



ELEVATION 'A'

## UNIT 3105

### SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PRESCRIPTIVE COMPLIANCE		SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A	
PACKAGE A1		SPACE HEATING FUEL	
		<input checked="" type="checkbox"/> GAS	<input type="checkbox"/> OIL
		<input type="checkbox"/> ELECTRIC	<input type="checkbox"/> PROPANE
		<input type="checkbox"/> EARTH	<input type="checkbox"/> SOLID FUEL
BUILDING COMPONENT	REQUIRED	PROPOSED	
INSULATION RSI (R) VALUE			
CEILING W/ ATTIC SPACE	10,56 (R60)	10,56 (R60)	
CEILING W/O ATTIC SPACE	5,46 (R31)	5,46 (R31)	
EXPOSED FLOOR	5,46 (R31)	5,46 (R31)	
WALLS ABOVE GRADE	3,87 (R22)	3,87 (R22)	
BASEMENT WALLS	3,52 ci (R20 ci) *	3,52 ci (R20 ci) *	
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)			
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-	
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)	
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)	
WINDOWS & DOORS			
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6	
SKYLIGHTS (MAX, U-VALUE)	2,8	2,8	
APPLIANCE EFFICIENCY			
SPACE HEATING EQUIP. (AFUE%)	96%	96%	
HRV EFFICIENCY (%)	75%	75%	
DOMESTIC HOT WATER HEATER (EF)	0,8	0,8	
DWHR UNIT (%) (SEE O.B.C. 3.1.1.12 FOR RULES & EXCEPTIONS)	42% ON 2 SHOWERS MIN.		

AREA CALCULATIONS	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'A'
GROUND FLOOR AREA	STD. PLAN	ALT. PLAN	STD/OPT. LOG	ALT/OPT. LOG
MAIN FLOOR AREA	1053 sq. ft.	1060 sq. ft.	1053 sq. ft.	1060 sq. ft.
THIRD FLOOR AREA	764 sq. ft.	764 sq. ft.	764 sq. ft.	764 sq. ft.
SUBTOTAL	1817 sq. ft.	1824 sq. ft.	1817 sq. ft.	1824 sq. ft.
DEDUCT ALL OPEN AREAS	0 sq. ft.	0 sq. ft.	0 sq. ft.	0 sq. ft.
TOTAL NET AREA	1817 sq. ft.	1824 sq. ft.	1817 sq. ft.	1824 sq. ft.
	(168,80 sq. m.)	(169,46 sq. m.)	(168,80 sq. m.)	(169,46 sq. m.)
FINISHED BASEMENT AREA	902 sq. ft.	910 sq. ft.	902 sq. ft.	910 sq. ft.
COVERED W/OUT PORCH	1306 sq. ft.	1313 sq. ft.	1306 sq. ft.	1313 sq. ft.
	(121,33 sq. m.)	(121,98 sq. m.)	(121,33 sq. m.)	(121,98 sq. m.)
COVERED W/ PORCH	1363 sq. ft.	1370 sq. ft.	1470 sq. ft.	1470 sq. ft.
	(126,63 sq. m.)	(127,28 sq. m.)	(136,57 sq. m.)	(136,57 sq. m.)
WINDOW / WALL AREA CALCULATIONS	EL. '1'	EL. '1'	EL. '1'	EL. '1'
	STD. PLAN	ALT. PLAN	STD. PLAN	ALT. PLAN
GROSS WALL AREA	3131 sq. ft.	2726,08 sq. ft.	3131 sq. ft.	2726,08 sq. ft.
	(290,88 sq. m.)	(253,26 sq. m.)	(290,88 sq. m.)	(253,26 sq. m.)
GROSS WINDOW AREA	213 sq. ft.	227,72 sq. ft.	213 sq. ft.	227,72 sq. ft.
GLASS DOORS & SKYLIGHTS	(19,79 sq. m.)	(21,16 sq. m.)	(19,79 sq. m.)	(21,16 sq. m.)
TOTAL WINDOW %	6,80 %	8,35 %	6,80 %	8,35 %

- 1 - TITLE PAGE
- 2 - BASEMENT PLAN, EL. 'A'
- 3 - GROUND FLOOR PLAN, EL. 'A'
- 4 - LOFT PLAN, EL. 'A'
- 5 - OPT. FIREPLACE FLOOR PLANS, EL. 'A'
- 6 - OPT. FIREPLACE FLOOR PLANS, EL. 'A'
- 7 - FRONT ELEVATION 'A'
- 8 - RIGHT SIDE ELEVATION 'A'
- 9 - REAR ELEVATION 'A'
- 9A - RIGHT SIDE & REAR ELEVATION 'A' W/ LOGGIA
- 10 - REAR OPT. ELEVATION 'A' W/ OPT. GAS FIREPLACE
- 11 - REAR UPGRADE ELEVATION 'A'
- 11 - RIGHT SIDE UPGRADE ELEVATION 'A'
- 12 - RIGHT SIDE UPGRADE ELEVATION 'A' - L.O.D. CONDITION
- 13 - RIGHT SIDE UPGRADE ELEVATION 'A' - W.O.B. CONDITION
- 14 - CROSS SECTION 'A-A'
- 15 - CROSS SECTION 'B-B'
- 16 - CONSTRUCTION NOTES 1 OF 2
- 17 - CONSTRUCTION NOTES 2 OF 2
- W1 - WALK-OUT DECK CONDITION
- W2 - L.O.D. CONDITION
- W3 - PARTIAL PLANS LOGGIA/WOB CONDITION, EL. 'A'
- W4 - PARTIAL REAR ELEVATION LOGGIA/WOB CONDITION, EL. 'A'
- W5 - L.O.D. CONDITION
- W6 - W.O.B. CONDITION

REFER TO  
MARKUPS

7. -	-	-
6. ISSUED FOR PERMIT RE-SUBMISSION	2022.07.11	AW
5. ADDED LOGGIA DRAWINGS	2022.06.06	NN
4. ISSUED FOR PERMIT	2022.02.18	WT
3. REVISED AS PER STRUCTURAL ENG. COMMENTS	2021.11.30	NEA
2. REVISED AS PER FLOOR & TRUSS MANUF. LAYOUT	2021.09.27	NEA
1. ISSUED TO CLIENT FOR PRICING & REVIEW	2020.02.26	AW
REVISIONS	DATE (YYYYMMDD)	BY

#### TITLE PAGE

UNIT - 3105  
REV.2022.07.11

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND HEREIN THE REQUIRED SIGNATURE SET OUT IN THE COUNCIL BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION  
Allen Whiting 23177

DATE  
HUNT DESIGN ASSOCIATES INC. 19695

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**GOLDPARK HOMES - 217014**  
PINE VALLEY TOWNS, VAUGHAN ON

Drawn By NN Checked By AW Scale 3/16"=1'-0" File Number 217014WT3105  
8966 Woodbine Ave., Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

Page Number  
1 of 18

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: \_\_\_\_\_  
DATE: JULY 20, 2022

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**GROUND FLOOR PLAN, EL. 'A'**

AWHITTING | TUE JUL 12 22:09:22 AM | K:\PROJECTS\2017\217014\_GOLD\WORKING\TOWNS\217014\VT3105-TYPE A-BUNGALLOW.DWG

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NAME	BC
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PINE VALLEY TOWNS. VAUGHAN ON

Drawn By	Checked By	Scale	File Number
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**UNIT - 3105**  
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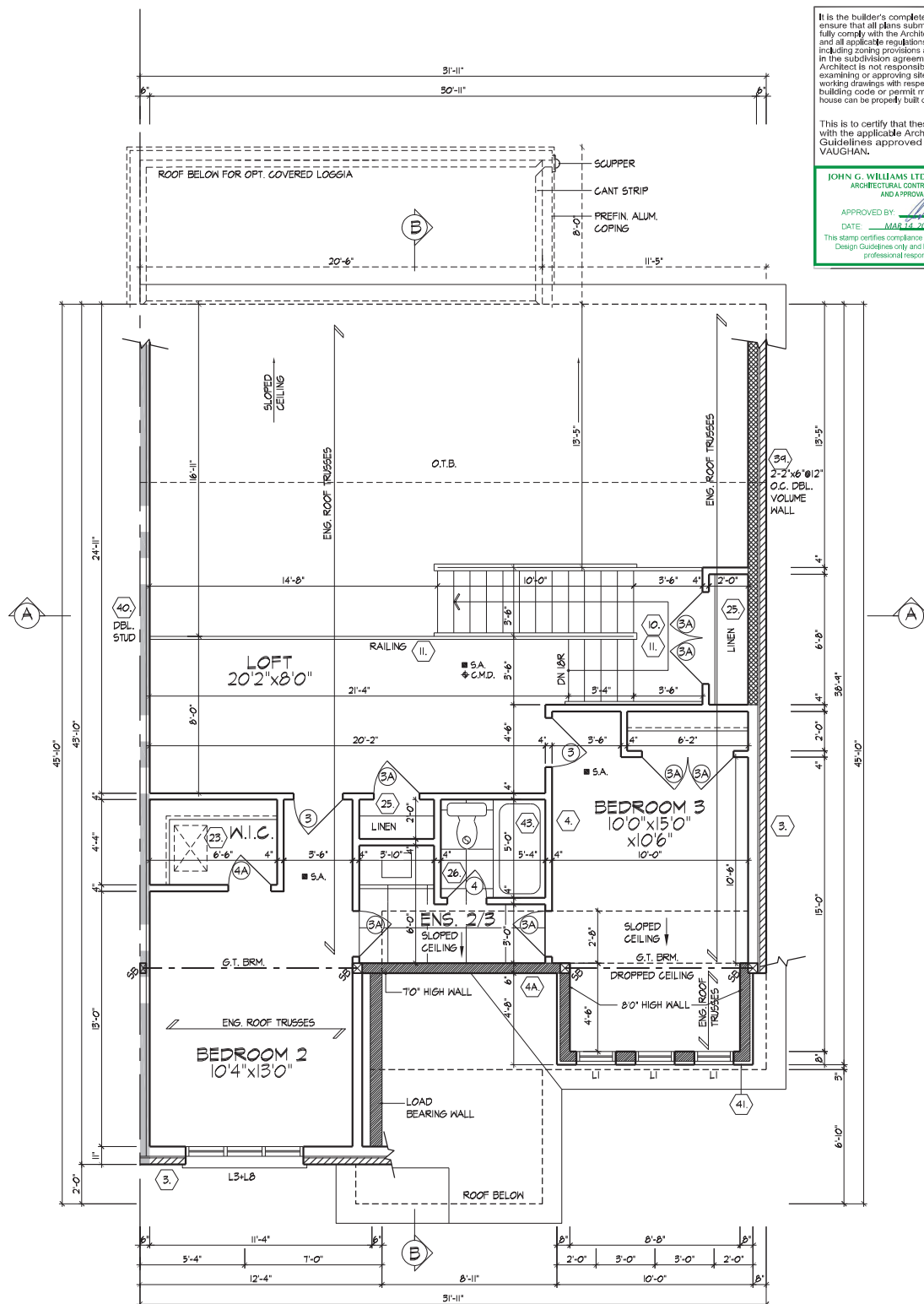
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LOFT PLAN, EL. 'A'



**wsp**

100 COMMERCIAL VALLEY DR. W.  
THORNHILL, ONTARIO M3H 5T4  
TEL: 1-800-882-4211 FAX: 1-800-882-4053 WWW.WSPGROUP.CA

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DETAILS AND HANGER SIZES.

LOFT PLAN, EL. 'A'

UNIT - 3105  
REV. 2022.02.18

**GOLDPARK HOMES - 217014**  
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19995

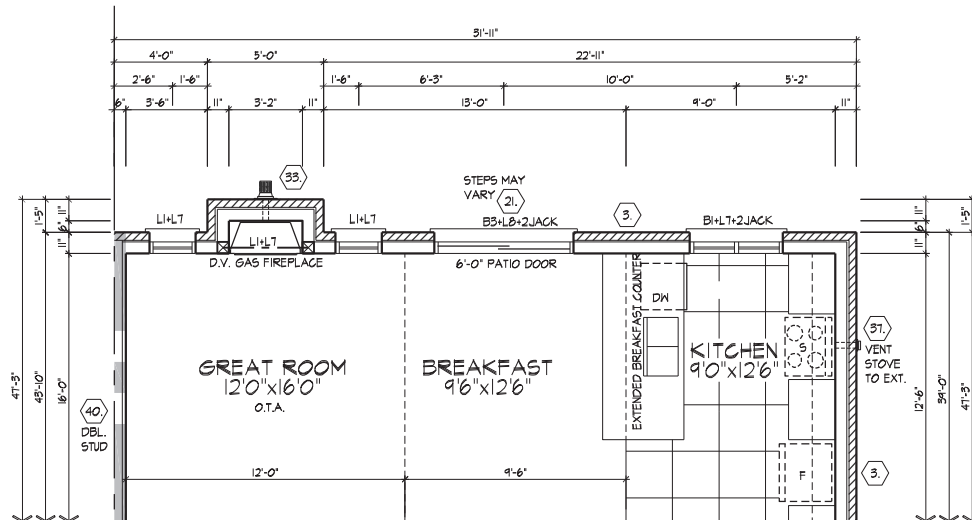
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OPT. GROUND FLOOR PLAN  
W/ GAS FIREPLACE

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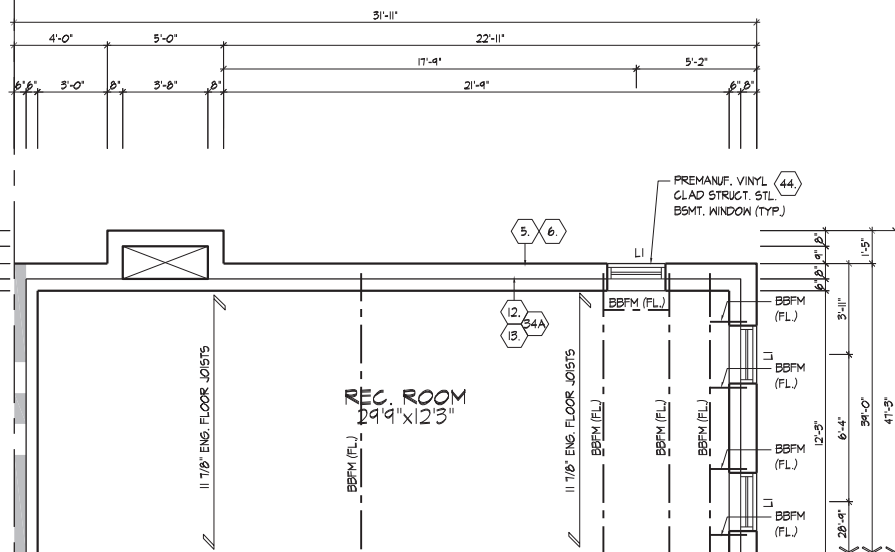
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APPROVED BY

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OPT. BASEMENT PLAN  
W/ FIREPLACE ABOVE

SPACE ALL FLOOR JOISTS @  
12' O.C. UNDER ALL CERAMIC  
TILE AREAS.

PROVIDE SOLID WOOD BLOCKING @  
24' O.C. FOR FIRST JOIST SPAN  
WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST  
MANUFACTURER'S DRAWINGS FOR  
LAYOUT, SPACING, BLOCKING &  
STRAPPING REQUIREMENTS,  
INSTALLATION DETAILS AND HANGER  
SIZES, & SUBFLOOR THICKNESS

OPT. FIREPLACE FLOOR PLANS, EL. 'A'

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QUALIFICATION INFORMATION  
Allan Whiting 23177  
DATE: JULY 20, 2022  
REVISION INFORMATION  
HUNT DESIGN ASSOCIATES INC. 19095

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GOLDPARK HOMES - 217014  
PINE VALLEY TOWNS, VAUGHAN ON

Drawn By: NN  
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UNIT - 3105  
REV.2022.07.11

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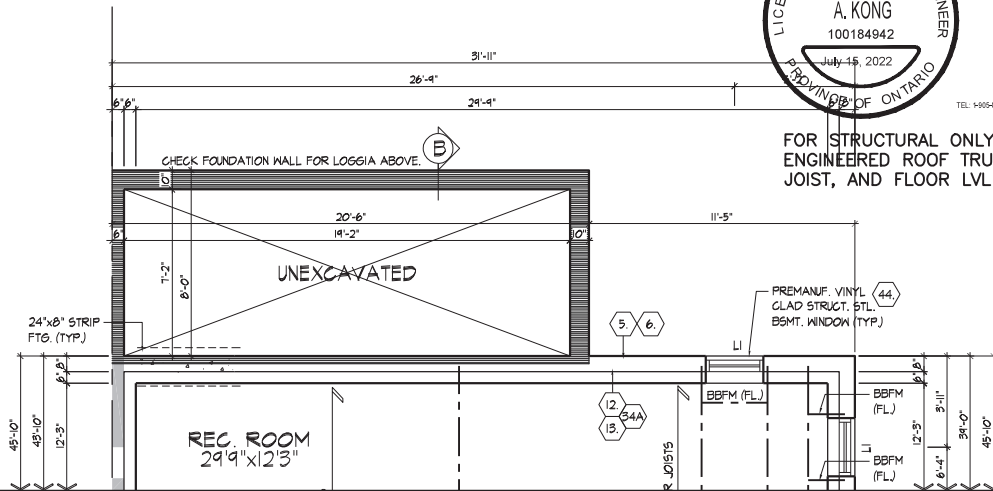
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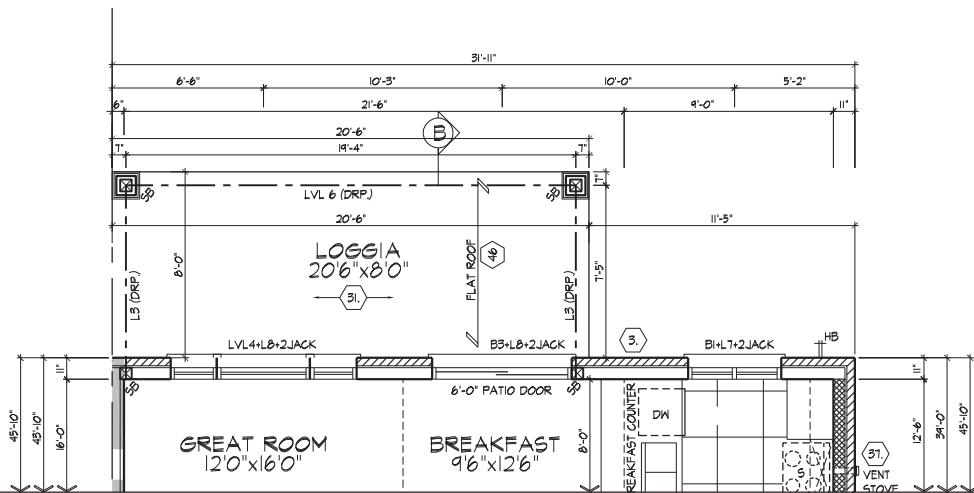


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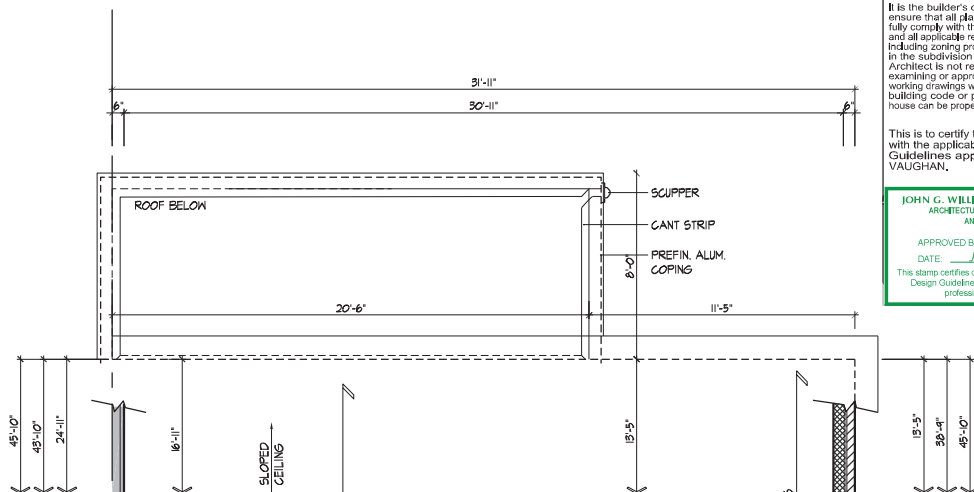
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BASEMENT PLAN, EL. 'A' W/ LOGGIA  
(SIMILAR TO OPT. BASEMENT PLAN W/ FIREPLACE)



GROUND FLOOR PLAN, EL. 'A' W/ LOGGIA  
(SIMILAR TO OPT. GROUND FLOOR PLAN W/ FIREPLACE)



SECOND FLOOR PLAN, EL. 'A' W/ LOGGIA  
(SIMILAR TO OPT. BASEMENT PLAN W/ FIREPLACE)

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OPT. FIREPLACE FLOOR PLANS, EL. 'A'

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Allan Whiting 23177

DATE: 07/20/2022

REVISION INFORMATION  
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**GOLDPARK HOMES - 217014**  
PINE VALLEY TOWNS, VAUGHAN ON

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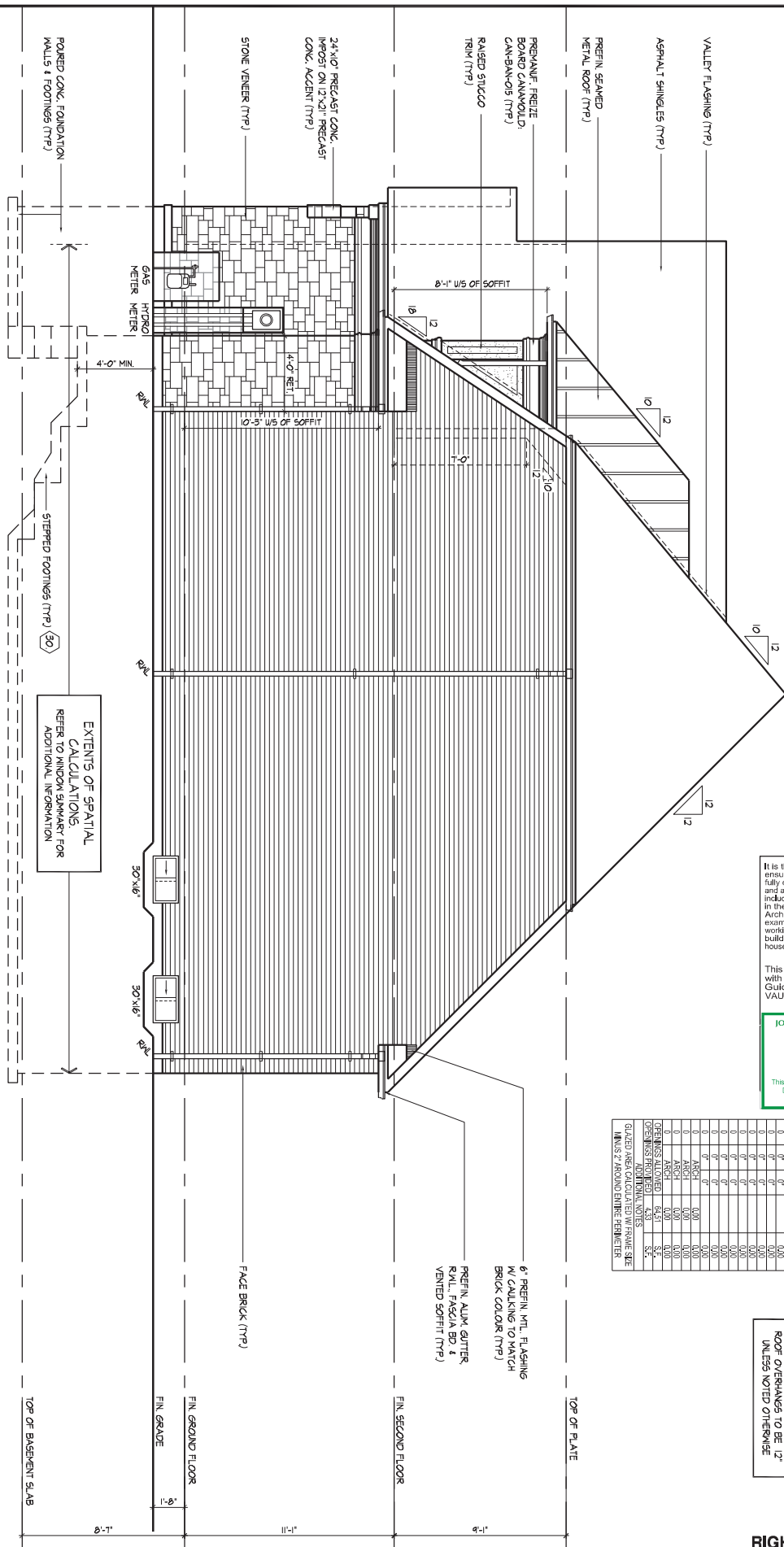
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**UNIT - 3105**  
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NOTES & INFORMATION

UNIT - 3105  
REV.2022.07.11

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NN	AW	3/16"=1'-0"	217014WTS

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Allan Whiting

NAME

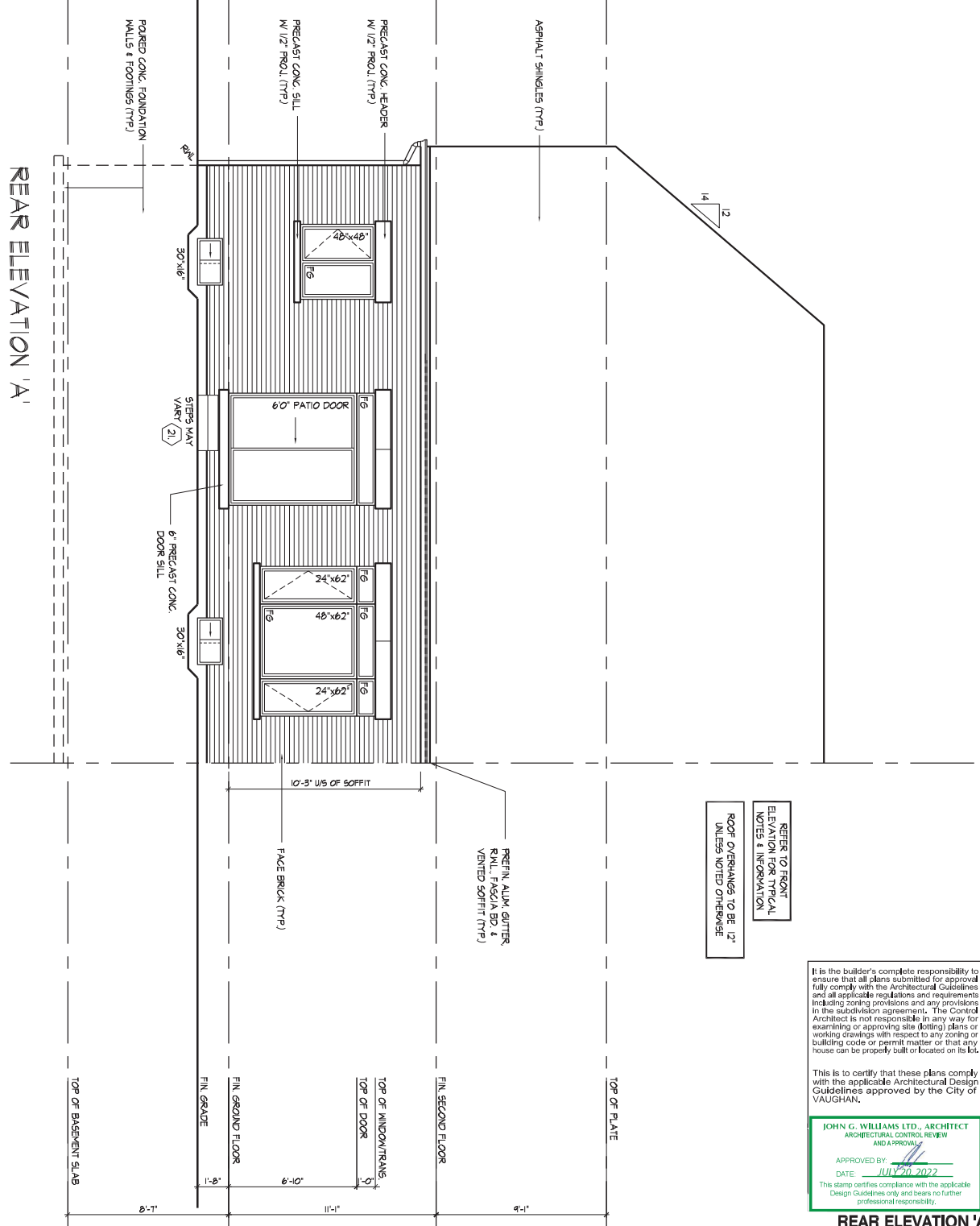
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SPATIAL COUPLION		PERIODIC TABLE	
REAR ELEVATION A			
EXISTING BUILDING	38.04	5.4	
PLANT AREA	3.93	5.4	
PORTION TOTAL AREA	38.94	5.4	
LIVING SPACE	28.1	6	
AREA OF PORCHES	89.1	100	
QUANT.	1	48	62
1	48	62	15.4
2	24	62	15.4
3	36	62	14.2
4	36	62	14.2
5	12	12	3.9
6	12	12	3.9
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97	0	0	0.0
98	0	0	0.0
99	0	0	0.0
10			



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ARCHITECTURAL CONTROL REVIEW  
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DATE: JULY 20, 2022

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### REAR ELEVATION 'A'

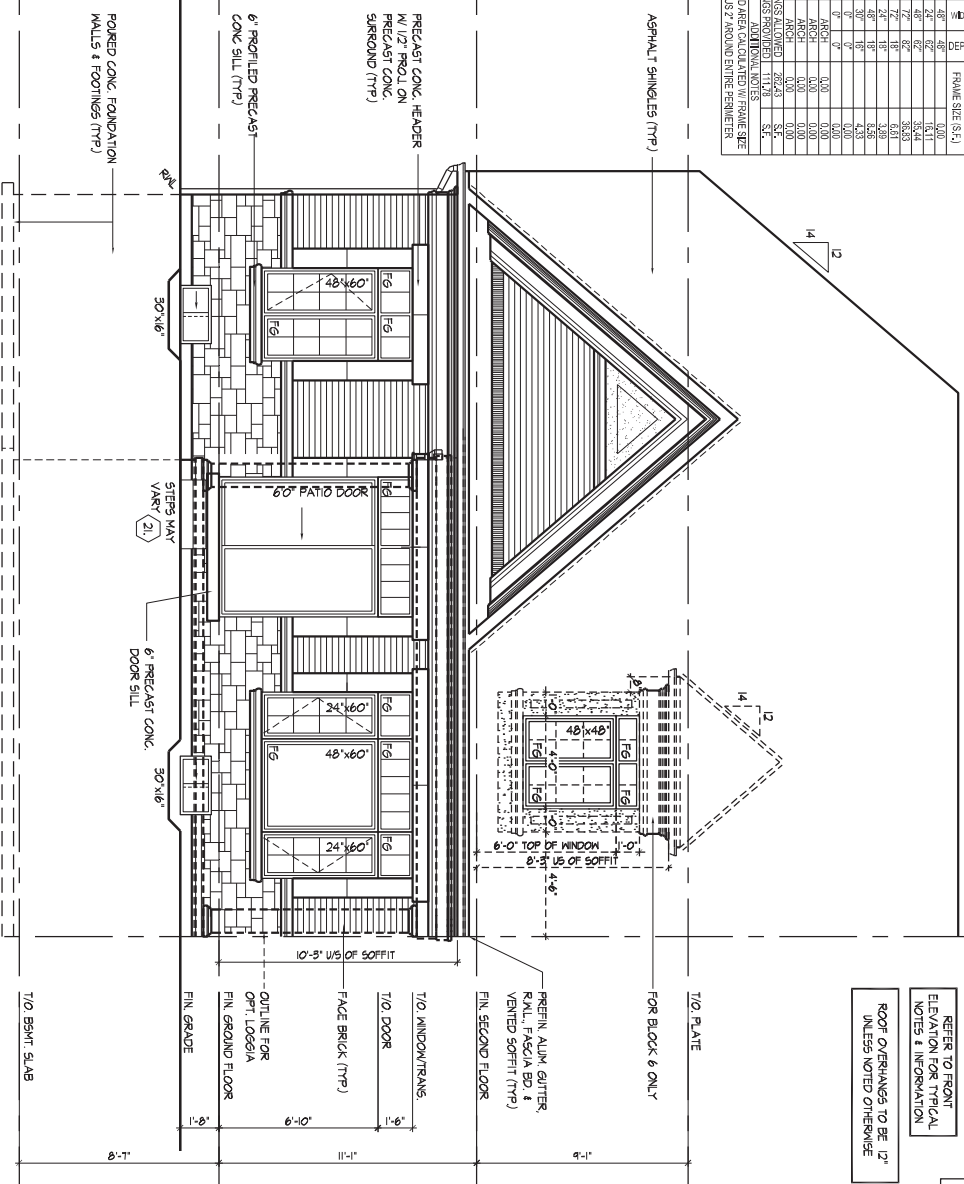
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PINE VALLEY TOWNS, VAUGHAN ON

**UNIT - 3105**  
REV.2022.07.11

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REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

ROOF OVERHANGS TO BE 12"  
UNLESS NOTED OTHERWISE

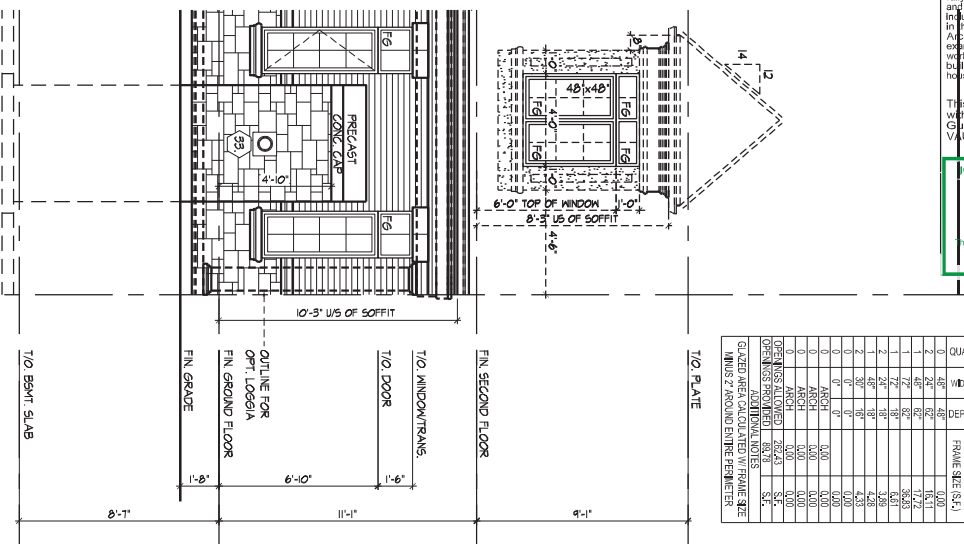
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

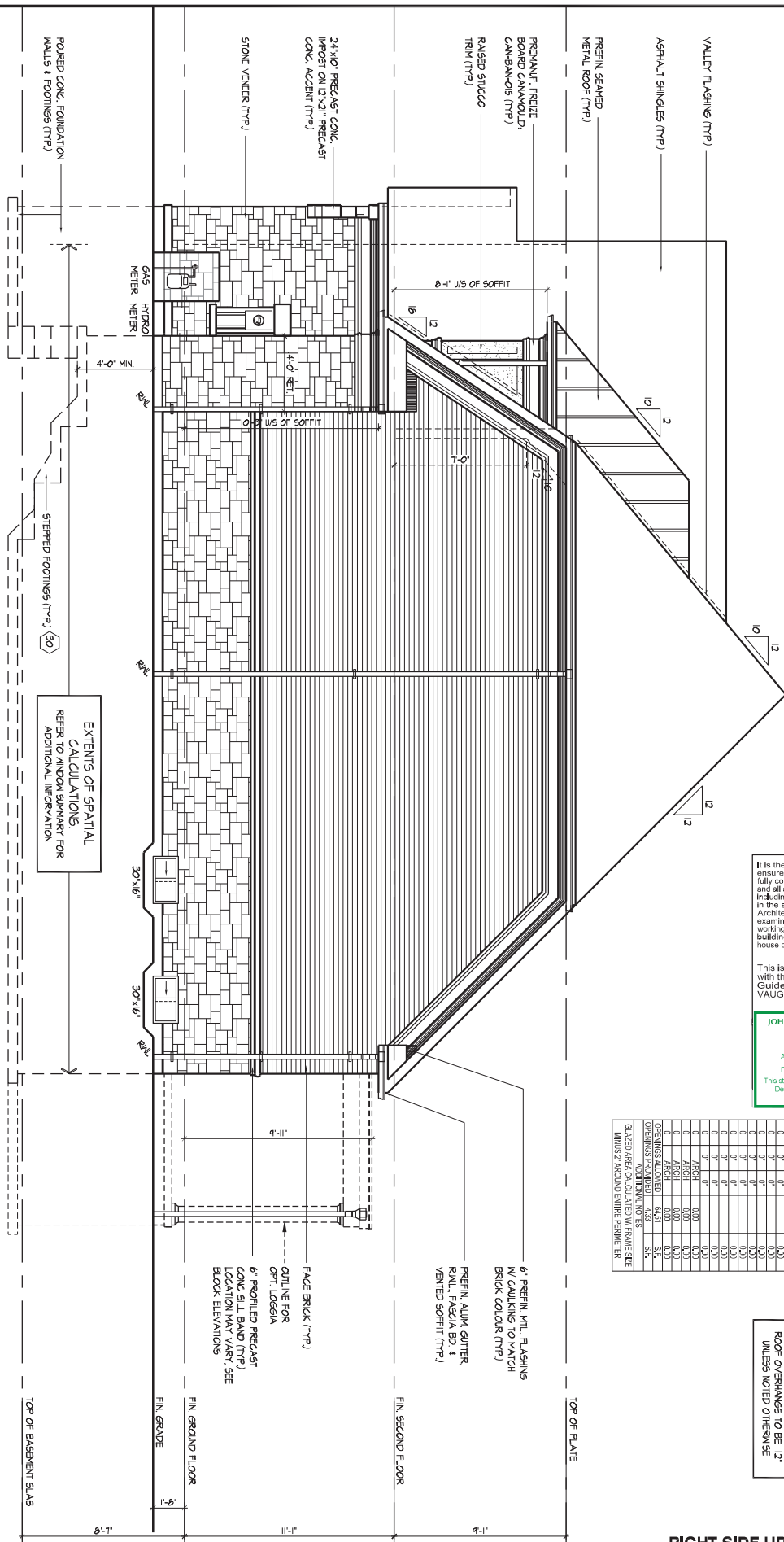
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: JULY 20, 2022

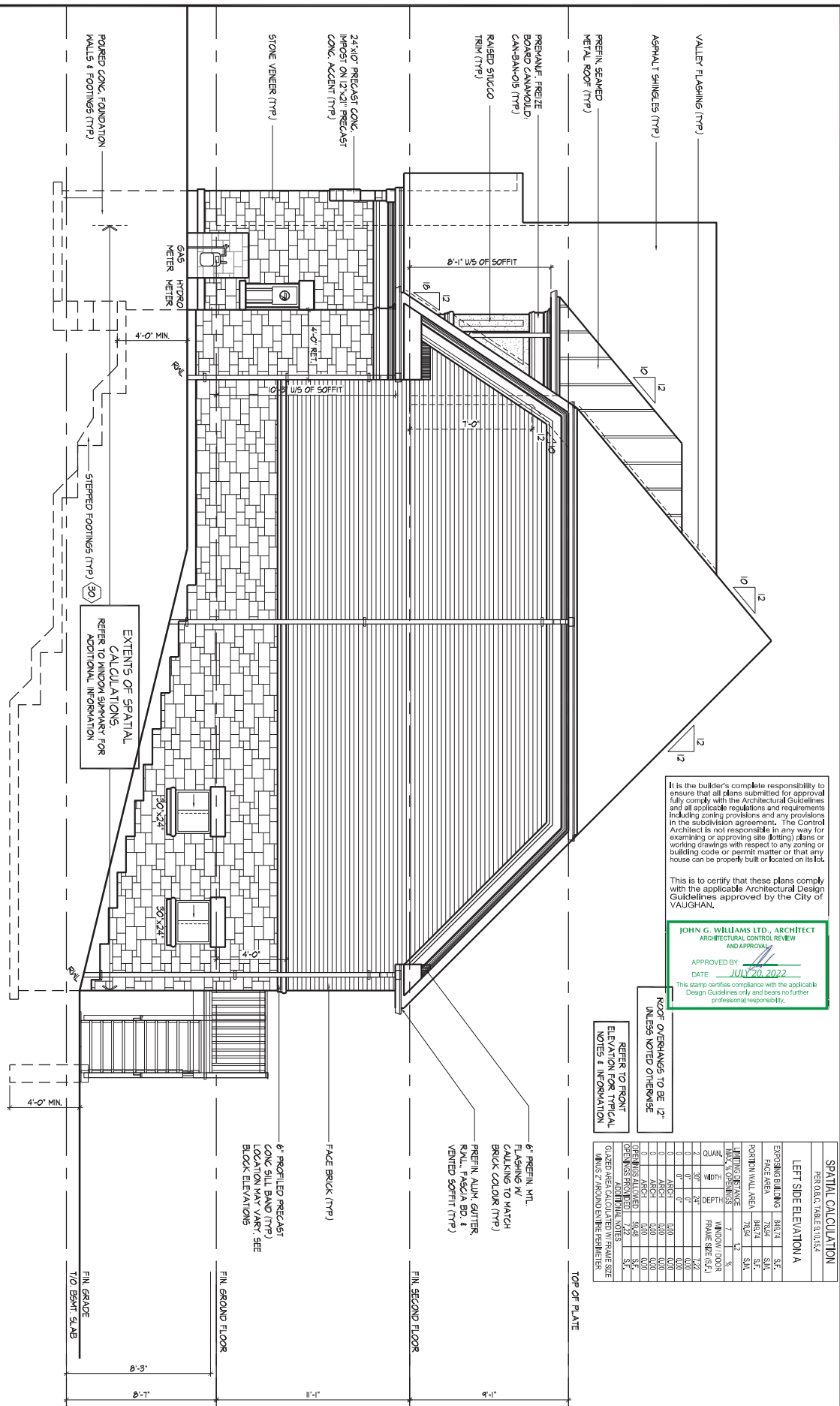
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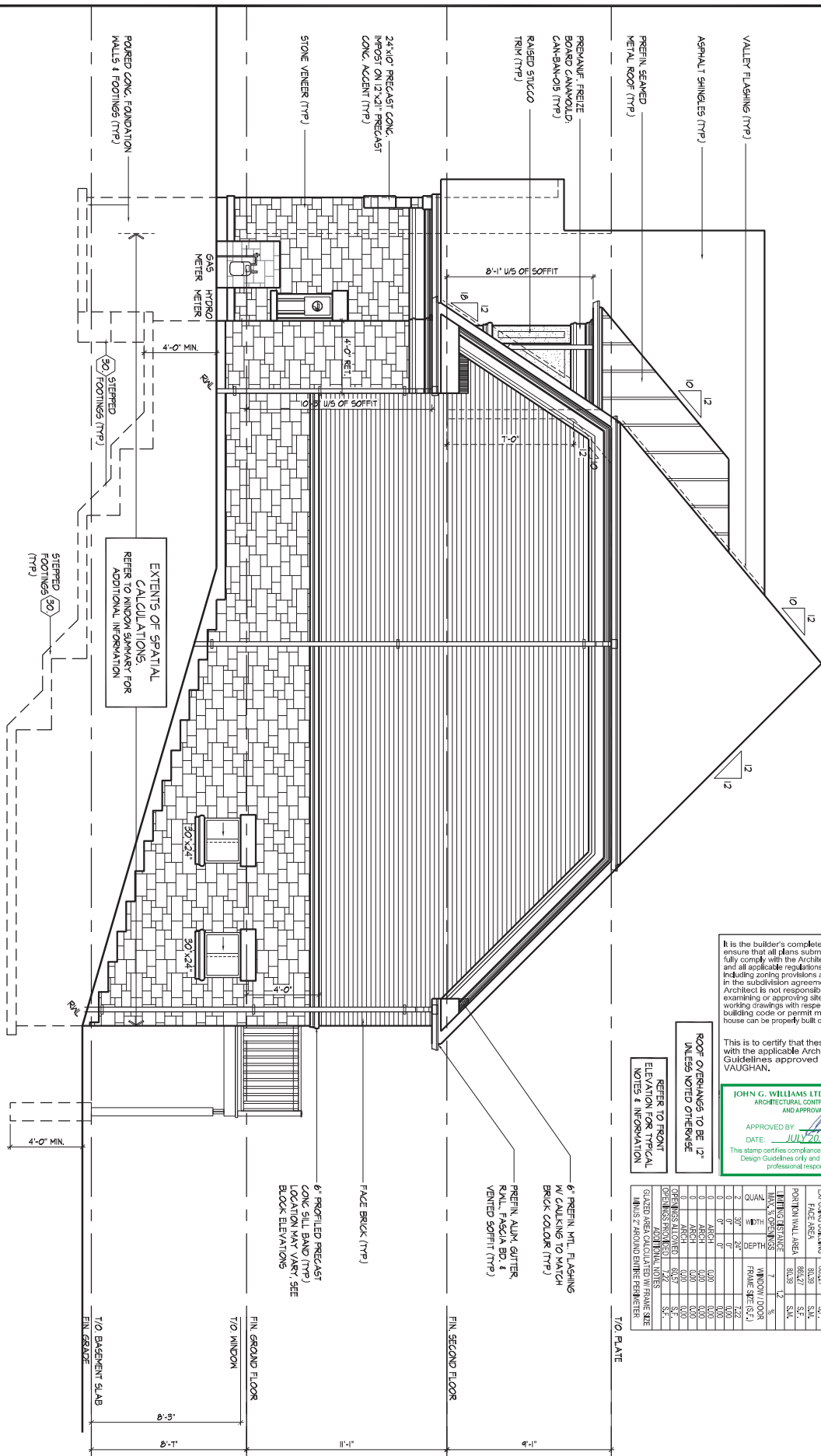
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ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: [Signature]  
DATE: JULY 20, 2022

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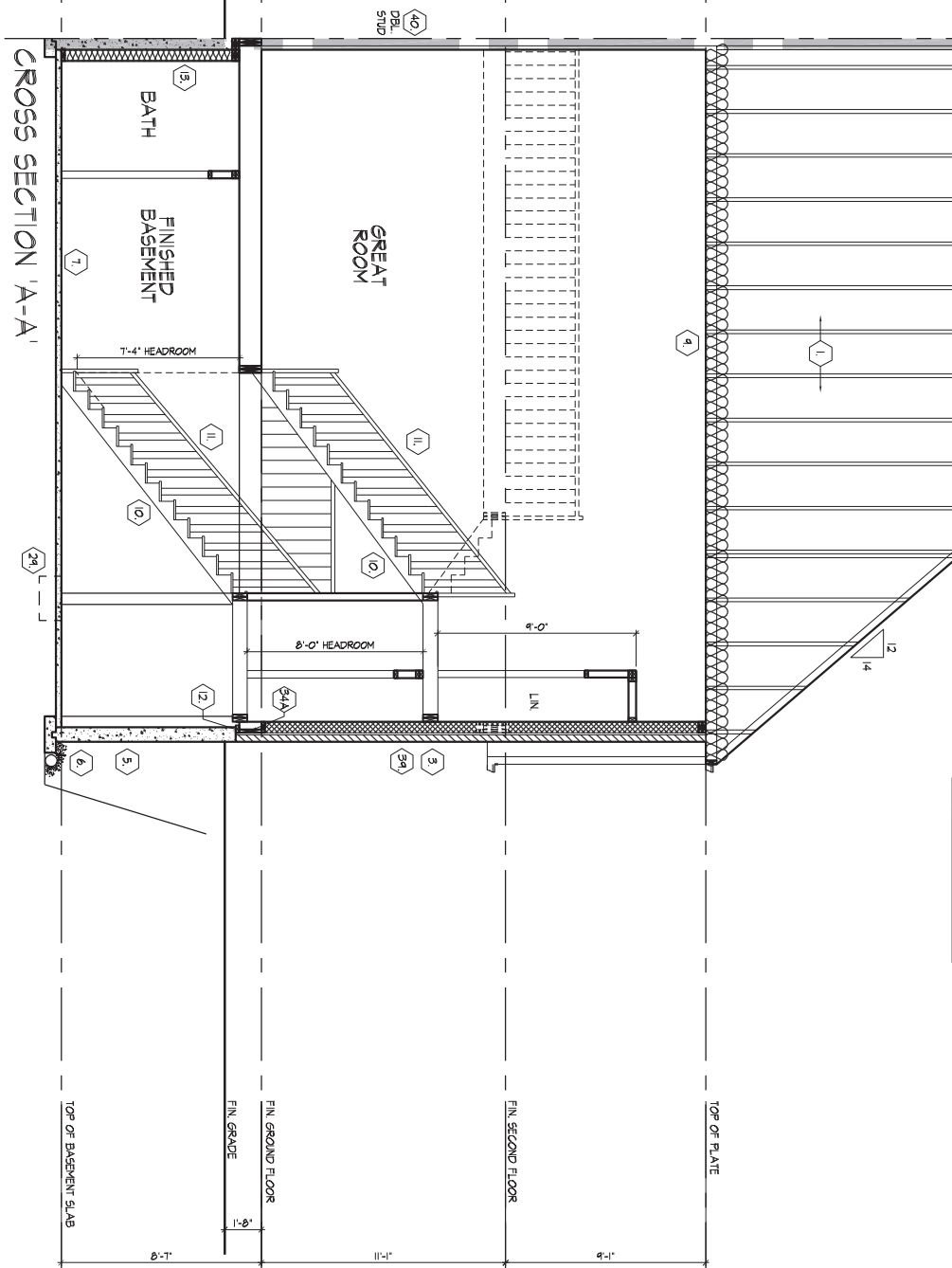
SPATIAL CALCULATION					
PERIODIC TABLE 9A.15-4					
LEFT SIDE ELEVATION A					
EXPOSING BUILDING FACE AREA		866.27 S.F.	S.F.		
POSITION WALL AREA		80.39 S.F.	S.F.		
<b>ENDING FACE RANCE</b>		8.33 S.F.	S.F.		
MAX. % OPENINGS		12	%		
QUAN.	H.D.	H.D.	F.WALL / DOOR	FRAME SIZE (SQ.)	
2	30"	24"		7.72	
2	0"	0"		0.00	
0	A-GCH			0.00	
0	A-GCH			0.00	
0	A-GCH			0.00	
0	A-GCH			0.00	
OPENINGS ALLOWED		60.57	S.F.		
OPENNESS PROVIDED		7.72	S.F.		
GLAZED WINDOW ILLUMINATED W/ FINEST GLASS					
MINUS 2' AROUND ENTIRE PERIMETER					

[illegible]UNIT - 3105  
REV.2022.07.11Page Number  
13 of 18



180 COMMERCE VALLEY DR. W.  
THORNHILL, ONTARIO CANADA L3T 0A1  
TEL: 416-462-4011 FAX: 416-462-4058 WWW.WSPGROUP.CA

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NOTES & INFORMATION  
ROOF OVERHANGS TO BE 12"  
UNLESS NOTED OTHERWISE

CROSS SECTION 'A-A'

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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS  
THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING  
CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION  
Allan Whiting

TIME  
REVISION INFORMATION

HUNT DESIGN ASSOCIATES INC.

23177

19895

**HUNT**  
DESIGN ASSOCIATES INC.  
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**GOLDPARK HOMES - 217014**  
**PINE VALLEY TOWNS, VAUGHAN ON**

Drawn By: NN  
Checked By: AW  
Scale: 3/16"=1'-0"  
8966 Woodbine Ave, Markham, ON L3R 0J7  
T 905.737.5133 F 905.737.7326

File Number  
217014WT3105

**UNIT - 3105**  
**REV.2022.07.11**

Page Number  
14 of 18

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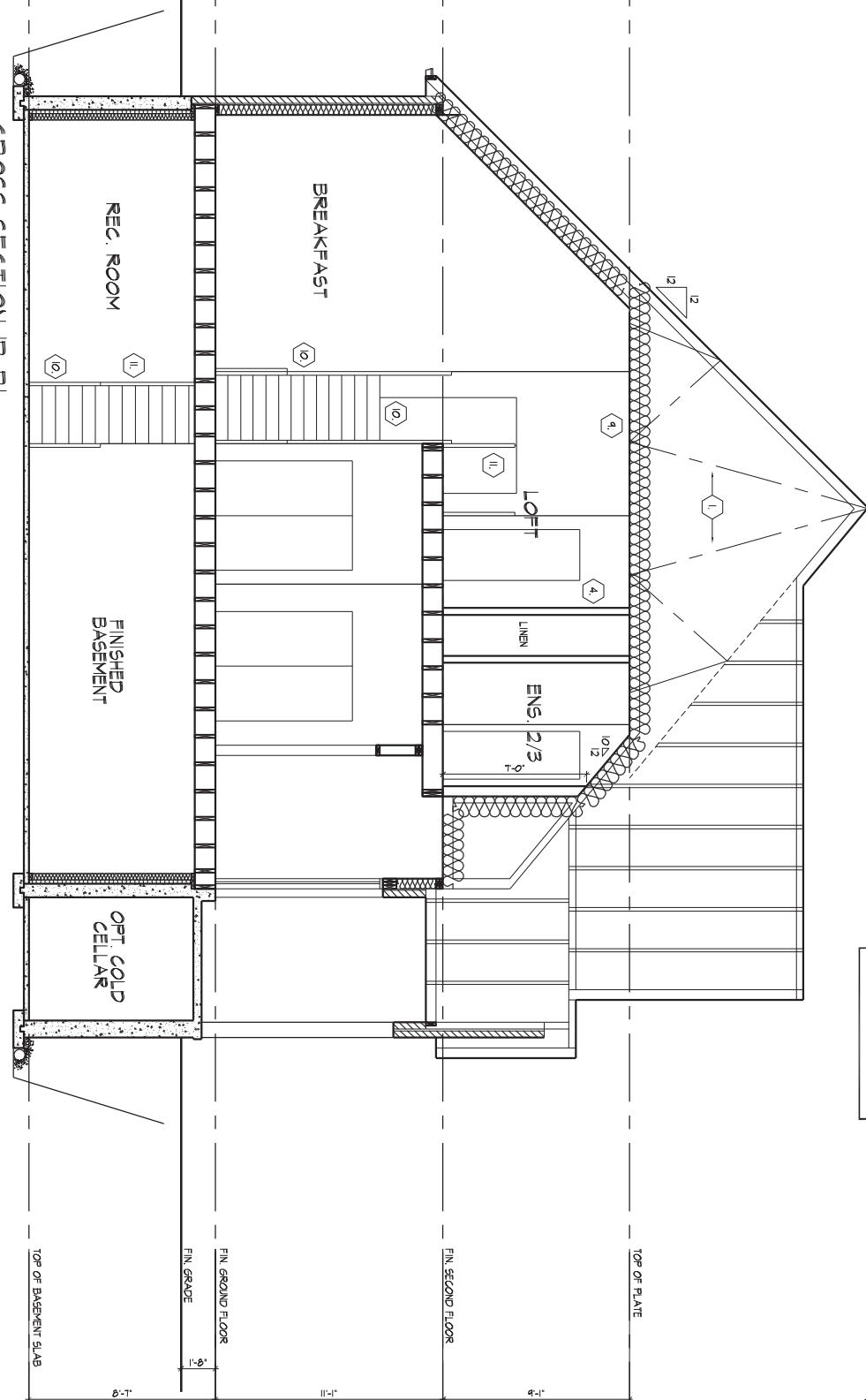




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ROOF OVERHANGS TO BE 12"  
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CROSS SECTION 'B-B'

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THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING  
CODE TO BE A DESIGNER.  
QUALIFICATION INFORMATION  
Allan Whiting 23177  
DATE 08/1  
REVISION INFORMATION  
HUNT DESIGN ASSOCIATES INC. 19895

**HUNT**   
DESIGN ASSOCIATES INC.  
www.huntdesign.ca  
8966 Woodbine Ave., Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

**GOLDPARK HOMES - 217014**  
**PINE VALLEY TOWNS, VAUGHAN ON**  
Drawn By NN Checked By AW Scale 3/16"=1'-0"  
File Number 217014WT3105 Page Number 15 of 18

**UNIT - 3105**  
**REV.2022.07.11**

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# SECTION 1.0. CONSTRUCTION NOTES

- 1 ROOF CONSTRUCTION** (9.19, 9.23.13, 9.23.15)  
NQ, 210 (1025 KG/M2) ASPHALT SHINGLES, 3/8" (9.5) PLYWOOD SHEATHING WITH 1" (25.4) APPROVED WOOD TRUSSES @ 24" (610) O.C., MAX. APPROVED EAVES PROTECTION TO EXTEND 2' (610) MIN. EDGE OF ROOF AND MIN. 12" (305) BEYOND INNER FACE OF EXTERIOR WALL, 2x4x8x8 TRUSS BRACING @ 6'-0" (1830) O.C. AT BOTTOM CHORD, PREFR. ALUM. FASTENING, FASCO, RAIL, & VENTED SOFFIT, ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% OF REQUIRED OPENINGS LOCATED AT TOP OF SPACE, EAVESTROUGH TO BE 4" MIN. WITH RAIL DISCHARGING ONTO CONCRETE SPLASH PADS OR PER MUNICIPAL REQUIREMENTS, TOWNHOUSES TO HAVE 9" MIN. EAVESTROUGH WITH ELEC. TRACED HEATER CABLE ALONG EAVESTROUGH AND DOWN RAIL.
- 1A ICE AND WATER SHIELD**  
PROVIDE ICE AND WATER SHIELD IN THE AREAS INDICATED, THE ICE AND WATER SHIELD SHALL BE A SELF-ADHESING AND SELF SEALING MEMBRANE, SIDE LAPS MUST BE A MINIMUM 3 1/2" (90) AND END LAPS A MINIMUM 6" (152), AND TO EXTEND UP CORNER WALLS A MINIMUM 12" (305).
- 1B PROFILED ROOF TRUSSES**  
ROOF TRUSSES SHALL BE PROFILED AND/OR STEPPED AT RAISED COFFER/TRAY CEILINGS, AND 6" (152) TRAY CEILINGS WILL BE SHEATHED W/ 3/8" (9.5) PLYWOOD.
- 2 SIDING WALL CONSTRUCTION (2x6")**  
SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1, 1.1, 1.2) INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3, 1.1) (REFER TO 35 NOTE AS REQ.)
- 2A SIDING WALL CONSTRUCTION (2x6") W/ CONTIN. INSULATION**  
SIDING MATERIAL AS PER ELEVATION ATTACHED TO FURRING MEMBERS ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.23.7, ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1, 1.1, 1.2) INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3, 1.1) (REFER TO 35 NOTE AS REQ.)
- 2B SIDING WALL @ GARAGE CONSTRUCTION**  
SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1, 1.1, 1.2) (12.7) GYPSUM WALLBOARD INTERIOR FINISH, (GYPSUM SHEATHING, RIGID INSULATION AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3, 1.1) (REFER TO 35 NOTE AS REQ.)
- 3 BRICK VENEER WALL CONSTRUCTION (2x6")**  
3 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7"x10" (22x180x76) GALV. METAL TIES @ 18" (460) O.C., HORIZ. 24" (610) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.23.9 ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1, 1.1, 1.2) (12.7) GYPSUM WALLBOARD INTERIOR FINISH, (GYPSUM SHEATHING, RIGID INSULATION AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3, 1.1) (REFER TO 35 NOTE AS REQ.)
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- 4 INTERIOR STUD PARTITIONS** (9.23.9.8, 9.23.10)  
BEARING PARTITIONS SHALL BE A MINIMUM 2x4" (38x89) @ 18" (460) O.C. FOR 2 STOREY AND 2" (50) O.C. FOR 3 STOREY, NON-BEARING PARTITIONS 2x4" (38x89) @ 24" (610) O.C. PROVIDE 2x4" (38x89) BOTTOM PLATE AND 2x4" (38x89) TOP PLATE, 1/2" (12.7) INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 2x6" (38x140) STUDS WHERE NOTED, PROVIDE 2x4" (38x89) @ 24" (610) O.C. LADDER FRAMING WHERE WALLS INTERSECT PERPENDICULAR TO ONE ANOTHER, PROVIDE 2x4" (38x89) WOOD BLOOMING ON FLAT @ 31" (714) O.C. MAX. BETWEEN FLOOR JOISTS WHEN NON-LOADBEARING WALLS ARE PARALLEL TO FLOOR JOISTS.
- 4A EXT. LOFT WALL CONSTRUCTION (2x6") - NO CLADDING**  
3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C. (9.23.10.1, 1.1, 1.2) INSULATION AND 6 MIL POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH, (9.23).
- 4B EXT. LOFT WALL CONSTRUCTION (2x6") NO CLADDING W/ CONTINUOUS INSULATION**  
APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.23.7, ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C. (9.23.10.1, 1.1, 1.2) INSULATION AND 6 MIL POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH, (9.23).
- 5 FOUNDATION WALL FOOTINGS**  
POURED CONCRETE FOUNDATION WALLS AS PER CHART BELOW ON CONTINUOUS REINFORCED CONCRETE FOOTING, FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 6" (152) ABOVE FINISHED GRADE, THE OUTSIDE OF THE FOUNDATION WALL AND BRUSH COAT FROM THE TOP OF 2" BELOW GRADE, PROVIDE A DRAINAGE LAYER ON THE OUTSIDE OF THE FOUNDATION WALL, SEAL THE DRAINAGE LAYER AT THE TOP, THE TOP OF THE CONC. FOOTING SHALL BE DAMPROOFED, CONCRETE FOOTINGS SUPPORTING JOIST SPANS GREATER THAN 16'-1" (4903) SHALL BE SIZED IN ACCORDANCE WITH 9.15.3.4 (1) (2) OF THE O.B.C., REFER TO CHART BELOW FOR RESPECTIVE SIZES, BRACE FOUNDATION WALL PRIOR TO BACKFILLING, ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 125KPA S.L.S., OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125KPA S.L.S., IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED, ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL ENGINEERING REPORT.  
REFER TO CONSTRUCTION DRAWINGS AND DETAILS FOR FOUNDATION WALL STRENGTH AND THICKNESS AND 9.15.4.  
FOUNDATION WALLS SHALL NOT EXCEED 9'-10" (3.0m) UN-SUPPORTED HEIGHT UNLESS OTHERWISE NOTED, (9.15.4.2.2)

UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2)				
HEIGHT	THICKNESS	UN-SUPPORTED AT TOP	SUPPORTED AT TOP	SUPPORTED AT BASE
10'-0"	15 MPa	3'-11" (1,200)	7'-0" (2,135)	7'-0" (2,135)
10'-0"	15 MPa	4'-7" (1,401)	7'-6" (2,301)	8'-0" (2,438)
12'-0"	15 MPa	4'-11" (1,500)	7'-6" (2,301)	8'-0" (2,438)
20 MPa	15 MPa	3'-11" (1,200)	7'-6" (2,301)	7'-6" (2,301)
20 MPa	15 MPa	4'-7" (1,401)	7'-6" (2,301)	8'-0" (2,438)
12'-0"	15 MPa	4'-11" (1,500)	7'-6" (2,301)	8'-0" (2,438)

\*9" MIN. THICK FOUNDATION WALL IS REQUIRED FOR MASONRY VENEER FINISHED EXTERIOR WALLS WITH CONTINUOUS INSULATION CONDITION, TO PROVIDE MIN. BEARING FOR SILL PLATES, BEAMS AND FLOOR JOISTS AS PER 9.23.7.2, 9.23.8.1, & 9.23.8.1 OF THE O.B.C.

MINIMUM STRIP FOOTING SIZES (9.15.2)			
NUMBER SUPPORTED	SUPPORTING LOAD (KIP)	SUPPORTING EXTERIOR	SUPPORTING PARTIAL WALL
1	16" WIDE x 8" THICK	16" WIDE x 8" THICK	16" WIDE x 8" THICK
2	24" WIDE x 8" THICK	20" WIDE x 8" THICK	24" WIDE x 8" THICK
3	36" WIDE x 14" THICK	28" WIDE x 9" THICK	36" WIDE x 14" THICK

# REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

- 6A FOUNDATION REDUCTION IN THICKNESS FOR MASONRY**  
WHERE THE TOP OF THE FOUNDATION WALLS IS REDUCED IN THICKNESS TO PROVIDE THE INSTALLATION OF MASONRY EXTERIOR FINISH, THE REDUCED SECTION SHALL BE NOT LESS THAN 3 1/2" (90) THICK, THE BRICK VENEER SHALL BE TIED TO THE FOUNDATION WALL WITH CORROSION RESISTANT METAL TIES @ 7'-8" (200) VERTICAL AND 2'-11" (889) HORIZONTAL, FILL VOID WITH MORTAR BETWEEN WALL AND BRICK VENEER (9.15.4.7(2)) & 9.23.8.3(3))
- 6B FOUNDATION REDUCTION IN THICKNESS FOR JOISTS**  
WHERE THE TOP OF THE FOUNDATION WALLS IS REDUCED IN THICKNESS TO PROVIDE THE INSTALLATION OF FLOOR JOISTS, THE REDUCED SECTION SHALL BE NOT MORE THAN 13 3/4" (349) HIGH AND NOT LESS THAN 3 1/2" (90) THICK (9.15.4.7(1))
- 6 WEEPING TILE** (9.14.3)  
4" (100) Ø WEEPING TILE W/ FILTER CLOTH WRAP & 6" (152) CRUSHED STONE COVER
- 7 BASEMENT SLAB OR SLAB ON GRADE** (9.16.4) (9.13)  
3" (80) MIN. 25MPa (3000psi) CONC. SLAB ON 4" (100) COARSE GRANULAR FILL, OR 20MPa (2900psi) CONC. WITH DAMPROOFING BELOW SLAB, PROVIDE 1/2" (12.7) IMPERVIOUS BOARD FOR BOND BREAK AT EDGE, WHERE A BASEMENT SLAB IS WITHIN 24" (610) OF THE EXTERIOR GRADE PROVIDE RIGID INSUL. AROUND THE PERIMETER EXTENDING MIN. 24" (610) BELOW GRADE, FOR SLAB ON GRADE CONDITIONS RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB, (SB-21) 3.1.1.7.5) & (6)
- 8 EXPOSED FLOOR TO EXTERIOR** (9.10.17.10, & CANULC-5705.2)  
PROVIDE SPRAY FOAM INSULATION BETWEEN CANT, JOIST AND INSTALL OSB CONFORMING TO 9.23.9, FIN. SOFFIT OR CLADDING AS PER ELEVATION TO US OF EXPOSED CANT, JOIST.
- 9 EXPOSED CEILING TO EXTERIOR w/ ATTIC** (9.25.2.4)  
INSULATION & 6 MIL POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INTERIOR FINISH OR APPROVED ETC.
- 10 EXPOSED CEILING TO EXTERIOR w/ ATTIC**  
JOISTS TRUSSES AS PER PLANS W/ 2x2" (38x89) FURLINGS @ 16" (400) O.C. PERPENDICULAR TO JOISTS, 6 MIL POLYETHYLENE VAPOUR BARRIER, W/ SPRAY FOAM OR ROOF TRUSSES, INSULATION BETWEEN CANT, JOIST & 6 MIL POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INT. FINISH OR APPROVED ETC. (CANULC-5705.2, 9.19.1, 9.10.17.10)
- 10 ALL STAIRS/EXTERIOR STAIRS** (9.12.2, 9.8.2, 9.8.4)  
AVERAGE RUN OF "APPROX" TRUED MEASURED AT A POINT 300mm FROM THE CENTERLINE OF THE HANDRAIL, (9.8.4.3)  
\*\* HEIGHT OVER STAIRS (HEADROOM) IS MEASURED VERTICALLY ACROSS WIDTH OF STAIRS FROM A STRAIGHT LINE TO THE TREAD AND LANDING NO LONGER TO LOWEST POINT ABOVE AND NOT LESS THAN 8'-0" (1950) FOR SINGLE DWELLING UNIT & 6'-6" (310) FOR EVERYTHING ELSE, (9.8.4.2.2)  
REQUIRED LANDING IN GARAGE - O.B.C. 9.8.2.5(3)  
FOR AN EXTERIOR STAIR SERVING A GARAGE, W/ MORE THAN 3 RISERS, GUARDS, HANDRAILS & STEPS AS PER CONSTRUCTION HEBX NOTE 10 & 11.
- 11 GUARDS/RAILINGS** (9.8.7, 9.8.8)  
GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX. OPENING CONFORMING TO O.B.C. 9.8.8.3, 9.8.8.4, & 9.8.8.5, AND BE ABLE TO RESIST LOADS AS PER TABLE 9.8.8.2.  
GARAGE HEIGHTS - O.B.C. 9.8.8.  
INTERIOR GUARDS: 2'-11" (600) MIN.  
EXTERIOR GUARDS: 2'-11" (600) MIN. (LESS THAN 5'-11" (1800) TO GRADE) & 3'-0" (1070) MIN. (MORE THAN 5'-11" (1800) TO GRADE)  
GUARDS FOR EXIT STAIRS: 3'-0" (900) MIN.  
GUARDS FOR LANDINGS @ EXIT STAIRS: 3'-0" (1070) MIN.  
GUARDS FOR FLOORS & RAMPS IN GARAGES (SERVICE STAIRS)  
FLOOR OR RAMP W/ EXTERIOR WALLS THAT IS 23'-8" (660) OR MORE ABOVE ADJACENT SURFACE REQUIRES CONT. CURB MIN. 6" (150) HIGH, AND GUARD MIN. 24" (1070) HIGH.  
REQUIRED GUARDS  
BETWEEN WALKING SURFACE & ADJACENT SURFACE WITH A DIFFERENCE IN ELEVATION MORE THAN 23'-8" (660) OR ADJACENT SURFACE WITHIN 3'-11" (1200) & WALKING SURFACE W/ A SLOPE MORE THAN 1 IN 12 SHALL BE PROTECTED WITH GLASS OR POLYCARBONATE GLASS OR POLYCARBONATE GLASS.  
HANDRAIL HEIGHTS - O.B.C. 9.8.7 - REQUIRED AS PER 9.8.7.1(3)  
MIN. HEIGHT AT STAIRS OR RAMP: 2'-10" (665)  
MAX. HEIGHT AT STAIRS OR RAMP: 3'-2" (965)  
MAX. HEIGHT AT LANDING: 3'-6" (1070)  
STAIRS OR RAMP MIN. 7'-3" (2200) WIDE: 2'-9" (865) MIN. HEIGHT
- 12 SILL PLATES**  
2x4" (38x89) SILL PLATE WITH 1/2" (12.7) ANCHOR BOLTS @ 20" (500) LONG, EMBEDDED MIN. 4" (100) INTO CONC. @ 4'-0" (1220) O.C., CAULKING OR GASKET BETWEEN PLATE AND TOP OF FOUNDATION WALL, USE NON-SHINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED (9.23.7)
- 13 BASEMENT INSULATION** (SB-19) 3.1.1.7)  
PROVIDE CONTINUOUS BLANKET INSULATION W/ BUILT IN 6 MIL POLYETHYLENE VAPOUR BARRIER, INSULATION TO EXTEND NO MORE THAN 6" (200) ABOVE FINISHED BASEMENT FLOOR, DAMPROOFING AT MID-HEIGHT IF WALL IS UNFINISHED, THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL.
- 14 BEARING STUD PARTITION IN BASEMENT** (9.15.3.6, 9.23.10.1)  
2x4" (38x89) STUDS @ 18" (460) O.C. 2x4" (38x89) SILL PLATE (2x6" (38x140) AS REQUIRED) ON DAMPROOFING MATERIAL OR 2 MIL POLYETHYLENE FILM, 1/2" (12.7) Ø ANCHOR BOLTS @ 20" (500) LONG, EMBEDDED 4" (100) MIN. INTO CONC. @ 1/2" (12.7) (2300) O.C. 4" (100) HIGH CONC. CURB ON CONC. FOOTING, FOR SIZE REFER TO 9.15.3.6 (1) & 9.15.3.6 (2) FOR MORE DETAILS, IF WALLS ARE UNFINISHED.
- 15 ADJUSTABLE STEEL BASEMENT COLUMN** (9.15.3.4)  
9'-10" (3000) MAX. SPAN BETWEEN COLUMNS, 3 1/2" (90) Ø SLEEVE TUBE ADJUSTABLE STEEL COLUMN CONFORMING TO CANC058-72M, AND WITH 6"x6"x8" (152x152x203) STEEL PLATE TOP & BOTTOM, FIELD WELD BASEMENT COLUMN CONNECTION, POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 125KPA S.L.S., OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125KPA S.L.S., AS PER SOILS REPORT.  
SUPPORTING 2 STOREY FLOOR LOAD PROVIDE 34"x34"x16" (870x870x410) CONC. FOOTING  
SUPPORTING 3 STOREY FLOOR LOAD PROVIDE 40"x40"x19" (1000x1000x480) CONC. FOOTING
- 15A NON-ADJUSTABLE STEEL BASEMENT COLUMN**  
3 1/2" (90) Ø x 0.189" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x8" (152x152x203) STEEL PLATE TOP & BOTTOM, BOTTOM PLATE CW 2 1/2"x9"x12" LONG@2 HOOK ANCHORS, FIELD WELD BASEMENT COLUMN CONNECTION, POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 125KPA S.L.S., OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125KPA S.L.S., AS PER SOILS REPORT.  
SUPPORTING 2 STOREY FLOOR LOAD PROVIDE 42"x42"x18" (1070x1070x460) CONC. FOOTING  
SUPPORTING 3 STOREY FLOOR LOAD PROVIDE 48"x48"x24" (1220x1220x610) CONC. FOOTING
- 15B NON-ADJUSTABLE STL. COLUMN AT FOUNDATION WALL**  
3 1/2" (90) Ø x 0.189" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x8" (152x152x203) STEEL TOP PLATE & 6"x6"x8" (152x100x8.5) BOTTOM PLATE, BASE PLATE 41/2"x10x10x1/2" (120x250x12.7) WITH 3-1/2"x12"x10"x2" HOOK ANCHORS (2-12/20x30x50), FIELD WELD COLUMN TO BASE PLATE & STEEL BM.
- 16 STEEL BEAM BEARING AT FOUNDATION WALL** (9.23.1.1)  
BEAM POCKET OR 9x8" (200x200) POURED CONC. NEW WALLS, MIN. BEARING 3 1/2" (90) CONC. NEW WALLS TO HAVE EXTENDED FOOTINGS
- 17 WOOD STRAPPING AT STEEL BEAMS** (9.23.4.3.3, 9.23.8.3)  
1x3" (19x64) CONTIN. WOOD STRAPPING BOTH SIDES OF STEEL BEAM.
- 18 GARAGE SLAB** (9.16.3, 9.15)  
4" (100) 32MPa (4600psi) CONC. SLAB WITH 50% AIR ENTRAINMENT ON OPT. 4" (100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL SLOPE TO FRONT @ 1% MIN.
- 19 GARAGE TO HOUSE WALLS/CEILING** (9.10.9.16)  
1/2" (12.7) GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE, PLUS REQUIRED INSULATION IN WALLS AND SPRAY FOAM FOR CEILINGS, TAPE AND SEAL ALL JOINTS GAS TIGHT, (9.10.17.10, CANULC-5705.2)
- 19A GARAGE TO HOUSE WALLS/CEILING W/ CONTIN. INSULATION**  
1/2" (12.7) GYPSUM BOARD ON CEILING AND ON WALLS INSTALLED OVER EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS ON 3/8" EXTERIOR GRADE SHEATHING ON STUDS BETWEEN HOUSE AND GARAGE, PLUS REQUIRED INSULATION IN WALLS & SPRAY FOAM FOR CEILINGS, TAPE AND SEAL ALL JOINTS GAS TIGHT, (9.10.9.16, 9.10.17.10, CANULC-5705.2)

- 20 GARAGE DOOR TO HOUSE** (9.10.9.16, 9.10.13.10, 9.10.13.15)  
GAS-PROOF DOOR AND FRAME, DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIPPING.
- 21 EXTERIOR AND GARAGE STEPS**  
PRECAST CONC. STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER, MAX. RISE 7'-8" (200) MIN. TREAD 9 1/4" (235), FOR THE REQUIRED NUMBER OF STEPS REFER TO SIZING AND GRADING DRAWINGS, EXTERIOR CONCRETE STEPS WITH MORE THAN 2 RISERS AND 2 TREADS SHALL BE PROVIDED WITH FOUNDATION AS REQUIRED BY ARTICLE 9.8.9.2, OR SHALL BE CANCILLERED AS PER SUBSECTION 9.8.10.
- 22 DRYER EXHAUST**  
CAPPED DRYER EXHAUST VENTED TO EXT, CONFORMING TO PART 6, OBC 9.32.
- 23 ATTIC ACCESS** (9.19.2.1)  
ATTIC ACCESS HATCH WITH MIN. AREA OF 0.32m2 AND NO DIM. LESS THAN 21 1/2" (545) WITH WEATHER STRIPPING, HATCHWAYS TO THE ATTIC OR ROOF SPACE SHALL BE FITTED WITH DOORS OR COVERS AND SHALL BE INSULATED WITH MIN. R20 (R51.52) (SB-12) 3.1.1.4(1))
- 24 FIREPLACE CHIMNEYS** (9.2.1)  
TOP OF FIREPLACE CHIMNEY SHALL BE 2'-11" (889) ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 2'-0" (610) ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 10'-0" (3048) FROM THE CHIMNEY.
- 25 LINEN CLOSET**  
PROVIDE 4 SHELVES MIN. 14" (356) DEEP.
- 26 MECHANICAL VENTILATION** (9.32.1.3)  
MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR, SEE GENERAL NOTE 2.3.
- 27 PARTY WALL BEARING** (9.23.8)  
12x12x5/8" (305x305x15.5) STEEL PLATE FOR STEEL BEAMS AND 12x12x1/2" (305x305x12.7) STEEL PLATE FOR WOOD BEAMS BEARING MIN. 3'-1/2" (890) ON CONC. BLOCK PARTY WALL, ANCHORED WITH 2x4" (38x140) x 8" (200) LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE, LEVEL W/ NON-SHINK GROUT, REFER TO NOTE SOLID BEARING (SECTION 3.0) FOR WLD. STUD PARTY WALL.
- 28 WOOD FRAMING IN CONTACT TO CONCRETE**  
WOOD BEARING WALLS, THE UNDERSIDE OF BUILT-UP WOOD POSTS AND SILLS SHALL BE WRAPPED WITH 2 MIL POLY. STRIP FOOTINGS SUPPORTING THE FOUNDATION WALL SHALL BE MINIMUM 6" (152) BELOW THE BEARING WALL AND WOOD POST, (9.17.4.3).
- 29 BUILT-UP WOOD POST AND FOOTING** (9.17.4.1, 9.15.3.7)  
3-2x6" (3-38x140) BUILT-UP WOOD POST UNLESS OTHERWISE NOTED ON METAL BASE SHOE ANCHORED TO CONC. WITH 1/2" (12.7) Ø BOLT, 2x4x24x12" (610x610x305) CONC. FOOTING OR AS PROVIDED ON PLAN, REFER TO NOTE 28
- 30 STEP FOOTINGS** (9.15.3.3)  
MIN. HORIZ. STEP = 23 5/8" (600), MAX. VERT. STEP = 23 5/8" (600).
- 31 CONC. PORCH SLAB** (9.16.4)  
MIN. 4" (100) CONCRETE SLAB ON GRADE ON 4" (100) COARSE GRANULAR FILL, REINFORCED WITH 6x6x20x20 MESH PLACED NEAR MID-DEPTH OF SLAB, CONC. STRENGTH 32MPa (4600psi) WITH 50% AIR ENTRAINMENT ON COMPACTED SUB-GRADE.
- 32 FURNACE VENTING** (9.32.3)  
DIRECT VENT FURNACE TERMINAL MIN. 3'-0" (915) FROM A GAS REGULATOR, MIN. 12" (305) ABOVE FIN. GRADE, FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS, HRV INTAKE TO BE A MIN. OF 6'-0" (1830) FROM ALL EXHAUST TERMINALS, REFER TO GAS UTILIZATION CODE.
- 33 FIREPLACE VENTING** (9.23.2.3)  
DIRECT VENT GAS FIREPLACE VENT TO BE A MIN. 12" (305) FROM ANY OPENING AND ABOVE FIN. GRADE, REFER TO GAS UTILIZATION CODE.
- 34 FLOOR FRAMING** (9.23.3.5, 9.23.9.4, 9.23.14)  
T&G SUBFLOOR ON WOOD FLOOR JOISTS, FOR CERAMIC TILE APPLICATION SEE O.B.C. 9.30.6, ALL JOISTS WHERE REQUIRED TO BE BRIDGED WITH 2x2" (38x89) CROSS BRACING OR SOLID BLOCKING @ 6'-11" (2108) O.C. MAX. ALL JOISTS TO BE STRAPPED WITH 1x2" (19x64) @ 6'-11" (2108) O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.
- 34A HEADER CONSTRUCTION**  
PROVIDE CONTINUOUS APPROVED AIR/VAPOUR BARRIER (HEADER WRAP) UNDER THE SILL PLATE, AROUND THE RIM BOARD AND UNDER THE BOTTOM PLATE, THE HEADER WRAP SHALL EXTEND 6" (152) BELOW THE TOP OF FOUNDATION WALL AND WILL BE SEALED TO THE CONCRETE FOUNDATION WALL, EXTEND HEADER WRAP @ 152) UP THE INTERIOR SIDE OF THE STUD WALL AND OVERLAP WITH THE VAPOUR BARRIER AND SEAL THE JOINT, ALL EDGES/JOINTS MUST BE MECHANICALLY CLAMPED.
- 35 EXPOSED BUILDING FACE w/ LIMITING DISTANCE < 3'-11" (1,200)**  
WALL ASSEMBLY CONTAINS INSULATION CONFORMING TO CANULC-5702 & HAVING A MASS OF NOT LESS THAN 1.22 KG/M2 OF WALL SURFACE AND 1/2" (12.7) TYPE X GYPSUM WALLBOARD INTERIOR FINISH, EXTERIOR CLADDING MUST BE NON-COMBUSTIBLE WHEN LIMITING DISTANCE IS 23'-8" (660) OR LESS, WALL ASSEMBLY REQUIRES TO HAVE THE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES & CONFORMING TO O.B.C. 9.10.14, OR 9.10.15, REFER TO DETAILS FOR TYPE & SPEC. \*\* AN OPENING IN AN EXPOSING BUILDING FACE NOT MORE THAN 20' (6100) SHALL NOT BE CONSIDERED AN UNPROTECTED OPENING AS PER 9.14.3.
- 36 COLD CELLAR PORCH SLAB** (9.33)  
FOR MAX. 8'-2" (2500) PORCH DEPTH, 3" (127) 32 MPa (4600psi) CONC. SLAB W/ 50% AIR ENTRAINMENT, REINF. WITH 10M BARS @ 7'-8" (200) O.C. EACH DIRECTION, W/ 1 1/4" (32) CLEAR COVER FROM BOTTOM OF SLAB TO FIRST LAYER OF BARS & SECOND LAYER OF BARS Laid DIRECTLY ON TOP OF LOWER LAYER, IF OFFERED, 2x2x24" (610x610x100) DOMES @ 23'-8" (660) O.C., ANCHORED IN PERIMETER END, WALLS, SLAB 10% FROM DOOR.
- 37 RANGE HOODS AND RANGE-TOP FANS**  
COOKING APPLIANCE EXHAUST FANS VENTED TO EXTERIOR MUST CONFORM TO OBC 9.10.22, 9.32.3.6, & 9.32.3.10.
- 38 CONVENTIONAL ROOF FRAMING** (9.23.1.3, 9.23.15)  
2x6" (38x140) RAFTERS @ 18" (460) O.C. 2x6" (38x140) RIDGE BOARD, 2x4" (38x89) COLLAR TIES AT MID-SPAN, CEILING JOISTS TO BE 2x4" (38x89) @ 18" (460) O.C. FOR MAX. 9'-3" (2819) SPAN & 2x6" (38x140) @ 18" (460) O.C. FOR MAX. SPAN 14'-7" (4450), RAFTERS FOR BUILT UP ROOF COVER PRE-ENGINEERED ROOF TRUSSES OR CONVENTIONAL FRAMING TO BE 2x4" (38x89) @ 24" (610) O.C. UNLESS OTHERWISE SPECIFIED.

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FOR STRUCTURAL ONLY. EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST, AND CONSTRUCTION NOTES 9 OF 2



# cont. SECTION 1.0. CONSTRUCTION NOTES

39 TWO STOREY VOLUME SPACES (9,23.10.1, 9,23.11, 9,23.16)	
WALL ASSEMBLY	WIND LOADS
EXTERIOR STUDS	SPACING   MAX HEIGHT   SPACING   MAX HEIGHT
BHCC 2x4/6 (2x38/40) SPLY #2	12" (305) O.C. 18'-4" (5588) 8" (200) O.C. 18'-4" (5588)
BHCC 2x4/6 (2x38/40) SPLY #2	16" (406) O.C. 18'-4" (5588) 12" (305) O.C. 18'-4" (5588)
BHCC 2x4/6 (2x38/40) SPLY #2	12" (305) O.C. 21'-0" (6400) 12" (305) O.C. 21'-0" (6400)
BHCC 2x4/6 (2x38/40) SPLY #2	16" (406) O.C. 21'-0" (6400) 16" (406) O.C. 21'-0" (6400)

\*\* STUD SIZE & SPACING TO BE VERIFIED BY STRUCTURAL ENGINEER \*\*

STUDS ARE TO BE CONTINUOUS, C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING, PROVIDE SOLID WOOD BLOCK BETWEEN WOOD STUDS @ 4'-0" (1220) O.C. VERTICALLY.

- FOR HORIZ. DISTANCES LESS THAN 9'-0" (2738) PROVIDE 2x4 (38x40) STUDS @ 16" (406) O.C. WITH CONTIN. 2x4 (38x40) TOP PLATE = 1x2x6 (1x38x40) BOTTOM PLATE & MIN. OF 2x4 (38x40) CONT. HEADER AT GROUND FLOOR CEILING LEVEL TOP-NAILED & GLUED AT TOP, BOTTOM PLATES & HEADERS,

40 1 HR. PARTY WALL (CONC. BLOCK) (SB-2) WALL TYPE 9/6/8 & 9/10/1	
1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2x2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE, FILL & SAND ALL GYPSUM JOINTS, EXPOSED BLOCK MUST BE SEALED W/ COATS OF PAINT OR FURRED WITH 2x2" (38x38) WOOD STRAPPING @ 12" (305) GYPSUM SHEATHING.	

40 1 HR. PARTY WALL (DOUBLE STUD) (SB-2) WALL TYPE W/3/4"	
5/8" (15.9) TYPE "M" GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2x4" (38x89) STUDS @ 16" (406) O.C. MIN. 1" (25) APART ON SEPARATE 2x4" (38x89) SILL PLATES, (2x6" (38x140) TOP PLATE = 1x2x6 (1x38x40) BOTTOM PLATE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE, FILL AND SAND ALL GYPSUM JOINTS.	

40A 2 HR. FIREWALL (SB-2) WALL TYPE 9/6/8 & 9/10/1	
1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2x2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE, FILL & SAND ALL GYPSUM JOINTS, AT UNFINISHED AREA, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT, GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK, (REFER TO DETAILS)	

41 STUCCO WALL CONSTRUCTION (2"x6")	
STUCCO FINISH CONFORMING TO C.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1/2" (38) E.F.J.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOARD ON STUDS CONFORMING TO O.B.C. (9,23.10.1) & SECTION 1.1, INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH, (REFER TO 35 NOTE AS REQUIRED)	

41A STUCCO WALL CONSTRUCTION (2"x6") W/ CONTIN. INSUL.	
STUCCO FINISH CONFORMING TO C.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1/2" (38) E.F.J.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOARD ON STUDS CONFORMING TO O.B.C. (9,23.10.1) & SECTION 1.1, INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH, (REFER TO 35 NOTE AS REQUIRED)	

41B STUCCO WALL @ GARAGE CONSOLE	
STUCCO FINISH CONFORMING TO C.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1/2" (38) E.F.J.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C. (9,23.10.1) & SECTION 1.1, INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH, (REFER TO 35 NOTE AS REQ.)	

42 UNSUPPORTED FOUNDATION WALLS (9,15.4.2)	
REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS	
2x20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING)	
2x20M BARS IN TOP PORTION OF WALL (8'-0" TO 12'-0" OPENING)	
4x20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING)	
- BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL @ 6" O.C. REINFORCING AT BASEMENT WINDOWS	
2x15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE MIN. SILL, EXTEND BARS 24" (610) BEYOND THE OPENING, 2x15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING.	
- BARS TO HAVE MIN. 1" (25) CONC. COVER	
- BARS TO EXTEND 2'-0" (610) BEYOND BOTH SIDES OF OPENING	

43 STUD WALL REINFORCEMENT	
PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9,5.2.3.1) (REFER TO DETAILS)	

44 WINDOW WELLS	
WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE C/W A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE, (9,10.1.1), (9,14.4.3)	

45 SLOPED CEILING CONSTRUCTION (SB-12) 3.1.1.8, 9,23.4.2	
2x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX, UNLESS OTHERWISE NOTED W/ 2x4" (38x89) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST PURLINS NOT REQ. W/ SPRAY FOAM, W/ INSULATION BETWEEN JOIST, 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3,32 RSI).	

46 FLAT ROOF/BALCONY CONSTRUCTION	
WATERPROOFING MEMBRANE (9,26.11, 9,26.15, 9,26.16) FULLY ADHERED TO 5/8" (15.9) 116G EXTERIOR GRADE PLYWOOD SHEATHING ON 2x2" (38x38) PURLINS ANGLED TOWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2x4" (38x184) FLOOR JOISTS @ 16" (406) O.C. UNLESS OTHERWISE NOTED, BUILT UP CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR, CONTINUOUS 1" TBM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB, SCUPPER DRAIN TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE, PRE-FINISHED ALUMINUM OR PANEL FOR UNDERSIDE OF SOFFIT (9,23.2.3), REMOVE CURB WHERE REQ.	

BALCONY CONDITION	
SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE, INCLUDE 2x4" (38x89) PT. DECORING W/ 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2x4" (38x89) FT. SLEEPERS @ 12" (305) O.C. LAID FLAT PARALLEL TO JOISTS	
BALCONY OVER HEATED SPACE CONDITION	
SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY, REFER TO PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND INTERIOR FINISH	

47 BARREL VAULT CONSTRUCTION	
CANTILEVERED 2x4" (38x89) SPACERS LAID FLAT ON 2x10" (38x235) SPLY #2 ROOF JOIST NAILED TO BUILT-UP 3x4" (19) PLYWOOD HEADER PROFILED FOR BARREL, SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD, INTERIOR FIN. (REFER TO DETAILS)	

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

## SECTION 1.1. WALL STUDS

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY, REFER TO Siting & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.
- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REINFORCED AND APPROVED BY ENGINEER.

SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1)				
MIN. STUD SIZE in (mm)	SUPPORTED LOADS (EXTERIOR)			
	ROOF w/ OR w/o ATTIC	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR
	MAX. STUD SPACING, in (mm) O.C.			
	MAX. UNSUPPORTED HGTS, ft-in (m)			
2"x4" (38x89)	24" (610)	16" (406)	12" (305)	N/A
2"x6" (38x140)	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A
2"x8"	-	24" (610)	16" (406)	12" (305)
(38x140)	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)

## SECTION 2.0. GENERAL NOTES

- 2.1. WINDOWS**
- EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m<sup>2</sup> UNOBSTRUCTED OPEN PORTION W/ NO DIMENSION LESS THAN 1'-3" (380), CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, CONFORMING TO 9,9.10.1
  - WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE WINDOW TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800), (9,9.8.1)
  - WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2'-11" (800) (3'-4" (1070) FOR ALL OTHER FLOORS) MUST BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE), OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN 4.1.5.15 OR 9,9.8.2
  - REFER TO TITLE PAGE FOR MAX. L/VALUE REQUIREMENTS

2.2. CEILING HEIGHTS	
THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9,5.3.1.	
ROOM OR SPACE	MINIMUM HEIGHTS
LIVING ROOM, DINING ROOM AND KITCHEN	7'-7" OVER 75% OF REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 8'-11" AT ANY POINT
BEDROOM	7'-7" OVER 50% OF REQUIRED FLOOR AREA OR 8'-11" OVER ALL OF THE REQUIRED FLOOR AREA
BASEMENT	6'-11" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 8'-0"
BATHROOM, LAUNDRY AREA ABOVE GRADE	6'-11" IN ANY AREA WHERE A PERSON WOULD NORMALLY BE STANDING
FINISHED ROOM NOT MENTIONED ABOVE	8'-11"
MEZZANINES	6'-11" ABOVE & BELOW FLOOR ASSEMBLY (9,5.3.2)
STORAGE GARAGE	5'-7" (9,5.3.3)

- 2.3. MECHANICAL / PLUMBING**
- MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24 HOURS, WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM TO OBC 9,3.2.4.4, WHEN A HRV IS REQUIRED, CONFORM TO 9,3.2.3.1, REFER TO MECHANICAL DRAWINGS.
  - REFER TO HOT WATER TANK MANUFACTURER SPECS, CONFORM TO OBC 9,31.6.
  - REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES.
  - DRAIN WATER HEAT RECOVERY UNIT (S) WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF SB12 - 3.1.1.12, OF THE O.B.C.

- 2.4. LUMBER**
- ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.
  - STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.
  - LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.
  - ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER.
  - JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH LVL BUILT-UP WOOD MEMBERS.
  - WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil POLYETHYLENE FILM, No.50 (438) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 8" (152) ABOVE THE GROUND.

- 2.5. STEEL** (9,23.4.3)
- STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W, HOLLOW STRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "F".
  - REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.
- 2.6. FLAT ARCHES**
- FOR 8'-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 6'-10" (2080) A/F.F.
  - FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7'-10" (2400) A/F.F.
  - FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2600) A/F.F.

- 2.7. ROOF OVERHANGS**
- ALL ROOF OVERHANGS SHALL BE 1'-0" (305), UNLESS NOTED OTHERWISE.
- 2.8. FLASHING** (9,20.1.3, 9,26.4, 9,27.3)
- FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.

- 2.9. GRADING**
- THE BUILDING SHALL BE LOCATED ON THE BUILDING SITE GRADED SO THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES, CONFORM TO 9,14.6.

- 2.10. ULC SPECIFIED ASSEMBLIES**
- ALL REQUIRED INDIVIDUAL COMPONENTS THAT FORM PART OF ANY ULC LISTED ASSEMBLY SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER MATERIALS, PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED IN THAT SPECIFIED ULC LISTING. THERE SHALL BE NO DEVIATIONS UNDER ANY CIRCUMSTANCES IN ANY ULC LISTED ASSEMBLY IDENTIFIED IN THESE DRAWINGS.

## SECTION 3.0. LEGEND

- 3.1. WOOD LUMBERS AND BUILT-UP A15 & A16**
- (DIVISION B PART 9, TABLES A8 TO A10 AND A12, A15 & A16)
- FORMING PART OF SENTENCE 9,23.4.2(3), 9,23.4.2(4), 9,23.12.3(1), (3), 9,23.12.3(2), 9,37.3.1(1)

2"x6" SPRUCE #2	2"x10" SPRUCE #2	2"x12" SPRUCE #2
L1 2x2x6" (2x38x184)	L3 2x2x10" (2x38x235)	L5 2x2x12" (2x38x286)
B1 3x2x6" (3x38x184)	B3 3x2x10" (3x38x235)	B5 3x2x12" (3x38x286)
B2 4x2x6" (4x38x184)	B4 4x2x10" (4x38x235)	B6 4x2x12" (4x38x286)
B7 5x2x6" (5x38x184)	B8 5x2x10" (5x38x235)	B9 5x2x12" (5x38x286)

- ENGINEERED LUMBER SCHEDULE - GRADE 2.0E (UNLESS NOTED OTHERWISE)
- |                      |                       |                    |
|----------------------|-----------------------|--------------------|
| 1 3/4" x 9 1/2" LVL  | 1 3/4" x 11 7/8" LVL  | 1 3/4" x 14" LVL   |
| VL.2 1-1 3/4"x9 1/2" | VL.3 1-1 3/4"x11 7/8" | VL.10 1-1 3/4"x14" |
| VL.4 2-1 3/4"x9 1/2" | VL.6 2-1 3/4"x11 7/8" | VL.11 2-1 3/4"x14" |
| VL.5 3-1 3/4"x9 1/2" | VL.7 3-1 3/4"x11 7/8" | VL.12 3-1 3/4"x14" |
| VL.8 4-1 3/4"x9 1/2" | VL.9 4-1 3/4"x11 7/8" | VL.13 4-1 3/4"x14" |

- 3.2. STEEL STUDS SUPPORTING MASONRY VENEER**
- (DIVISION B PART 9, TABLE 9,20.5.2.5)
- FORMING PART OF SENTENCE 9,20.5.2(2) & 9,20.5.2(3)

CODE	SIZE	BHCC	STONE
L7	3 1/2" x 3 1/2" x 1 1/4" (89 x 89 x 6.4)	8"-1" (2,47m)	7"-6" (2,30m)
L8	4" x 3 1/2" x 1 1/4" (102 x 89 x 6.4)	8"-9" (2,66m)	8"-1" (2,48m)
L9	4 7/8" x 3 1/2" x 5/16" (127 x 89 x 7.9)	10"-10" (3,31m)	10"-1" (3,03m)
L10	4 7/8" x 3 1/2" x 3/8" (127 x 89 x 11)	11"-8" (3,48m)	10"-7" (3,24m)
L11	5 7/8" x 3 1/2" x 3/8" (152 x 89 x 11)	12"-6" (3,82m)	11"-5" (3,54m)
L12	7 1/8" x 4" x 3/8" (178 x 102 x 11)	14"-1" (4,30m)	13"-1" (3,99m)

3.3. DOOR SCHEDULE	
CONFORMING TO SECTIONS 9,5.11, 9,6, 9,7.2.1, 9,7.5.2, & 9,10.13.10	
1 EXTERIOR	2'-6" x 6'-8" x 1-3/4" (815 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)
1A EXTERIOR	2'-10" x 6'-8" x 1-3/4" (865 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)
1B EXTERIOR	3'-0" x 6'-8" x 1-3/4" (915 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)
1C EXTERIOR	2'-6" x 6'-8" x 1-3/4" (760 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)
1D EXTERIOR	2'-6" x 6'-8" x 1-3/4" (815 x 2030 x 45) INS. MIN. R4 (RSI 0.7) (SEE HEX NOTE 20)
1E EXTERIOR	3'-0" x 6'-8" x 1-3/4" (915 x 2440 x 45) INSULATED MIN. R4 (RSI 0.7)
1F EXTERIOR	2'-6" x 6'-8" x 1-3/4" (815 x 2440 x 45) INSULATED MIN. R4 (RSI 0.7)
2A EXTERIOR	2'-6" x 6'-8" x 1-3/4" (815 x 2030 x 45) 20 MIN. F.R.P. DOOR FRAME WITH APP. SELF CLOSING DEVICE.
2 EXTERIOR	2'-6" x 6'-8" x 1-3/8" (815 x 2030 x 35)
3 EXTERIOR	2'-6" x 6'-8" x 1-3/8" (760 x 2030 x 35)
3A EXTERIOR	2'-6" x 6'-8" x 1-3/8" (710 x 2030 x 35)
4 EXTERIOR	2'-6" x 6'-8" x 1-3/8" (610 x 2030 x 35)
4A EXTERIOR	2'-2" x 6'-8" x 1-3/8" (660 x 2030 x 35)
5 EXTERIOR	1'-6" x 6'-8" x 1-3/8" (460 x 2030 x 35)

PROVIDE 8'-0" HIGH INTERIOR DOORS FOR ALL 1'0" CEILING CONDITIONS

3.4. ACRONYMS	
AFB ABOVE FINISHED FLOOR	JUST JOIST
BFBM BEAM BY FLOOR MANUFACTURER	LIN LINEN CLOSET
BG FIXED GLASS W/ BLACK BACKING	LVL LAMINATED VENEER LUMBER
BM BEAM	OTBA OPEN TO BELOW/ABOVE
BFBM BEAM BY ROOF MANUFACTURER	PL PLANT LOAD
CBF CONVENTIONAL ROOF FRAMING	PLT PLATE
CW COMPLETE WITH	PT PRESSURE TREATED
D/D DOUBLE JOIST/ TRIPLE JOIST	PTD PAINTED
DO DO OVER	PWD POWDER ROOM
DRP DROPPED	RWL RAIN WATER LEADER
ENG ENGINEERED	SB SOLID BEARING WOOD POST
EST ESTIMATED	SBFA SB FROM ABOVE
FA FLAT ARCH	SJ SINGLE JOIST
FD FLOOR DRAIN	SPR SPRUCE
FG FIXED GLASS	STL STEEL
FL FLUSH	T/O TOP OF
FLR FLOOR	TYP TYPICAL
GT GIRDER TRUSS	UD UNDERSIDE
HB HOSE BIB	W WOOD
HRV HEAT RETURN VENTILATION UNIT	WIC WALK IN CLOSET
HWT HOT WATER TANK	WP WEATHER PROOF

3.5. SYMBOLS	
ALL ELECTRICAL FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 9.34.	
CLASS "B" VENT	EXHAUST VENT
DUPLEX OUTLET (12" HIGH)	DUPLEX OUTLET (HEIGHT AS NOTED A/F.F.)
HEAVY DUTY OUTLET	SWITCH (2/3-4 WAY)
POT LIGHT	LIGHT FIXTURE (CEILING MOUNTED)
LIGHT FIXTURE (PULL CHAIN)	LIGHT FIXTURE (WALL MOUNTED)
CABLE T.V. JACK	TELEPHONE JACK
CENTRAL VACUUM OUTLET	CHANDELIER (CEILING MOUNTED)

- 3.5.1. SMOKE ALARM** (9,10.13)
- PROVIDE ONE PER FLOOR NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS ARE TO BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN SLEEPING ROOMS AND CONNECTING HALLWAYS AND WIRED TO BE INTERCONNECTED TO ACTIVATE ALL ALARMS IF ONE SOUNDS. ALARMS ARE TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND WITH A BATTERY BACKUP, ALARM SIGNAL SHALL MEET TEMPORAL SOUND PATTERNS MIN. ALARMS SHALL HAVE A VISUAL SIGNALING COMPONENT AS PER THE NATIONAL FIRE ALARM & SIGNALING CODE "2".

- 3.5.2. CARBON MONOXIDE ALARM** (9,33.4)
- CHECK LOCAL BY-LAWS FOR REQUIREMENTS \*\* A CARBON MONOXIDE ALARM CONFORMING TO CAN/CSA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH DWELLING UNIT ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE ALARMS SHALL BE PERMANENTLY WIRED WITH NO DISCONNECT SWITCH, WITH AN ALARM THAT IS AUDIBLE WITHIN SLEEPING ROOMS WHEN THE INTERVENING DOORS ARE CLOSED.

- 3.5.3. SOLID BEARING (BUILT-UP WOOD COLUMNS AND STUD POSTS)**
- THE WIDTH OF A WOOD COLUMN SHALL NOT BE LESS THAN THE WIDTH OF SUPPORTED MEMBER, BUILT-UP WOOD COLUMNS SHALL BE NAILED TOGETHER WITH NOT LESS THAN 3" (76) NAILS SPACED NOT MORE THAN 11 3/4" (300) O.C. THE NUMBER OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL CONFORM TO TABLES 9-34 TO 9-37, (9,17.4, 9,20.10.2)

- 3.5.4. TWO STOREY VOLUME SPACE, SEE CONSTRUCTION NOTE 39.**
- 3.5.5. WARNING PLATES, BUILT-UP DOORS, BEARING WALLS, ICE & WATER SHELD**

- 3.5.6. EXPOSED BUILDING FACE - O.B.C. 9,10.14, OR 9,10.15.**
- CONFORMING TO CONSTRUCTION NOTE 35, & DETAILS FOR TYPE AND SPECIFICATIONS.

- 3.5.7. 1 HR. PARTY WALL** (REFER TO HEX NOTE 40).
- 3.5.8. 2 HR. FIREWALL** (REFER TO HEX NOTE 40A).

## SECTION 4.0. CLIMATIC DATA

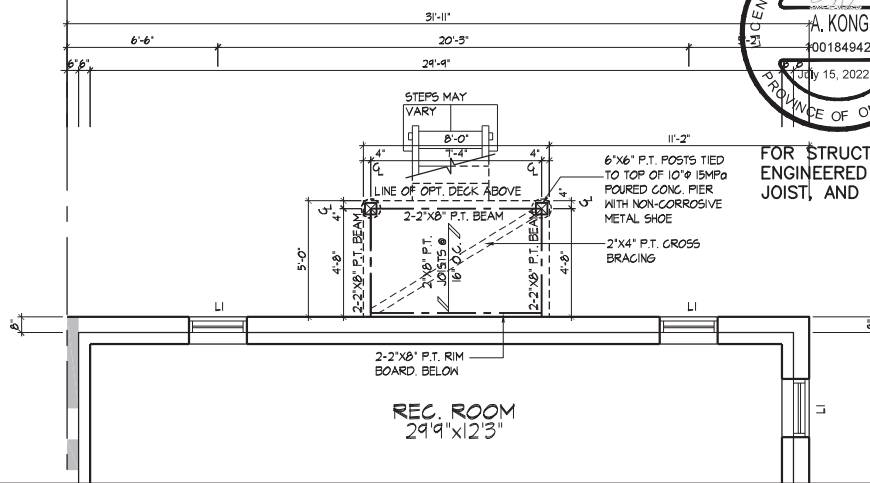
- DESIGN SNOW LOAD (9,4.2.2): **1.01 kPa**
- WIND PRESSURE (q50) (SB-1,2): **0.44 kPa**

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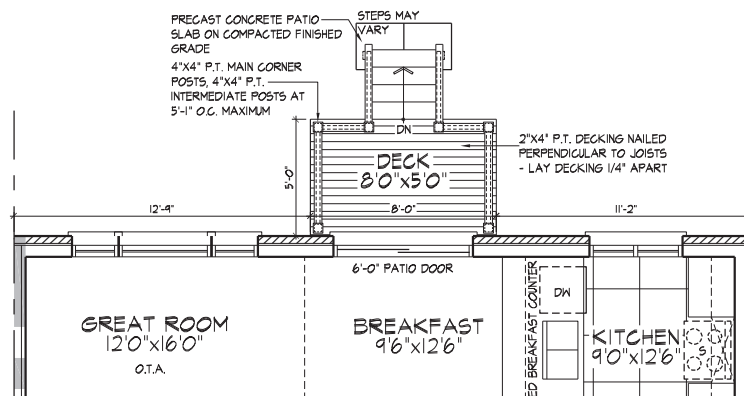
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180 COMMERCE VALLEY DR. W.  
THORNHILL, ONTARIO CANADA L3T 0A1  
TEL: 416-492-4011 FAX: 416-492-4058 WWW.WSPGROUP.CA



PART. BASEMENT PLAN, EL. 'A' - W.O.D. COND.



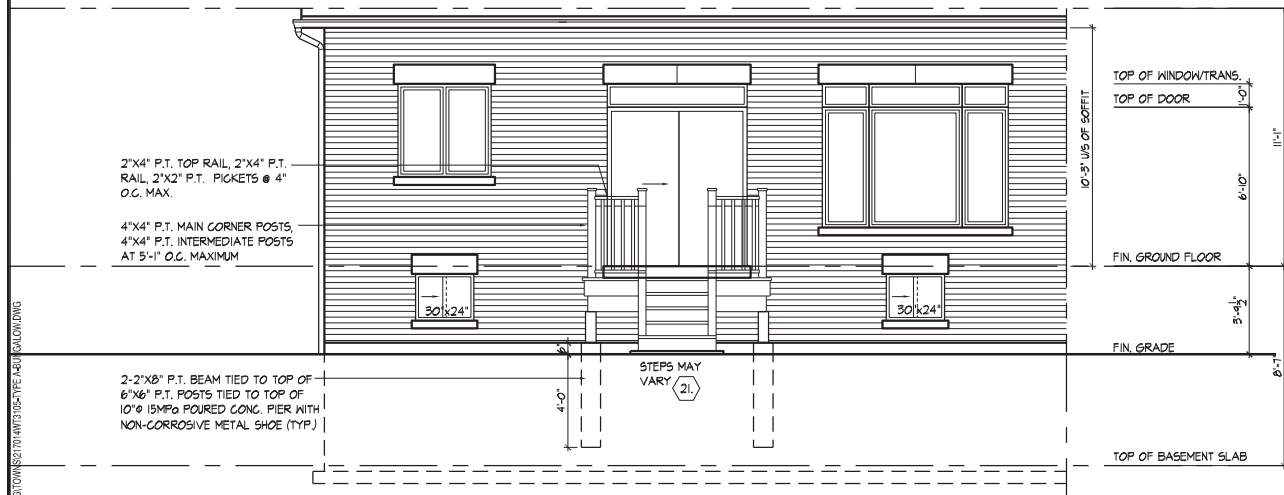
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]  
DATE: JULY 20, 2022  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

PART. GROUND PLAN, EL. 'A' - W.O.D. COND.



PART. REAR ELEVATION 'A' - W.O.D. COND.

SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL.

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS.

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

WALK-OUT DECK CONDITION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

Qualification Information:  
Allen Whiting  
23177  
2019  
HUNT DESIGN ASSOCIATES INC.  
19095

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**GOLDPARK HOMES - 217014**  
PINE VALLEY TOWNS, VAUGHAN ON

Drawn By: NN  
Checked By: AW  
Scale: 3/16" = 1'-0"  
8966 Woodbine Ave, Markham, ON L3R 0J7  
T 905.737.5133 F 905.737.7326

**WALK-OUT DECK CONDITION**

**UNIT - 3105**  
REV. 2022.07.11  
Page Number: W1 of W6

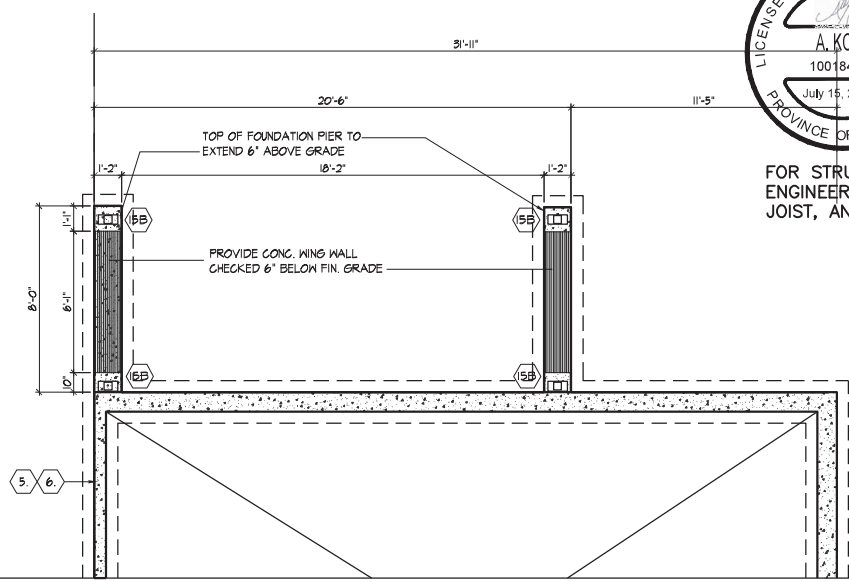
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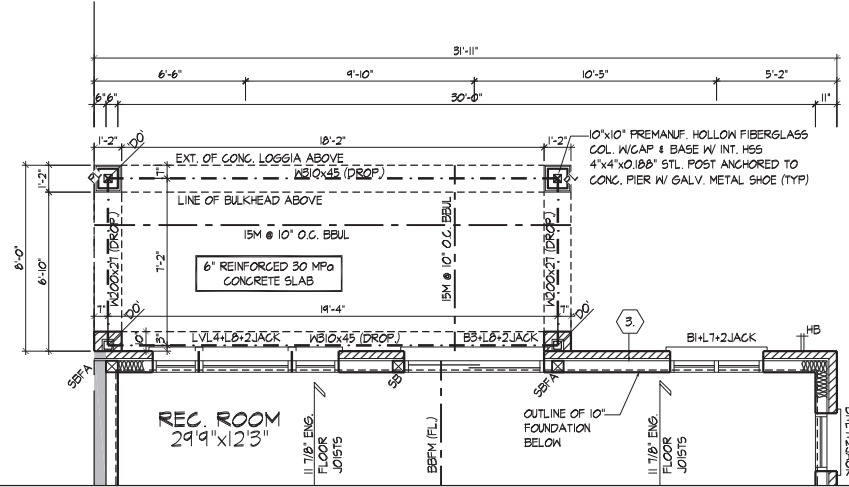


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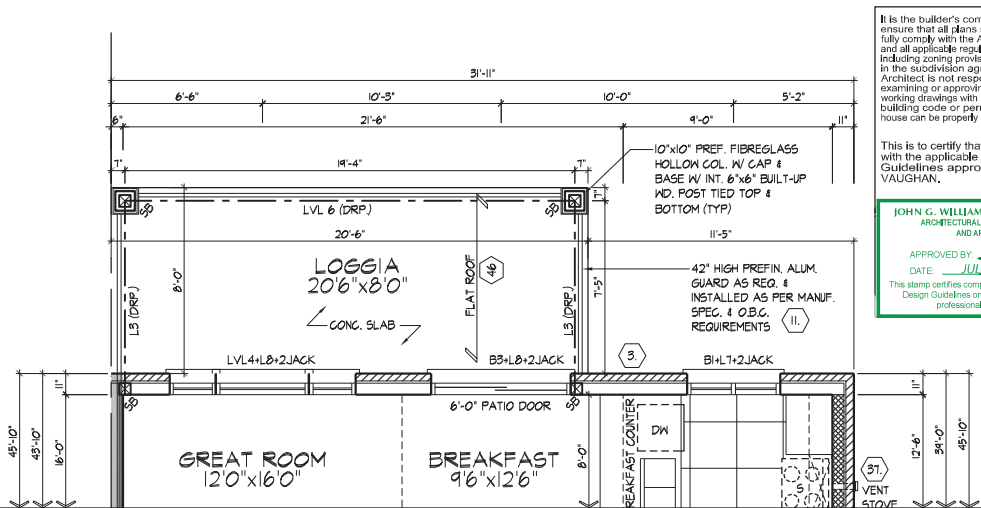
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JOIST, AND FLOOR LVL BEAM DESIGN.



PART. FOUNDATION PLAN, EL. 'A' W/ LOGGIA/WOB ('B' SIMILAR)



BASEMENT PLAN, EL. 'A' W/ LOGGIA/WOB  
(SIMILAR TO OPT. BASEMENT PLAN W/ FIREPLACE)



GROUND FLOOR PLAN, EL. 'A' W/ LOGGIA/WOB  
(SIMILAR TO OPT. GROUND FLOOR PLAN W/ FIREPLACE)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: JULY 20, 2022

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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION  
Allan Whiting  
23177  
15-000-0000

DATE: 2022-07-15  
REVISION INFORMATION  
HUNT DESIGN ASSOCIATES INC. 19895

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**GOLDPARK HOMES - 217014**  
PINE VALLEY TOWNS, VAUGHAN ON

Drawn By: NN  
Checked By: AW  
Scale: 3/16"=1'-0"

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**UNIT - 3105**  
REV.2022.07.11

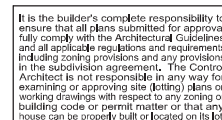
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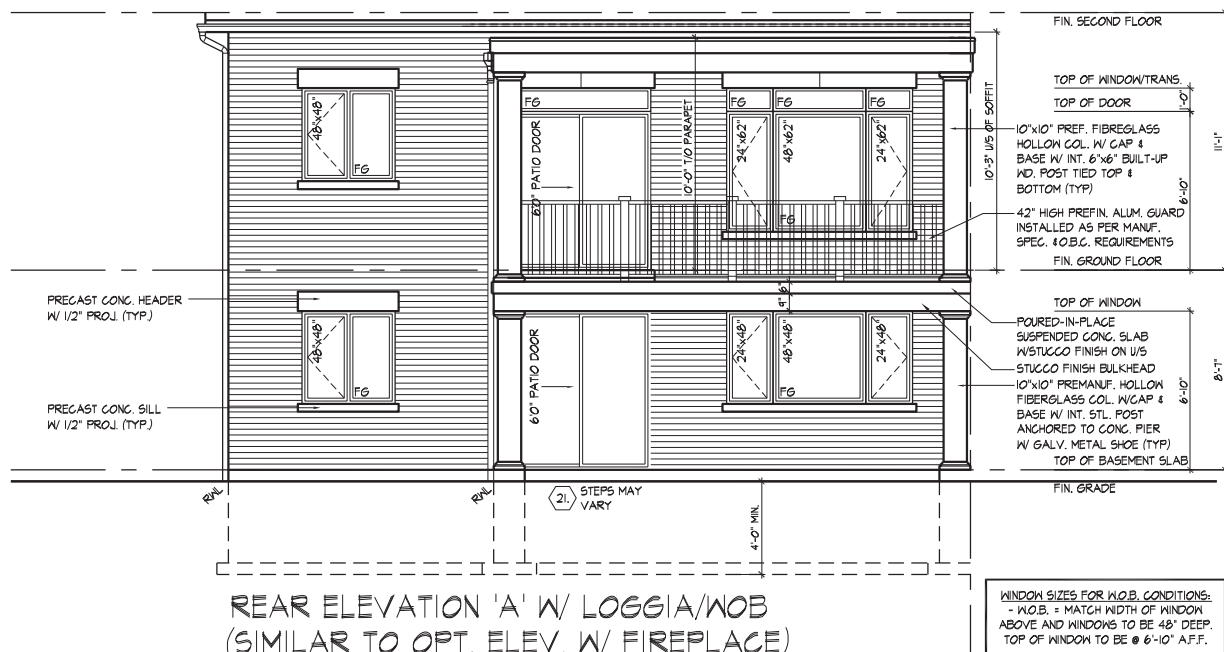
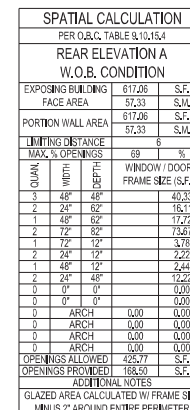




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JOIST, AND FLOOR LVL BEAM DESIGN.



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PARTIAL REAR ELEVATION LOGG/A/WOB CONDITION, EL. 'A'

**GOLDPARK HOMES - 217014**  
PINE VALLEY TOWNS. VAUGHAN ON

**UNIT - 3105**  
REV.2022.07.11

Page Number  
W4 of W6

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QUALIFICATION INFORMATION  
Allison Littlejohn

23177

NAME \_\_\_\_\_

  
SIGNATURE

23177

23177  
BK4

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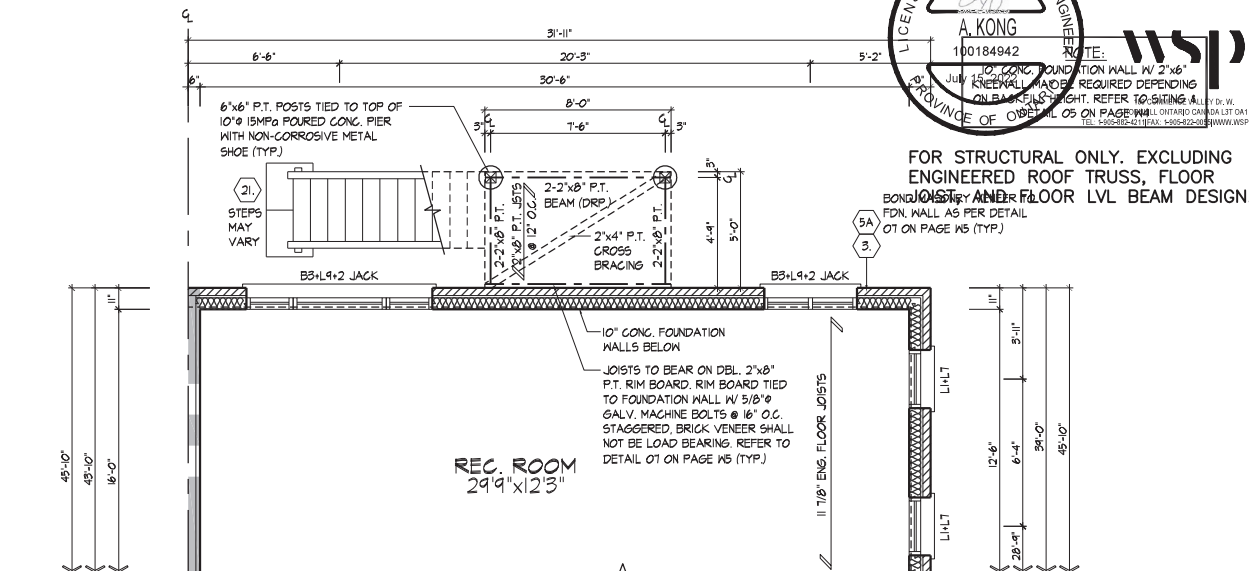
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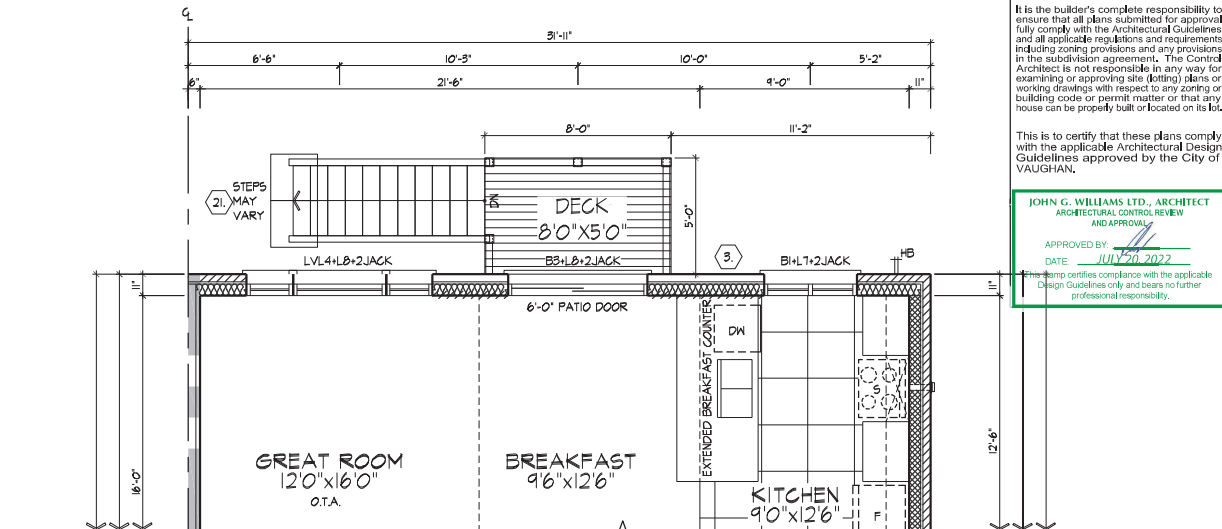
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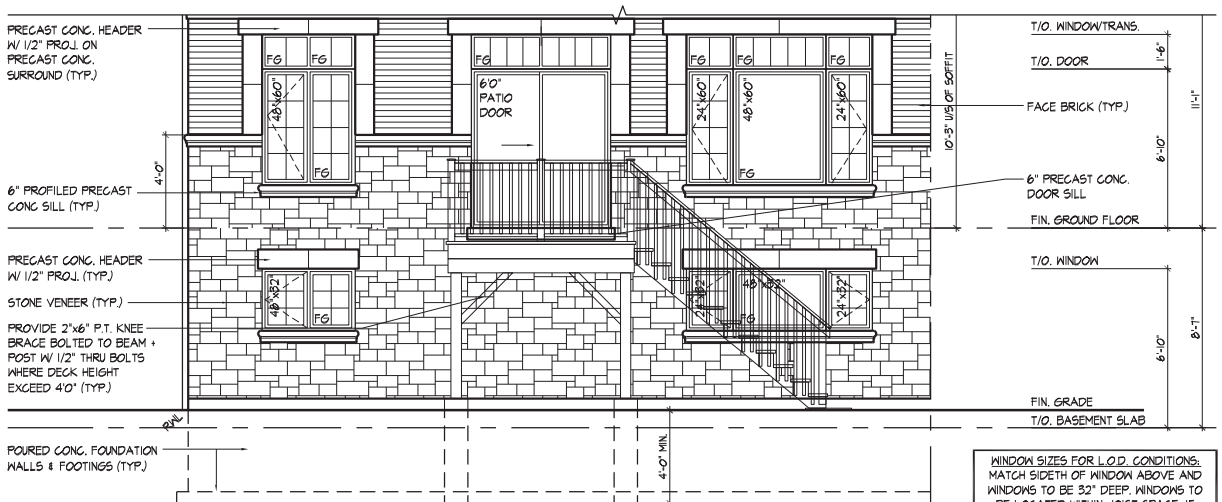
PART. BASEMENT PLAN, EL. 'A' - L.O.D. CONDITION

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS



PART. GROUND FLOOR PLAN, EL. 'A' - L.O.D. CONDITION

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS



PART. REAR UPGRADE ELEVATION 'A' - L.O.D. COND.

WINDOW SIZES FOR L.O.D. CONDITIONS: MATCH SIDETH OF WINDOW ABOVE AND WINDOWS TO BE 32" DEEP. WINDOWS TO BE LOCATED WITHIN JOIST SPACE. IF GRADE PERMITS, TOP OF WINDOW TO BE 8'-0" A.F.F.

REFER TO FRONT ELEVATION & STANDARD REAR FOR TYPICAL NOTES & INFO.

L.O.D. CONDITION

WAITING | JUL 22 2022 AM | K:\PROJECTS\2022\217014\GOLDPARK TOWNSHIP\217014\TYP. A-B\GOLDPARK

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QUALIFICATION INFORMATION  
Allen Whiting 23177  
HUNT DESIGN ASSOCIATES INC. 19995

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**GOLDPARK HOMES - 217014**  
PINE VALLEY TOWNS, VAUGHAN ON

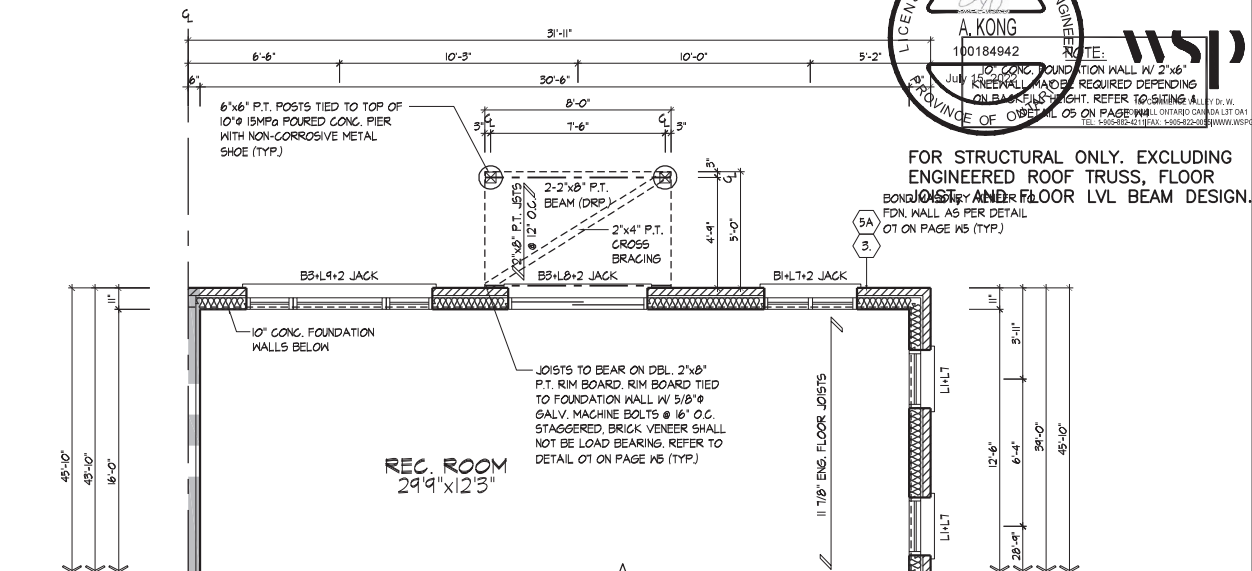
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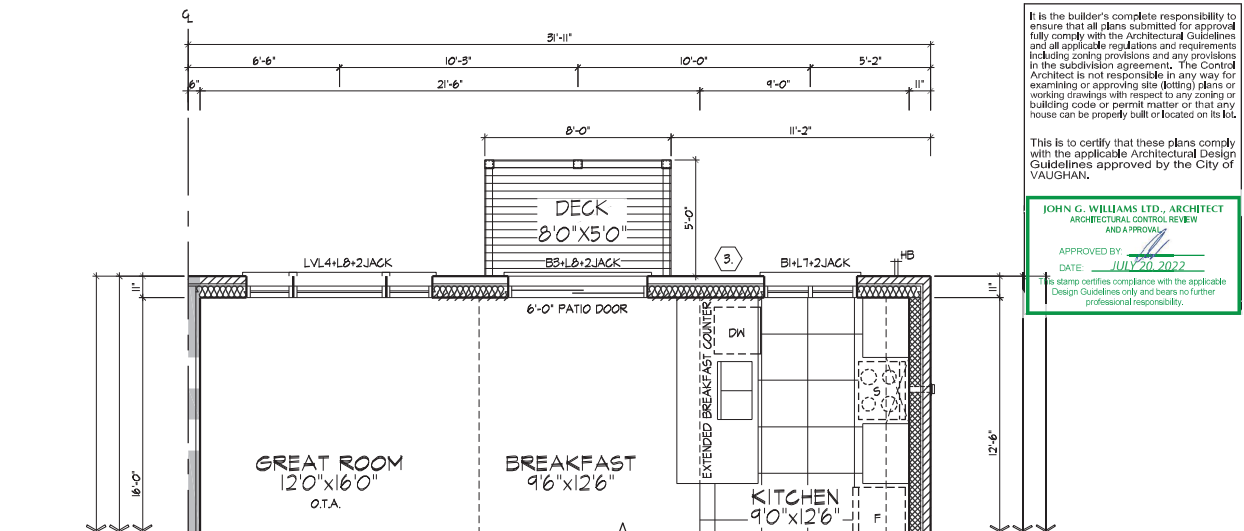
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PART. BASEMENT PLAN, EL. 'A' - W.O.B. CONDITION

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS



PART. GROUND FLOOR PLAN, EL. 'A' - W.O.B. CONDITION

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS



PART. REAR UPGRADE ELEVATION 'A' - W.O.B. COND.

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

W.O.B. CONDITION

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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.  
QUALIFICATION INFORMATION  
Allan Whiting  
23177  
19895

**HUNT**  
DESIGN ASSOCIATES INC.  
www.hunt-design.ca

**GOLDPARK HOMES - 217014**  
**PINE VALLEY TOWNS, VAUGHAN ON**  
Drawn By: NN  
Checked By: AW  
Scale: 3/16"=1'-0"  
T 905.737.5133 F 905.737.7326

Page Number  
217014WT3105

**UNIT - 3105**  
**REV.2022.07.11**  
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