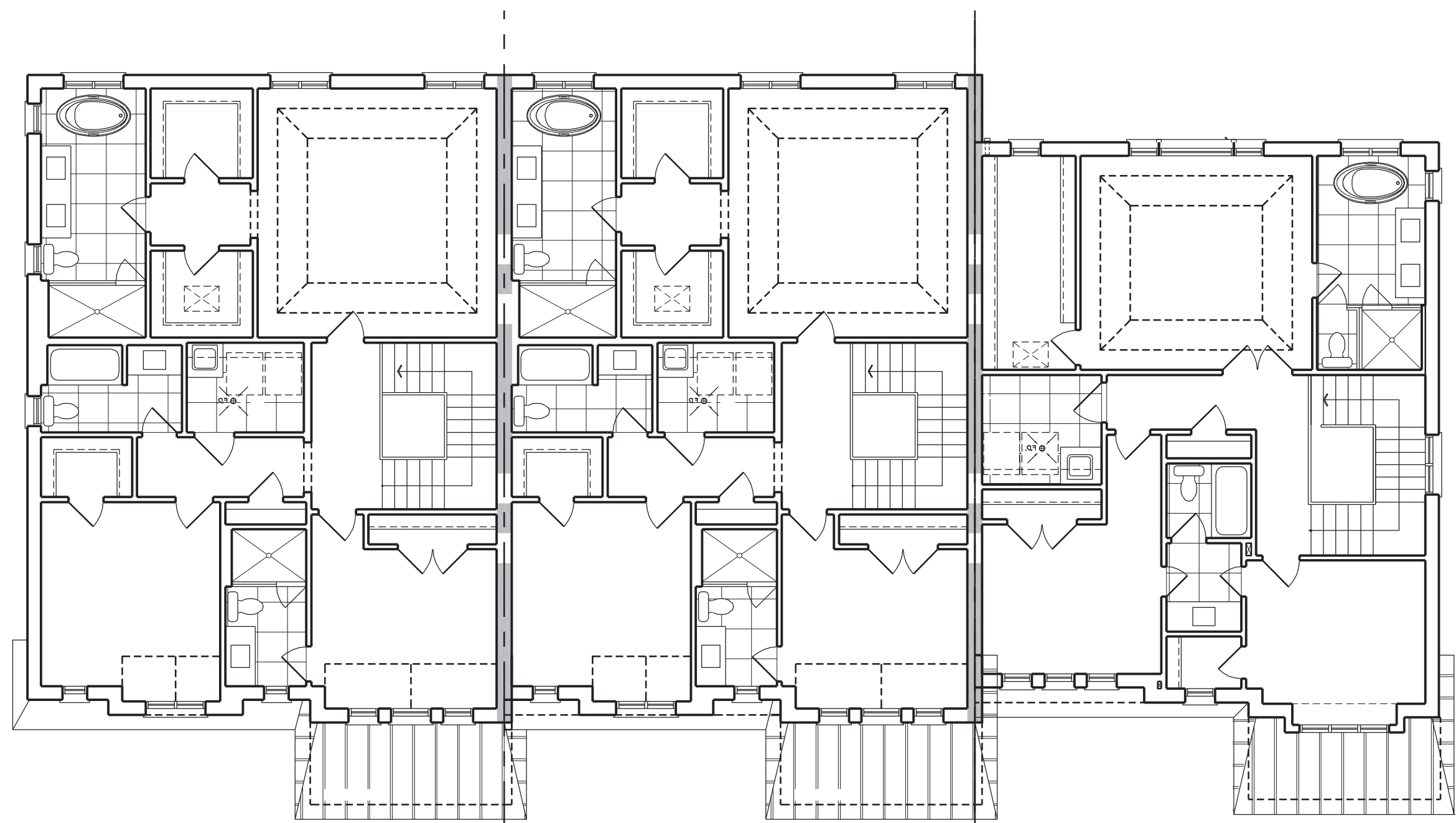


1 UNIT 3103- END 2
ELEV. 'A' (REV)
BLOCK 10 - ROOF PLAN

2 UNIT 3103
ELEV. 'A' (REV)

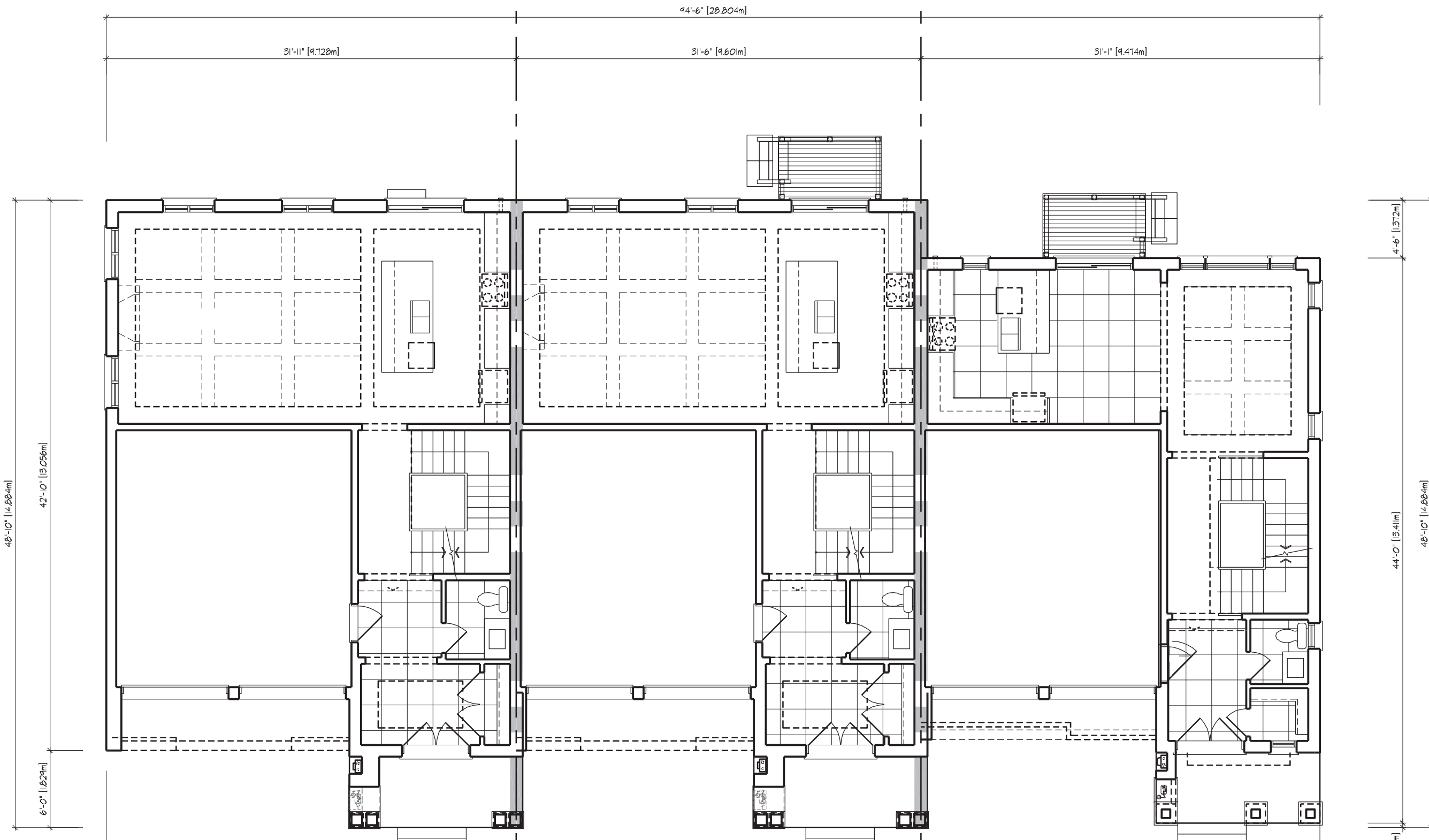
3 UNIT 3101- END 1
ELEV. 'A' (REV)



1 UNIT 3103- END 2
ELEV. 'A' (REV)
BLOCK 10 - SECOND FLOOR PLAN

2 UNIT 3103
ELEV. 'A' (REV)

3 UNIT 3101- END 1
ELEV. 'A' (REV)



1 UNIT 3103- END 2
ELEV. 'A' (REV)

BLOCK 10 - GROUND FLOOR PLAN

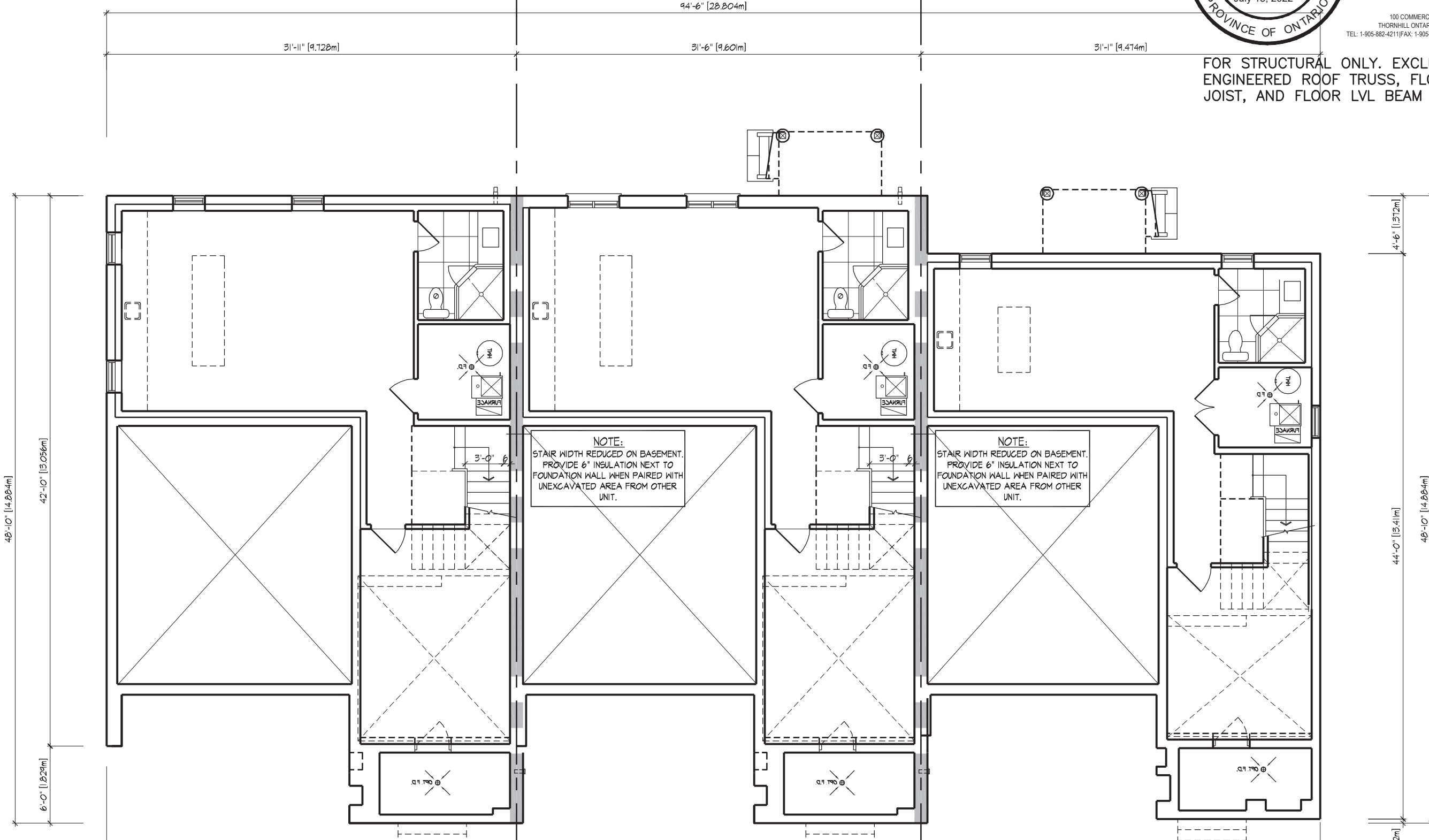
2 UNIT 3103
ELEV. 'A' (REV)

3 UNIT 3101- END 1
ELEV. 'A' (REV)



100 COMMERCE VALLEY DR. W.
THORNHILL, ONTARIO L3R 9V7 CAN
TEL: 1-888-881-4211 FAX: 1-888-522-0859 WWW.WSPGROUP.CA

FOR STRUCTURAL ONLY, EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST, AND FLOOR LVL BEAM DESIGN.



1 UNIT 3103- END 2
ELEV. 'A' (REV)

BLOCK 10 - BASEMENT PLAN

2 UNIT 3103
ELEV. 'A' (REV)

3 UNIT 3101- END 1
ELEV. 'A' (REV)

NOTE:
PROVIDE POURED CONCRETE
FOUNDATIONS FOR P.I.P. PORCH
STEPS AS REQUIRED.

BUILDING AREA 4129.51 sq ft
INCLUDING COLD CELLARS 383.64 sq m

GENERAL NOTES

1. PROVIDE FIRESTOPS AS REQUIRED BY O.B.C. 9.10.16
2. REFER TO UNIT WORKING DRAWINGS, ENGINEERS DRAWINGS AND SITEPLAN FOR ADDITIONAL INFORMATION AND VERIFICATION.
3. REFER TO ROOF TRUSS MANUFACTURERS DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.
4. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB REPORT ANY DISCREPANCIES TO HUNT DESIGN ASSOCIATES INC. (H.D.A.I.) BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A.I..
5. COMBUSTIBLE PROJECTIONS ON THE EXTERIOR OF A WALL THAT ARE MORE THAN 1100mm (3 ft 3 in) ABOVE GROUND SHALL NOT BE PERMITTED WITHIN 1.2m (3 ft 11 in) OF A PROPERTY LINE OR CENTRE LINE OF A PUBLIC WAY OR 2.4m (7 ft 10 in) OF A COMBUSTIBLE PROJECTION ON ANOTHER BUILDING ON THE SAME PROPERTY AS PER PART 9 SECTION 9.10.14.5.(5)

WALL TYPE LEGEND

| FRR | LINE TYPE | DETAILS |
|---------|-----------|--|
| 45 MIN | --- | SECTION 1, 2 & 3 |
| 60 MIN | --- | SECTION 8 (BLOCK SECTION 9 (WOOD STUDS)) |
| 120 MIN | --- | SECTION 10 |

DETAILS

| NO. | TITLE |
|---------|--|
| 01-01 | MASONRY VENEER, 2ND STUDS, 2 STOREY WALL SECTION |
| 01-03 | MASONRY VENEER, 2ND STUDS, 1 STOREY GARAGE WALL SECTION |
| 08-01 | TYP. 1 HR. PARTY WALL SECTION PARALLEL ROOF TRUSSES, P CONG. BLOCK |
| 08-02 | TYP. 1 HR. PARTY WALL SECTION PARALLEL ROOF TRUSSES, P CONG. BLOCK |
| 08-03 | TYP. UTILITY FROST PROTECTION US OF GARAGE CEILING SPACE, TYP. BLOCK PARTYWALL |
| 08-05 | TYP. 1/2 HR. BLOCK PARTYWALL AT OPEN 2 STOREY CONDITION |
| 08-06 | 1/2 HR. BLOCK PARTYWALL, BRICK VENEER, FLUSH UNIT |
| 08-06 | 1/2 HR. BLOCK PARTYWALL, BRICK VENEER, STAGGERED UNIT |
| 08-06 | 1/2 HR. BLOCK PARTYWALL, FLUSH AT GARAGE, BRICK VENEER |
| 08-06 | 1/2 HR. BLOCK PARTYWALL, STAGGERED UNIT & GARAGE, BRICK VENEER |
| 08-06 | 1/2 HR. BLOCK PARTYWALL, STAGGERED GARAGES, BRICK VENEER |
| 08-06 | REQUIRED FIRE STOPPING AT SOFFITS SECTION |
| 10-10-1 | TYP. 2 HR. FIREWALL SECTION PARALLEL ROOF TRUSSES - 4" W/ VIBED FLOOR SLABS |
| 10-10-2 | TYP. 2 HR. FIREWALL SECTION PARALLEL ROOF TRUSSES - 4" W/ VIBED FLOOR SLABS |
| 10-10-3 | TYP. 2 HR. FIREWALL, BRICK VENEER, STAGGERED UNIT |
| 10-10-3 | TYP. 2 HR. FIREWALL, BRICK VENEER AT PORCH |
| 10-10-7 | TYP. 2 HR. FIREWALL, BRICK VENEER, FLUSH UNIT |
| 10-10-7 | TYP. 2 HR. FIREWALL PROJECTION, BRICK VENEER, @ DECK PARKING |

COMPLIANCE PACKAGE

58-12 SECTION 21 U

A1

It is the builder's complete responsibility to ensure that all items submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for exceeding or approving any building plans or building drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JUL 20, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

| | | | |
|-----|---------------------------|------------|-----|
| 5. | | | |
| 4. | RE-ISSUED FOR PERMIT | 2022.07.07 | AW |
| 3. | REVISED PER CITY COMMENTS | 2022.06.08 | AW |
| 2. | ISSUED FOR PERMIT | 2022.02.18 | AW |
| 1. | ISSUED FOR PROPOSING | 2021.07.15 | NEA |
| NO. | DESCRIPTION | YYYYMMDD | BY |

REVISIONS

THE REVISIONS ARE PROVIDED AND MADE RESPONSIBILITY FOR THE DESIGN AND THE QUALITY OF THE DESIGN AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

| | |
|-----------------------------|-------|
| QUALIFICATION INFORMATION | 23177 |
| Allen Whiting | 23177 |
| PROFESSIONAL INFORMATION | 19995 |
| HUNT DESIGN ASSOCIATES INC. | |

HUNT
DESIGN ASSOCIATES INC.
www.hunt-design.ca

91956 Woodbine Ave., Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326 email: hda@hunt-design.ca

GOLDPARK HOMES - 217014
PINE VALLEY DRIVE, VAUGHAN, ONTARIO

BLOCK 10
LOTS 1 to 3

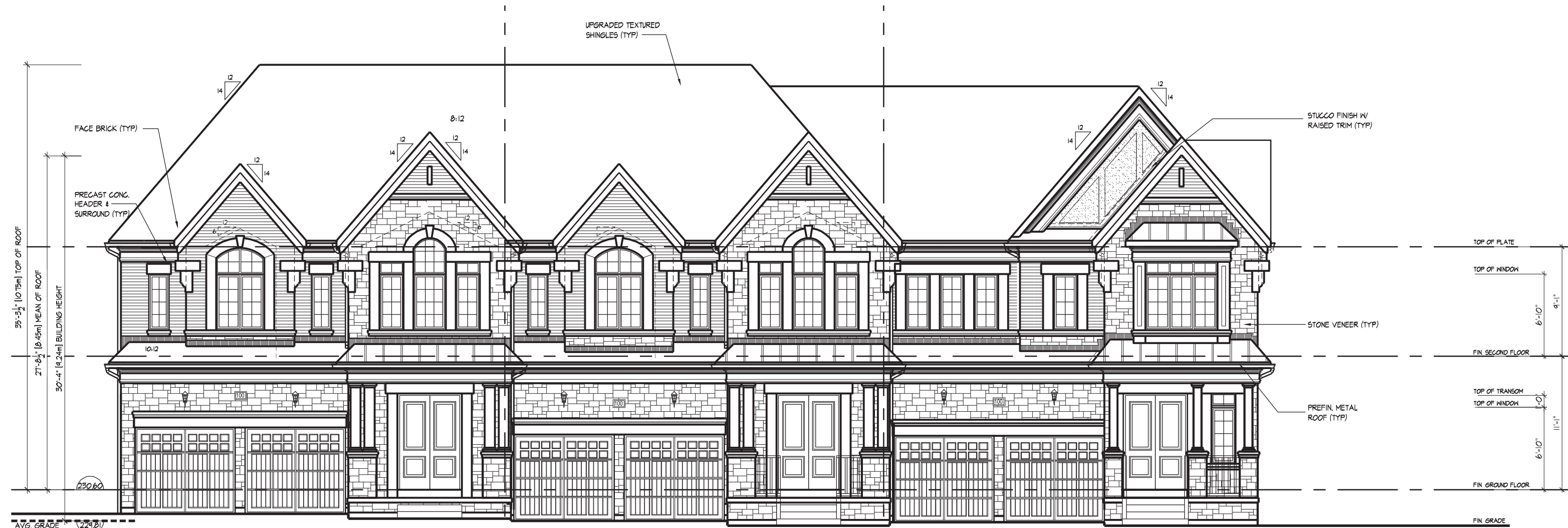
BLOCK PLANS

REV.2022.07.07

Scale: 1/8" = 1'-0" Drawn By: AW
File Name: NEA
Page Number: 217014WT-BLOCKS 6 to 11 1 of 2



1 UNIT 3103 - END 2
ELEV. 'A' (REV) UPGRADE
BLOCK 10 - LEFT SIDE ELEVATION



1 UNIT 3103 - END 2
ELEV. 'A' (REV)
2 UNIT 3103
ELEV. 'A' (REV)
3 UNIT 3101 - END 1
ELEV. 'A' (REV)
BLOCK 10 - FRONT ELEVATION

NOTE:
ALL PORCH STEPS TO BE POURED IN PLACE
CONCRETE W/ MASONRY VENEER ON THE SIDES
FOR GRADING CONDITIONS OF 2 RISERS OR
LESS, THE USE OF LANDSCAPE STEPS MAY BE
CONSIDERED.



3 UNIT 3101 - END 1
ELEV. 'A' (REV) UPGRADE
2 UNIT 3103
ELEV. 'A' (REV) UPGRADE
1 UNIT 3103 - END 2
ELEV. 'A' (REV) UPGRADE
BLOCK 10 - REAR ELEVATION



3 UNIT 3101 - END 1
ELEV. 'A' (REV) UPGRADE
BLOCK 10 - RIGHT SIDE ELEVATION

BUILDING AREA 4129.51 sq ft
INCLUDING COLD CELLARS 383.64 sq m

GENERAL NOTES

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2. REFER TO UNIT WORKING DRAWINGS, ENGINEERS DRAWINGS AND SITEPLAN FOR ADDITIONAL INFORMATION AND VERIFICATION.
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WALL TYPE LEGEND

| FRR | LINE TYPE | DETAILS |
|---------|-----------|-----------------------|
| 45 MIN | | SECTION 1, 2 & 3 |
| 60 MIN | | SECTION 8 (BLOCK) |
| 120 MIN | | SECTION 9 (WOOD STUD) |
| | | SECTION 10 |

DETAILS

| NO. | TITLE |
|--------|---|
| 01-1-1 | MASONRY VENEER, 24" STUDS, 2 STOREY WALL SECTION |
| 01-1-3 | MASONRY VENEER, 24" STUDS, 1 STOREY GARAGE WALL SECTION |
| 08-1-1 | TYP. 1 HR. PARTY WALL SECTION PARALLEL ROOF TRUSSES, F CONG. BLOCK |
| 08-1-2 | TYP. 1 HR. PARTY WALL SECTION AT GARAGE, PARALLEL ROOF TRUSSES, F CONG. BLOCK |
| 08-1-3 | TYP. UTILITY PROTECTION AT US OF GARAGE CEILING SPACE, TYP. BLOCK PARTYWALL |
| 08-1-5 | TYP. 1/2 BLOCK PARTYWALL AT OPEN 2 STOREY CONDITION |
| 08-1-6 | 1/2 BLOCK PARTYWALL, BRICK VENEER, FLUSH UNIT |
| 08-1-6 | 1/2 BLOCK PARTYWALL, BRICK VENEER, STAGGERED UNIT |
| 08-1-6 | 1/2 BLOCK PARTYWALL, FLUSH AT GARAGE, BRICK VENEER |
| 08-1-6 | 1/2 BLOCK PARTYWALL, STAGGERED UNIT & GARAGE, BRICK VENEER |
| 08-1-6 | 1/2 BLOCK PARTYWALL, STAGGERED GARAGES, BRICK VENEER |
| 08-1-6 | REQUIRED FIRE STOPPING AT SOFFITS SECTION |
| 10-1-1 | TYP. 2 HR. FIREWALL SECTION PARALLEL ROOF TRUSSES - F FOUNDATION |
| 10-1-2 | TYP. 2 HR. FIREWALL SECTION PARALLEL ROOF TRUSSES - W VARED FLOOR LEVELS |
| 10-1-3 | TYP. 2 HR. FIREWALL, BRICK VENEER, STAGGERED UNIT |
| 10-1-3 | TYP. 2 HR. FIREWALL, BRICK VENEER AT PORCH |
| 10-1-7 | TYP. 2 HR. FIREWALL, BRICK VENEER, FLUSH UNIT |
| 10-1-7 | TYP. 2 HR. FIREWALL PROJECTION, BRICK VENEER, @ DECK PARKING |

COMPLIANCE PACKAGE

A1

It is the builder's complete responsibility to ensure that all items submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for oversteering or approving any building plans or building drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: JUL 20, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

| NO. | DESCRIPTION | DATE | BY |
|-----|---------------------------|------------|-----|
| 5 | | | |
| 4 | RE-ISSUED FOR PERMIT | 2022.07.07 | AW |
| 3 | REVISED PER CITY COMMENTS | 2022.06.09 | AW |
| 2 | ISSUED FOR PERMIT | 2022.02.18 | AW |
| 1 | ISSUED FOR PROPOSING | 2021.07.15 | NEA |
| NO. | DESCRIPTION | YYYYMMDD | BY |

REVISIONS

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND THE QUALITY OF THE WORK AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

| | | |
|-------------------------------------|---------------|----------|
| QUALIFICATION INFORMATION | | |
| NAME | Allen Whiting | 23177 |
| DESIGN | AW | DESIGNER |
| REGISTRATION INFORMATION | | |
| PROFESSIONAL DESIGN ASSOCIATES INC. | | 19969 |

HUNT
DESIGN ASSOCIATES INC.
www.hunt-design.ca
89566 Woodbine Ave., Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326 email: hdsai@hunt-design.ca

GOLDPARK HOMES - 217014
PINE VALLEY DRIVE, VAUGHAN, ONTARIO

BLOCK 10
LOTS 1 to 3

BLOCK ELEVATIONS

| | | | | | |
|-----------|--------------|----------|-------------------------|-------------|--------|
| Scale | 1/8" = 1'-0" | Drawn By | AW | Checked By | AW |
| File Name | | Project | 217014WT-BLOCKS 6 to 11 | Page Number | 2 of 2 |

REV.2022.07.07