

2259 SF.

PAD FOOTINGS

120 KPa. NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD

90 KPa. ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" L (89x89x6.4L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" L (102x89x7.9L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 7/16" L (152x89x11.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 7/16" L (152x102x11.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" L (127x89x7.9L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 7/16" L (152x102x11.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
LVL7A = 4-1 3/4"x11 7/8" (4-45x300)
LVL8 = 2-1 3/4"x14" (2-45x356)
LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" L (89x89x6.4L)
L2 = 4" x 3-1/2" x 5/16" L (102x89x7.9L)
L3 = 5" x 3-1/2" x 5/16" L (127x89x7.9L)
L4 = 6" x 3-1/2" x 7/16" L (152x89x11.0L)
L5 = 6" x 4" x 7/16" L (152x102x11.0L)
L6 = 7" x 4" x 7/16" L (178x102x11.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8" to 9" CEILING	HEIGHT 10" OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

GENERAL NOTES/CONSTRUCTION DETAILS

Reviewed model drawings to be read in conjunction with reviewed general notes, constructions details and specifications

TOWNHOUSE MODELS

Reviewed townhouse model drawings to be read in conjunction with reviewed lot specific block drawings and engineered truss system

CERAMIC TILE FOR CONVENTIONAL LUMBER

(OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0", 2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

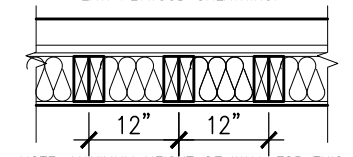
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR FLAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT
WALL DETAIL

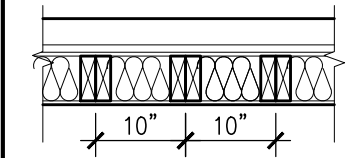
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12" o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 4'-0" o.c. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT
WALL DETAIL

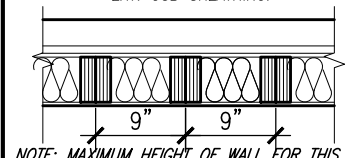
2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 10" o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 4'-0" o.c. VERTICAL AND 7/16" EXT. OSB SHEATHING GLUED AND NAILED.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-4" AND MAX. WIDTH IS 40'-0".

TWO STOREY HEIGHT
WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 9" o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 8'-0" o.c. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

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UNINSULATED OPENINGS (PER OBC. SB-12, 3.1.1.(7))

ELEVATION	ENERGY EFFICIENCY - ENERGY STAR		
	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
IVY 11 AND ELEVATION 1			
FRONT	509.06 S.F.	106.31 S.F.	20.88 %
LEFT SIDE	1087.53 S.F.	233.74 S.F.	21.49 %
RIGHT SIDE	1087.53 S.F.	0.0 S.F.	0.00 %
REAR	509.06 S.F.	110.83 S.F.	21.77 %
TOTAL SQ. FT.	3193.18 S.F.	450.88 S.F.	14.12 %
TOTAL SQ. M.	296.65 S.M.	41.89 S.M.	14.12 %

UNINSULATED OPENINGS (PER OBC. SB-12, 3.1.1.(7))

ELEVATION	ENERGY EFFICIENCY - ENERGY STAR		
	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
IVY 11 AND ELEVATION 2			
FRONT	509.06 S.F.	103.49 S.F.	20.33 %
LEFT SIDE	1089.18 S.F.	203.06 S.F.	18.64 %
RIGHT SIDE	1089.18 S.F.	0.0 S.F.	0.00 %
REAR	509.06 S.F.	110.83 S.F.	21.77 %
TOTAL SQ. FT.	3196.48 S.F.	417.38 S.F.	13.06 %
TOTAL SQ. M.	296.96 S.M.	38.78 S.M.	13.06 %

UNINSULATED OPENINGS (PER OBC. SB-12, 3.1.1.(7))

ELEVATION	ENERGY EFFICIENCY - ENERGY STAR		
	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
IVY 11 AND ELEVATION 3			
FRONT	509.06 S.F.	103.49 S.F.	20.33 %
LEFT SIDE	1089.18 S.F.	251.48 S.F.	23.09 %
RIGHT SIDE	1089.18 S.F.	0.0 S.F.	0.00 %
REAR	509.06 S.F.	110.83 S.F.	21.77 %
TOTAL SQ. FT.	3196.48 S.F.	465.80 S.F.	14.57 %
TOTAL SQ. M.	296.96 S.M.	43.27 S.M.	14.57 %



ENERGY STAR- V 12.7

AREA CALCULATIONS

ELEV '1'

GROUND FLOOR AREA 1069 SF
SECOND FLOOR AREA 1184 SF

TOTAL FLOOR AREA 2253 SF
(209.31 m2)

FIRST FLOOR OPEN AREA XX SF
SECOND FLOOR OPEN AREA 6 SF
ADD TOTAL OPEN AREAS + 6 SF
ADD FINISHED BSMT AREA +XX SF

GROSS FLOOR AREA 2259 SF
(209.87 m2)

GROUND FLOOR COVERAGE 1069 SF
GARAGE COVERAGE/AREA 202 SF
PORCH COVERAGE/AREA 136 SF

COVERAGE W/ PORCH 1407 SF
(130.71 m2)

COVERAGE W/O PORCH 1271 SF
(118.08 m2)

AREA CALCULATIONS

ELEV '2'

GROUND FLOOR AREA 1066 SF
SECOND FLOOR AREA 1179 SF

TOTAL FLOOR AREA 2245 SF
(208.57 m2)

FIRST FLOOR OPEN AREA XX SF
SECOND FLOOR OPEN AREA 6 SF
ADD TOTAL OPEN AREAS + 6 SF
ADD FINISHED BSMT AREA +XX SF

GROSS FLOOR AREA 2251 SF
(209.12 m2)

GROUND FLOOR COVERAGE 1066 SF
GARAGE COVERAGE/AREA 202 SF
PORCH COVERAGE/AREA 113 SF

COVERAGE W/ PORCH 1381 SF
(128.30 m2)

COVERAGE W/O PORCH 1268 SF
(117.80 m2)

AREA CALCULATIONS

ELEV '3'

GROUND FLOOR AREA 1081 SF
SECOND FLOOR AREA 1175 SF

TOTAL FLOOR AREA 2256 SF
(209.59 m2)

FIRST FLOOR OPEN AREA XX SF
SECOND FLOOR OPEN AREA 6 SF
ADD TOTAL OPEN AREAS + 6 SF
ADD FINISHED BSMT AREA +XX SF

GROSS FLOOR AREA 2262 SF
(210.14 m2)

GROUND FLOOR COVERAGE 1081 SF
GARAGE COVERAGE/AREA 202 SF
PORCH COVERAGE/AREA 169 SF

COVERAGE W/ PORCH 1452 SF
(134.90 m2)

COVERAGE W/O PORCH 1283 SF
(119.19 m2)

IVY-11
ENERGY STAR/ PANEL



TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-5337

BUILDING: REVIEWED
SCOTT SHERRIFFS MAY 9, 2017
PLANS EXAMINER DATE

Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province of Ontario, By-laws of the Region of Halton and Town of Milton

RECEIVED
TOWN OF MILTON
MAY 5, 2017
17-5337
BUILDING DIVISION



9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	ISSUED FOR PERMIT.	MAR. 01/17	GW	Richard Vink 24488 BCIN
6	ISSUED FOR PRICING.	DEC. 21/16	GW	signature
5	REV. PER CLIENT COMMENTS.	OCT 03/16	GW	name registration information VA3 Design Inc. 42658
4	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW	
3	REVISED PLANS / ELEVATIONS	AUG 22/16	GW	
2	REVISED. RE-ISSUED FOR CLIENT REVIEW.	AUG 10/16	GW	
1	ISSUED FOR CLIENT REVIEW	AUG. 08/16	GW	
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN

120-255 Consumers Rd
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name LECCO RIDGE DEVELOPMENTS INC. MILTON, ONT. municipality

date JULY, 2016 checked by scale 3/16" = 1'-0" file name 16015-IVY-11

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IVY-11

-

project no. 16015

drawing no. A0

GENERAL NOTES & CHARTS

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2259 SF.

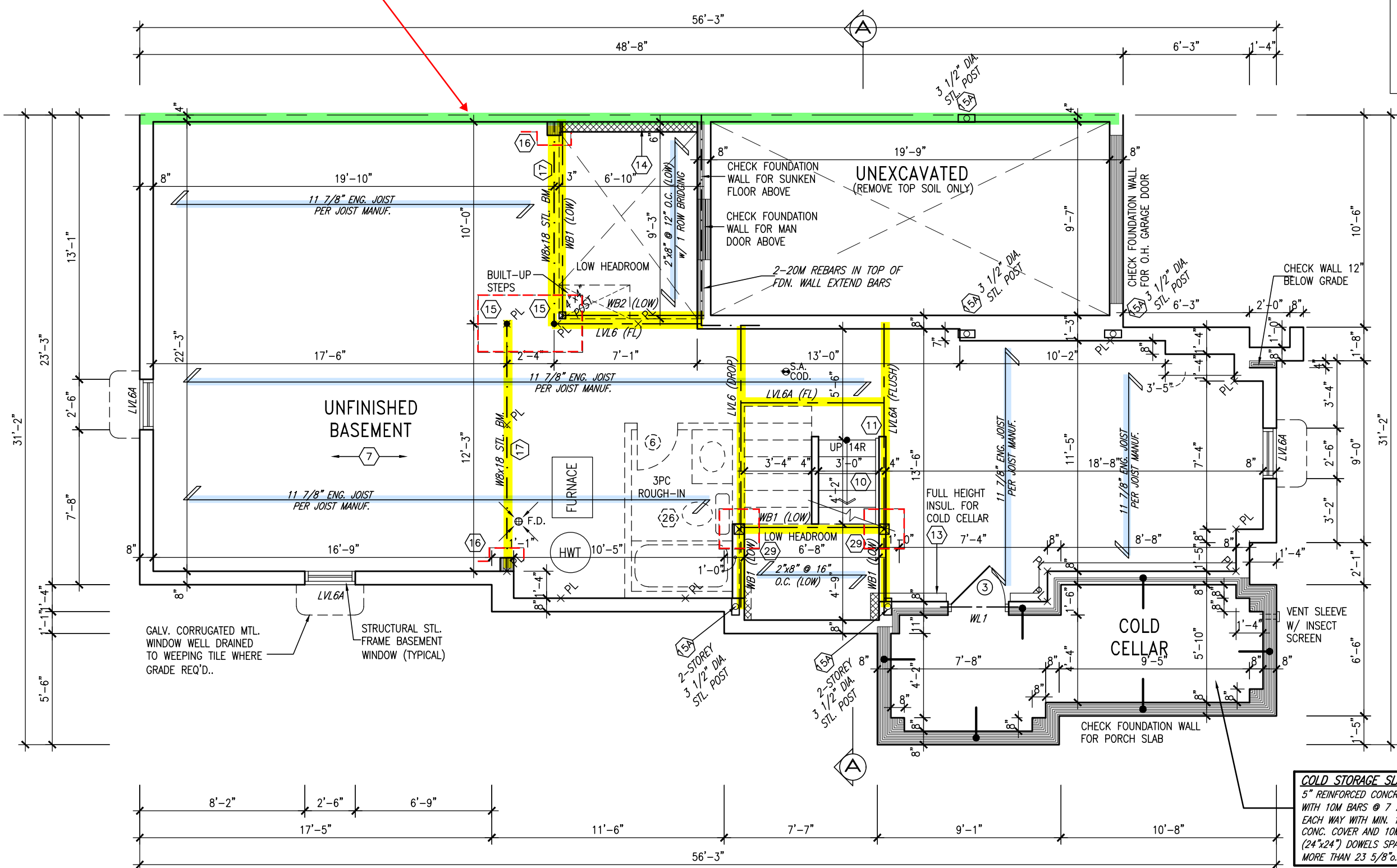
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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



2259 SF.

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HANDRAIL
Required for
interior stairs with
more than 2 risers

GARAGE DOOR
Requires weatherstripping
and a self closing device

GARAGE AIR BARRIER
Garage walls/ceiling required to
include an air barrier system.
Membrane materials shall have
joints sealed and structurally
supported

NOTE:
2"x8" @ 16" O.C. P.T. w/
2"x4" @ 12" O.C. DIAGONALLY
CUT CROSS PURLINS w/ 5/8"
EXTERIOR GRADE SHEATHING w/
SINGLE PLY ROOF MEMBRANE
SLOPE TO DRAIN

GUARDS/HANDRAILS
Shall be provided on
porches as required
based on final lot grading

ENGINEERED FLOOR SYSTEM
Reviewed model drawings to be
read in conjunction with reviewed
engineered floor system layout

GROUND FLOOR PLAN - ELEV. '1' (FOR BLOCK 344, UNIT 1)

IVY-11
ENERGY STAR/ PANEL

TOWN OF MILTON
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BUILDING: REVIEWED
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9.				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.	PORCH MODIFIED FOR BLK.344, UNIT 1.	MAY 03/17	GW	qualification information
7.	ISSUED FOR PERMIT.	MAR. 01/17	GW	signature
6.	ISSUED FOR PRICING.	DEC. 21/16	GW	Richard Vink 24488
5.	REV. PER CLIENT COMMENTS.	OCT 03/16	GW	name
4.	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW	registration information
3.	REVISED PLANS / ELEVATIONS	AUG 22/16	GW	VA3 Design Inc. 42658
2.	REVISED. RE-ISSUED FOR CLIENT REVIEW.	AUG 10/16	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1.	ISSUED FOR CLIENT REVIEW	AUG. 08/16	GW	
no.	description	date	by	

VA3 DESIGN
120-255 Consumers Rd
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
LECCO RIDGE DEVELOPMENTS INC. MILTON, ONT.
municipality
IVY-11
project no.
16015
date
JULY, 2016
drawn by
WT
checked by
scale
3/16" = 1'-0"
file name
16015-IVY-11
drawing no.
A11
GROUND FLOOR PLAN - ELEV. '1'
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2259 SF.

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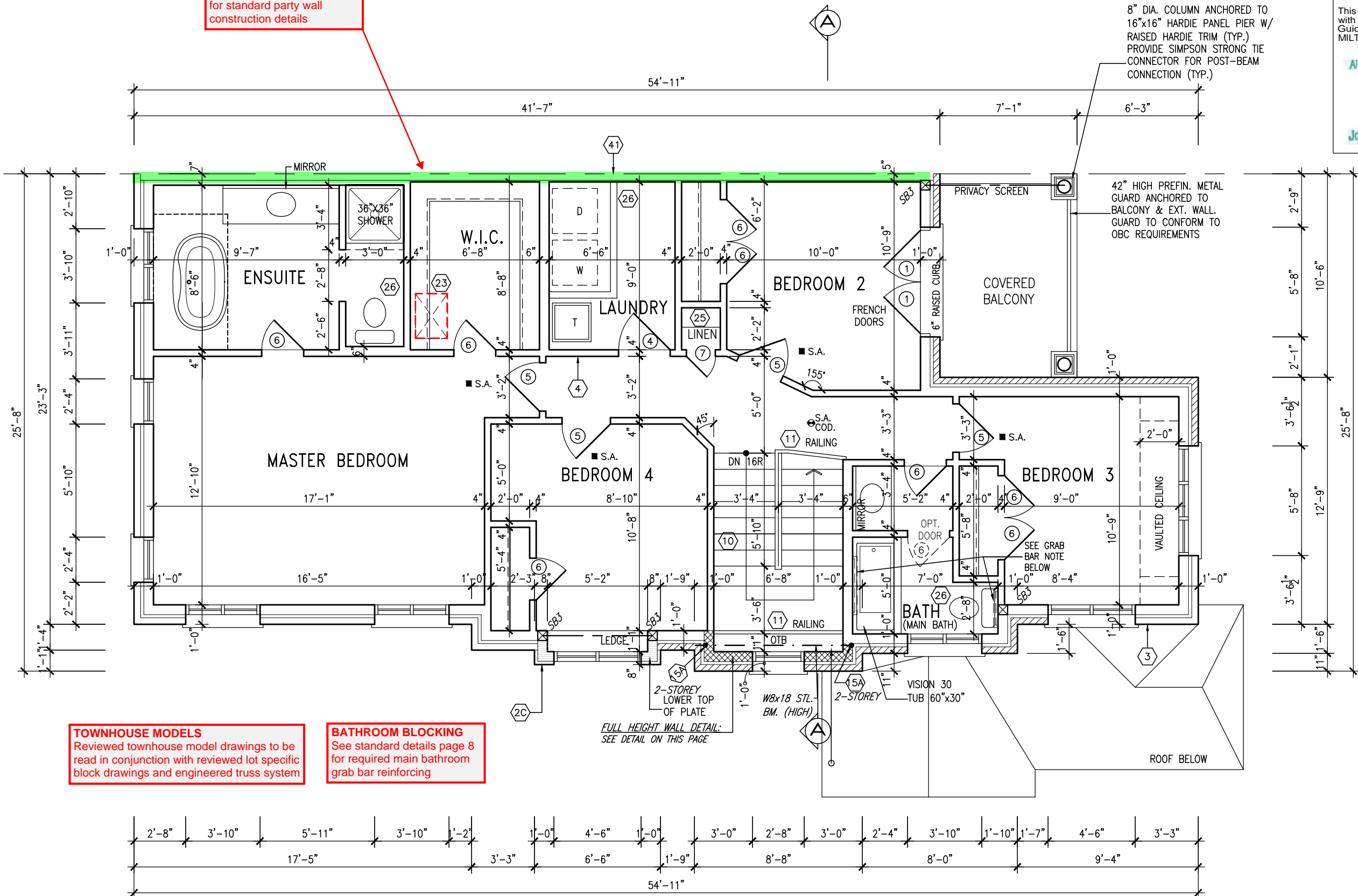
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= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

8" DIA. COLUMN ANCHORED TO
16"x16" HARDIE PANEL PIER W/
RAISED HARDIE TRIM (TYP.)
PROVIDE SIMPSON STRONG TIE
CONNECTOR FOR POST-BEAM
CONNECTION (TYP.)

42" HIGH PREFIN. METAL
GUARD ANCHORED TO
BALCONY & EXT. WALL
GUARD TO CONFORM TO
OBC REQUIREMENTS



TOWNHOUSE MODELS
Reviewed townhouse model drawings to be
read in conjunction with reviewed lot specific
block drawings and engineered truss system

BATHROOM BLOCKING
See standard details page 8
for required main bathroom
grab bar reinforcing

FULL HEIGHT WALL DETAIL:
SEE DETAIL ON THIS PAGE

SECOND FLOOR PLAN - ELEV. '1' (FOR BLOCK 344, UNIT 1)

IVY-11
ENERGY STAR/ PANEL

NOTE:
REFER TO BLOCK WORKING DRAWINGS FOR
SECOND FLOOR STRUCTURAL INFORMATION.

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO OBC: 9.5.2.3,
3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

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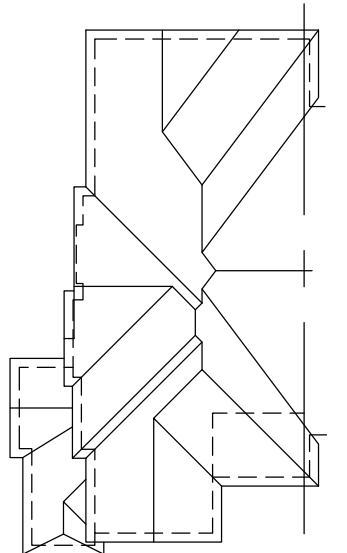
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4	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW	VA3 Design Inc.
3	REVISED PLANS / ELEVATIONS	AUG 22/16	GW	24488
2	REVISED. RE-ISSUED FOR CLIENT REVIEW.	AUG 10/16	GW	42658
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16015-IVY-11
drawing no.
A12

IVY-11
project no.
16015
drawing no.
A12

2259 SF.



ROOF PLAN '1'

42" HIGH PREFIN. METAL GUARD ANCHORED TO BALCONY & EXT. WALL. GUARD TO CONFORM TO OBC REQUIREMENTS

TOP OF PLATE
TOP OF DOOR

8" DIA. COLUMN ANCHORED TO 16"x16" HARDIE PANEL PIER W/ RAISED HARDIE TRIM (TYP.)

6" CURB AT DOOR
TOP OF DOOR CURB

FIN. SECOND FLOOR
CONT. BRICK SOLDIER BAND
TOP OF WINDOW

BRICK SOLDIER ARCH W/ KEYSTONE

FACE BRICK (TYP.)

CONT. 4" PRECAST CONC. SILL ON BRICK ROWLOCK BAND (TYP.)

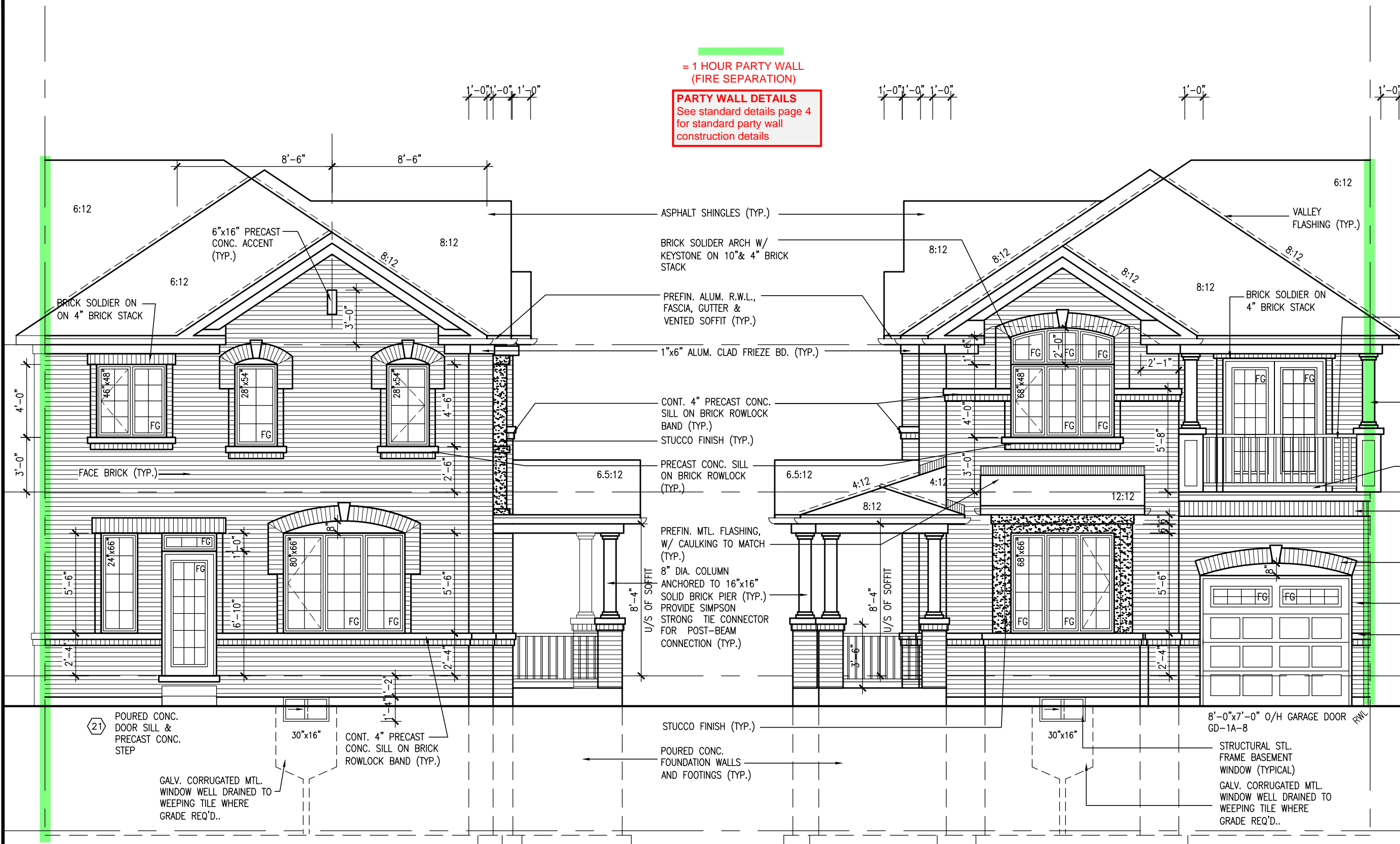
FIN. GROUND FLOOR

FIN. GRADE

TOP OF SLAB

= 1 HOUR PARTY WALL (FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4 for standard party wall construction details



REAR ELEVATION '1'

FRONT ELEVATION '1'

GUARDS/HANDRAILS
Shall be provided on porches as required based on final lot grading

3'-6" HIGH RAILING IF PORCH SLAB IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN PORCH SLAB IS LESS THAN 5'-11" ABOVE FINISHED GRADE

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

RECEIVED
TOWN OF MILTON
MAY 5, 2017
17-5337
BUILDING DIVISION

TOWN OF MILTON
PLANNING AND DEVELOPMENT
BUILDING PERMIT: 17-5337
BUILDING: REVIEWED
SCOTT SHERRIFFS MAY 9, 2017
PLANS EXAMINER DATE
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no.	description	date	by
9			
8			
7	ISSUED FOR PERMIT.	MAR. 01/17	GW
6	ISSUED FOR PRICING.	DEC. 21/16	GW
5	REV. PER CLIENT COMMENTS.	OCT 03/16	GW
4	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW
3	REVISED PLANS / ELEVATIONS	AUG 22/16	GW
2	REVISED. RE-ISSUED FOR CLIENT REVIEW.	AUG 10/16	GW
1	ISSUED FOR CLIENT REVIEW	AUG. 08/16	GW

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VA3 DESIGN
120-255 Consumers Rd
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
LECCO RIDGE DEVELOPMENTS INC.

date
JULY, 2016

drawn by
WT

checked by
3/16" = 1'-0"

scale

project no.
16015

municipality
MILTON, ONT.

file name
16015-IVY-11

drawing no.
A4

IVY-11

ENERGY STAR/ PANEL

IVY-11

FRONT & REAR ELEVATION '1'

2259 SF.

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FLANKAGE ELEVATION '1'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

IVY-11
ENERGY STAR/ PANEL

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6	ISSUED FOR PRICING.	DEC. 21/16	GW	signature BCIN
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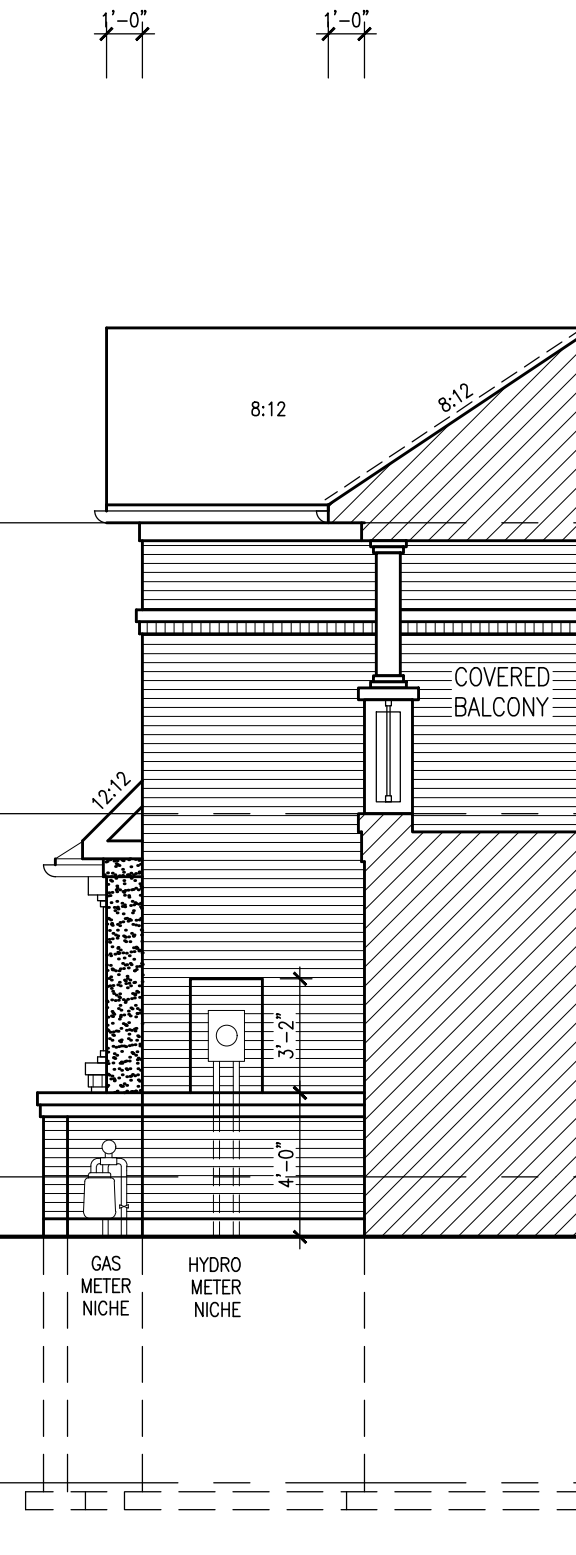
Greenpark.
project name
LECCO RIDGE DEVELOPMENTS INC. MILTON, ONT.
date
JULY, 2016
drawn by
WT
checked by
scale
3/16" = 1'-0"
file name
16015-IVY-11
drawing no.
A5

IVY-11
project no.
16015
drawing no.
A5

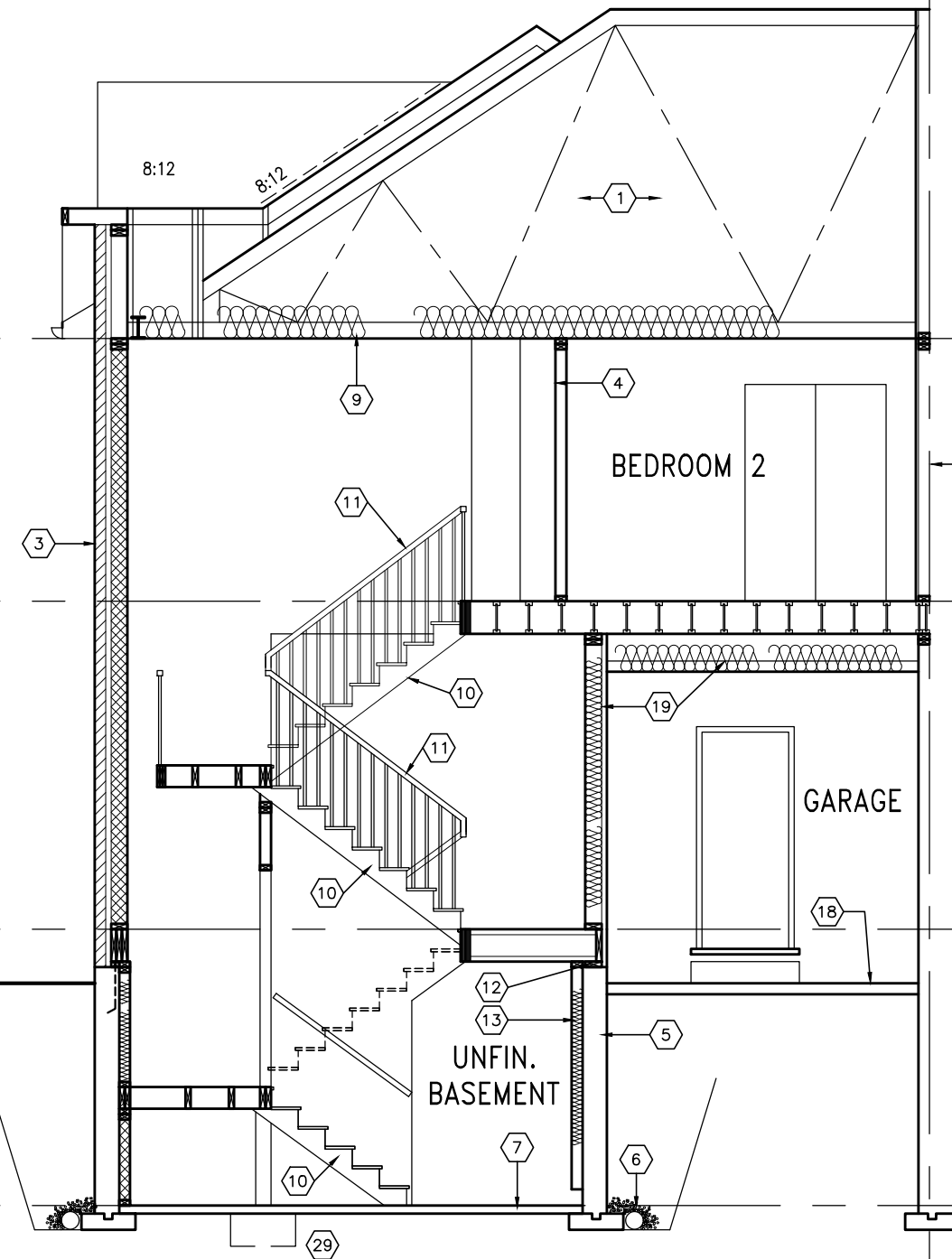
2259 SF.

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SECTION B



SECTION A-A ELEV. 1

TOP OF PLATE
TOP OF WINDOW
7'-0"
8'-1"
FIN. SECOND FLOOR
TOP OF WINDOW
7'-10"
10'-1"
FIN. GROUND FLOOR
8'-6"
TOP OF SLAB

IVY-11
ENERGY STAR/ PANEL

TOWN OF MILTON
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no.	description	date	by	

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Greenpark.

project name
LECCO RIDGE DEVELOPMENTS INC. MILTON, ONT.

date
JULY, 2016
drawn by
WT
checked by
scale
3/16" = 1'-0"

SECTION A-A ELEV. 1
file name
16015-IVY-11

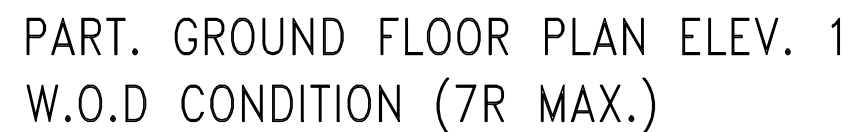
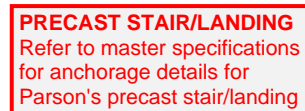
project no.
16015
drawing no.
A6

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ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



The image is a blue and white official document from the Town of Milton. At the top left is the Town of Milton logo, which features a stylized 'M' and the words 'TOWN OF MILTON' above 'PLANNING AND DEVELOPMENT'. To the right of the logo, the text 'BUILDING PERMIT: 17-5337' is printed in a large, bold, sans-serif font. Below this, the word 'BUILDING:' is followed by 'REVIEWED' in a large, bold, sans-serif font. Underneath, the name 'SCOTT SHERRIFFS' is printed in a large, bold, sans-serif font, followed by 'MAY 9, 2017' in a large, bold, sans-serif font. Below these, the words 'PLANS EXAMINER' are printed in a large, bold, sans-serif font, followed by a large, empty rectangular box. At the bottom of the document, there is a paragraph of text in a smaller, sans-serif font, which reads: 'Neither the issuance of a permit nor carrying out of inspections by the Town of Milton relieves the owner from full responsibility for compliance with the provisions of the Ontario Building Code Act and the Ontario Building Code, both as amended, as well as other applicable statutes and regulations of the Province on Ontario. By-laws of the Region of Halton and Town of Milton'.



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4	REPLACED PATIO DR. w/ DOOR & WINDOW	AUG 25/16	GW	registration information VA3 Design Inc. 4265
3	REVISED PLANS / ELEVATIONS	AUG 22/16	GW	
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no.	description	date	by	



IVY-11
ENERGY STAR/ PANEL

IVY-11

project name	municipality	project no.
LECCO RIDGE DEVELOPMENTS INC.	MILTON, ONT.	16015
date JULY, 2016		
PART. PLANS ELEV. 1 – DECK CONDITION (7R MAX.)		
drawn by	checked by	scale
WT	-	3/16" = 1'-0"
file name		drawing no.
16015-IVY-11		A7

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2259 SF.

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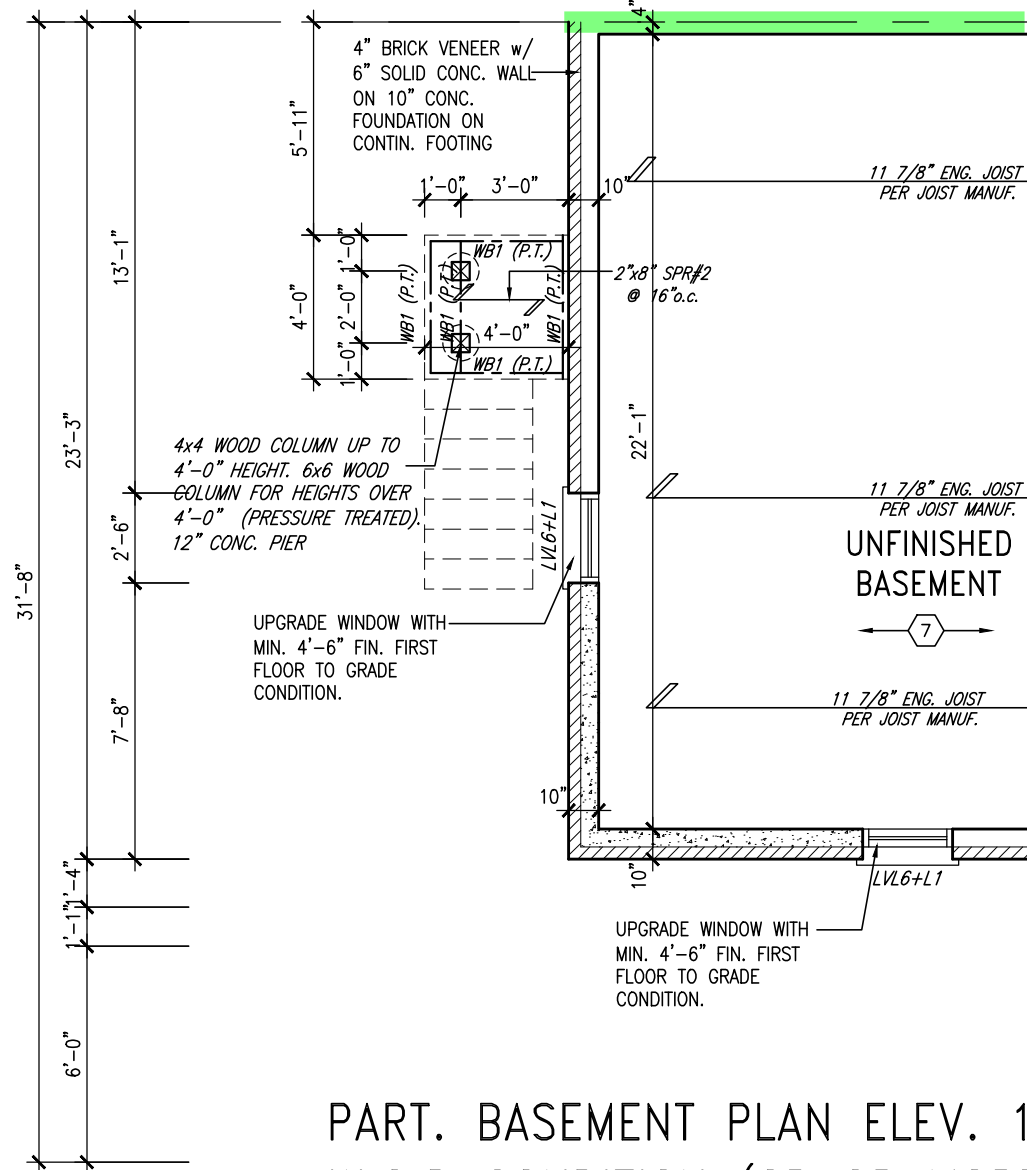
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MAR 20 2017
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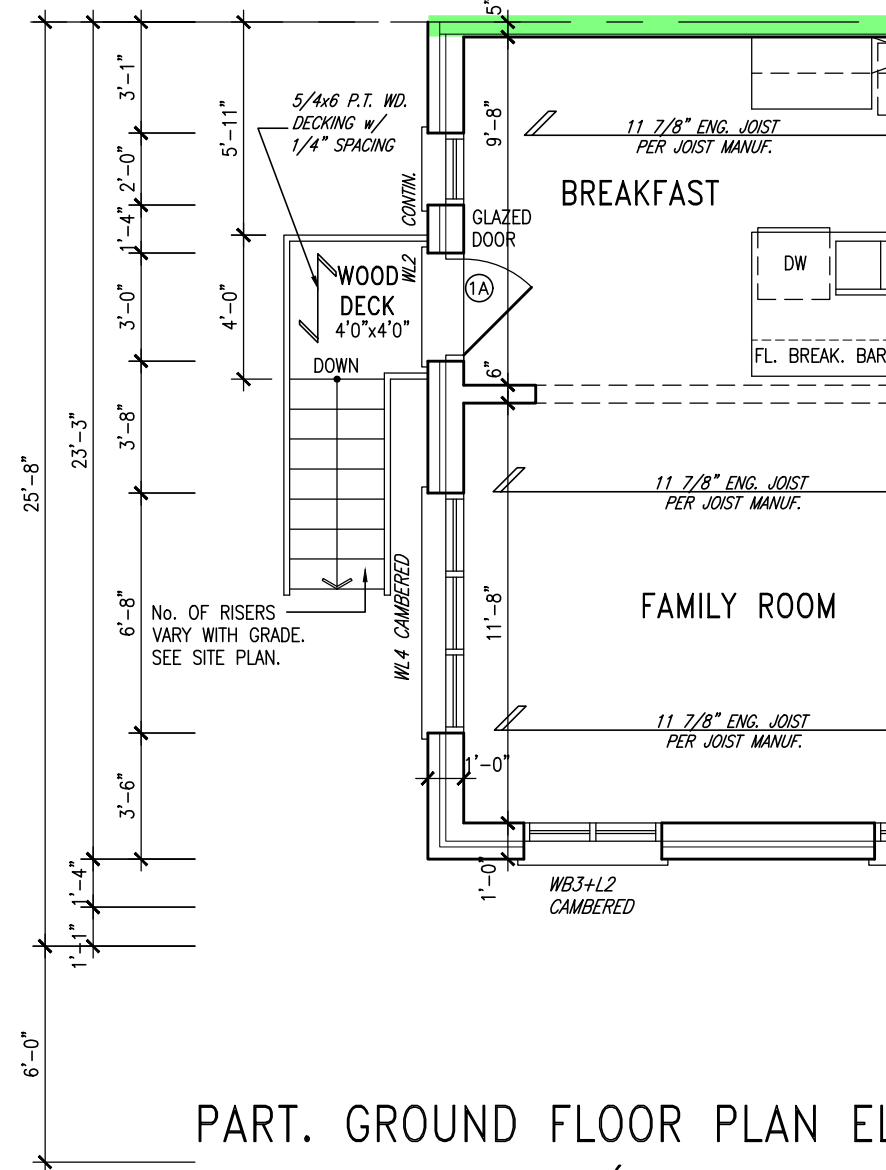
= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details

DECK DETAILS
See standard details pages 5
and 5-2 for additional deck
construction details



PART. BASEMENT PLAN ELEV. 1
W.O.D CONDITION (8R OR MORE)



PART. GROUND FLOOR PLAN ELEV. 1
W.O.D CONDITION (8R OR MORE)

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3/16" = 1'-0"
file name
16015-IVY-11
drawing no.
A8

IVY-11
ENERGY STAR/ PANEL

IVY-11

project no.
16015

drawing no.
A8

2259 SF.

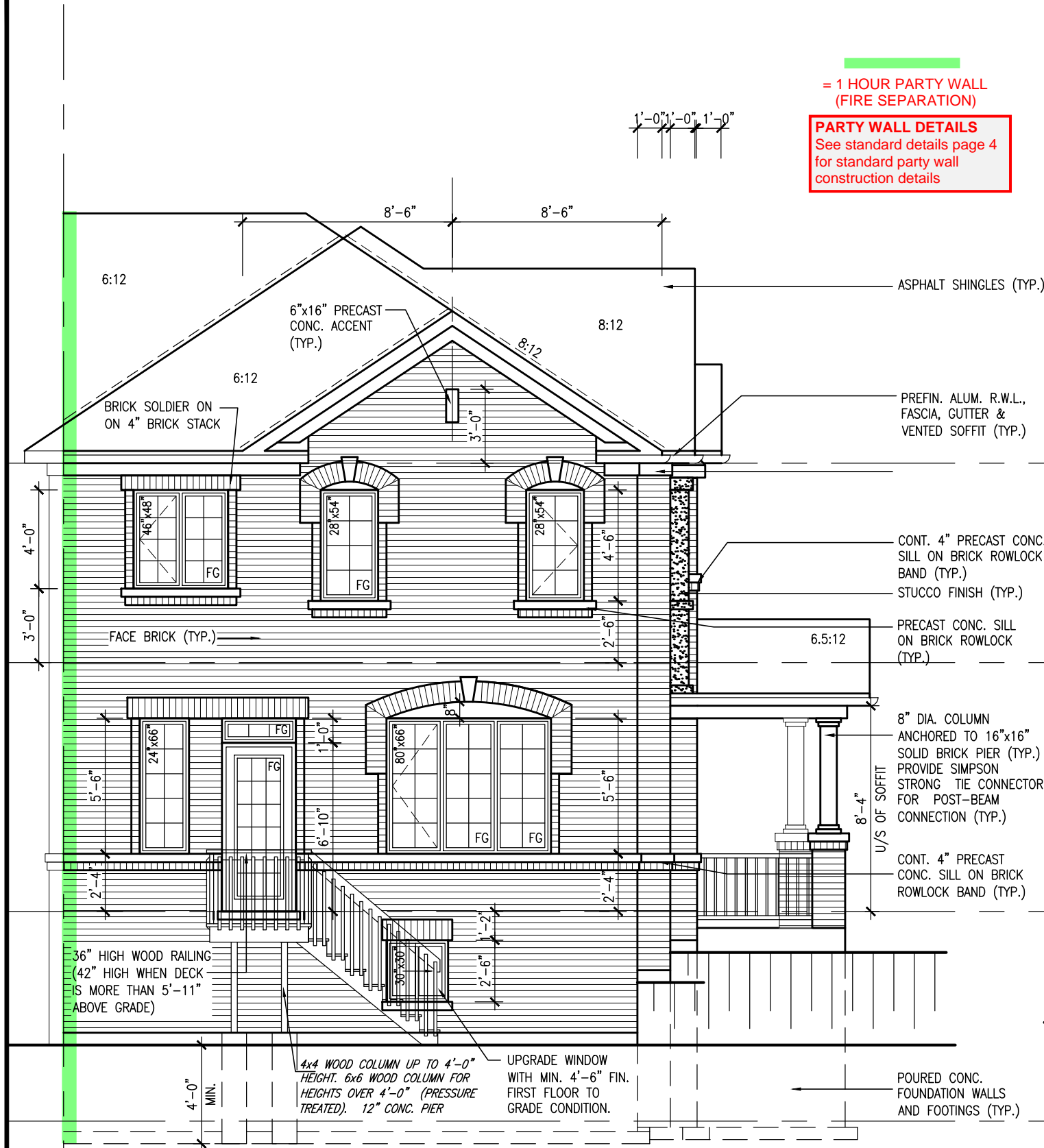
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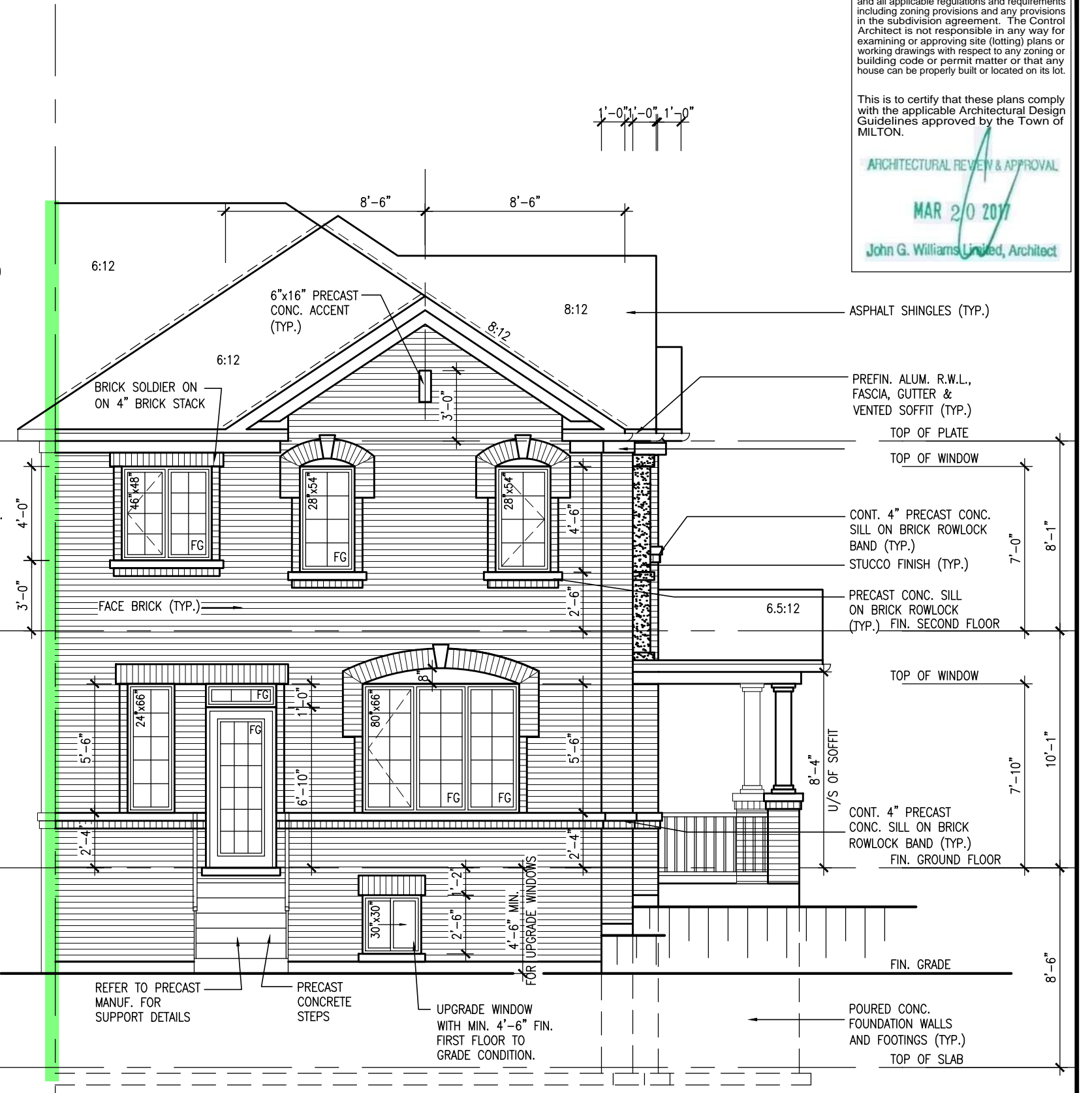
= 1 HOUR PARTY WALL
(FIRE SEPARATION)

PARTY WALL DETAILS
See standard details page 4
for standard party wall
construction details



REAR ELEVATION ELEV. 1
DECK CONDITION (8R OR MORE)

DECK DETAILS
See standard details pages 5
and 5-2 for additional deck
construction details



REAR ELEVATION ELEV. 1
DECK CONDITION (7R MAX.)

PRECAST STAIR/LANDING
Refer to master specifications
for anchorage details for
Parson's precast stair/landing

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
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