

2264 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16" SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW PARTY WALLS.
(REFER TO ENGINEER FILL FOOTING DETAIL.)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L)
L2 = 4" x 3-1/2" x 5/16" (100x90x8.0L)
L3 = 5" x 3-1/2" x 5/16" (125x90x8.0L)
L4 = 6" x 3-1/2" x 3/8" (150x90x10.0L)
L5 = 6" x 4" x 3/8" (150x100x10.0L)
L6 = 7" x 4" x 3/8" (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8' TO 9' CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	INSULATED EXT. SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER

(OBC 9.30.6)
SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-0" TO 7'-0".
2 ROWS FOR SPANS GREATER THAN 7'-0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR FLAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT WALL DETAIL

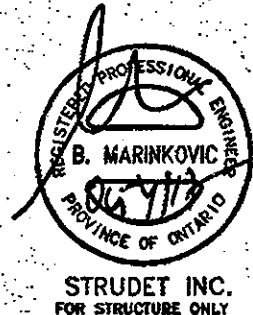
2-2"x8" STUD WALL NAILED TOGETHER AND SPACED @ 12" O.C. FULL HEIGHT, c/n SOLID BLOCKING @ 4'-0" O.C. VERTICAL AND 7'-16" EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

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UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
HIGHGROVE 5E AND ELEV. 1		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	490.03 S.F.	113.42 S.F.	23.15 %
LEFT SIDE	1012.83 S.F.	58.07 S.F.	5.73 %
RIGHT SIDE	1012.83 S.F.	0 S.F.	0.00 %
REAR	490.03 S.F.	132.91 S.F.	27.12 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3005.72 S.F.	299.90 S.F.	9.99 %
TOTAL SQ. M.	279.24 S.M.	27.86 S.M.	9.98 %

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
REC BY: [Signature] DATE: [Blank]
REP'D TO: [Blank] DATE: [Blank]

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
HIGHGROVE 5E AND ELEV. 2		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	490.03 S.F.	113.67 S.F.	23.20 %
LEFT SIDE	1012.83 S.F.	58.07 S.F.	5.73 %
RIGHT SIDE	1012.83 S.F.	0 S.F.	0.00 %
REAR	490.03 S.F.	132.91 S.F.	27.12 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3005.72 S.F.	300.65 S.F.	9.99 %
TOTAL SQ. M.	279.24 S.M.	27.88 S.M.	9.99 %

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
HIGHGROVE 5E AND ELEV. 3		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	490.03 S.F.	112.68 S.F.	22.99 %
LEFT SIDE	1012.83 S.F.	58.07 S.F.	5.73 %
RIGHT SIDE	1012.83 S.F.	0 S.F.	0.00 %
REAR	490.03 S.F.	132.91 S.F.	27.12 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3005.72 S.F.	299.66 S.F.	9.95 %
TOTAL SQ. M.	279.24 S.M.	27.79 S.M.	9.95 %

CITY OF HAMILTON
Building Division
17-13190-8

Permit No.

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and specifications have been reviewed by
MAY 30 2018

FOR CHIEF BUILDING OFFICIAL

DATE

OCT 04 2017

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7	REVISED, ISSUED FOR PERMIT.	SEP. 28/17	GW
15				6	ISSUED FOR PRICING.	AUG. 23/17	GW
14				5	STUCCO REPLACED.	JUL. 05/17	GW
13				4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW
10				1	PRELIMINARY REVIEW.	APR. 12/17	GW

The undersigned has reviewed and takes responsibility for this design and for the qualifications and merits the requirements set out in the Ontario Building Code to be a Designer.
Richard Ward 24483
signature
name
registration information
VAS Design Inc. 42653
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

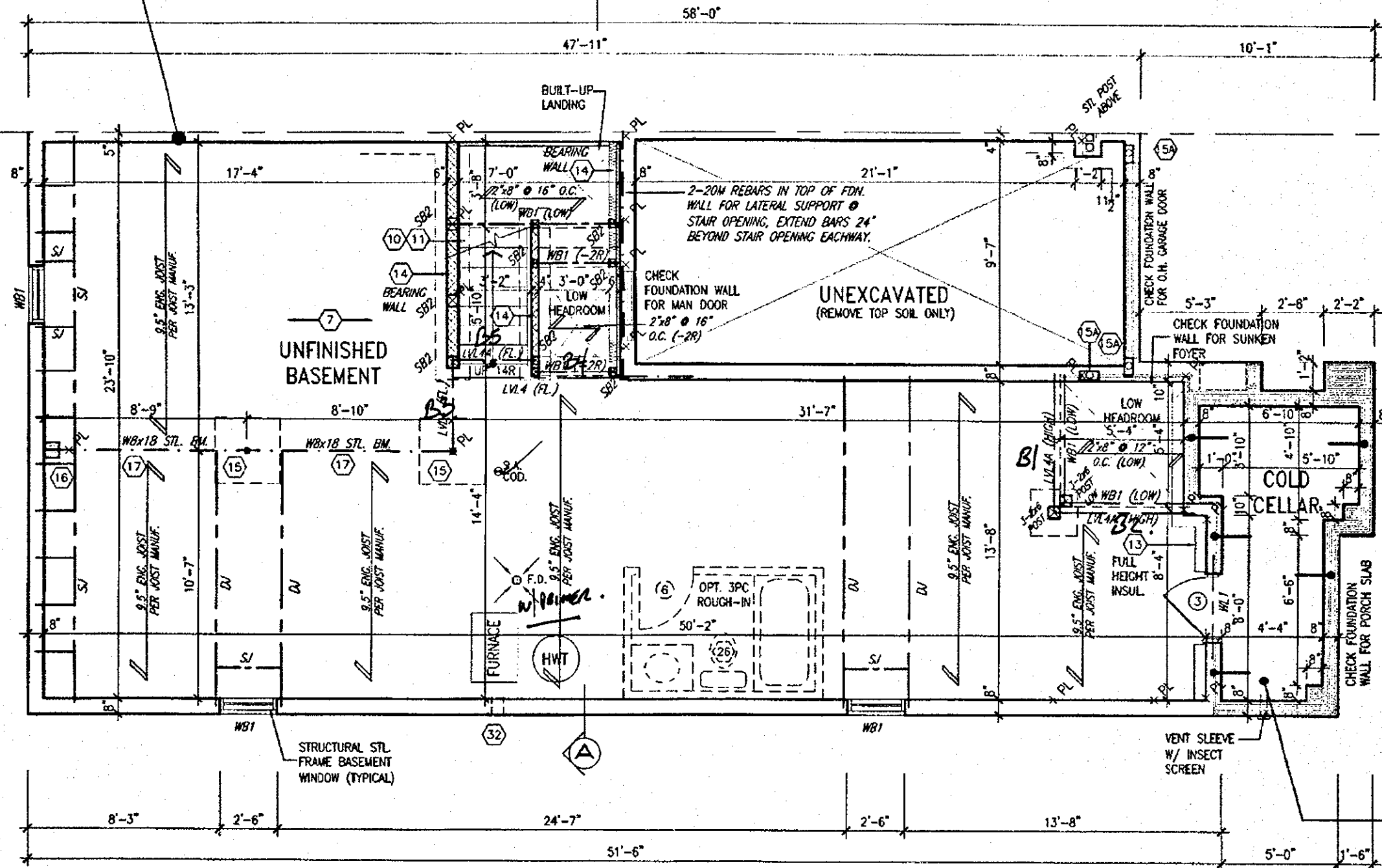
VAS
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.		HIGHGROVE 5E	
project name	RUSSELL GARDENS PH.2	project no.	16036
location	WATERDOWN, ON.	drawing no.	A0
date	MARCH 2017	checked by	3/16" = 1'-0"
drawn by	WT	scale	16036-HIGHGROVE 5E
TYPICAL NOTES & AREAS			

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2264 SF.

PARTY WALL AT GARAGE SIDE CONSTRUCTION
 • REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1,SK2 OR SK3 PARTY WALL IS TO BE BUILT.
 • REFER TO DETAIL PAGES 4,4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.



CITY OF HAMILTON
 BUILDING DIVISION
 Planning & Development Department
 MAY 22 2018
 REC BY _____ DATE _____
 REF'D TO _____ DATE _____

BASEMENT WALL INSULATION (TYP) (13)
 -6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT STAIR/SUNKEN AREAS where FRAMING IS REQ'D. FOR SUPPORT
 -2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM)
 -2"x4" @ 16"o.c. w/ R12 BATT INSULATION.
 -EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

COLD STORAGE SLAB
 5" REINFORCED CONCRETE SLAB WITH 10M BARS @ 7 7/8"o.c. EACH WAY WITH MIN. 1 1/4" CONC. COVER AND 10M BENT (24"x24") DOMES SPACED NOT MORE THAN 23 5/8"o.c.

BASEMENT PLAN ELEV. '3A' - B202-UNIT 7/B211-UNIT6/B212-UNIT1



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 Building Division
 17-131908
 Permit No. _____
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 These drawings and/or specifications have been reviewed by
 MAY 30 2018 APR 17 2018
 DATE _____
 FOR CHIEF BUILDING OFFICIAL

HIGHGROVE 5E
 COMPLIANCE PACKAGE A1

JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL
 APPROVED BY: _____
 DATE: Apr. 20, 2018
 This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

18	REVISED	APR. 16/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17	REV. PER CITY COMMENTS REISSUED.	FEB. 06/18	GW	
16	7 REVISED ISSUED FOR PERMIT.	SEP. 28/17	GW	
15	6 ISSUED FOR PRICING.	AUG. 23/17	GW	
14	5 STUCCO REPLACED.	JUL. 05/17	GW	
13	4 REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	
12	3 CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW	
11	2 REVISED PER CLIENT COMMENTS.	APR. 28/17	GW	
10	1 PRELIMINARY REVIEW.	APR. 12/17	GW	
9				
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4				
3				
2				
1				
no.	description	date	by	description

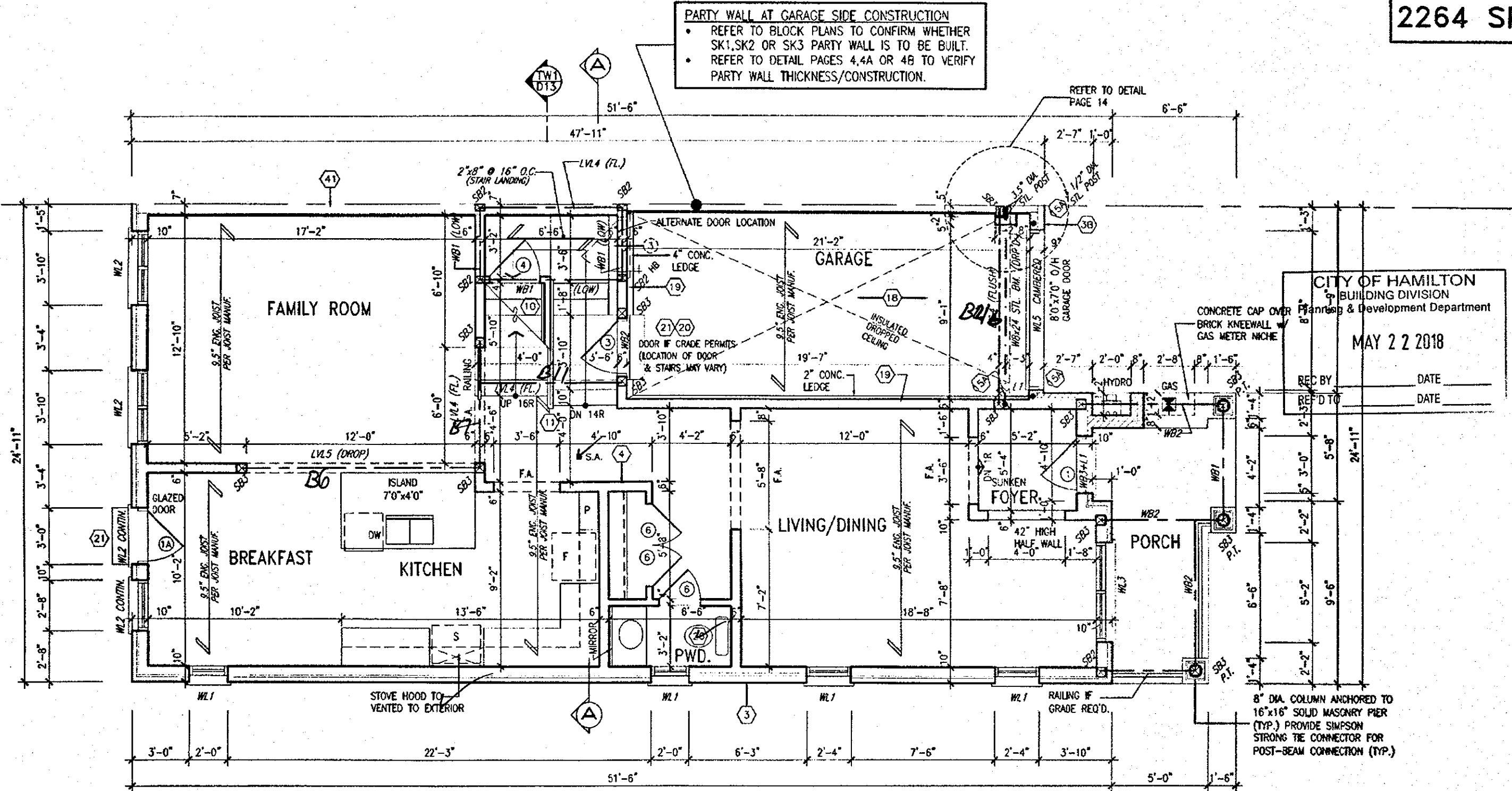
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 24488
 BCN
 42658
 VAS Design Inc.
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 Toronto ON M2J 1R4
 416.630.2255 / 416.630.4782
 vasdesign.com

VA3 DESIGN
 255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 416.630.2255 / 416.630.4782
 vasdesign.com

Greenpark.
 project name: RUSSELL GARDENS PH.2
 location: WATERDOWN, ON.
 date: MARCH 2017
 drawn by: WT
 checked by: GW
 scale: 3/16" = 1'-0"

HIGHGROVE 5E
 project no. 16036
 drawing no. A1c
 BASEMENT PLAN ELEV. '3A'

2264 SF.



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Building Division

Permit No. 17-131908

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MAY 30 2018

FOR CHIEF BUILDING OFFICIAL DATE

APR 17 2018

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: Apr. 20, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



STRUDET INC.
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ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-6% AIR ENTRAINMENT.

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS AND TOWNHOUSE BLOCK PLANS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL FLOOR FRAMING INFORMATION AND DETAILS UNLESS OTHERWISE NOTED.

18				9	REVISED	APR. 16/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. <i>R Vink</i> signature name registration information VAS Design Inc. 24488 BCN 42653 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
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no.	description	date	by	no.	description	date	by	

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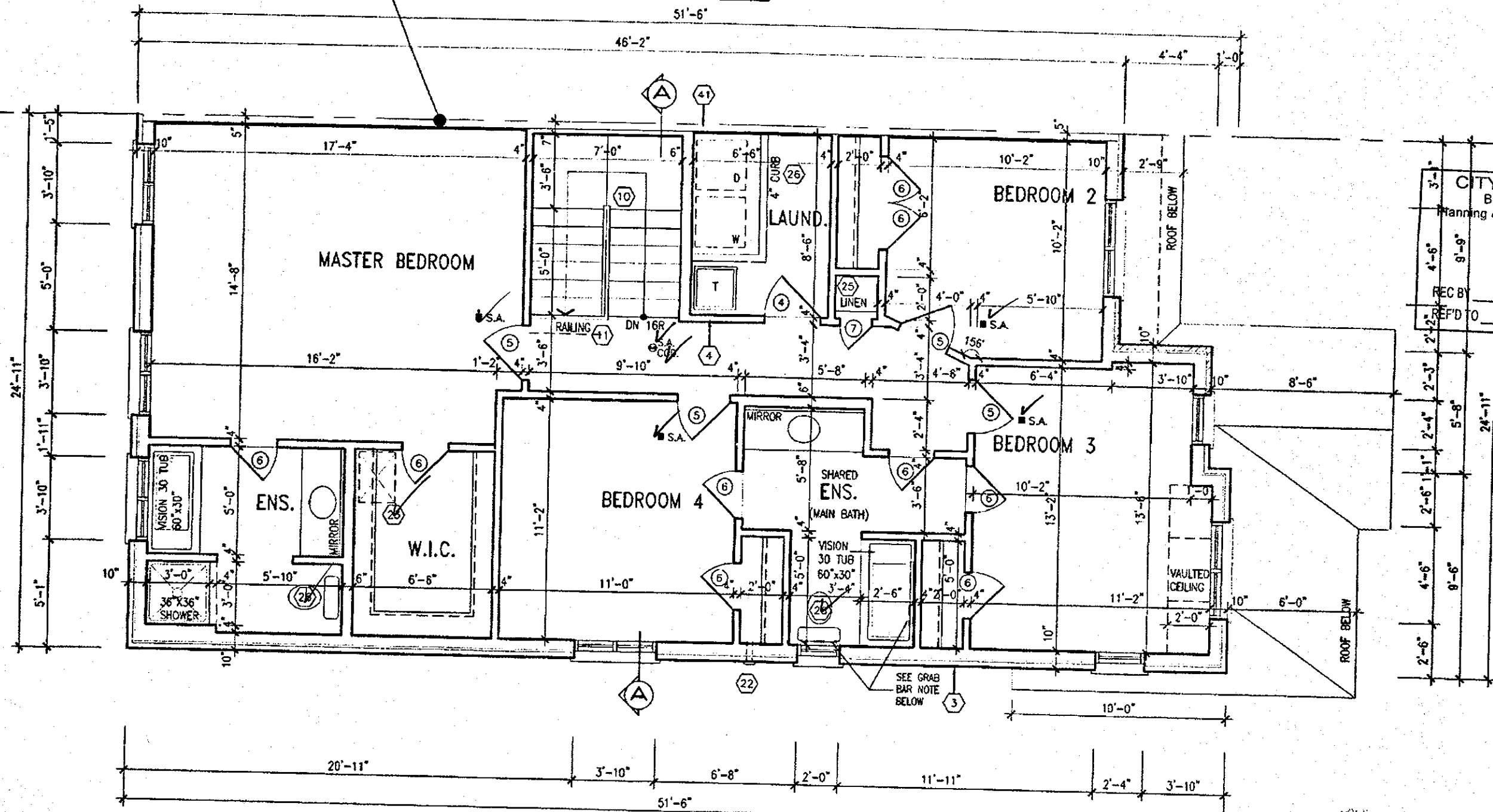
Greenpark.
Project name: RUSSELL GARDENS PH.2
Municipality: WATERDOWN, ON.
Date: MARCH 2017
Drawn by: WT
Checked by: GW
Scale: 3/16" = 1'-0"
16036-HIGHGROVE 5E-NEW
MAY 16 2018 - 11:27 AM

HIGHGROVE 5E
Project no. 16036
drawing no. A2c

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PARTY WALL CONSTRUCTION (UPPER FLOOR)
 • SUBSTITUTE 2"x6" STUDS WHERE ADDITIONAL BEARING IS REQUIRED.
 • REFER TO BLOCK PLANS.



CITY OF HAMILTON
 BUILDING DIVISION
 Planning & Development Department
 MAY 22 2018
 REC BY: _____ DATE: _____
 REF'D TO: _____ DATE: _____

SECOND FLOOR PLAN ELEV. '3A' - B202-UNIT 7/B211-UNIT6/B212-UNIT1

CITY OF HAMILTON
 Building Division

Permit No. 17-131908

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
 MAY 30 2018

FOR CHIEF BUILDING OFFICIAL DATE

APR 17 2018

HIGHGROVE 5E
 COMPLIANCE PACKAGE A1

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JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW
 AND APPROVAL

APPROVED BY: _____
 DATE: Apr. 20, 2018

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NOTE: ROOF FRAMING
 REFER TO ROOF TRUSS SHOP DRAWINGS AND TOWNHOUSE BLOCK PLANS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

18				9	REVISED	APR. 16/18	GW
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15				6	ISSUED FOR PRICING.	AUG. 23/17	GW
14				5	STUCCO REPLACED.	JUL. 05/17	GW
13				4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW
10				1	PRELIMINARY REVIEW.	APR. 12/17	GW
no.	description		date	by	description	date	by

VAD
 DESIGN

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 Toronto ON M2J 1R4
 416.630.2755 + 416.630.4782
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Greenpark.

HIGHGROVE 5E

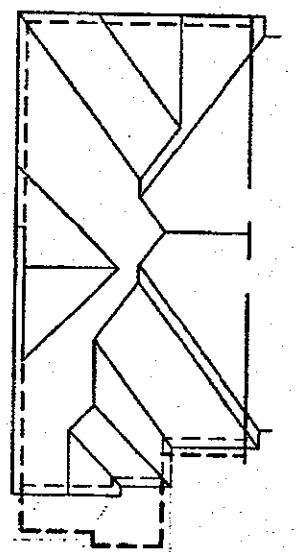
project name: RUSSELL GARDENS PH.2 WATERDOWN, ON. project no.: 16036

date: MARCH 2017 scale: 3/16" = 1'-0" SECOND FLOOR PLAN ELEV. '3A'

16036-HIGHGROVE 5E-NEW A3c

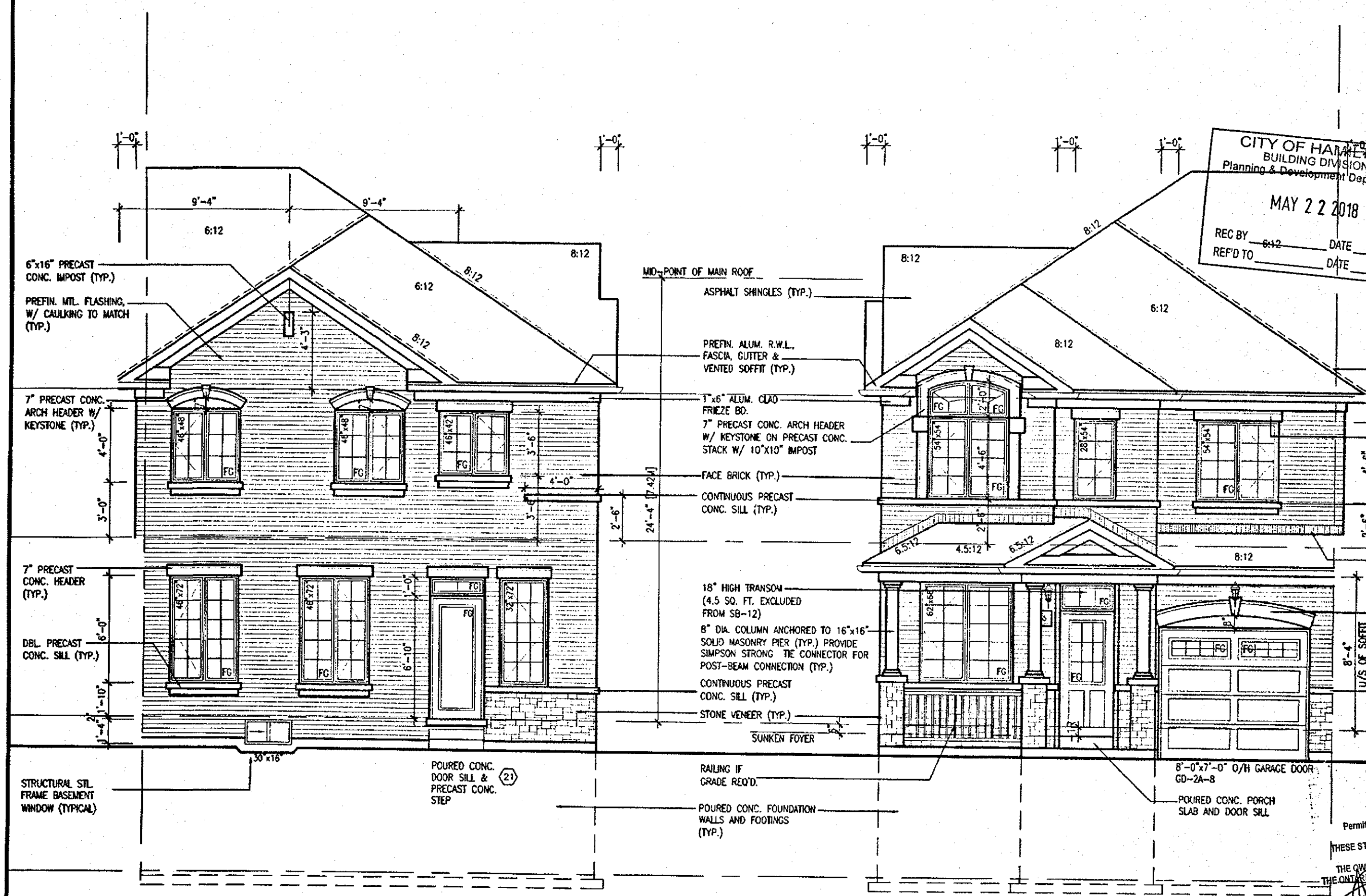
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2264 SF.



ROOF PLAN '3A'
B211-6/B212-1

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
MAY 22 2018
REC BY: 6-12 DATE: _____
REF'D TO: _____ DATE: _____



VALLEY FLASHING (TYP.)
TOP OF PLATE
TOP OF WINDOW
PRECAST CONC. HEADER (TYP.)
DBL. PRECAST CONC. SILL (TYP.)
FIN. SECOND FLOOR
PREFIN. MTL. FLASHING, W/ CAULKING TO MATCH (TYP.) TOP OF WINDOW
10" PRECAST CONC. ARCH HEADER W/ KEYSTONE (TYP.)
CONTINUOUS PRECAST CONC. SILL OVER STONE VENEER (TYP.)
FIN. GROUND FLOOR

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MAY 30 2018
DATE
FOR CITY BUILDING OFFICIAL

APR 17 2018

UPGRADE REAR ELEVATION '3A'
B202-UNIT 7/B211/Unit 6 &
B212/Unit 1

FRONT ELEVATION '3A'
B202-UNIT 7/B211/Unit 6 &
B212/Unit 1

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: _____
DATE: APR 20 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility

18				9	REVISED.	APR. 16/18	JW	
17				8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	GW	
16				7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW	
15				6	ISSUED FOR FRICING.	AUG. 23/17	GW	
14				5	STUCCO REPLACED.	JUL. 05/17	GW	
13				4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT	
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW	
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW	
10				1	PRELIMINARY REVIEW.	APR. 12/17	GW	
no.	description		date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
qualification information
Richard Vink
signature
24488
BCA
42658
VA3 Design Inc.
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
416.630.2255 416.630.4782
va3design.com

Greenpark.
Project name: RUSSELL GARDENS PH.2
Municipality: WATERDOWN, ON.
date: MARCH 2017
checked by: GW
scale: 3/16" = 1'-0"
16036-HIGHGROVE 5E-NEW
drawing no. A4c

HIGHGROVE 5E
project no. 16036
drawing no. A4c

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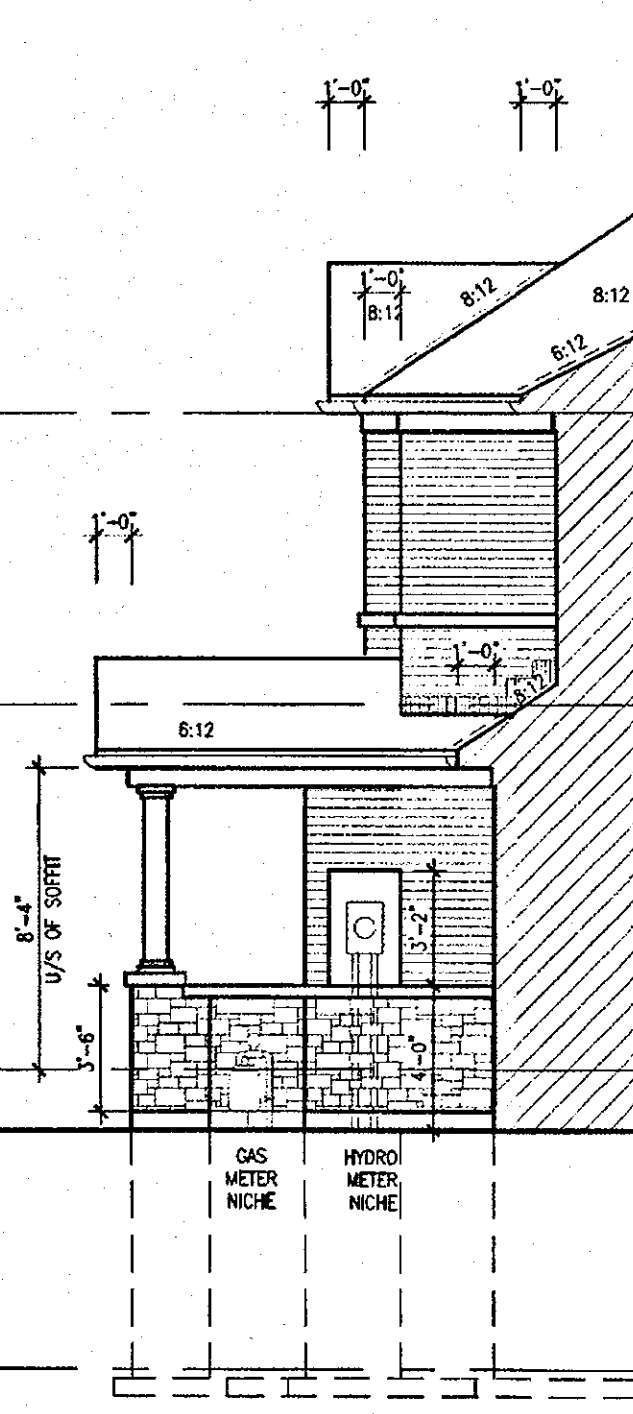
2264 SF.

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))			
HIGHGROVE 5E AND ELEV. 3A			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	490.03 S.F.	112.68 S.F.	22.99 %
LEFT SIDE	1012.83 S.F.	89.07 S.F.	8.79 %
RIGHT SIDE	1012.83 S.F.	0 S.F.	0.00 %
REAR	490.03 S.F.	132.91 S.F.	27.12 %
* OPENINGS OMITTED AS PER SB-12.3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3005.72 S.F.	330.16 S.F.	10.98 %
TOTAL SQ. M.	279.24 S.M.	30.67 S.M.	10.98 %

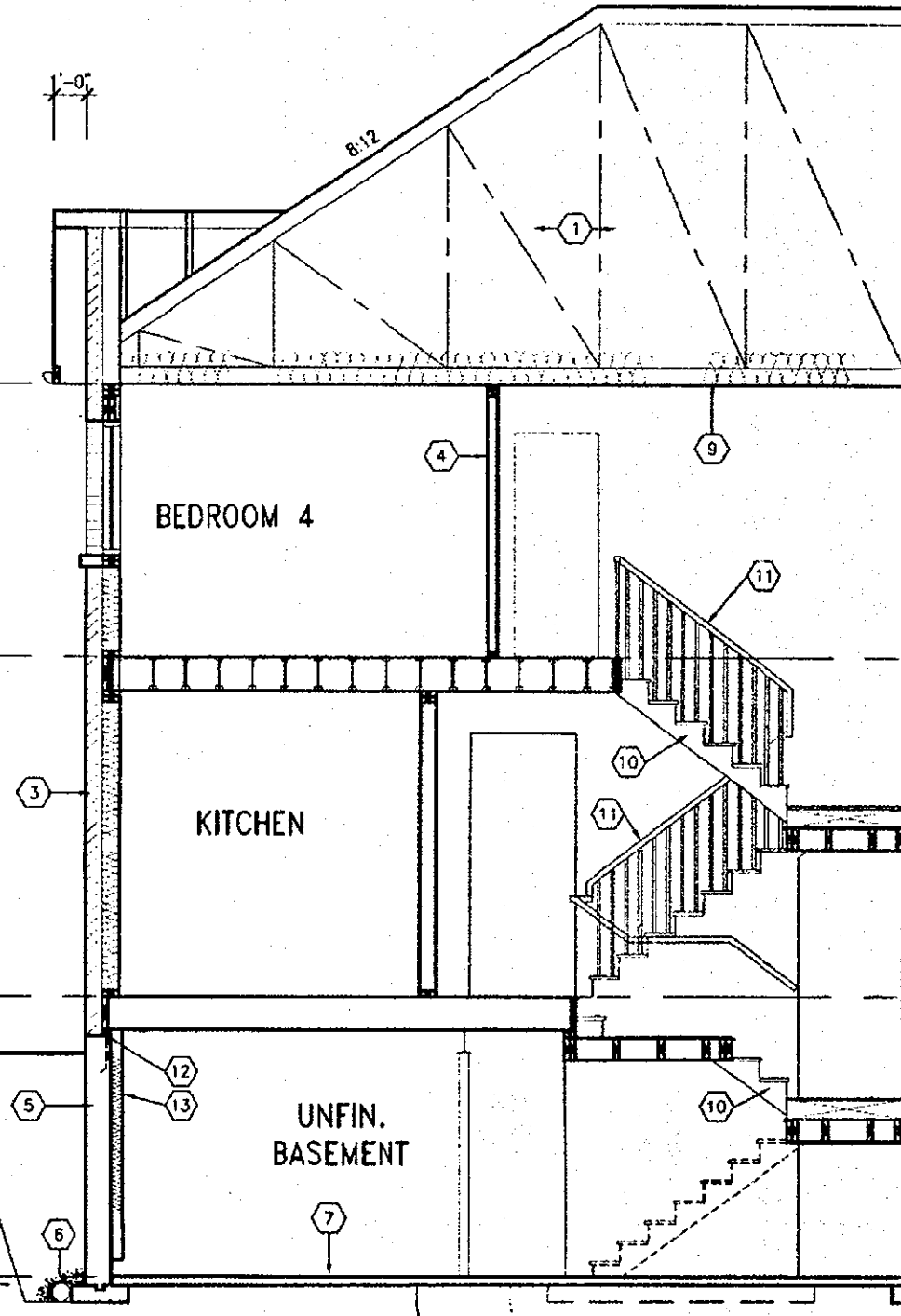
CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

MAY 22 2018

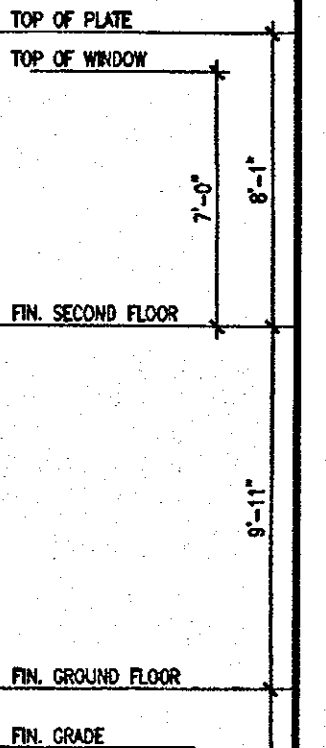
REC BY _____ DATE _____
REF'D TO _____ DATE _____



SECTION B ELEV. 3A



SECTION A-A ELEV. '3A'



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STRUDET INC.
FOR STRUCTURE ONLY

CITY OF HAMILTON
Building Division

Permit No. **n-131908**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

MAY 30 2018

FOR THE BUILDING OFFICIAL

DATE

APR 17 2018

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

18		3	REVISED	APR. 16/18	GW	
17		8	REV. PER CITY COMMENTS. REISSUED	FEB. 06/18	GW	
16		7	REVISED. ISSUED FOR PERMIT	SEP. 28/17	GW	
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12		3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW	
11		2	REVISED PER CLIENT COMMENTS	APR. 28/17	GW	
10		1	PRELIMINARY REVIEW	APR. 12/17	GW	
9						
8						
7						
6						
5						
4						
3						
2						
1						
no.	description	date	by	no.	description	date

VAR
DESIGN

255 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
416.630.2255 | 416.630.4782
va3design.com

Greenpark.

Project name: **RUSSELL GARDENS PH.2**

Location: **WATERDOWN, ON.**

Project No.: **16036**

Section: **SECTION A-A AND SECTION B ELEV. '3A'**

Scale: **3/16" = 1'-0"**

Drawn by: **WT**

Checked by: **GW**

Date: **MARCH 2017**

Project No.: **16036-HIGHGROVE 5E-NEW**

Scale: **3/16" = 1'-0"**

Date: **MARCH 2017**

Project No.: **16036**

Section: **SECTION A-A AND SECTION B ELEV. '3A'**

Scale: **3/16" = 1'-0"**

Date: **MARCH 2017**

Project No.: **16036**

Section: **SECTION A-A AND SECTION B ELEV. '3A'**

Scale: **3/16" = 1'-0"**

Date: **MARCH 2017**

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2264 SF.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: Apr. 20, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

MAY 22 2018

REC BY: _____ DATE: _____
REF'D TO: _____ DATE: _____

WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 6)
FOR ADDITIONAL WOOD DECK INFORMATION.

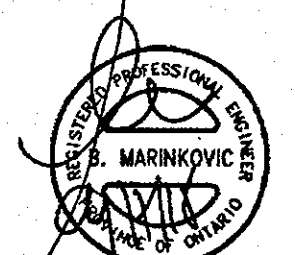
CITY OF HAMILTON
Building Division

Permit No. 17-131908

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE L

These drawings and/or specifications have been reviewed by
MAY 30 2018

FOR CHIEF BUILDING OFFICIAL DATE



STRUDET INC.
FOR STRUCTURE ONLY

APR 17 2018

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

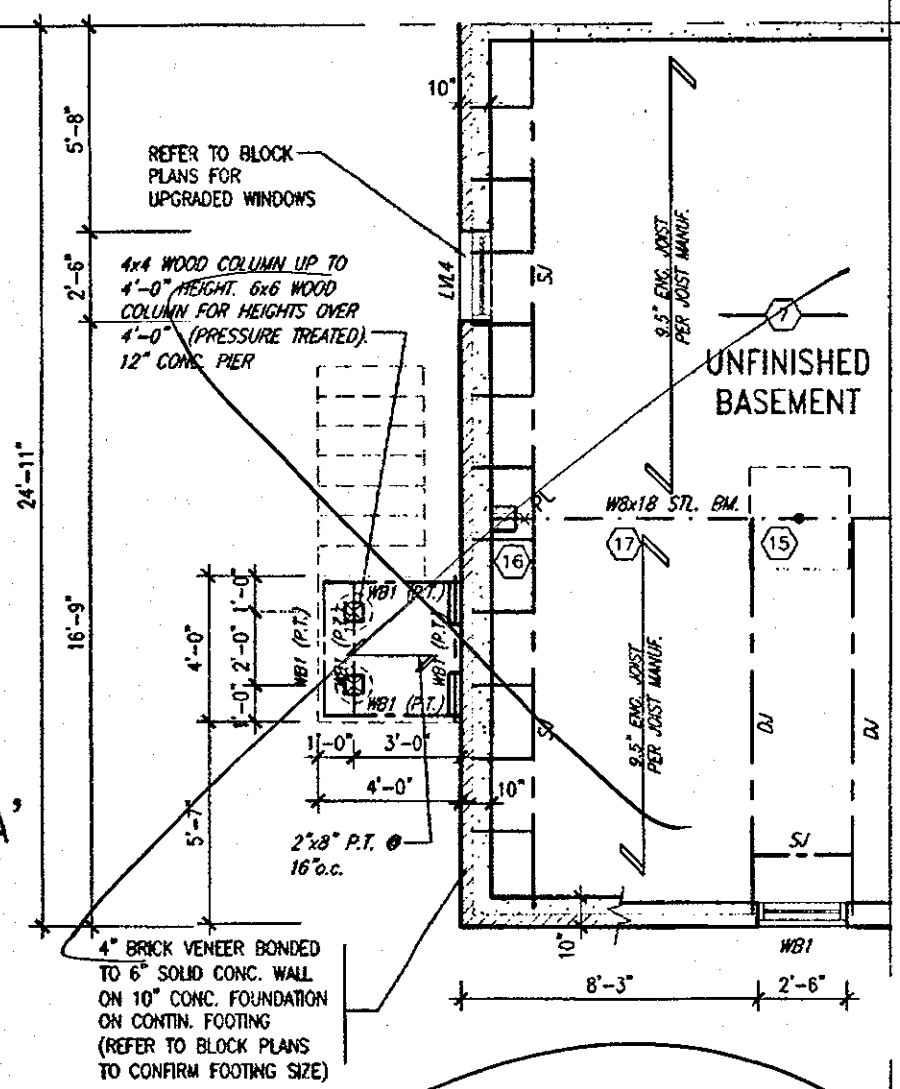
Greenpark.

HIGHGROVE 5E

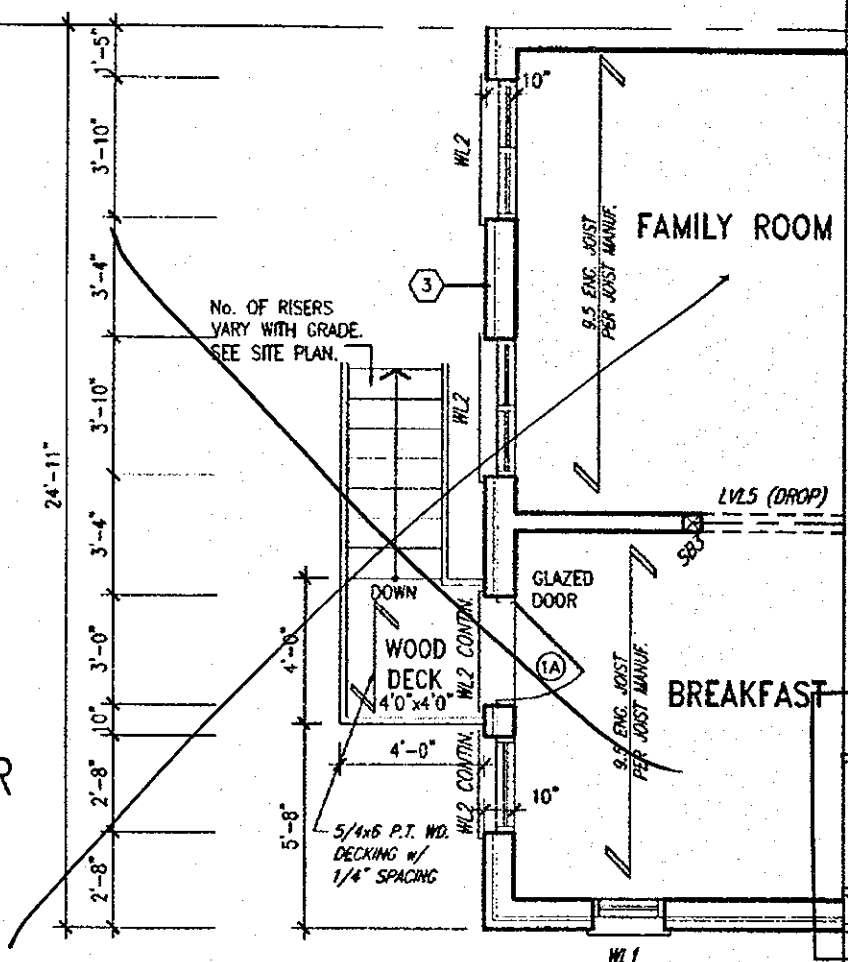
Project name: RUSSELL GARDENS PH.2 Municipality: WATERDOWN, ON. Project no.: 16036

DATE: MARCH 2017 checked by: GW scale: 3/16" = 1'-0" drawing no.: A9c
16036-HIGHGROVE 5E-NEW
16036-HIGHGROVE 5E-NEW.dwg - 11/27/18

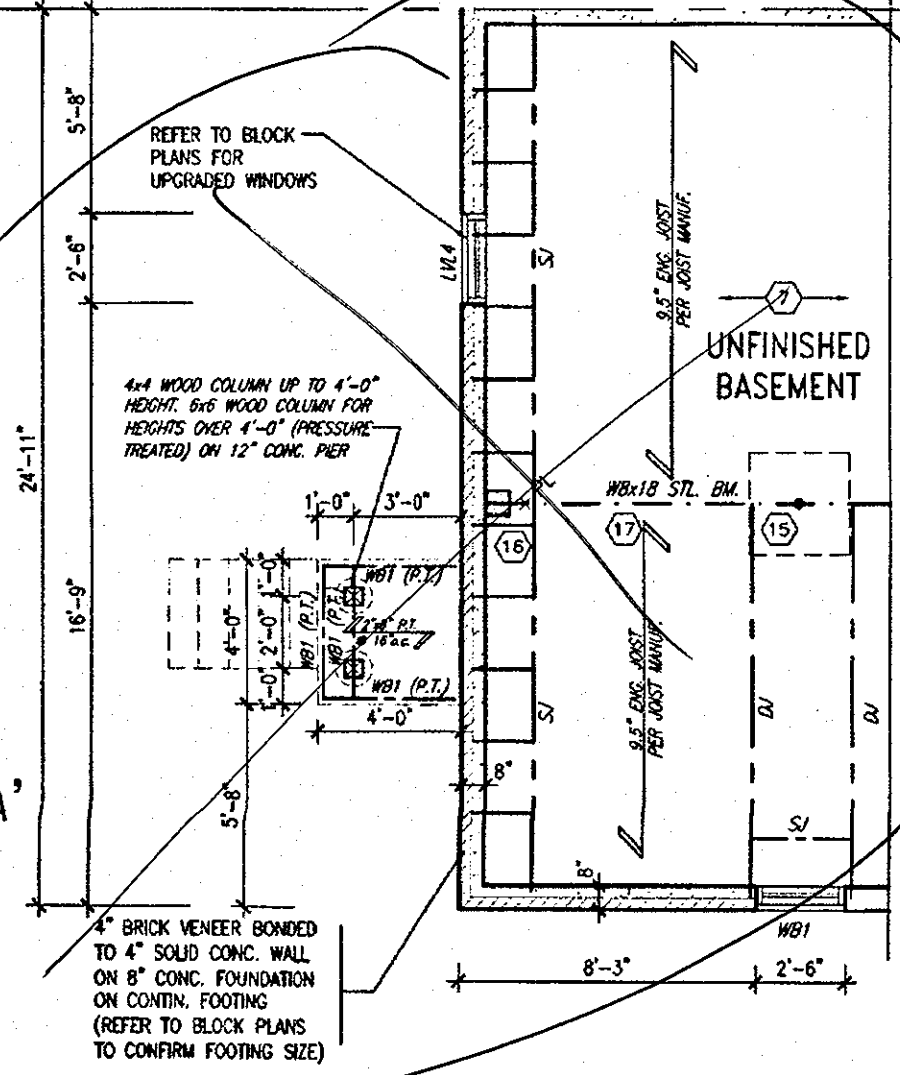
PART. BASEMENT
PLAN - ELEV. '3A'
W.O.D CONDITION
(8R OR MORE)



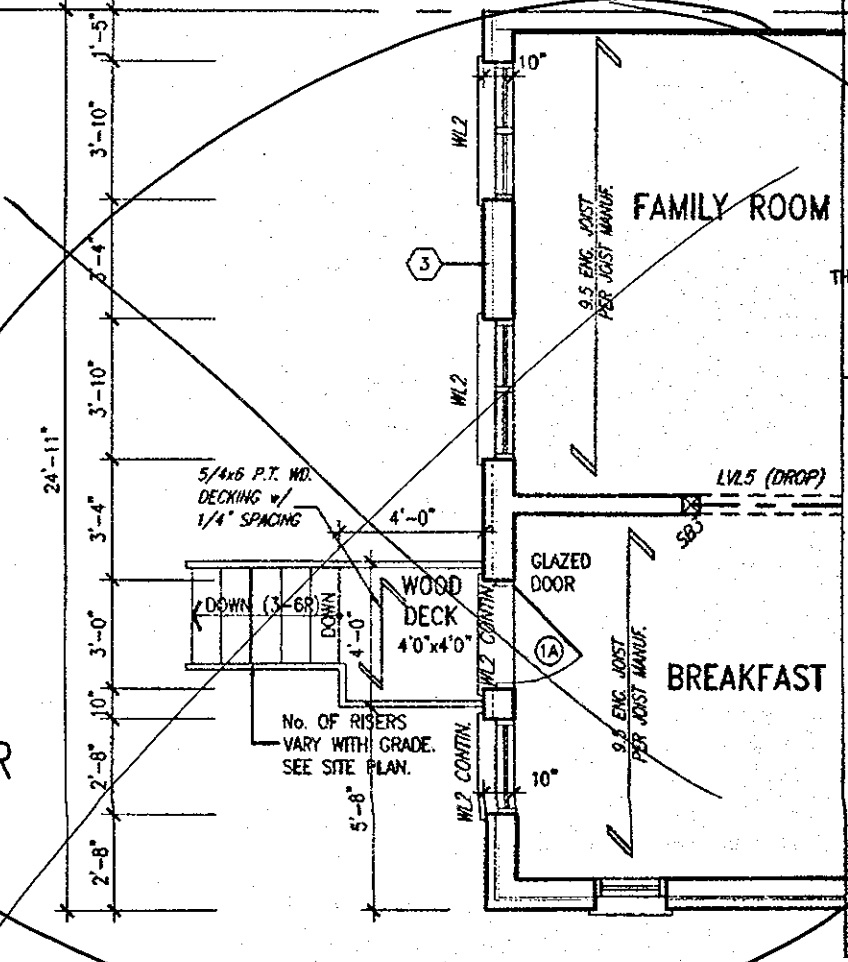
PART. GROUND FLOOR
PLAN - ELEV. '3A'
W.O.D CONDITION
(8R OR MORE)



PART. BASEMENT
PLAN - ELEV. '3A'
W.O.D CONDITION
(4R TO 7R MAX.)



PART. GROUND FLOOR
PLAN - ELEV. '3A'
W.O.D CONDITION
(4R TO 7R MAX.)



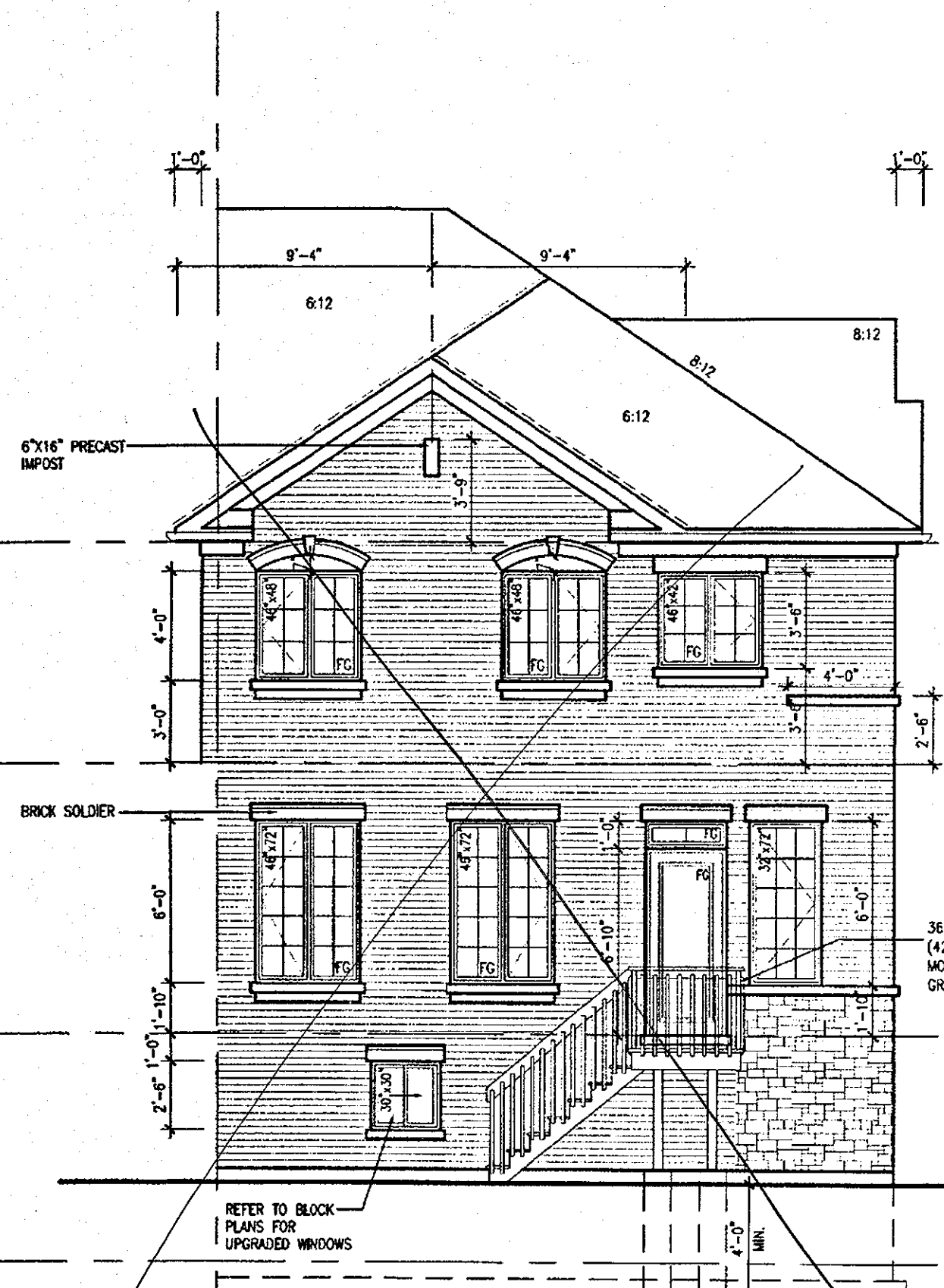
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no.	description	date	by	no.	description	date	by

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qualification information
Richard Yink 24488
signature
VA3 Design Inc. 47658
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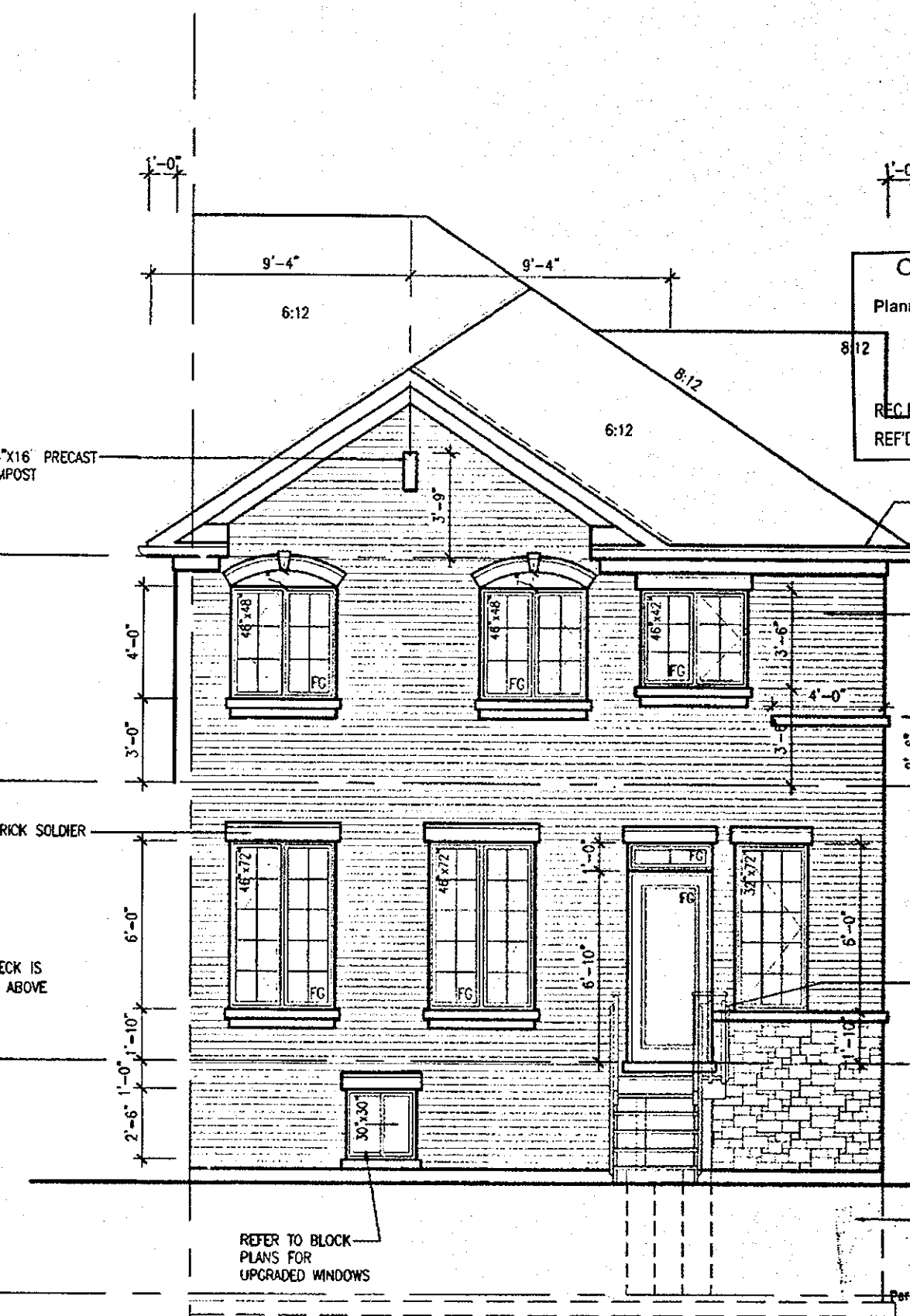
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255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

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2264 SF.



UPGRADED REAR ELEVATION '3A'
DECK CONDITION (8R OR MORE)



UPGRADED REAR ELEVATION '3A'
DECK CONDITION (4R TO 7R MAX.)

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
MAY 22 2018
REC BY _____ DATE _____
REF TO _____ DATE _____

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

TOP OF PLATE

TOP OF WINDOW

FACE BRICK (TYP.)

FIN. SECOND FLOOR

TOP OF WINDOW

TOP OF TRANSOM

36" HIGH RAILING
(42" HIGH WHEN DECK IS
MORE THAN 5'-11" ABOVE
GRADE)

FIN. GROUND FLOOR

FIN. GRADE

CITY OF HAMILTON
POURED CONC. FOUNDATION
BUILDINGS FOOTINGS
(TYP.) 131908
17- TOP OF SLAB

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

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MAY 30 2018

FOR THE BUILDING OFFICIAL

APR 17 2018

HIGHGROVE 5E
COMPLIANCE PACKAGE A1

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APPROVED BY: _____
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9	no. description	date	by	no. description	date	by

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qualification information
Richard Vink 24488
signature
VA3 Design Inc. 42653
name registration information
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Toronto ON M2J 1R4
416.630.2255 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH.2
MARCH 2017
checked by
scale
3/16" = 1'-0"
16036-HIGHGROVE 5E-NEW

HIGHGROVE 5E
project no.
16036
drawing no.
A11c

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