVIEW	2022.08.09	WT
REVISIONS		DATE (YYYYMMDD) BY

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION:  
Allan Whiting  
NAME  
REGISTRATION INFORMATION  
HUNT DESIGN ASSOCIATES INC.  
19695

23177

BCIN

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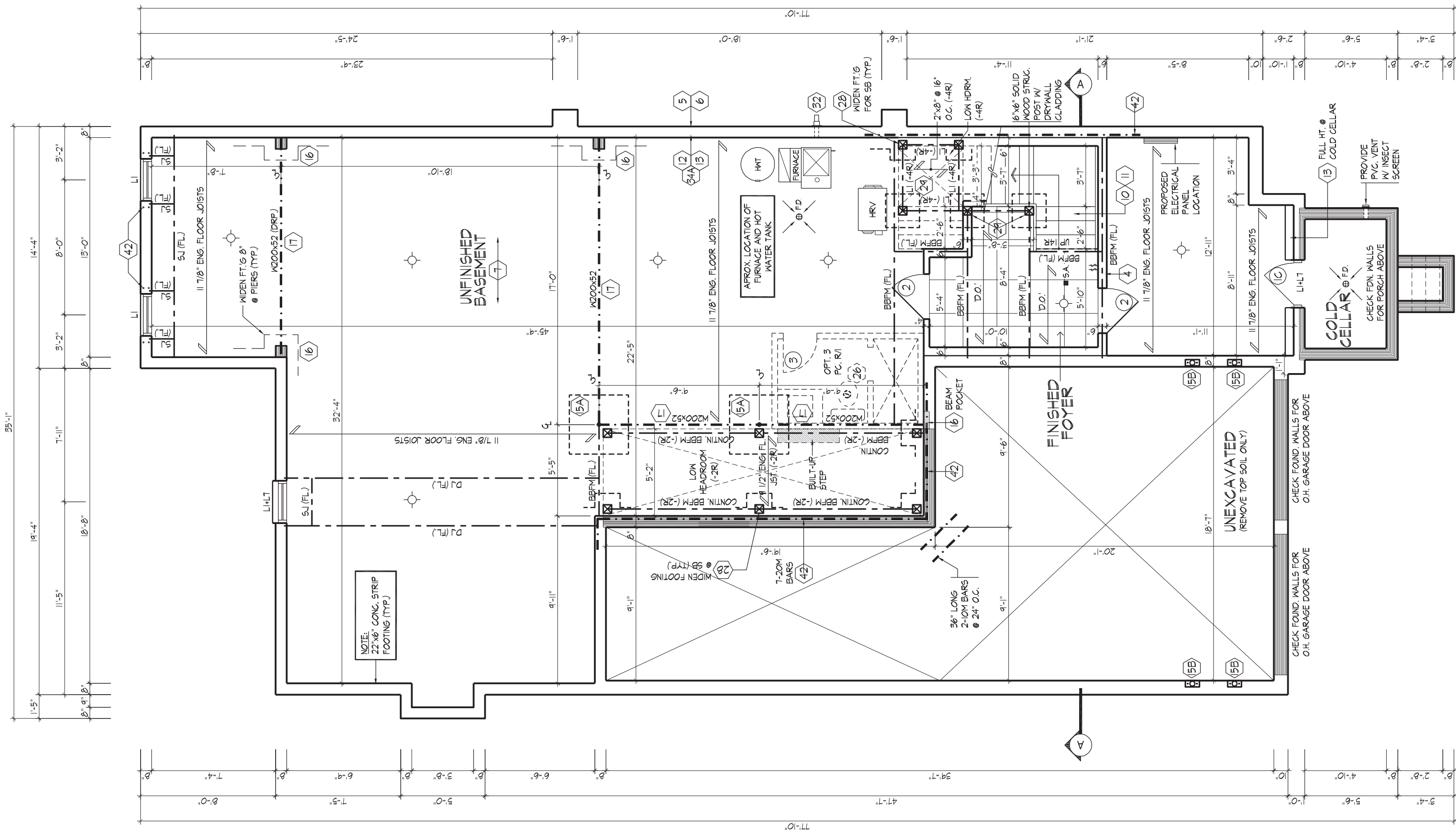
**GOLDPARK HOMES - 217020**  
PINE VALLEY, VAUGHAN ONT.

Down By  
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Scale  
3/16"=1'-0"  
File Number  
217020WS4202-Rosedale-Lot 1.DWG  
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**UNIT 4202 - THE ROSEDALE**  
REV.2022.09.21

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MASONRY VENER TIED TO MASONRY VENER WITH GALVANIZED STEEL BOLTS @ 24" O.C. STAGGERED. PROVIDE VERTICAL VENT Voids BETWEEN MASONRY VENER WITHES SOLID IN MORTAR.
SOLID MASONRY MALL IN 4-10M VERT. REBARS (LAP 1'-6" GROUDED INTO BRICK JOINT).
2"x4" SILL PLATE @ TOP ANCHORED TO SOLID MASONRY MALL IN 1/2"x8"x12" BOLTS @ 24" O.C. STAGGERED.

BASEMENT PLAN, EL. 'A' - LOT 1

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL IN EXTERIOR WALL.

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS. INSTALLATION DETAILS AND HANGER SIZES & SUBFLOOR THICKNESS.



wsp

100 COMMERCE VALLEY DR. W.  
THORNHILL, ONTARIO CANADA L3T 0A1  
TEL: 1-855-882-4211 FAX: 1-855-622-0255 WWW.WSPGROUP.CA

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

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ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY:   
DATE: SEP 23, 2022  
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QUALIFICATION INFORMATION  
NAME: Allan Whiting  
SIGNATURE:   
REGISTRATION INFORMATION  
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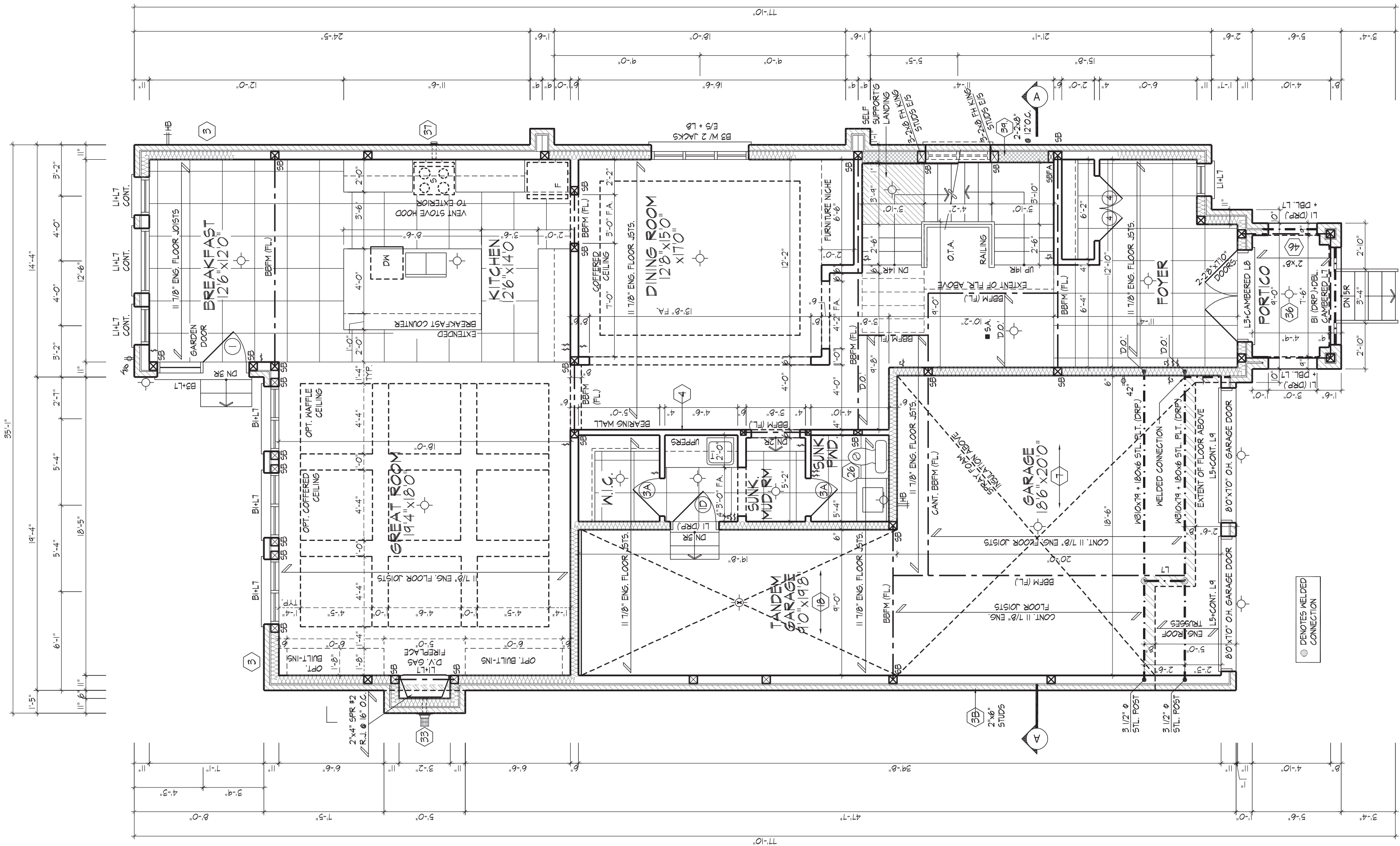
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PINE VALLEY, VAUGHAN ONT.  
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Checked By: AW  
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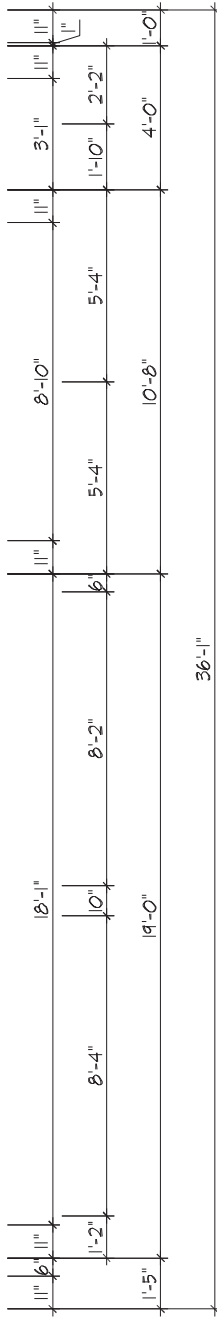
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REFER TO FLOOR JOIST  
MANUFACTURER'S DRAWINGS FOR  
LAYOUT SPACING, BLOCKING,  
STRAPPING REQUIREMENTS,  
INSTALLATION DETAILS AND HANGER  
SIZES, & SUBFLOOR THICKNESS



SPACE ALL FLOOR JOISTS @  
12" O.C. UNDER ALL CERAMIC  
TILE AREAS.

PROVIDE SOLID MOOP BLOCKING @  
24" O.C. FOR FIRST JOIST SPAN  
WHEN PARALLEL W/ EXTERIOR WALL



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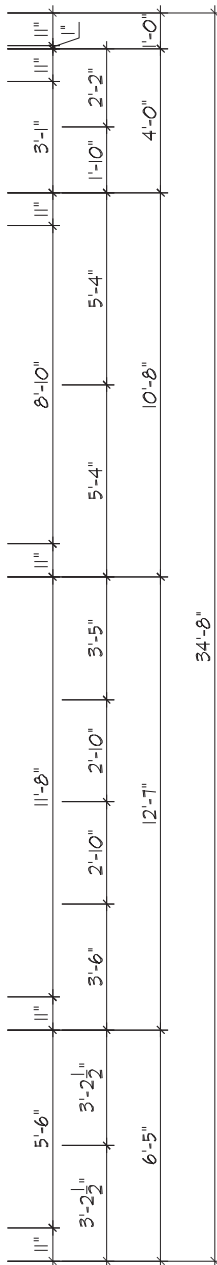
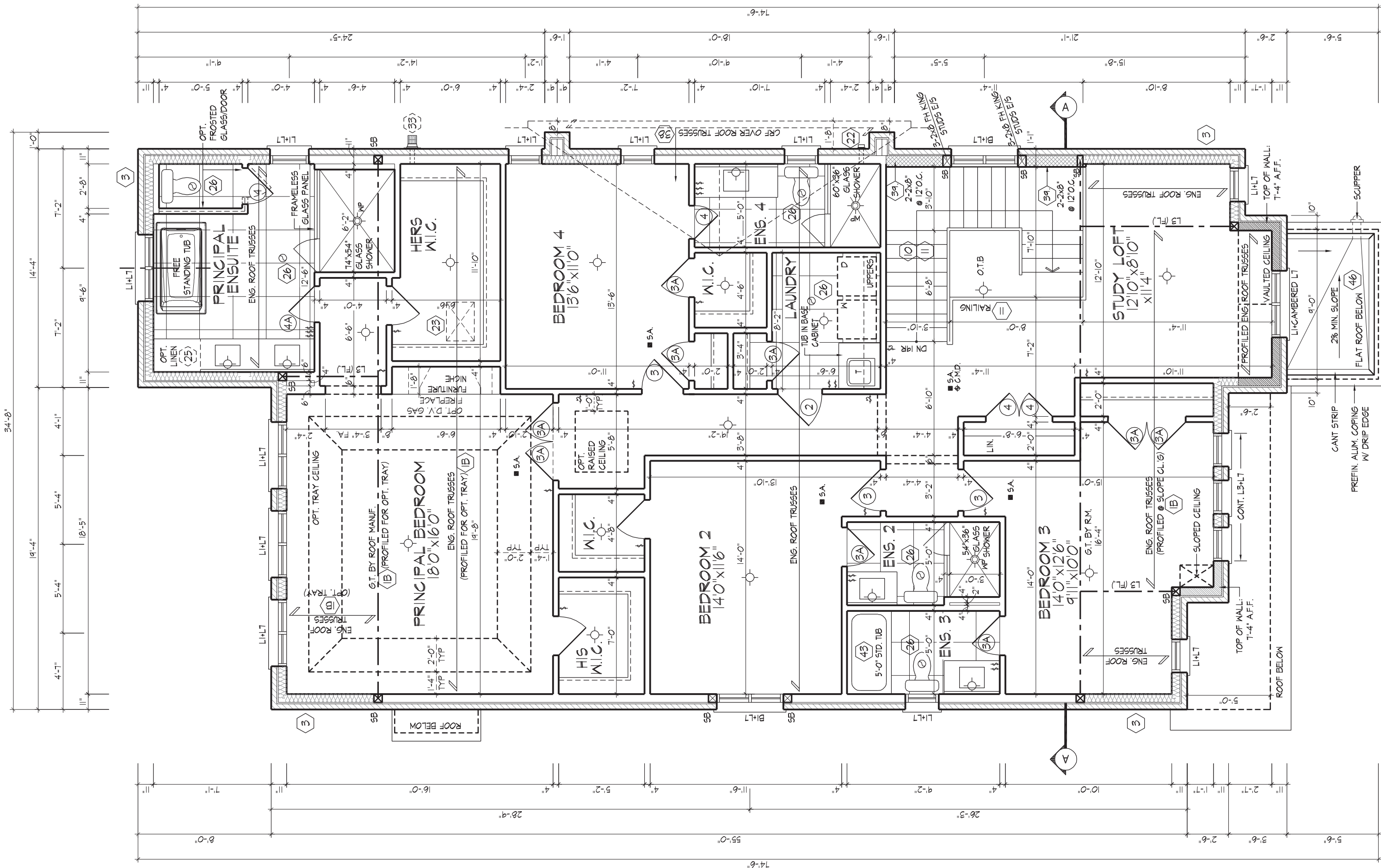
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GROUND FLOOR PLAN, EL. 'A' - LOT 1  
GOLDPARK HOMES - 217020  
PINE VALLEY, VAUGHAN ONT.  
REV.2022.09.21  
UNIT 4202 - THE ROSEDALE  
217020WS-4202-Rosdale-Lot 1.DWG  
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SECOND FLOOR PLAN, EL. 'A' - LOT 1

PROVIDE 6 CURB & RUBBER MAT TO EXCEED MIN. MAT TO EXCEED MIN. ABOVE FLOOR LEVEL

REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.



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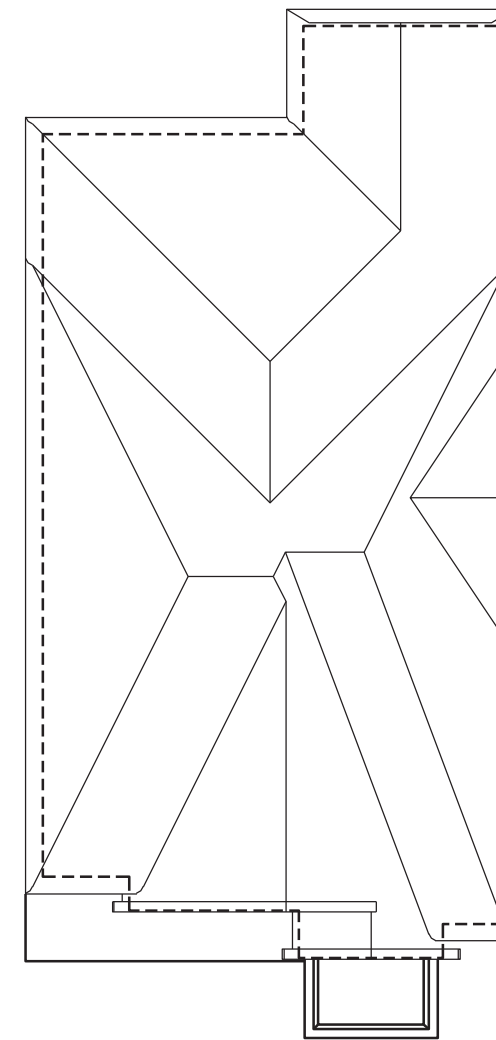
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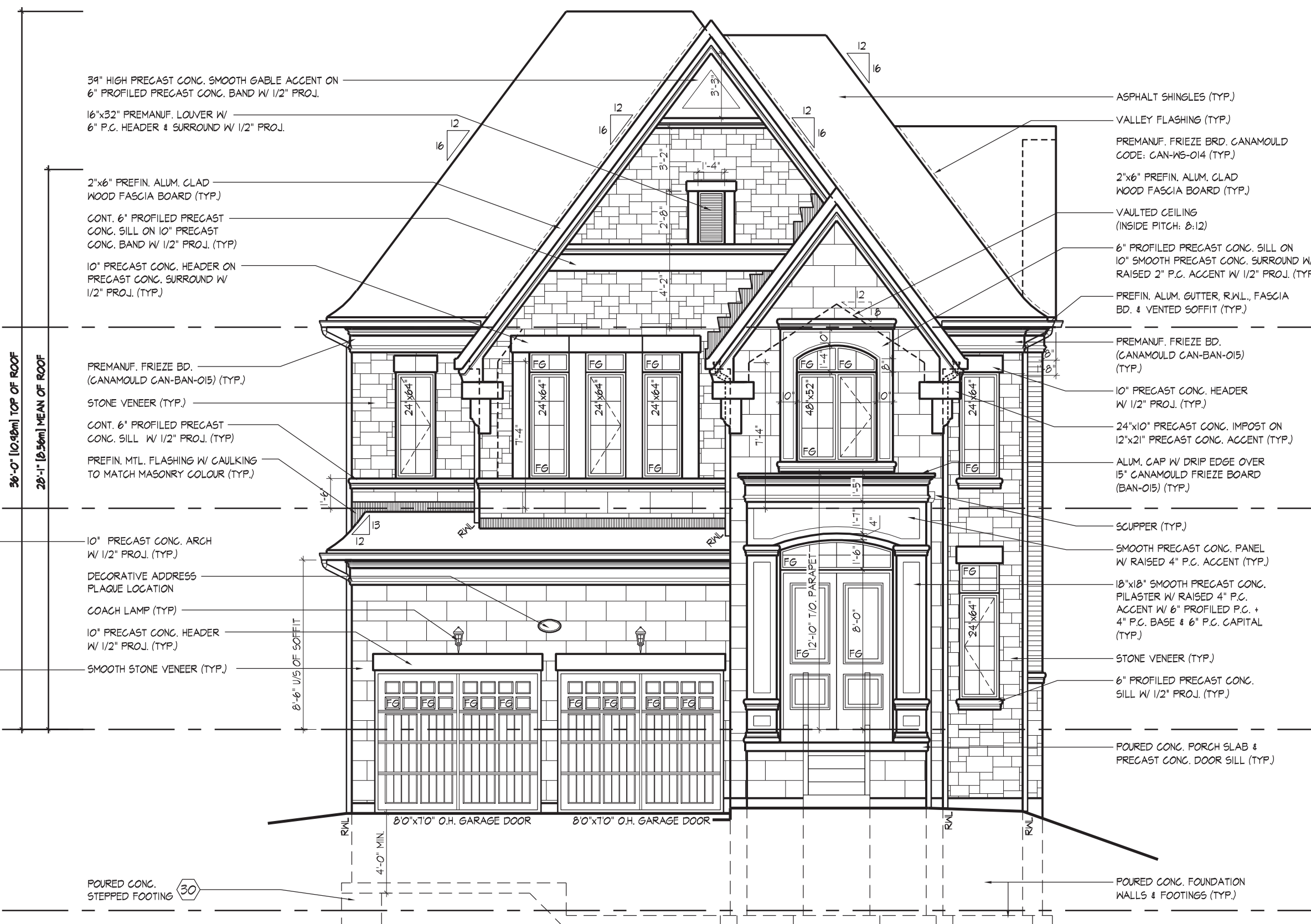
ROOF OVERHANGS ARE TO BE 15" UNLESS NOTED OTHERWISE



ROOF PLAN  
ELEV. 'A'  
N.T.S.



PORTICO ELEVATION 'A'



FRONT ELEVATION 'A' - LOT 1

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**FRONT ELEVATION 'A' - LOT 1**  
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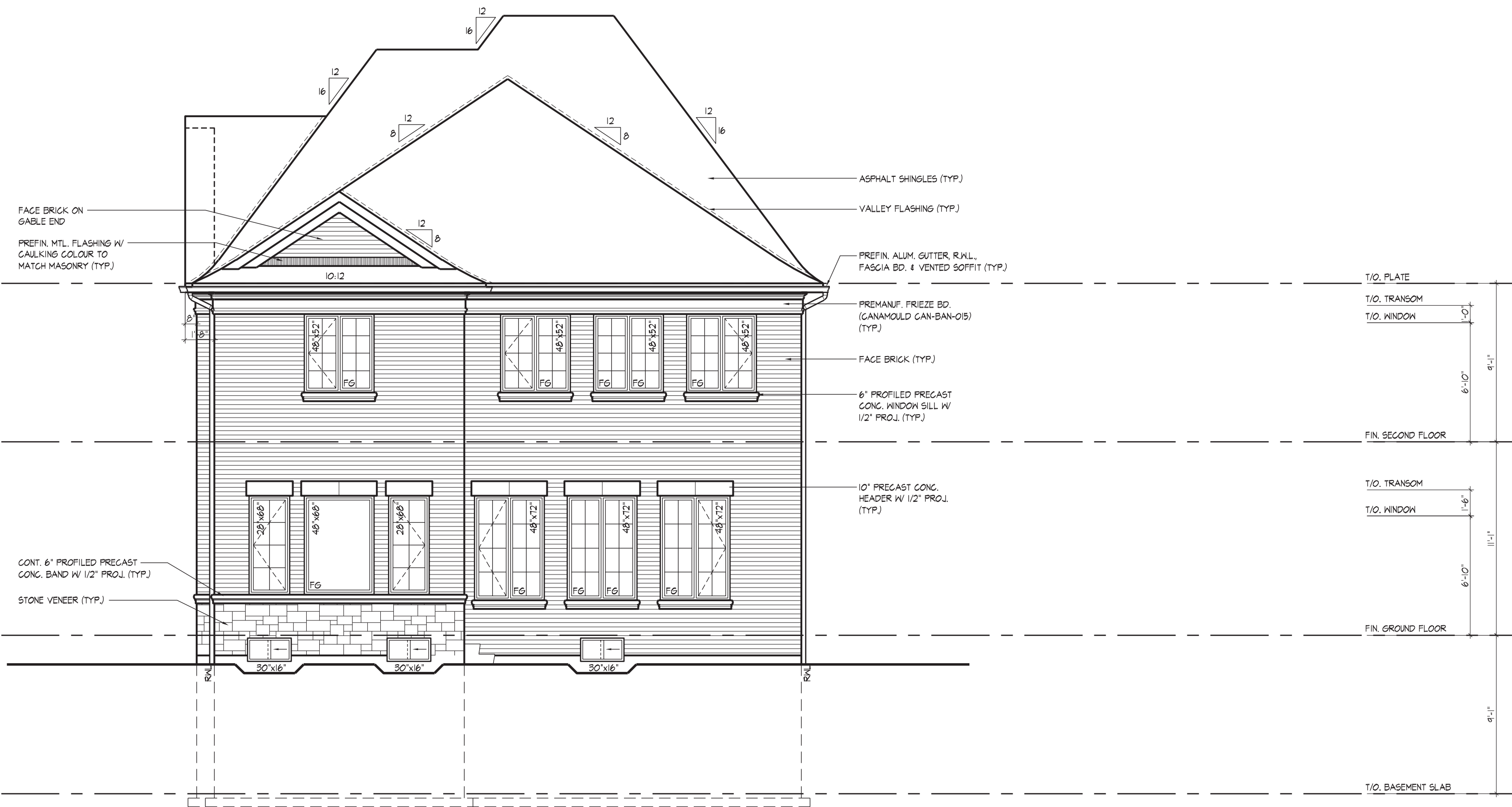




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ROOF OVERHANGS ARE TO BE 15" UNLESS NOTED OTHERWISE

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.



REAR ELEVATION 'A' - LOT 1

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