

BLK 216

1594 SF.

PAD FOOTINGS
 120 KPa. NATIVE SOIL 90 KPa. ENGINEERED FILL SOIL
 F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
 F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
 F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
 F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
 F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
 (REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT
 WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)
 ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT. ✓

BRICK VENEER LINTELS (WL)
 WL1 = 3-1/2" x 3-1/2" x 1/4" (89x89x6.4L) + 2-2"x8" SPR. No.2
 WL2 = 4" x 3-1/2" x 5/16" (102x89x7.9L) + 2-2"x8" SPR. No.2
 WL3 = 5" x 3-1/2" x 5/16" (127x89x7.9L) + 2-2"x10" SPR. No.2
 WL4 = 6" x 3-1/2" x 7/16" (152x89x11.0L) + 2-2"x12" SPR. No.2
 WL5 = 6" x 4" x 7/16" (152x102x11.0L) + 2-2"x12" SPR. No.2
 WL6 = 5" x 3-1/2" x 5/16" (127x89x7.9L) + 2-2"x12" SPR. No.2
 WL7 = 5" x 3-1/2" x 5/16" (127x89x7.9L) + 3-2"x12" SPR. No.2
 WL8 = 5" x 3-1/2" x 5/16" (127x89x7.9L) + 3-2"x10" SPR. No.2
 WL9 = 6" x 4" x 7/16" (152x102x11.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)
 WB1 = 2-2"x8" (2-38x184) SPR. No.2
 WB2 = 3-2"x8" (3-38x184) SPR. No.2
 WB3 = 2-2"x10" (2-38x235) SPR. No.2
 WB4 = 3-2"x10" (3-38x235) SPR. No.2
 WB5 = 2-2"x12" (2-38x286) SPR. No.2
 WB6 = 3-2"x12" (3-38x286) SPR. No.2
 WB7 = 5-2"x12" (5-38x286) SPR. No.2
 WB11 = 4-2"x10" (4-38x235) SPR. No.2
 WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS
 LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
 LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
 LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
 LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
 LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
 LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
 LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
 LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
 LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
 LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
 LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
 LVL7A = 4-1 3/4"x11 7/8" (4-45x300)
 LVL8 = 2-1 3/4"x14" (2-45x356)
 LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)
 L1 = 3-1/2" x 3-1/2" x 1/4" (89x89x6.4L)
 L2 = 4" x 3-1/2" x 5/16" (102x89x7.9L)
 L3 = 5" x 3-1/2" x 5/16" (127x89x7.9L)
 L4 = 6" x 3-1/2" x 7/16" (152x89x11.0L)
 L5 = 6" x 4" x 7/16" (152x102x11.0L)
 L6 = 7" x 4" x 7/16" (178x102x11.0L)

DOOR SCHEDULE

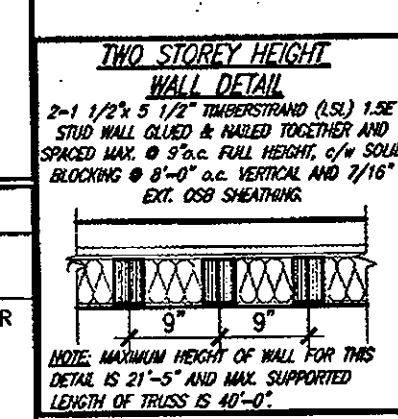
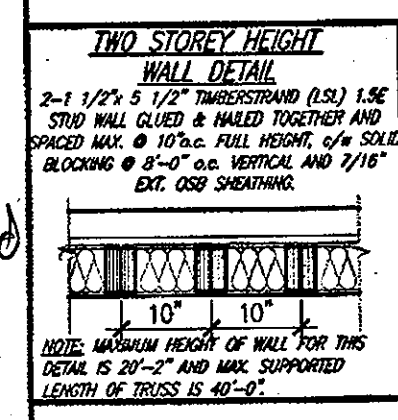
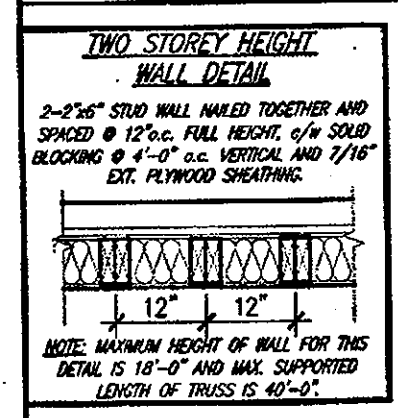
NOS.	WIDTH	HEIGHT 8' to 9' CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
2	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
3	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
4	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER (OBC 9.30.6)
 SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
 PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-0" - 7'-0".
 2 ROWS FOR SPANS GREATER THAN 7'-0".

NOTE: ROOF FRAMING
 REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING
 REFER TO ENGINEERED FLOOR FLAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.



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UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))

HIGHGROVE 1, ELEVATION 1	ENERGY EFFICIENCY - OBC SB12		
	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
ELEVATION	441.22 S.F.	94.20 S.F.	21.35 %
FRONT	838.18 S.F.	3.33 S.F.	0.40 %
LEFT SIDE	838.18 S.F.	0.00 S.F.	0.00 %
RIGHT SIDE	441.22 S.F.	112.09 S.F.	25.40 %
REAR			
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	2558.80 S.F.	209.62 S.F.	8.19 %
TOTAL SQ. M.	237.72 S.M.	19.47 S.M.	8.19 %

AREA CALCULATIONS ELEV '1'

GROUND FLOOR AREA	770 SF
SECOND FLOOR AREA	824 SF
TOTAL FLOOR AREA	1594 SF
	(148.08 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	XX SF
ADD TOTAL OPEN AREAS	+XX SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	1594 SF
	(148.08 m2)
GROUND FLOOR COVERAGE	770 SF
GARAGE COVERAGE/AREA	296 SF
PORCH COVERAGE/AREA	89 SF
COVERAGE W/ PORCH	1155 SF
	(107.30 m2)
COVERAGE W/O PORCH	1066 SF
	(99.03 m2)

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))

HIGHGROVE 1, ELEVATION 2	ENERGY EFFICIENCY - OBC SB12		
	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
ELEVATION	441.22 S.F.	82.60 S.F.	18.72 %
FRONT	838.18 S.F.	3.33 S.F.	0.40 %
LEFT SIDE	838.18 S.F.	0.00 S.F.	0.00 %
RIGHT SIDE	441.22 S.F.	112.09 S.F.	25.40 %
REAR			
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	2558.80 S.F.	198.02 S.F.	7.74 %
TOTAL SQ. M.	237.72 S.M.	18.40 S.M.	7.74 %

AREA CALCULATIONS ELEV '2'

GROUND FLOOR AREA	770 SF
SECOND FLOOR AREA	824 SF
TOTAL FLOOR AREA	1594 SF
	(148.08 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	XX SF
ADD TOTAL OPEN AREAS	+XX SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	1594 SF
	(148.08 m2)
GROUND FLOOR COVERAGE	770 SF
GARAGE COVERAGE/AREA	296 SF
PORCH COVERAGE/AREA	89 SF
COVERAGE W/ PORCH	1155 SF
	(107.30 m2)
COVERAGE W/O PORCH	1066 SF
	(99.03 m2)

CITY OF HAMILTON
 Building Division

Permit No. 17-131925

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL DATE: May 24/18

COPY

CITY OF HAMILTON
 BUILDING DIVISION
 Planning & Development Department
 NOV 16 2017
 REC BY: DATE:
 REF'D TO: CB DATE:

OCT 04 2017

HIGHGROVE-1
COMPLIANCE PACKAGE 'A1'



STRUDET INC.
 FOR STRUCTURE ONLY

no.	description	date	by
9			
8			
7	REVISED, ISSUED FOR PERMIT.	SEP. 22/17	GW
6	ISSUED FOR PRICING.	AUG. 23/17	GW
5	STUCCO REPLACED.	JUL 05/17	GW
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW
1	PRELIMINARY REVIEW	APR. 12/17	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
 qualification information
 Richard Viak
 signature
 24488
 BCN
 none
 registration information
 VAS Design Inc.
 42658
 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be retained at the completion of the work. Drawings are not to be copied.

VAS DESIGN
 255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 416.630.2255 / 416.630.4782
 vasdesign.com

Greenpark. HIGHGROVE 1
 project name: RUSSELL GARDENS PH2 municipality: WATERDOWN, ON. project no.: 16036
 date: APRIL 2017 checked by: scale: 3/16" = 1'-0" drawing no.: A0
 TYPICAL NOTES AND AREAS
 16036-HIGHGROVE 1
 16036-HIGHGROVE 1.dwg - Nov - Sep 25 2017 - 5:06 PM
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**BASEMENT INSULATION AT
STAIR/SUNKEN AREAS where
FRAMING IS REQ'D. FOR
SUPPORT.**
✓ **R10 CONTINUOUS INSULATION
(RIGID OR SPRAY FOAM).**
**-2"x4" @ 16" o.c. w/ R18 BATT
INSULATION.**
**-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.**

PARTY WALL AT GARAGE SIDE CONSTRUCTION

- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK2 OR SK3 PARTY WALL IS TO BE BUILT.
- REFER TO DETAIL PAGES 4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

PARTY WALL AT HOUSE SIDE CONSTRUCTION

- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1 OR SK3 PARTY WALL IS TO BE BUILT.
- REFER TO DETAIL PAGES 4 OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

Permit No. 17-131925

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~~THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW~~

These drawings and/or specifications have been reviewed by

 May 24, 18

FOR CHIEF BUILDING OFFICIAL DATE

1594 SF.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECTS
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: Apr 20 2018

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

COPY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

APR 24 2018

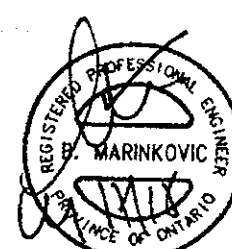
DATE _____
DATE _____

* See Footings on Block Plans *

BASEMENT PLAN - ELEV. 1

APR 17 2018

HIGHGROVE-1
COMPLIANCE PACKAGE 'A1'



STRUDET INC.
FOR STRUCTURE ONLY

3	REVISED	APR 13/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the	
8	REV PER CITY COMMENTS, REISSUED.	FEB. 08/18	GW	Professional Code to be a Designer	
7	REVISED, ISSUED FOR PERMIT.	SEP. 22/11	GW	specification information	
6	ISSUED FOR PRICING.	AUG. 23/17	GW	Richard Vink	2448H
5	STUCCO REPLACED.	JUL 05/17	GW	name	signature
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	registration information	96H
3	CHANGED JOIST DEPTH / FLOOR HEIGHTS	JUN 12/17	GW	YAS Design Inc.	4265S
2	REVISED PER CLIENT COMMENTS	APR. 22/17	GW	Contractor must verify all dimensions on this set and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.	
1	PRELIMINARY REVIEW	APR 12/17	GW		
no	description	date	by		

VAR
DESIGN

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va@design.com

Greenpark.

project name	municipality
RUSSELL GARDENS PH2	WATERDOWN, ON.

HIGHGROVE 1

BASEMENT PLAN ~ ELEV 1

A1

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1594 SF.

CITY OF HAMILTON
Building Division

Permit No. **17-131925**

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL
DATE **May 24/18**

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

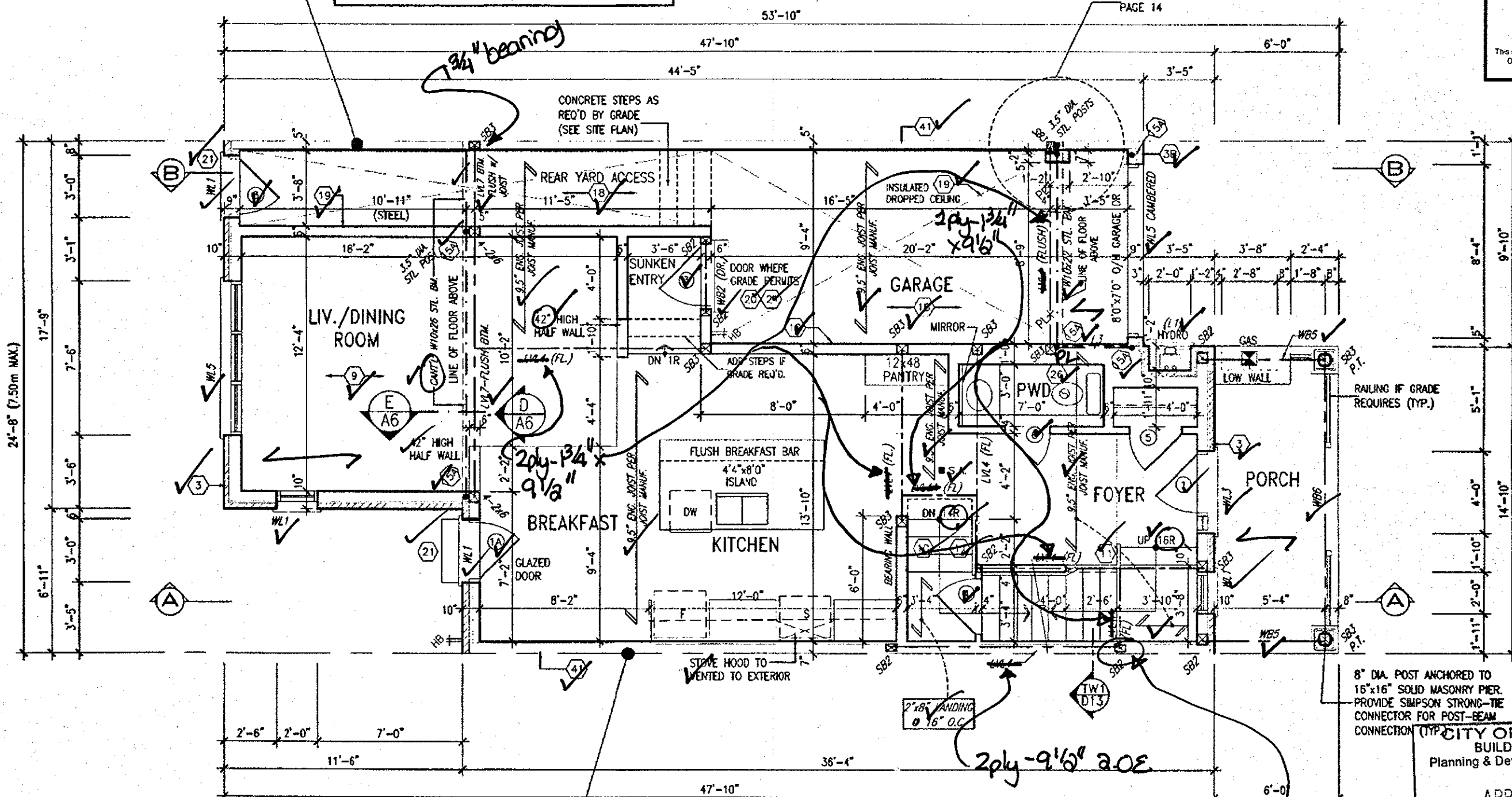
APPROVED BY: _____

DATE: **APR 20, 2018**

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PARTY WALL AT GARAGE SIDE CONSTRUCTION
• REFER TO BLOCK PLANS TO CONFIRM WHETHER SK2 OR SK3 PARTY WALL IS TO BE BUILT.
• REFER TO DETAIL PAGES 4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

REFER TO DETAIL
PAGE 14



8" DIA. POST ANCHORED TO
16"x16" SOLID MASONRY PIER.
PROVIDE SIMPSON STRONG-TIE
CONNECTOR FOR POST-BEAM
CONNECTION (TYP.)

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

APR 24 2018

REC BY: _____ DATE: _____
REF'D TO: **CB** DATE: _____

APR 17 2018

HIGHGROVE-1
COMPLIANCE PACKAGE 'A1'

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS AND
TOWNHOUSE BLOCK PLANS FOR ALL ROOF
FRAMING INFORMATION UNLESS OTHERWISE
NOTED.

PARTY WALL AT HOUSE SIDE CONSTRUCTION
• REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1 OR SK2 PARTY WALL IS TO BE BUILT.
• REFER TO DETAIL PAGES 4 OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

GROUND FLOOR PLAN - ELEV. 1

2x6 wall required
for beam (3x8") bearing



STRUDET INC.
FOR STRUCTURE ONLY

3	REVISED	APR 13/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	REV. PER CITY COMMENTS. REISSUED.	FEB 08/18	GW	
7	REVISED. ISSUED FOR PERMIT.	SEP 22/17	GW	qualification information
6	ISSUED FOR PRICING.	AUG 23/17	GW	Richard Vink
5	STUCCO REPLACED.	JUL 05/17	GW	24488
4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT	47653
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW	
2	REVISED PER CLIENT COMMENTS.	APR 27/17	GW	
1	PRELIMINARY REVIEW	APR 12/17	GW	
no	description	date	by	

VA
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vo3design.com

Greenpark.
project name
RUSSELL GARDENS PH2
date
APRIL 2017
checked by
scale
3/16" = 1'-0"

HIGHGROVE 1
project no.
16036
drawing no.
A2
16036-HIGHGROVE 1
APR 13 2018 - 306 34

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FOR CHIEF BUILDING OFFICIAL DATE May 24/18

project name RUSSELL GARDENS PH2	municipality WATERDOWN, ON.	project no. 16036
date APRIL 2017		drawing no. A3
SECOND FLOOR PLAN - ELEV. 1		
drawn by 3/16" = 1'-0"	checked by 16036-HIGHGROVE 1	file name 16036-HIGHGROVE 1

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~~ARCHITECTURAL REVIEW & APPROVAL~~

~~OCT~~ 16 2017.

John S. Williams Limited, Architects

Permit No.: 17-13425

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by:

~~FOR CHIEF BUILDING OFFICIAL~~

• DA

MID-POINT OF MAIN ROOF

REFIN. ALUM.
PANEL (TYP.)

4" PRECAST _____
CONC. SILL (TYP.) 

BRICK SOLDIER
HEADER (TYP.)

BRICK SOLDIER ARCH WITH
KEYSTONE ON BRICK STACK
ON PRECAST BANDING ON...
ROWLOCK STACK OVER 4"
PRECAST SILL ON ROWLOCK
4" PRECAST BAND ON ———
BRICK SOLDIER BAND (TYP.)

✓ PREFIN. MTL. FLASHING, W/
CAULKING TO MATCH (TYP.)

10" SOLID BR
HEADER (TYP.)

✓ 8" POST ANCHORED
TO 16"x16" SOLID —
MASONRY PIER (TYP.)

POURED CONC. DOOR SILL

—PRECAST CONC. STEPS
(AS REQUIRED) (21) —

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

VALLEY FLASHING (TYP.)

ASPHALT SHINGLES
(TYP.)

PREFIN. ALUM. R.W.L.,
- FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

TOP OF PLATE

1"x8" ALUM. CLAD
FRIEZE BD. (TYP.)

BRICK SOLDIER OVER BRICK
— ROWLOCK STACK ON
PRECAST CONC. SILL OVER
BRICK ROWLOCK (TYP.)
4" PRECAST BAND ON
BRICK ROWLOCK BAND (TYP.)

FIN. SECOND FLOOR

TOP OF WINDOW/TRANSOM

~~FACE BRICK (TYP.)~~

—BRICK SOLDIER ARCH.
WITH KEYSTONE (TYP.)

4" PRECAST BAND ON
BRICK SOLDIER BAND (TYP.)

FIN. GROUND FLOOR

FIN. GRADE

FRONT ELEVATION
ELEV. 1

COPY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
NOV 16 2017

NOV 16 2017

REC BY CR

OCT 04 2017

EC-8
REF ID: A66544

HIGHGROVE-1

COMPLIANCE PACKAGE 'A1'

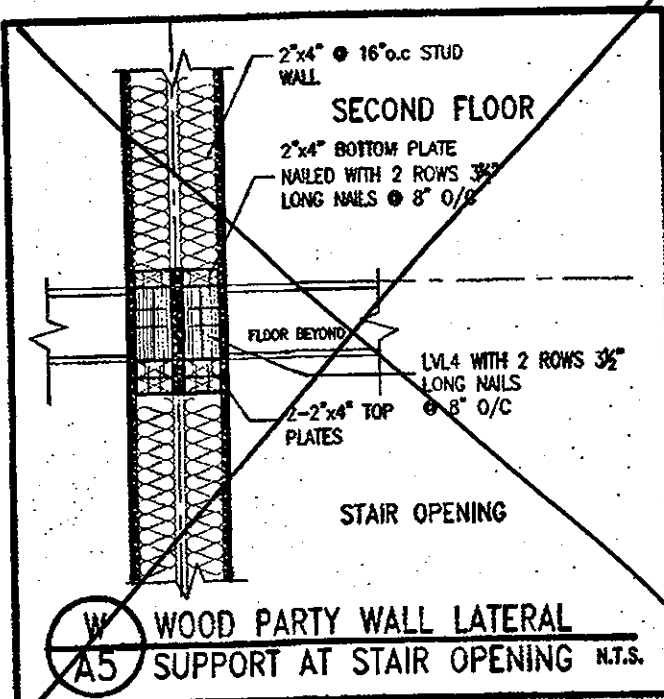
9		-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8		-	-		
7	REVISED, ISSUED FOR PERMIT.	SEP. 22/17	GW	qualification information	
6	ISSUED FOR PRICING.	AUG. 23/17	GW	Richard Wink	24485
5	STUCCO REPLACED.	JUL. 05/17	GW	name	Sca
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	registration information	42855
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW	WAS Design Inc.	
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
1	PRELIMINARY REVIEW	APR. 12/17	GW		
no.	description		date by		

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

 Greenpark.		HIGHGROVE 1	
Project Name RUSSELL GARDENS PH2		Municipality WATERLOO, ON.	
Date APRIL 2017		Project No. 16036	
Checked by 3/15" = 1'-0"		Scale 16036-HIGHGROVE 1	
Drawing No. A4		Title FRONT AND REAR ELEVATIONS -- ELEV. 1	

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1594 SF.



*See tall wall detail

CITY OF HAMILTON
Building Division

Permit No. **17-131925**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
[Signature] DATE **May 24/18**
FOR CHIEF BUILDING OFFICIAL

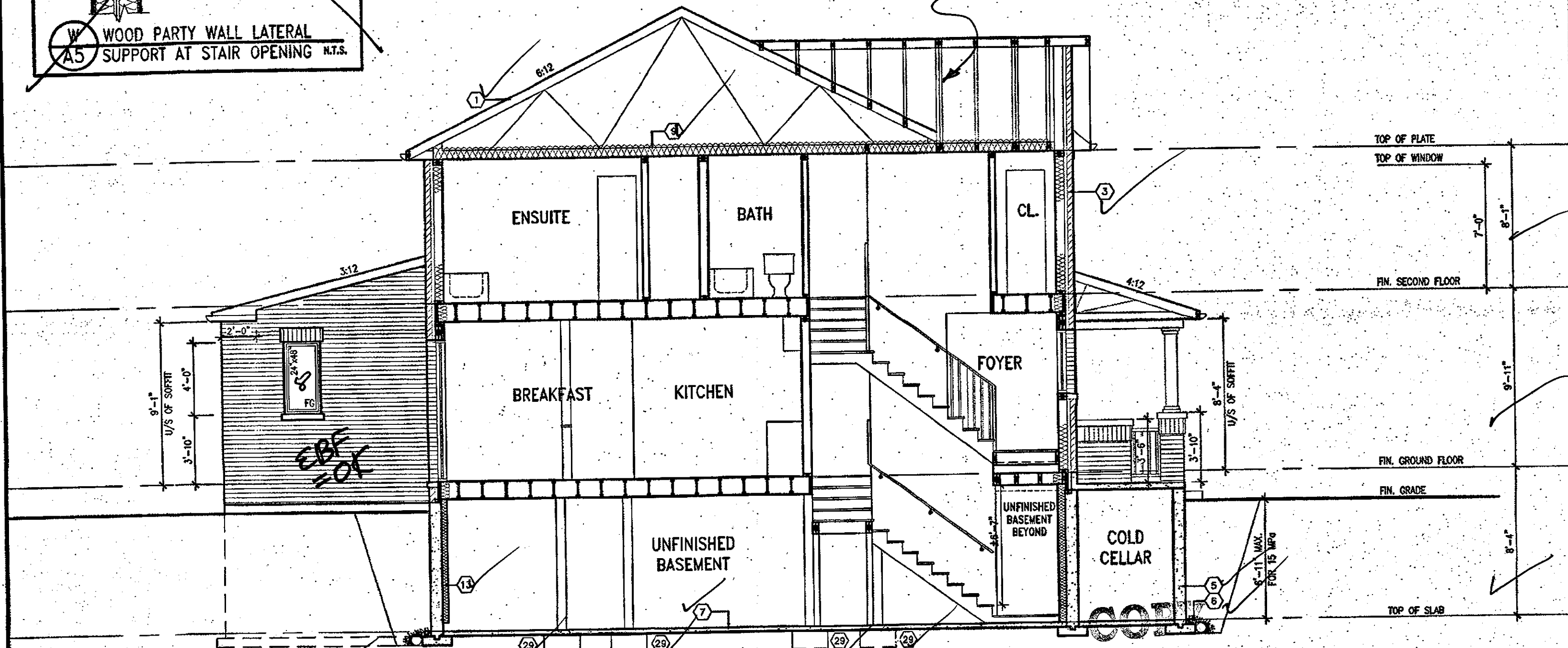
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL

OCT 16 2017

John G. Williams Limited, Architect



WALL AREA 123.00 SQ. FT.
LIMITING DISTANCE 2.1m (6'11")
GLAZING ALLOWED 20.91m² (226.57)
GLAZING PROVIDED 4.55m² (49.07)

00=OK



STRUDET INC.
FOR STRUCTURE ONLY

SECTION A-A
ELEV. 1

no.	description	date	by
1	PRELIMINARY REVIEW	APR. 12/17	GW
2	REVISED PER CLIENT COMMENTS	APR. 27/17	GW
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW
4	REVISED AS PER CLIENT COMMENTS	JUN. 21/17	GW
5	STUCCO REPLACED	JUL. 05/17	GW
6	ISSUED FOR PRICING	AUG. 23/17	GW
7	REVISED, ISSUED FOR PERMIT	SEP. 22/17	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
BON
come
registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

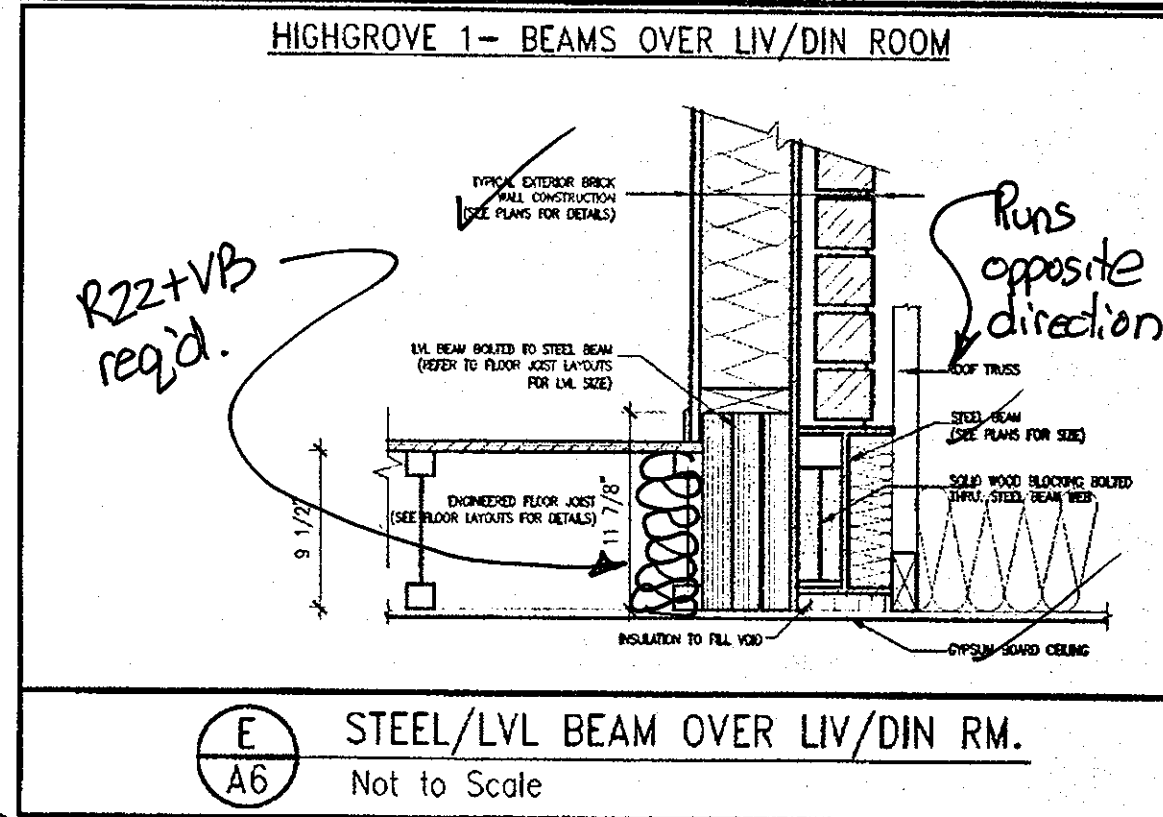
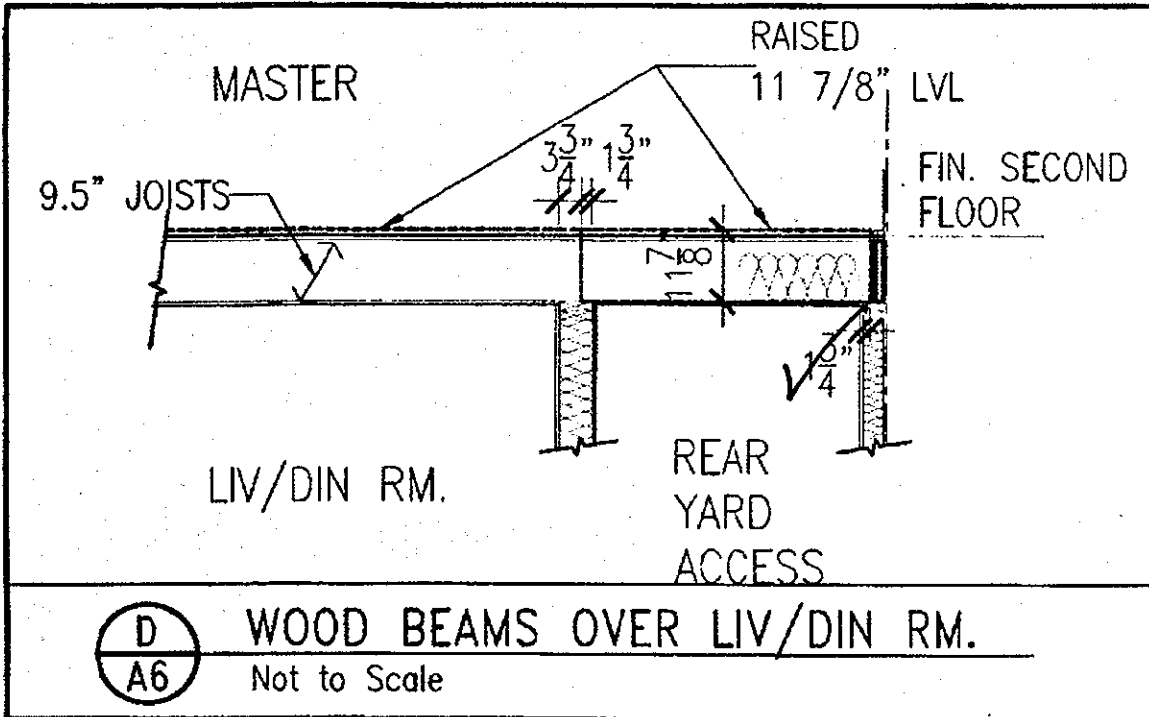
CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
NOV 16 2017
REC BY CS DATE NOV 16 2017
REF'D TO CS DATE NOV 16 2017

OCT 04 2017
HIGHGROVE-1
COMPLIANCE PACKAGE 'A1'

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name **RUSSELL GARDENS PH2** municipality **WATERDOWN, ON.**
code **APRIL 2017** checked by **3/16" = 1'-0"** scale
drawing no. **SECTION A-A, ELEV. 1** file name **16038-HIGHGROVE 1**
project no. **16038** drawing no. **A5**
date **APR 25 2017** time **5:06 PM**

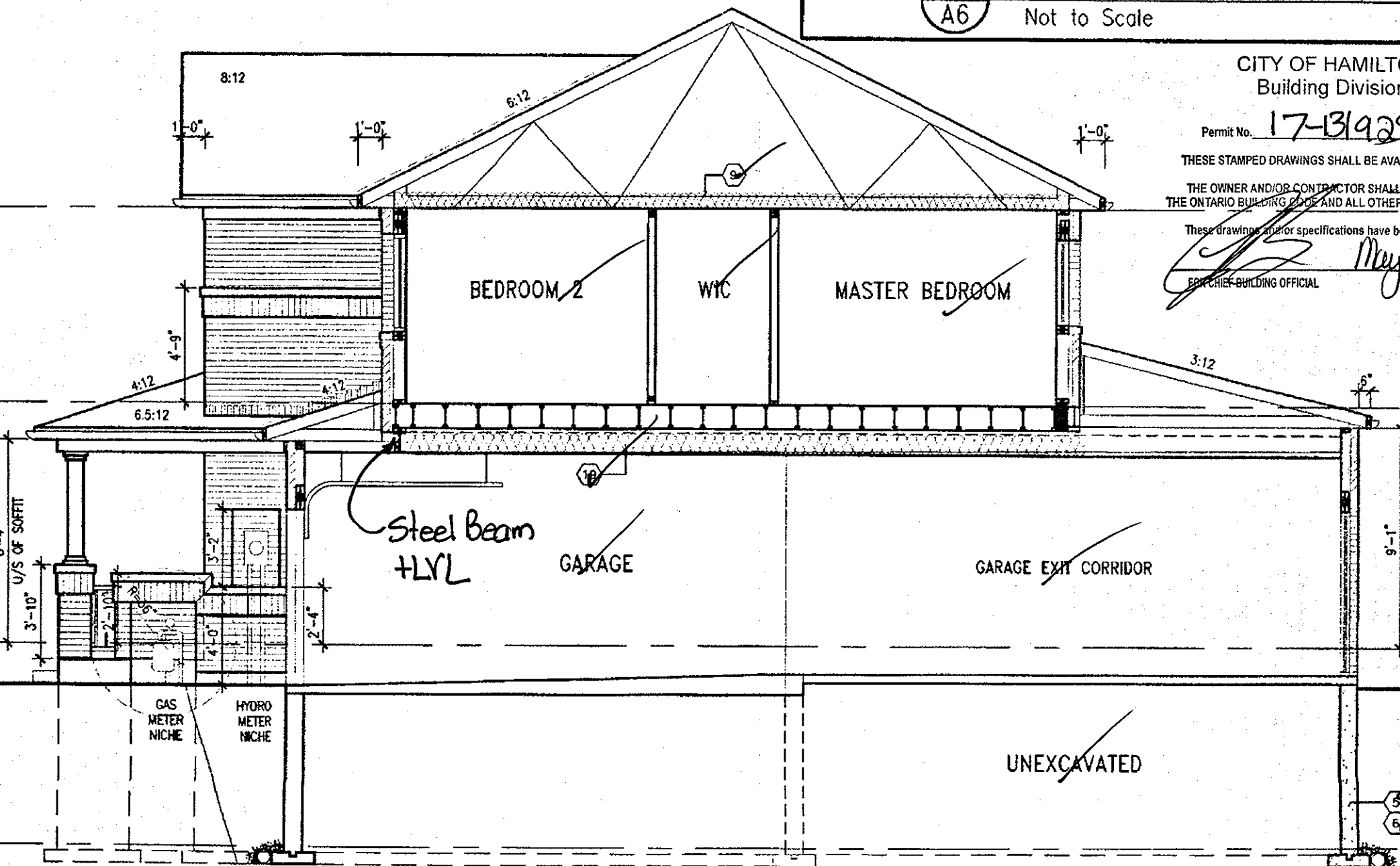
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1594 SF.

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CITY OF HAMILTON
Building Division

Permit No. 17-131925

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

Richard Vink May 24/18
BUILDING OFFICIAL DATE

COPY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

APR 24 2018
DATE

REC BY *CB* DATE
REF'D TO FIN. GROUND FLOOR

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROFESSIONAL ENGINEER
STRUCTURE ONLY

STRUDET INC.
FOR STRUCTURE ONLY

3	REVISED	APR. 13/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	REV. PER CITY COMMENTS, REISSUED.	FEB. 08/18	GW	
7	REVISED ISSUED FOR PERMIT.	SEP. 22/17	GW	qualification information
6	ISSUED FOR PRICING.	AUG. 23/17	GW	Richard Vink 24488
5	STUCCO REPLACED.	JUL. 05/17	GW	name
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	registration information
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW	VAS Design Inc. 42656
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW	
1	PRELIMINARY REVIEW	APR. 12/17	GW	
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAS DESIGN

255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
(416) 630-2255 / (416) 630-4782
vasdesign.com

Greenpark.

Project name: RUSSELL GARDENS PH2
City: WATERDOWN, ON.

date: APRIL 2017
drawn by: checked by: scale: 3/16\"/>

HIGHGROVE 1

project no. 16036
drawing no. A6

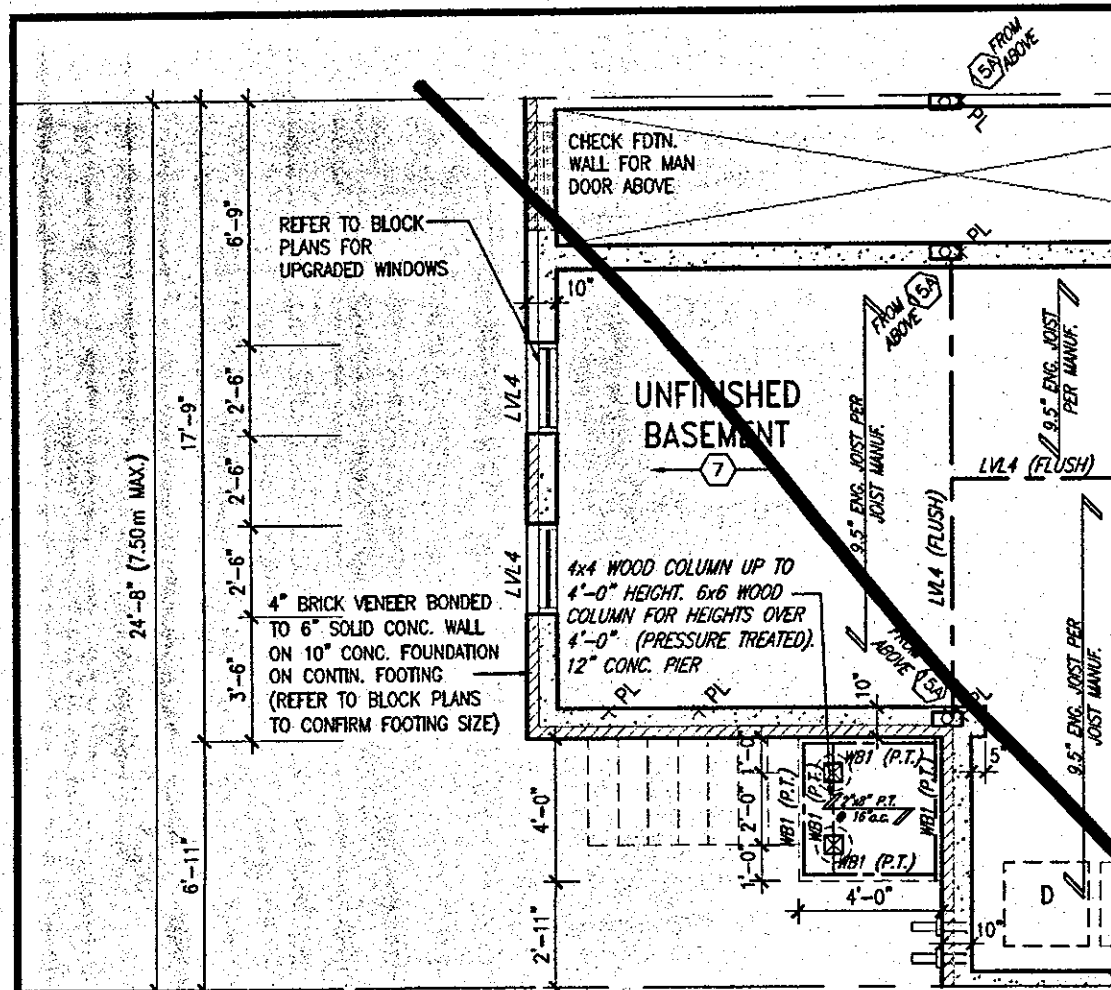
SECTION B-B, ELEV. 1
16036-HIGHGROVE 1
APR 13 2018 - 396 PM

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1594 SF.

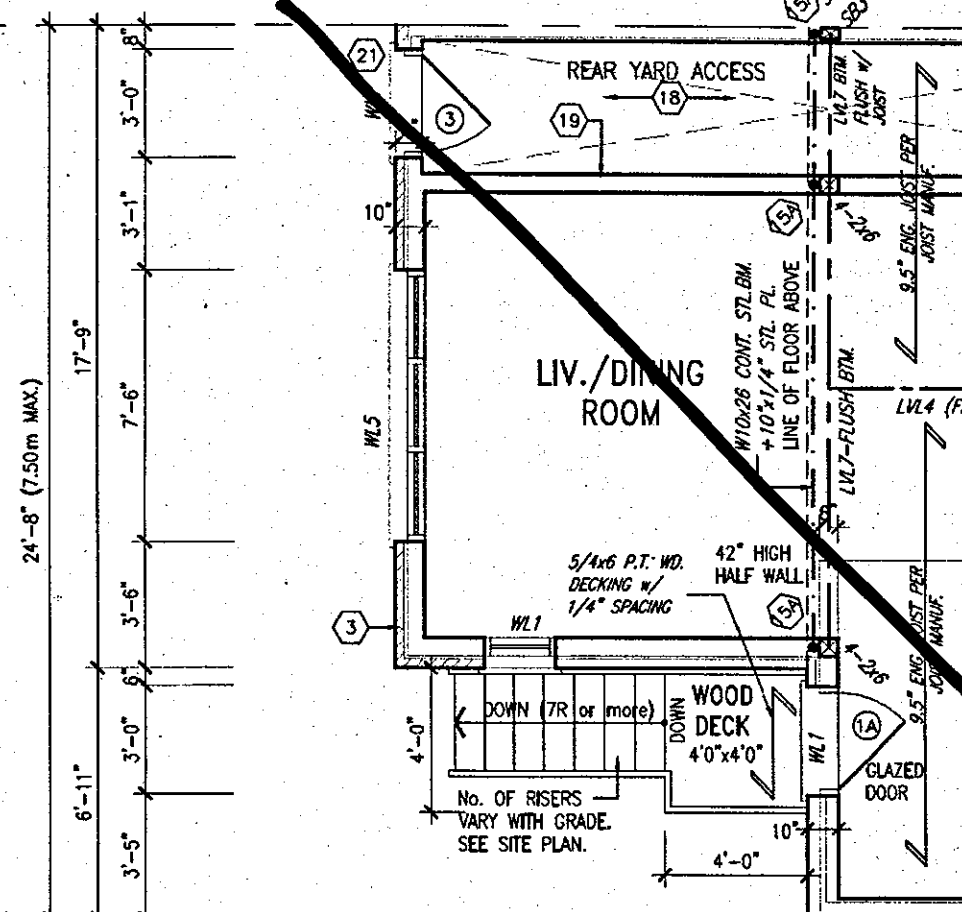
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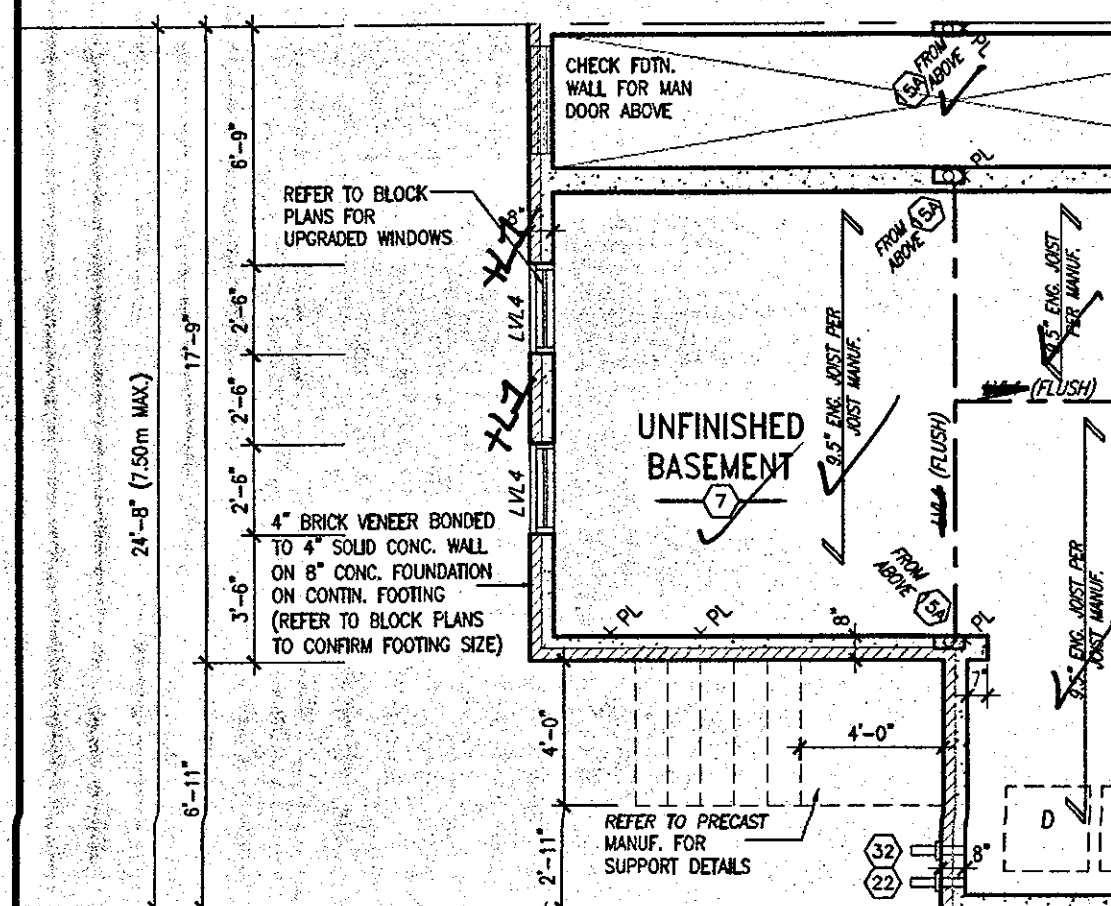
PART. BASEMENT PLAN
W.O.D CONDITION (8R OR MORE)

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.



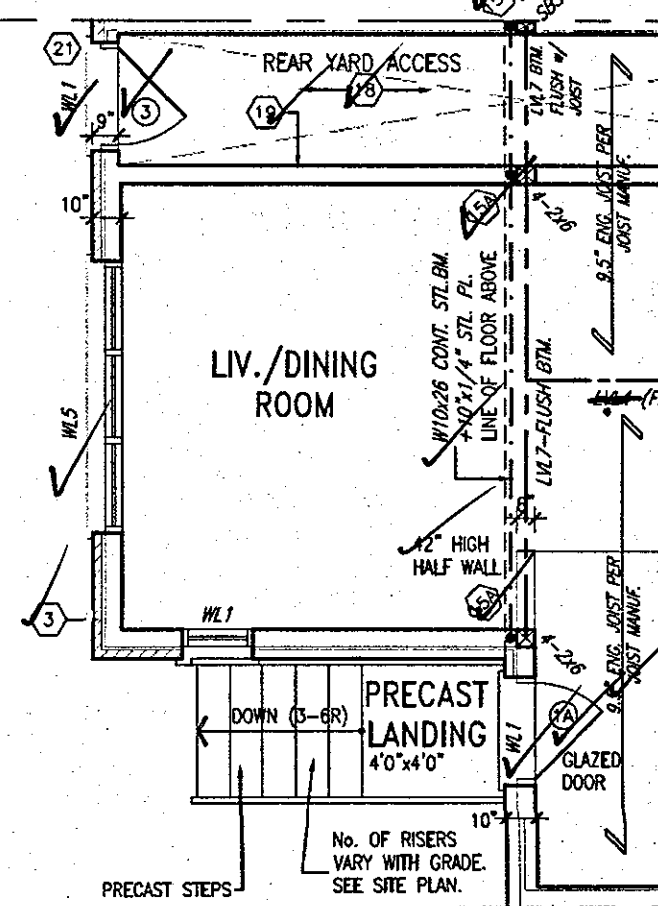
PART. GROUND FLOOR PLAN
W.O.D CONDITION (8R OR MORE)

WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 6) FOR ADDITIONAL WOOD DECK INFORMATION.



PART. BASEMENT PLAN W.O.D
CONDITION (4R TO 7R MAX.)

*beams sizes
as per
main plans*



PART. GROUND FLOOR PLAN W.O.D
CONDITION (4R TO 7R MAX.)

CITY OF HAMILTON
Building Division
Permit No. 17-131925
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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
MAY 24/18
DATE
FOR CHIEF BUILDING OFFICIAL

COPY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 12 2018

REC BY LS DATE
REF'D TO CB DATE

FEB 09 2018

HIGHGROVE-1
COMPLIANCE PACKAGE 'A1'



VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

8	REV. PER CITY COMMENTS. REISSUED.	FEB. 08/18	GW
7	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW
6	ISSUED FOR PRICING.	AUG. 23/17	GW
5	STUCCO REPLACED.	JUL. 05/17	GW
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 12/17	GW
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW
1	ISSUED FOR CLIENT REVIEW	APR. 25/17	GW
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
name
registration information
VA3 Design Inc. 42658
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VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
va3design.com

Greenpark.
Project name
RUSSELL GARDENS PH2
Date
APRIL 2017
drawn by
checked by
scale
3/16" = 1'-0"

HIGHGROVE 1
municipality
WATERDOWN, ON.
project no.
16036
PART. PLANS- DECK CONDITION
16036-HIGHGROVE 1
drawing no.
A7

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ARCHITECTURAL REVIEW & APPROVAL

OCT 1/6 2017

John G. Williams Limited, Architect

Permit No. 17-131925

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL May 24/18 DATE

6:12

6:12

4" PRECAST ———
CONC. SILL (TYP.)

BRICK SOLDIER
HEADER (TYP.)

3:12
(LOW SLOPE CONSTRUCTION)

~~—(6" ROOF OVERHUNG)~~

36" HIGH RAILING
 --(42" HIGH WHEN DECK IS MORE
 THAN 5'-11" ABOVE GRADE)

4x4 WOOD COLUMN UP TO
4'-0" HEIGHT. 6x6 WOOD
COLUMN FOR HEIGHTS OVER
4'-0" (PRESSURE TREATED,
12" CONC. PIER

POURED CONC. FOUNDATION,
WALLS AND FOOTINGS (TYP.)

— REFER TO BLOCK —
PLANS FOR
UPGRADED WINDOWS

REAR ELEVATION ELEV. 1
DECK CONDITION (8R OR MORE)

REAR ELEVATION ELEV. 1
DECK CONDITION (4R TO 7R MAX)

TOP OF PLATE
 TOP OF WINDOW
 7'-0"
 8'-1"
 FIN. SECOND FLOOR
 TOP OF WINDOW/TRANSOM
 7'-10"
 9'-11"
 36" HIGH RAILING
 (42" HIGH WHEN DECK IS MORE
 THAN 5'-11" ABOVE GRADE)
 FIN. GROUND FLOOR
 FIN. GRADE
 8'-1"
 PRECAST
 CONCRETE
 STEPS
 TOP OF SLAB

As per OBC
9.8.8. ASB-7
38" HIGH RAILING
(42" HIGH WHEN DECK IS MORE
THAN 5'-11" ABOVE GRADE)

REFER TO PRECAST
MANUF. FOR
SUPPORT DETAILS

CITY OF HAMMILL
BUILDING DIVISION
Planning & Development Department

NOV 16 2017

REC BY _____ DATE _____
REF'D TO CB DATE _____

OCT 04 2017

HIGHGROVE-1
COMPLIANCE PACKAGE A1'

9					The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8					qualification information
7	REVISED, ISSUED FOR PERMIT.	SEP. 22/17	GW		
6	ISSUED FOR PRICING.	AUG. 23/17	GW		
5	STUCCO REPLACED.	JUL 05/17	GW		name signature
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT		registration information VAS Design Inc.
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW		
2	REVISED PER CLIENT COMMENTS.	APR. 27/17	GW		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the project of the Designer which must be returned at the completion of the project. Any drawings are not to be copied.
1	PRELIMINARY REVIEW	APR. 12/17	GW		
no.	description	date	by		

**VA3
DESIGN**

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4788
vo3design.com

Greenpark.

project name
RUSSELL GARDENS PH2

municipality
WATERDOWN, ON.

date **APRIL 2017** REAR ELEVATION - ELEV. 1- DECK CONDITION

3/16" $\approx$ 1'-0" 16036-HIGHGROVE 1
GSEC - R:\ARCHIVE\KOSKIN\2016\16036\GSEC\JMS\HIGHGROVE\HIGHGROVE-1-3\16036-HIGHGROVE 1.dwg - Rcn - Sep 25 7:07 - 5:07 PM

HIGHGROVE 1

project no.
16038

DECK CONDITION	drawing no.
file name	A8

15036-HIGHGROVE 1 AD
Mon - Sep 25 2017 - 5:07 PM

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