

2484 SF.

PARTY WALL AT GARAGE SIDE CONSTRUCTION

- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1,SK2 OR SK3 PARTY WALL IS TO BE BUILT.
- REFER TO DETAIL PAGES 4,4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

REFER TO ENGINEERED
FLOOR LAYOUTS FOR
BLOCKING WHERE FLOOR
JOISTS ARE PARALLEL TO
FOUNDATION WALL (TYP.)

BASEMENT WALL INSULATION
(TYP) 13
-6" (R20) CONTINUOUS BLANKET
INSULATION. INSULATION
UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT
STAIR/SUNKEN AREAS
- 2" (R10) CONTINUOUS INSULATION
(RIGID OR SPRAY FOAM).
- 2'4" @ 16" o.c. w/ R12 "ROXUL"
BATT INSULATION.
- EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2'4" WALL WHERE LOAD
BEARING.

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR
ALL FLOOR FRAMING INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: Apr. 20, 2018

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

STRUDET INC.
FOR STRUCTURE ONLY

BASEMENT PLAN EL. 2

A separate permit is required to finish the basement

COPY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

MAY 24 2018

REC BY _____ DATE _____
REF'D TO CB DATE _____

APR 17 2018

HIGHGROVE 7E
COMPLIANCE PACKAGE 'A1'

HIGHGROVE 7E
B204-1

Greenpark.

project name	locality
RUSSELL GARDENS PH.2	WATERDOWN, ON.

BASEMENT PLAN EL. 2

ing Co.

A11

Drawn by BD.BIM	checked by -	scale 3/16" = 1'-0"	file name 16036-HIGHGROVE 7E
--------------------	-----------------	------------------------	---------------------------------



VAD
DESIGN

DESIGN
255 Consumers Rd Suite 120
Toronto Ont M2J 1R4
t 416.630.2255 f 416.630.4782
vo@design.com

The undersigned has reviewed and takes responsibility for this design and lists the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information	
Richard Vink	24488
name	signature
registration information	BCP
VA3 Design Inc.	42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be loaned.

18				9		
17				8	REVISED	APR. 17/18 GW
16				7	REVISED PER CITY COMMENTS. REISSUED.	FEB. 15/18 GW
15				6	REVISED. ISSUED FOR PERMIT	SEP. 28/17 GW
14				5	STUCCO REPLACED.	JUL. 05/17 GW
13				4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17 GW
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 15/17 GW
11				2	REVISED PER CLIENT COMMENTS.	MAY. 03/17 GW
10				1	PRELIMINARY REVIEW.	APR. 13/17 GW
no.	description	date	by	no.	description	date

[illegible]

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: Apr. 20, 2018

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CITY OF HAMILTON
Building Division

Permit No. 17-132182

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

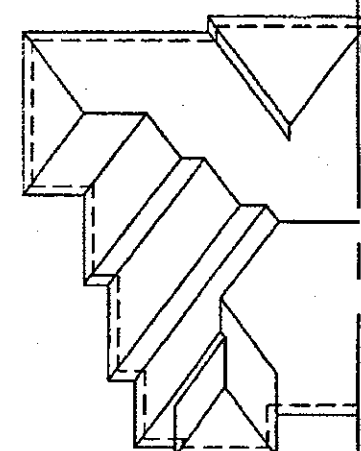
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL [Signature]

DATE

2484 SF.



ROOF PLAN '2'

MID-POINT OF MAIN ROOF

BRICK ROWLOCK ON BRICK SOLDIER W/ KEYSTONE ARCH ON BRICK SOLDIER & ROWLOCK SURROUND

BRICK SOLDIER HEADER ON BRICK ROWLOCK SURROUND (TYP.)

PREFIN. MTL FLASHING, W/ CAULKING TO MATCH (TYP.)
BRICK SOLDIER ARCH WITH KEYSTONE (TYP.)

8" DIA POST ANCHORED TO 16"x16" SOLID MASONRY PIER (TYP.)

POURED CONC. PORCH SLAB & DOOR SILL

TOP OF PLATE

TOP OF WINDOW

7'-0"

FIN. SECOND FLOOR

TOP OF WINDOW

7'-10"

FIN. GROUND FLOOR

FIN. GRADE

FIN. BASEMENT FLOOR

VALLEY FLASHING (TYP.)

PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)

1"x6" ALUM. CLAD FRIEZE BD. (TYP.)

4" PRECAST ON BRICK ROWLOCK BAND (TYP.)

17" HIGH DECOR. PREFINISHED RAILING

PAINTED CREZON PANELS (TYP.)

BRICK VENEER (TYP.)

BRICK ROWLOCK ON BRICK SOLDIER HEADER W/KEYSTONE ON BRICK ROWLOCK SURROUND (TYP.)

4" PRECAST ON BRICK ROWLOCK BAND (TYP.)

POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

U/S SOFFIT / TOP OF PLATE

PREFIN. MTL FLASHING, W/ CAULKING TO MATCH (TYP.)

8" DIA POST ANCHORED TO 16"x16" SOLID MASONRY PIER (TYP.)

B SIDE ELEV.

FRONT ELEV. 2

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

MAY 24 2018

REC BY: [Signature]
REF'D TO: [Signature]

DATE: [Signature]
DATE: [Signature]

HIGHGROVE 7E
COMPLIANCE PACKAGE 'A1'

APR 17 2018

18		3	REVISED	APR. 17/18	GW
17		7	REVISED PER CITY COMMENTS REISSUED	FEB. 15/18	GW
16		6	REVISED, ISSUED FOR PERMIT	SEP. 28/17	GW
15		5	STUCCO REPLACED	JUL. 05/17	GW
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13		3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 15/17	GW
12		2	REVISED PER CLIENT COMMENTS	MAY. 03/17	GW
11		1	PRELIMINARY REVIEW	APR. 13/17	GW
10					
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Qualification Information
Richard Vink 24488
home registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH.2
date
2017-04
drawn by
BD.BIM
checked by
scale
3/16" = 1'-0"
18036-HIGHGROVE 7E
18036-HIGHGROVE 7E.dwg - Apr 17 2018 - 2:05 PM

HIGHGROVE 7E
B204-1
project no.
16036
drawing no.
A4

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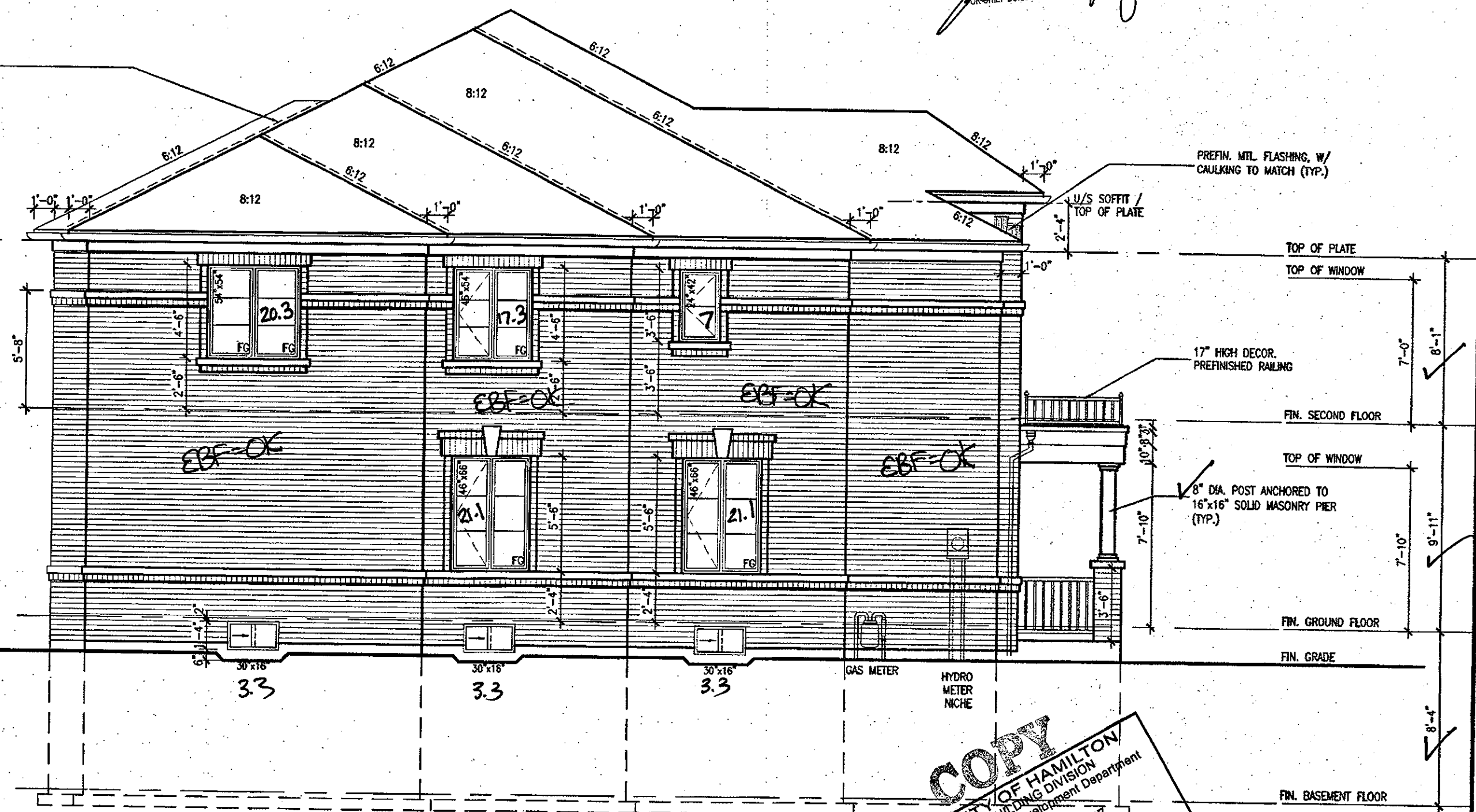
2484 SF.

CITY OF HAMILTON
Building Division

Permit No. 17-132182

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
[Signature] DATE July 19/18
[Signature] CHIEF BUILDING OFFICIAL

VALLEY FLASHING (TYP.)



LEFT SIDE ELEV. 2

WALL AREA A	323.94 SQ. FT.	WALL AREA B	198.53 SQ. FT.	WALL AREA C	206.25 SQ. FT.
LIMITING DISTANCE	3.2 M (23%)	LIMITING DISTANCE	3.3 M (30%)	LIMITING DISTANCE	2.2 M (15%)
OPENING ALLOWED	74.51 SQ. FT.	OPENING ALLOWED	59.50 SQ. FT.	OPENING ALLOWED	50.34 SQ. FT.
OPENING PROVIDED	80.80 SQ. FT.	OPENING PROVIDED	36.16 SQ. FT.	OPENING PROVIDED	86.94 SQ. FT.
	23.6 FT		41.7 FT		31.4 FT
	80=OK		80=OK		80=OK

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ARCHITECTURAL REVIEW & APPROVAL

OCT 16 2017

John G. Williams Limited, Architect

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6	REVISED, ISSUED FOR PERMIT.	SEP. 28/17	GW
14				5	STUCCO REPLACED.	JUL 05/17	GW
13				4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 15/17	GW
11				2	REVISED PER CLIENT COMMENTS.	MAY 03/17	GW
10				1	PRELIMINARY REVIEW.	APR. 13/17	GW

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qualification information

Richard Vink 24488

name registration information

VA3 Design Inc. 42658

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VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
RUSSELL GARDENS PH.2

checked by
3/16" = 1'-0"

date
2017-04

drawing no.
80.BIM

scale
3/16" = 1'-0"

date
2017-04

drawing no.
16036-HIGHGROVE 7E

HIGHGROVE 7E

B204-4

project no.
16036

drawing no.
A5

2484 SF.

CITY OF HAMILTON
Building Division

Permit No. **17-132182**

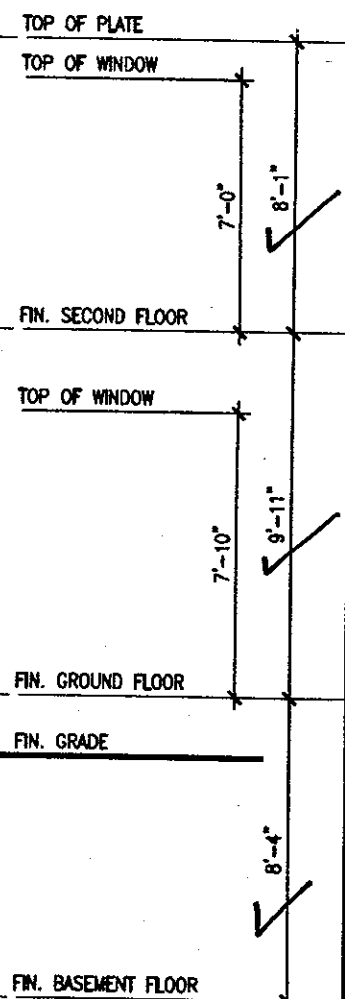
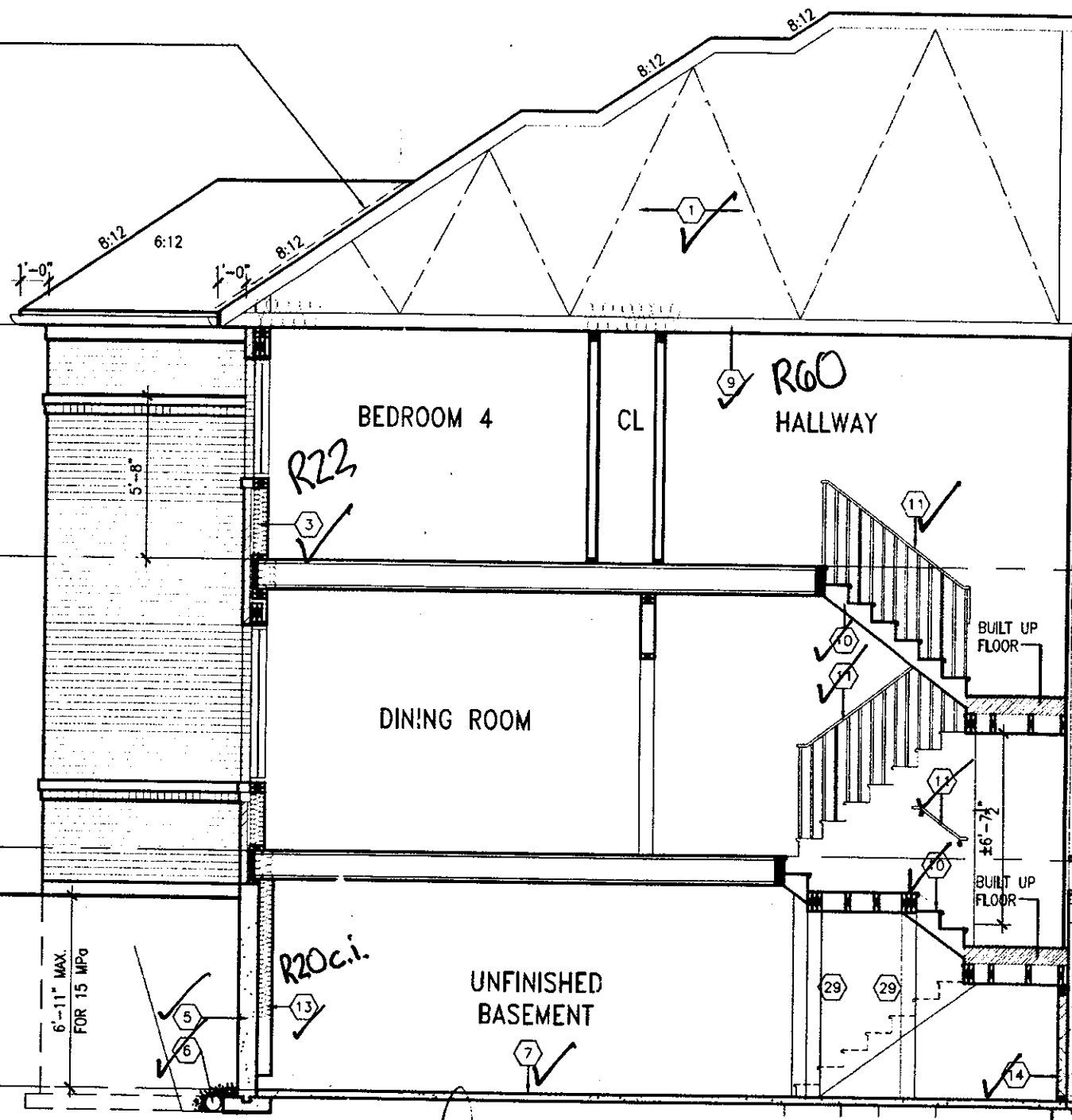
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These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL DATE **July 19/18**

VALLEY FLASHING (TYP.)



CROSS SECTION 'A-A'

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REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

COPY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
MAY 24 2018
REC BY _____ DATE _____
REF'D TO **CB** DATE _____

FEB 15 2018

HIGHGROVE 7E
COMPLIANCE PACKAGE 'A1'

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7	REVISED PER CITY COMMENTS. REISSUED.	FEB 15/18	GW
15				6	REVISED. ISSUED FOR PERMIT.	SEP 28/17	GW
14				5	STUCCO REPLACED.	JUL 05/17	GW
13				4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 15/17	GW
11				2	REVISED PER CLIENT COMMENTS.	MAY 03/17	GW
10				1	PRELIMINARY REVIEW.	APR 13/17	GW

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qualification information
Richard Vink 24488
name
registration information
VAS Design Inc. 42658

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VAS DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.
Project name
RUSSELL GARDENS PH.2
municipality
WATERDOWN, ON.
date
2017-04
checked by
BD.BIM
scale
3/16" = 1'-0"

HIGHGROVE 7E
B204-1
project no.
16036
drawing no.
A7

CITY OF HAMILTON
Building Division

Permit No. 17-13218

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings and/or specifications have been reviewed by

[Signature]

DATE July 1988

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26°, A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

PART. BASEMENT PLAN
W.O.B CONDITION

LOOK-OUT WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 6-2) FOR ADDITIONAL WOOD DECK INFORMATION

PART. GROUND FLOOR
W.O.B CONDITION

COPY

CITY OF HAMILTON
LAN BUILDING DIVISION
Planning & Development Department

NOV 16 2017

REC BY _____ DATE _____
REF'D TO CB DATE _____

OCT 04 2017

HIGHGROVE 7E
COMPLIANCE PACKAGE 'A1'

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OCT 16 2017

John G. Williams Limited, Architect



18			9	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17			8	-	-	
16			7	-	-	qualification information
15			6	REVISED. ISSUED FOR PERMIT.	SEP. 28/17 GW	Richard Vink 2448
14			5	STUCCO REPLACED.	JUL. 05/17 GW	name signature BC
13			4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17 WI	registration information 4265
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 15/17 GW	VAS Design Inc.
11			2	REVISED PER CLIENT COMMENTS.	MAY 03/17 GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at completion of the work. Drawings are not to be scaled.
10			1	PRELIMINARY REVIEW.	APR. 13/17 GW	
no.	description	date	by no.	description	date	by

VA3
DESIGN
255 Consumers Rd Suite 120
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t 416.630.2255 f 416.630.478
va3design.com

Greenpark.

HIGHGROVE 7E
B204-4

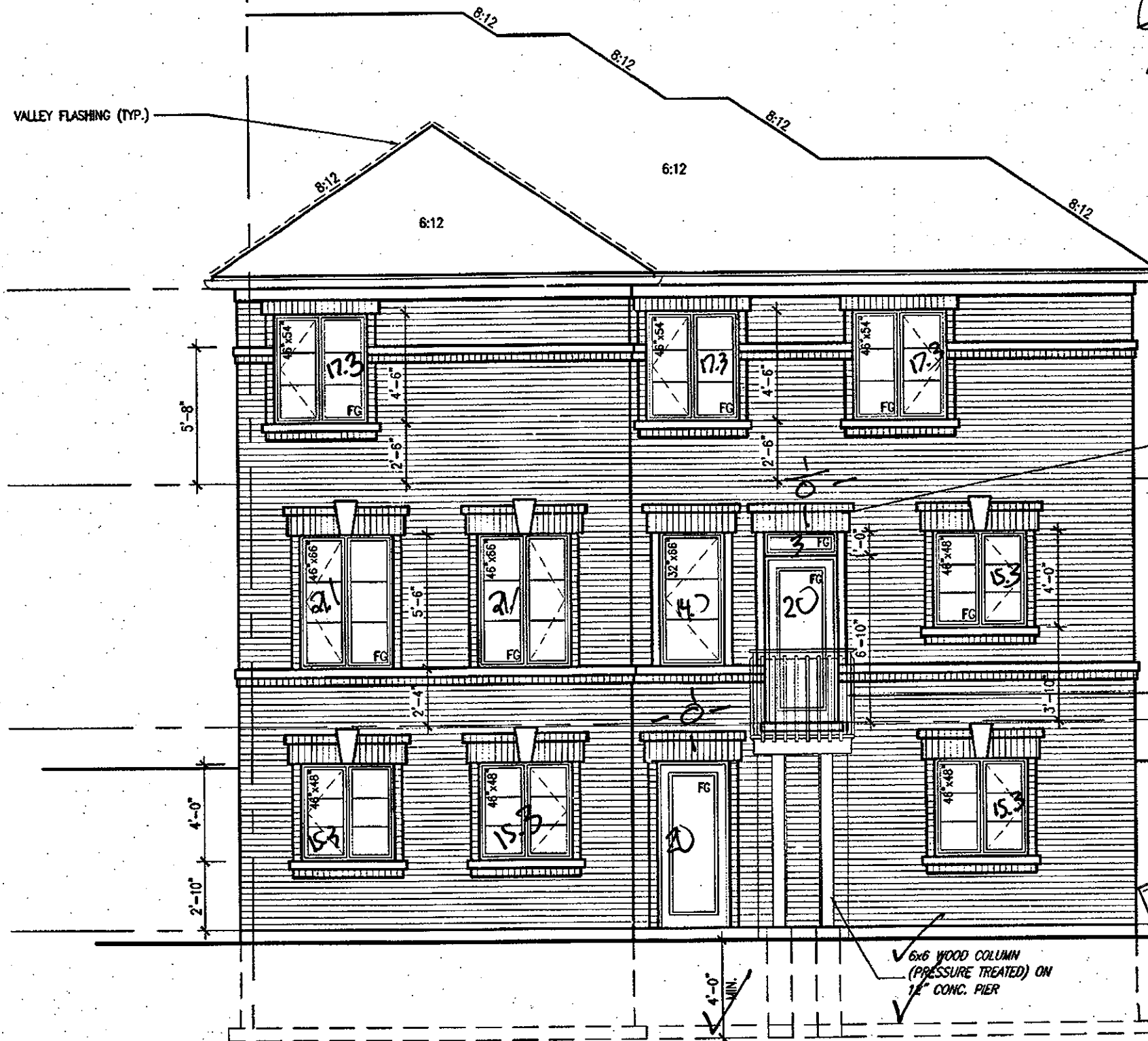
project name	project no.
RUSSELL GARDENS PH.2	16036
municipality	
WATERDOWN, ON.	
date	drawing no.
2017-04	16036
PART. PLANS- WOB CONDITION	
drawn by	scale
B.D.B.M	3/16" = 1'-0"
checked by	file name
-	16036-HIGHGROVE 7E
ISSUED - 16/04/2017 (16036) 7E16036-HIGHGROVE 7E16036-HIGHGROVE 7E.dwg - Thu - Sep 26 2017 - 4:31 PM	

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2484 SF.

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Permit No. 17-132182
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FOR CHIEF BUILDING OFFICIAL DATE

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FOR CHIEF BUILDING OFFICIAL DATE



TOP OF PLATE
TOP OF WINDOW
7'-0"
8'-1"
FIN. SECOND FLOOR
TOP OF WINDOW
7'-10"
8'-11"
FIN. GROUND FLOOR
TOP OF WINDOW
6'-10"
8'-4"
FIN. BASEMENT FLOOR

Imperial
Kool Ray
asper spec's
(eng.)
42" HIGH RAILING
NOV 16 2017
REC BY: CB
REF'D TO: CB
DATE: DATE
DATE: DATE

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ARCHITECTURAL REVIEW & APPROVAL
OCT 16 2017
John G. Williams Limited, Architect

REAR ELEV. 2 - WOB CONDITION

HIGHGROVE 7E
COMPLIANCE PACKAGE 'A1'

18			9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17			8			qualification information
16			7			Richard Vink 24488
15			6	REVISED, ISSUED FOR PERMIT.	SEP. 28/17	BCN
14			5	STUCCO REPLACED.	JUL 05/17	signature
13			4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	VA3 Design Inc. 42658
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 15/17	
11			2	REVISED PER CLIENT COMMENTS.	MAY 03/17	
10			1	PRELIMINARY REVIEW.	APR. 13/17	
no.	description	date	by	no.	description	date

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
HIGHGROVE 7E
B204-4
project name
RUSSELL GARDENS PH.2
municipality
WATERDOWN, ON.
project no.
16036
date
2017-04
checked by
BD.BIM
scale
3/18" = 1'-0"
drawing no.
16036-HIGHGROVE 7E
drawing no.
A9

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FOUNDATION PLAN
(STEEL BEAM IN GARAGE)
SCALE: NOT TO SCALE

PLAN (STEEL BEAM IN GARAGE)
SCALE: NOT TO SCALE

COPY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

JUL 05 2018

REC BY _____ DATE _____
REF'D TO CB DATE _____

JUN 28 2018

CITY OF HAMILTON
Building Division

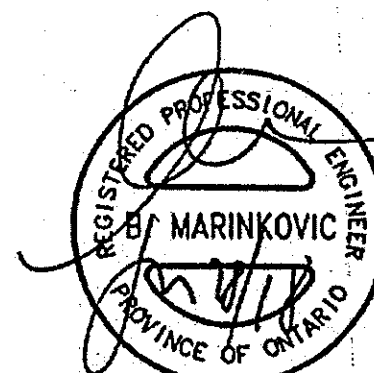
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These drawings and/or specification have been reviewed by
[Signature] DATE July 19/18

[Signature]
FOR CHIEF BUILDING OFFICIAL



STRUDET INC.
FOR STRUCTURE ONLY

2012 CODE
COMPLIANCE PACKAGE A1

SK2 (Garage to Garage)

9	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.				HIGHGROVE	-	project no. 16036	
8	-	-	qualification information							
7	-	-	Richard Vink							
6	-	-	signature							
5	ISSUED,	JUN 26 /18	GW	name	24488	project name	municipality			
4	ISSUED,	APR 16 /18	GW	registration information	BON	RUSSELL GARDENS PH.2	WATERDOWN			
3	REVISED PER CITY COMMENTS,	MAR 08 /18	GW	VAS Design Inc.	42658	date				
2	ISSUED FOR PERMIT,	SEP 29 /17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work or designs are not to be copied.		APRIL 2018	STEEL POST AT GARAGE PARTYWALL		drawing no.	
1	ISSUED FOR PRICING,	AUG 22 /17	GW	date		drawn by	checked by	scale	file name	
no.	description					GW	-	Not to Scale	16036-GP-STD_DETAILS_A1	
					30PA Wilson Avenue Toronto ON M4H 1S8 + 416.630.2235 + 416.630.4782 va3design.com		16036-GP-STD_DETAILS_A1			14A

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