

Block 206

2264 SF.

**STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS**  
 8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS  
 20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.  
 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.  
 FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS  
 24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.  
**FOOTINGS ON ENGINEERED FILL**  
 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.  
 BELOW EXTERIOR WALLS.  
 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.  
 BELOW PARTY WALLS.  
 (REFER TO ENGINEER FILL FOOTING DETAIL.)

**ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY**  
 ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

**PAD FOOTINGS**  
 120 KPa NATIVE SOIL 80 KPa ENGINEERED FILL SOIL  
 F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD  
 F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD  
 F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD  
 F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD  
 F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD  
 (REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

**VENEER CUT**  
 WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

**EXPOSED CONCRETE (FLATWORK)**  
 ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.

**BRICK VENEER LINTELS (WL)**  
 WL1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x6.0L) + 2-2"x8" SPR. No.2  
 WL2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L) + 2-2"x8" SPR. No.2  
 WL3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x10" SPR. No.2  
 WL4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L) + 2-2"x12" SPR. No.2  
 WL5 = 6" x 4" x 3/8" L (150x100x10.0L) + 2-2"x12" SPR. No.2  
 WL6 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x12" SPR. No.2  
 WL7 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x12" SPR. No.2  
 WL8 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x10" SPR. No.2  
 WL9 = 6" x 4" x 3/8" L (150x100x10.0L) + 3-2"x10" SPR. No.2

**WOOD LINTELS AND BEAMS (WB)**  
 WB1 = 2-2"x8" (2-38x184) SPR. No.2  
 WB2 = 3-2"x8" (3-38x184) SPR. No.2  
 WB3 = 2-2"x10" (2-38x235) SPR. No.2  
 WB4 = 3-2"x10" (3-38x235) SPR. No.2  
 WB5 = 2-2"x12" (2-38x286) SPR. No.2  
 WB6 = 3-2"x12" (3-38x286) SPR. No.2  
 WB7 = 5-2"x12" (5-38x286) SPR. No.2  
 WB11 = 4-2"x10" (4-38x235) SPR. No.2  
 WB12 = 4-2"x12" (4-38x286) SPR. No.2

**LAMINATED VENEER LUMBER (LVL) BEAMS**  
 LVL1A = 1-1 3/4"x7 1/4" (1-45x184)  
 LVL1 = 2-1 3/4"x7 1/4" (2-45x184)  
 LVL2 = 3-1 3/4"x7 1/4" (3-45x184)  
 LVL3 = 4-1 3/4"x7 1/4" (4-45x184)  
 LVL4A = 1-1 3/4"x9 1/2" (1-45x240)  
 LVL4 = 2-1 3/4"x9 1/2" (2-45x240)  
 LVL5 = 3-1 3/4"x9 1/2" (3-45x240)  
 LVL5A = 4-1 3/4"x9 1/2" (4-45x240)  
 LVL6A = 1-1 3/4"x11 7/8" (1-45x300)  
 LVL6 = 2-1 3/4"x11 7/8" (2-45x300)  
 LVL7 = 3-1 3/4"x11 7/8" (3-45x300)  
 LVL8 = 2-1 3/4"x14" (2-45x356)  
 LVL9 = 3-1 3/4"x14" (3-45x356)

**LOOSE STEEL LINTELS (L)**  
 L1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x6.0L)  
 L2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L)  
 L3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L)  
 L4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L)  
 L5 = 6" x 4" x 3/8" L (150x100x10.0L)  
 L6 = 7" x 4" x 3/8" L (180x100x10.0L)

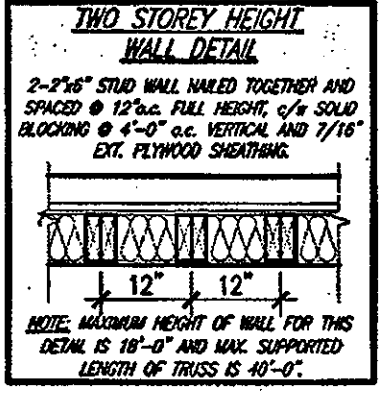
DOOR SCHEDULE				
NO.	WIDTH	HEIGHT 8' TO 9' CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	INSULATED EXT. SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

**CERAMIC TILE FOR CONVENTIONAL LUMBER (CBC 9.30.6)**  
 SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.  
 PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0", 2 ROWS FOR SPANS GREATER THAN 7'0".

**NOTE: ROOF FRAMING**  
 REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

**NOTE: ENGINEERED FLOOR FRAMING**  
 REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

**CITY OF HAMILTON**  
 BUILDING DIVISION  
 Planning & Development Department  
 NOV 16 2017  
 REC BY \_\_\_\_\_ DATE \_\_\_\_\_  
 REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_



**STRUDET INC.**  
 FOR STRUCTURE ONLY

**UNINSULATED OPENINGS (PER CBC SB-12.3.1.1(7))**

HIGHGROVE 5E AND ELEV. 1			
ENERGY EFFICIENCY - CBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	490.03 S.F.	113.42 S.F.	23.15 %
LEFT SIDE	1012.83 S.F.	58.07 S.F.	5.73 %
RIGHT SIDE	1012.83 S.F.	0 S.F.	0.00 %
REAR	490.03 S.F.	132.91 S.F.	27.12 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		4.5 S.F.	
TOTAL SQ. FT.	3005.72 S.F.	299.90 S.F.	9.98 %
TOTAL SQ. M.	279.24 S.M.	27.86 S.M.	9.98 %

**UNINSULATED OPENINGS (PER CBC SB-12.3.1.1(7))**

HIGHGROVE 5E AND ELEV. 2			
ENERGY EFFICIENCY - CBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	490.03 S.F.	113.67 S.F.	23.20 %
LEFT SIDE	1012.83 S.F.	58.07 S.F.	5.73 %
RIGHT SIDE	1012.83 S.F.	0 S.F.	0.00 %
REAR	490.03 S.F.	132.91 S.F.	27.12 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		4.5 S.F.	
TOTAL SQ. FT.	3005.72 S.F.	300.15 S.F.	9.99 %
TOTAL SQ. M.	279.24 S.M.	27.88 S.M.	9.99 %

**UNINSULATED OPENINGS (PER CBC SB-12.3.1.1(7))**

HIGHGROVE 5E AND ELEV. 3			
ENERGY EFFICIENCY - CBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	490.03 S.F.	112.68 S.F.	22.99 %
LEFT SIDE	1012.83 S.F.	58.07 S.F.	5.73 %
RIGHT SIDE	1012.83 S.F.	0 S.F.	0.00 %
REAR	490.03 S.F.	132.91 S.F.	27.12 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		4.5 S.F.	
TOTAL SQ. FT.	3005.72 S.F.	299.16 S.F.	9.95 %
TOTAL SQ. M.	279.24 S.M.	27.79 S.M.	9.95 %

**CITY OF HAMILTON**  
 Building Division

Permit No. 17-131957

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL DATE 6/22/17

**AREA CALCULATIONS ELEV '1'**

GROUND FLOOR AREA	1030 SF
SECOND FLOOR AREA	1234 SF
<b>TOTAL FLOOR AREA</b>	<b>2264 SF</b>
	(210.33 m <sup>2</sup> )
FIRST FLOOR OPEN AREA	00 SF
SECOND FLOOR OPEN AREA	00 SF
ADD TOTAL OPEN AREAS	+00 SF
ADD FINISHED BSMT AREA	+00 SF
<b>GROSS FLOOR AREA</b>	<b>2264 SF</b>
	(210.33 m <sup>2</sup> )
GROUND FLOOR COVERAGE	1030 SF
GARAGE COVERAGE/AREA	220 SF
PORCH COVERAGE/AREA	90 SF
<b>COVERAGE W/ PORCH</b>	<b>1340 SF</b>
	(124.49 m <sup>2</sup> )
<b>COVERAGE W/O PORCH</b>	<b>1250 SF</b>
	(116.13 m <sup>2</sup> )

**AREA CALCULATIONS ELEV '2'**

GROUND FLOOR AREA	1030 SF
SECOND FLOOR AREA	1234 SF
<b>TOTAL FLOOR AREA</b>	<b>2264 SF</b>
	(210.33 m <sup>2</sup> )
FIRST FLOOR OPEN AREA	00 SF
SECOND FLOOR OPEN AREA	00 SF
ADD TOTAL OPEN AREAS	+00 SF
ADD FINISHED BSMT AREA	+00 SF
<b>GROSS FLOOR AREA</b>	<b>2264 SF</b>
	(210.33 m <sup>2</sup> )
GROUND FLOOR COVERAGE	1030 SF
GARAGE COVERAGE/AREA	220 SF
PORCH COVERAGE/AREA	102 SF
<b>COVERAGE W/ PORCH</b>	<b>1352 SF</b>
	(124.61 m <sup>2</sup> )
<b>COVERAGE W/O PORCH</b>	<b>1250 SF</b>
	(116.13 m <sup>2</sup> )

**AREA CALCULATIONS ELEV '3/3A/3B'**

GROUND FLOOR AREA	1024 SF
SECOND FLOOR AREA	1228 SF
<b>TOTAL FLOOR AREA</b>	<b>2252 SF</b>
	(209.22 m <sup>2</sup> )
FIRST FLOOR OPEN AREA	00 SF
SECOND FLOOR OPEN AREA	00 SF
ADD TOTAL OPEN AREAS	+00 SF
ADD FINISHED BSMT AREA	+00 SF
<b>GROSS FLOOR AREA</b>	<b>2252 SF</b>
	(209.22 m <sup>2</sup> )
GROUND FLOOR COVERAGE	1024 SF
GARAGE COVERAGE/AREA	220 SF
PORCH COVERAGE/AREA	86 SF
<b>COVERAGE W/ PORCH</b>	<b>1340 SF</b>
	(124.50 m <sup>2</sup> )
<b>COVERAGE W/O PORCH</b>	<b>1244 SF</b>
	(115.57 m <sup>2</sup> )

OCT 04 2017

**HIGHGROVE 5E**  
 COMPLIANCE PACKAGE A1

18					
17					
16					
15					
14					
13					
12					
11					
10					
9					
8					
7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW		
6	ISSUED FOR PRICING.	AUG. 23/17	GW		
5	STUCCO REPLACED.	JUL. 05/17	GW		
4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT		
3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 14/17	GW		
2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW		
1	PRELIMINARY REVIEW.	APR. 12/17	GW		
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
 qualification information  
 Richard Vink 24483  
 name  
 registration information  
 VAS Design Inc. 42853

**VAS DESIGN**  
 255 Consumers Rd Suite 120  
 Toronto ON M2G 1R4  
 t 416.630.2255 f 416.630.4782  
 vasdesign.com

**Greenpark** HIGHGROVE 5E

project name: RUSSELL GARDENS PH.2 municipality: WATERDOWN, ON. project no.: 16036

date: MARCH 2017 checked by: [signature] scale: 3/16" = 1'-0"

drawn by: [signature] title: TYPICAL NOTES & AREAS

16036-HIGHGROVE 5E

CSO - [signature]

**AO**

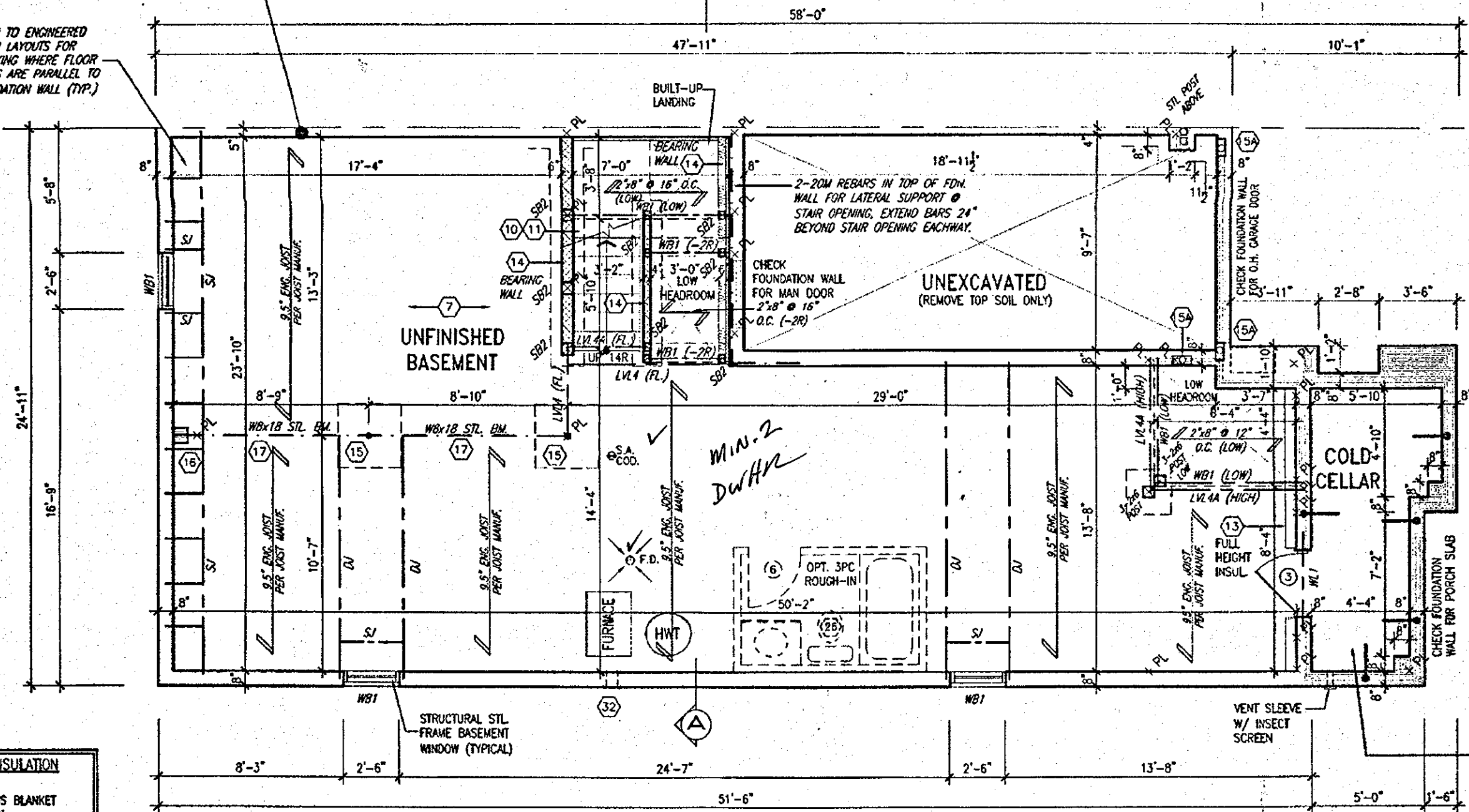
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2264 SF.

CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department  
MAY 24 2018  
REC BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF DWO \_\_\_\_\_ DATE \_\_\_\_\_

PARTY WALL AT GARAGE SIDE CONSTRUCTION  
• REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1, SK2 OR SK3 PARTY WALL IS TO BE BUILT.  
• REFER TO DETAIL PAGES 4, 4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

REFER TO ENGINEERED FLOOR LAYOUTS FOR BLOCKING WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)



BASEMENT PLAN ELEV. '1'

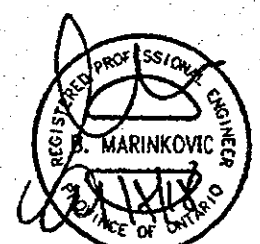
BASEMENT WALL INSULATION (TYP) 13  
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT STAIR/SUNKEN AREAS where FRAMING IS REQ'D. FOR SUPPORT  
-2" (R10) CONTINUOUS INSULATION (RIGID OR SPRAY FOAM).  
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION.  
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY: \_\_\_\_\_  
DATE: Apr. 20, 2018  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



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CITY OF HAMILTON  
Building Division

Permit No. 17-131957

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE  
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by  
*[Signature]* 6/22/18  
FOR CHIEF BUILDING OFFICIAL DATE

APR 17 2018

HIGHGROVE 5E  
COMPLIANCE PACKAGE A1

18			3	REVISED.	APR. 16/18	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17			8	REV. PER CITY COMMENTS. REISSUED.	FEB. 06/18	GW	
16			7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW	qualification information
15			6	ISSUED FOR PRICING.	AUG. 23/17	GW	Richard Vink
14			5	STUCCO REPLACED.	JUN 05/17	GW	name
13			4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT	registration information
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW	VA3 Design Inc.
11			2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW	42653
10			1	PRELIMINARY REVIEW.	APR. 12/17	GW	
no.	description	date	by	no.	description	date	by

**VA3 DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
416.630.2255 / 416.630.4782  
va3design.com

**Greenpark.**  
project name: RUSSELL GARDENS PH.2  
municipality: WATERDOWN, ON.  
date: MARCH 2017  
checked by: \_\_\_\_\_  
scale: 3/16" = 1'-0"  
16036-HIGHGROVE 5E

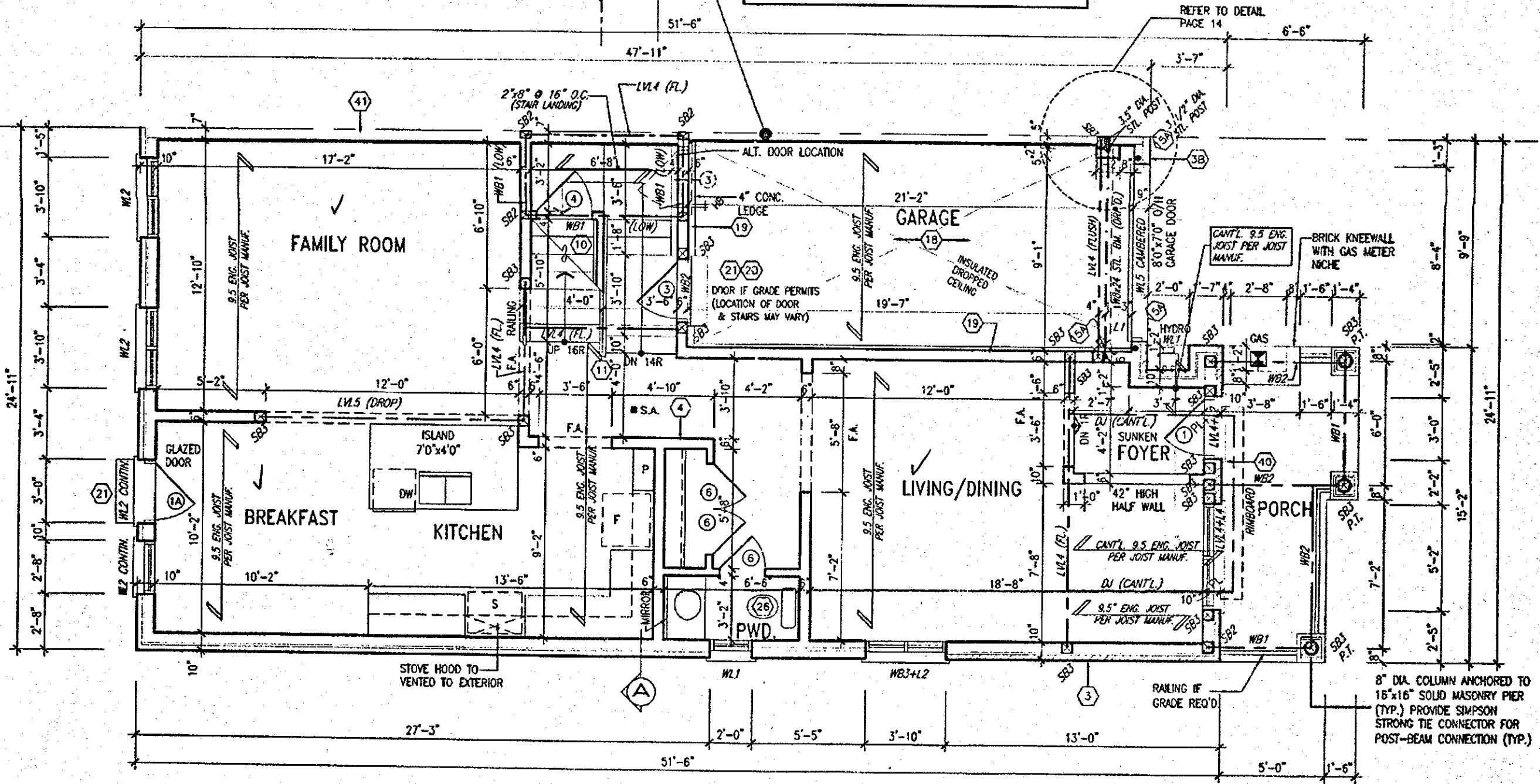
**HIGHGROVE 5E**  
project no.: 16036  
drawing no.: A1

COLD STORAGE SLAB  
5" REINFORCED CONCRETE SLAB WITH 10M BARS @ 7'7/8"o.c. EACH WAY WITH MIN. 1 1/4" CONC. COVER AND 10M BENT (24"X24") DOWELS SPACED NOT MORE THAN 23 5/8"o.c.  
VENT W/ SCREEN REQ'D

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2264 SF.

PARTY WALL AT GARAGE SIDE CONSTRUCTION  
• REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1, SK2 OR SK3 PARTY WALL IS TO BE BUILT.  
• REFER TO DETAIL PAGES 4, 4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.



GROUND FLOOR PLAN ELEV. '1'

CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department  
MAY 24 2018  
REC BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

CITY OF HAMILTON  
Building Division  
Permit No. 17-131957  
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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW  
These drawings and/or specifications have been reviewed by  
FOR CHIEF BUILDING OFFICIAL DATE 6/22/18

APR 17 2018

HIGHGROVE 5E  
COMPLIANCE PACKAGE A1

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STRUDET INC.  
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ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.  
NOTE: ROOF FRAMING REFER TO ROOF TRUSS SHOP DRAWINGS AND TOWNHOUSE BLOCK PLANS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.  
ENGINEERED FLOOR FRAMING INFO REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY: [Signature]  
DATE: Apr 20, 2018  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

no	description	date	by	no	description	date	by
18				9	REVISED.	APR. 16/18	GW
17				8	REV. PER CITY COMMENTS. REISSUED.	FEB 06/18	GW
16				7	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	GW
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13				4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW
10				1	PRELIMINARY REVIEW.	APR. 12/17	GW
no	description	date	by	no	description	date	by

The stamped has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
qualification information  
Richard Vink 24483  
signature  
name registration information  
VA3 Design Inc. 42658  
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

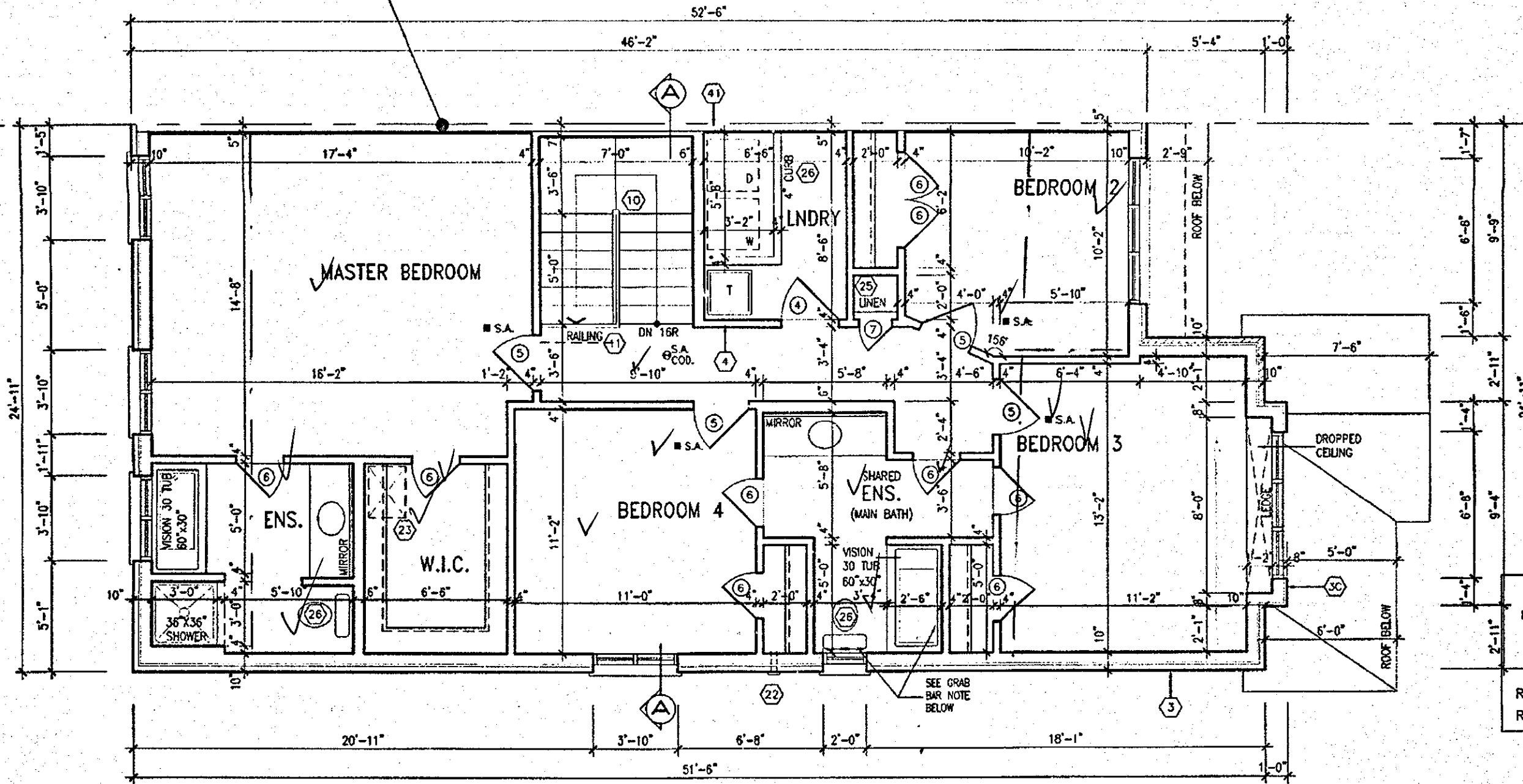
VA3 DESIGN  
255 Consumers Rd Suite 120  
Toronto ON M2L 1R4  
1 416.630.2255 | 416.630.4782  
va3design.com

Greenpark HIGHGROVE 5E  
PROJECT NAME: RUSSELL GARDENS PH.2 WATERDOWN, ON. PROJECT NO: 16036  
DATE: MARCH 2017 CHECKED BY: GW 3/16" = 1'-0"  
GROUND FLOOR PLAN ELEV. '1'  
DRAWING NO: A2



2264 SF.

**PARTY WALL CONSTRUCTION (UPPER FLOOR)**  
 • SUBSTITUTE 2"x6" STUDS WHERE ADDITIONAL BEARING IS REQUIRED.  
 • REFER TO BLOCK PLANS.



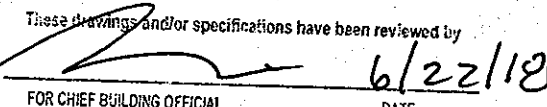
SECOND FLOOR PLAN ELEV. '1'

CITY OF HAMILTON  
 BUILDING DIVISION  
 Planning & Development Department  
 MAY 24 2018  
 REC BY \_\_\_\_\_ DATE \_\_\_\_\_  
 REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

CITY OF HAMILTON  
 Building Division

Permit No. 17-131957

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE  
 THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH  
 THE CITY OF HAMILTON BUILDING CODE AND ALL OTHER APPLICABLE LAW


These drawings and/or specifications have been reviewed by  
  
 FOR CHIEF BUILDING OFFICIAL DATE 6/22/18

APR 17 2018

**HIGHGROVE 5E**  
 COMPLIANCE PACKAGE A1

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JOHN G. WILLIAMS LTD., ARCHITECT  
 ARCHITECTURAL CONTROL REVIEW  
 AND APPROVAL  
 APPROVED BY:   
 DATE: Apr. 20 2018  
 This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

**NOTE: ROOF FRAMING**  
 REFER TO ROOF TRUSS SHOP DRAWINGS AND TOWNHOUSE BLOCK PLANS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

no.	description	date	by	no.	description	date	by
18				9	REVISED	APR 16/18	GW
17				8	REV. PER CITY COMMENTS. ISSUED.	FEB 05/18	GW
16				7	REVISED. ISSUED FOR PERMIT.	SEP. 29/17	GW
15				6	ISSUED FOR PRICING.	AUG 23/17	GW
14				5	STRUCTO REPLACED.	JUL 05/17	GW
13				4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS.	JUN 14/17	GW
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW
10				1	PRELIMINARY REVIEW.	APR. 12/17	GW
9							

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
 qualification information  
 Richard Vink 24483  
 name registration information BCN  
 VAS Design Inc. 42658  
 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

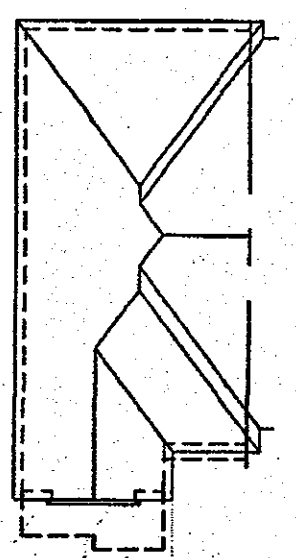
**VA3 DESIGN**  
 255 Consumers Rd Suite 120  
 Toronto, ON M2J 1R4  
 416.630.2255 | 416.630.4782  
 vasdesign.com

**Greenpark.**  
 project name: RUSSELL GARDENS PH.2 municipality: WATERDOWN, ON.  
 date: MARCH 2017 checked by: WT scale: 3/16" = 1'-0"  
 drawing no. 16035-HIGHGROVE 5E

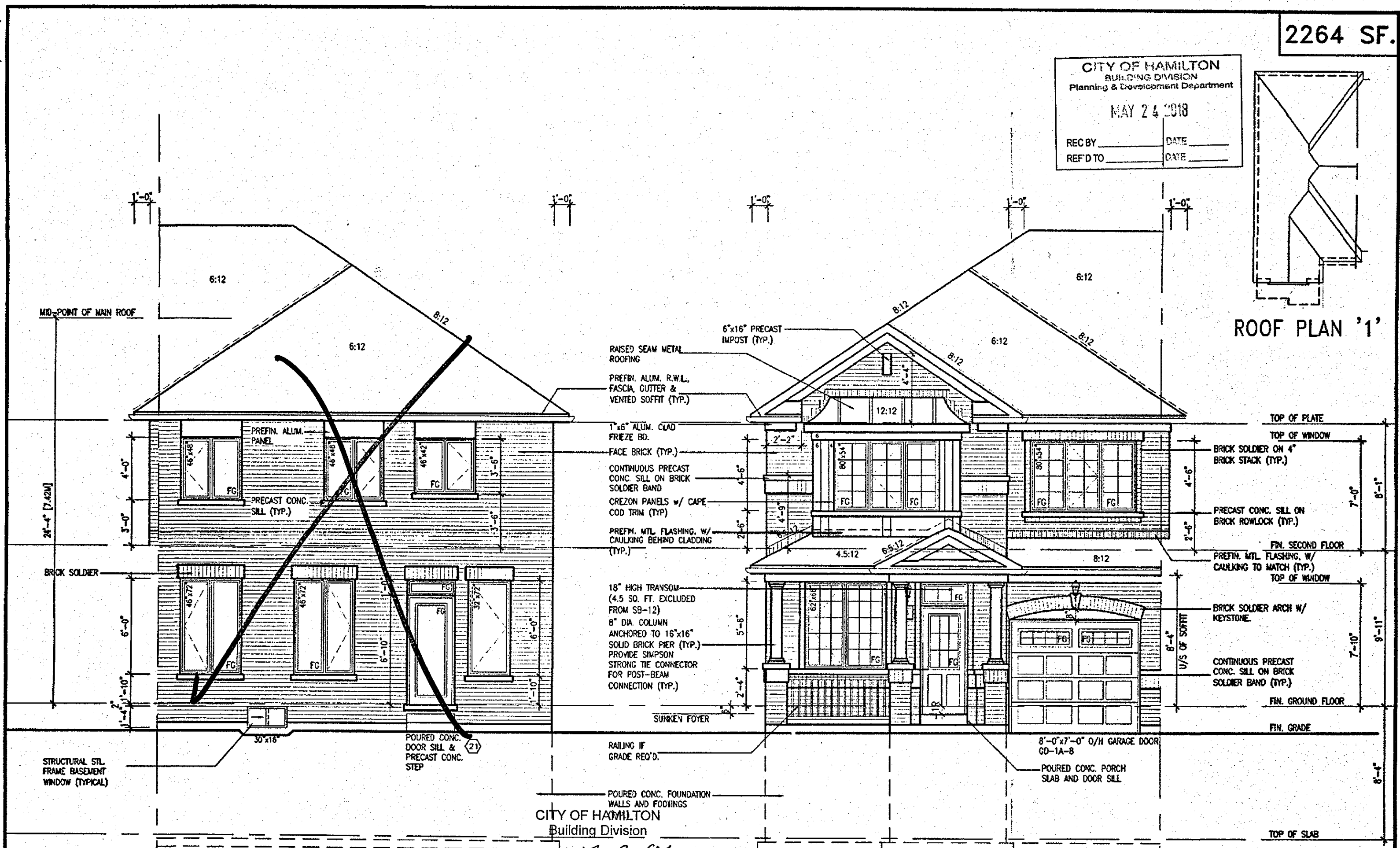
**HIGHGROVE 5E**  
 project no. 16036  
 drawing no. A3

2264 SF.

CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department  
MAY 24 2018  
REC BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
REFD TO: \_\_\_\_\_ DATE: \_\_\_\_\_



ROOF PLAN '1'



REAR ELEVATION '1'

FRONT ELEVATION '1'

APR 17 2018

HIGHGROVE 5E  
COMPLIANCE PACKAGE A1

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY: \_\_\_\_\_  
DATE: APR. 20, 2018  
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CITY OF HAMILTON  
Building Division

Permit No. 17-131597

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These drawings and/or specifications have been reviewed by  
*[Signature]* 6/22/18  
FOR CHIEF BUILDING OFFICIAL DATE

no.	description	date	by	no.	description	date	by
18				9	REVISED.	APR. 16/18	GW
17				3	REV. PER CITY COMMENTS, REISSUED.	FEB. 06/18	GW
16				7	REVISED, ISSUED FOR PERMIT.	SEP. 28/17	GW
15				6	ISSUED FOR PRICING.	AUG. 23/17	GW
14				5	STUCCO REPLACED.	JUL. 05/17	GW
13				4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
12				3	CHANGED JOIST DEPTH / FLOOR HEIGHTS	JUN. 14/17	GW
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	GW
10				1	PRELIMINARY REVIEW.	APR. 12/17	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
Richard Vink 24488  
signature  
V&A Design Inc. 42658  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
416.630.2255 | 416.630.4782  
va3design.com

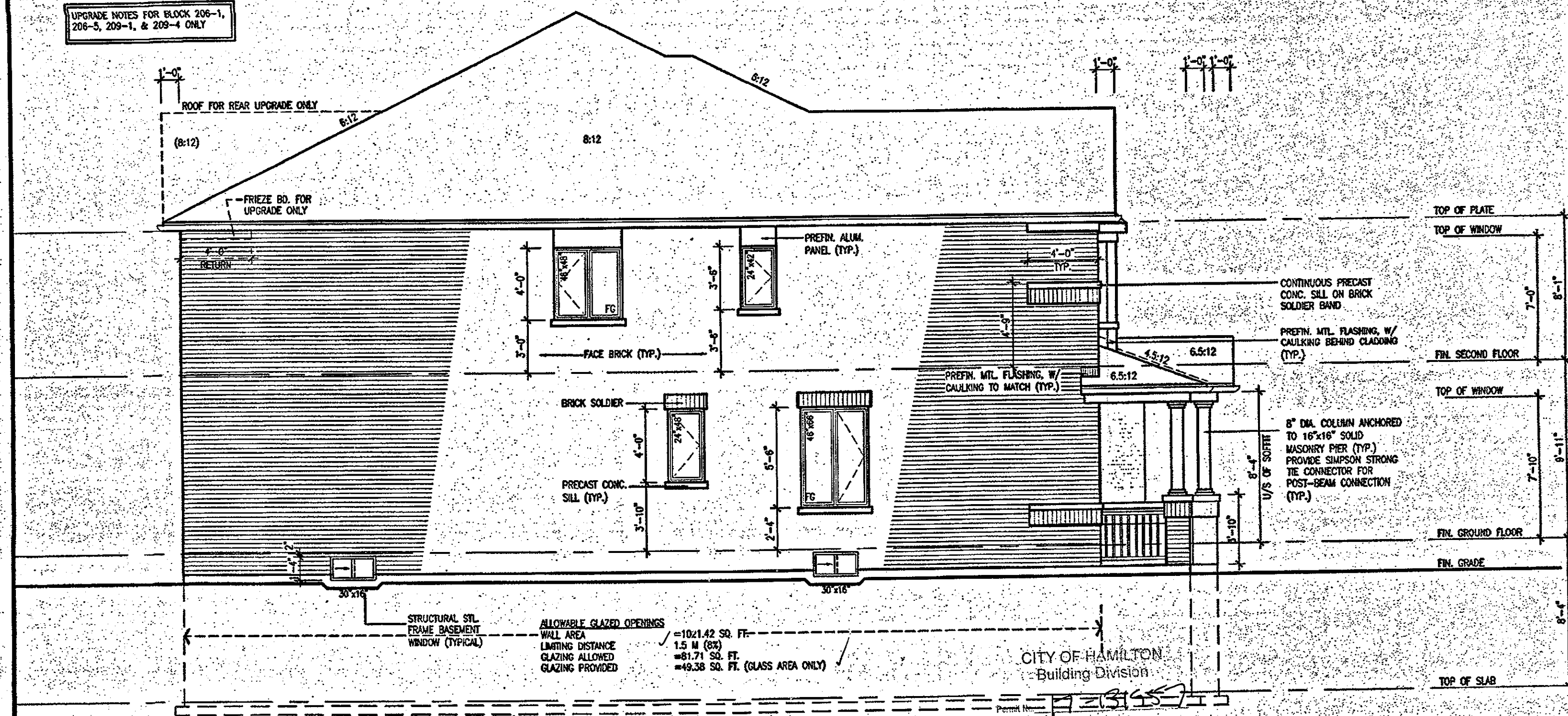
**V&A DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
416.630.2255 | 416.630.4782  
va3design.com

**Greenpark.** HIGHGROVE 5E  
project name: RUSSELL GARDENS PH.2 WATERDOWN, ON.  
project no.: 16036  
date: MAR 29 2017  
checked by: GW  
scale: 3/16" = 1'-0"  
16036-HIGHGROVE 5E-REV  
drawing no.: A4

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2264 SF.

UPGRADE NOTES FOR BLOCK 206-1, 206-5, 209-1, & 209-4 ONLY



LEFT SIDE ELEVATION '1'

ALLOWABLE GLAZED OPENINGS  
WALL AREA = 1021.42 SQ. FT.  
LIMITING DISTANCE 1.5 M (8%)  
GLAZING ALLOWED = 81.71 SQ. FT.  
GLAZING PROVIDED = 49.38 SQ. FT. (GLASS AREA ONLY)

CITY OF HAMILTON  
Building Division

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FOR CHIEF BUILDING OFFICER USE ONLY

OCT 04 2017

HIGHGROVE 5E  
COMPLIANCE PACKAGE A1

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ARCHITECTURAL REVIEW & APPROVAL  
OCT 16 2017  
John G. Williams Limited, Architect

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7	REVISED, ISSUED FOR PERMIT.	SEP 28/17	GW
15				6	ISSUED FOR PRICING.	AUG 23/17	GW
14				5	STUCCO REPLACED.	JUL 05/17	GW
13				4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW
11				2	REVISED PER CLIENT COMMENTS.	APR 28/17	GW
10				1	PRELIMINARY REVIEW.	APR 12/17	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
qualification information  
Richard Vink 24483  
some registration information  
V&A Design Inc. 42653  
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

**V&A DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
1 416.630.2255 f 416.630.4782  
va3design.com

**Greenpark.** HIGHGROVE 5E

project name: RUSSELL GARDENS PH.2 WATERDOWN, ON. project no. 16036

date: MARCH 2017 drawing no. LEFT SIDE ELEVATION '1'

drawn by: WT checked by: GW scale: 3/16" = 1'-0" sheet no. 16036-HIGHGROVE 5E

DATE: MARCH 2017 CITY: WATERDOWN, ON. PROJECT: RUSSELL GARDENS PH.2 SHEET: LEFT SIDE ELEVATION '1' OF 135

**A5**

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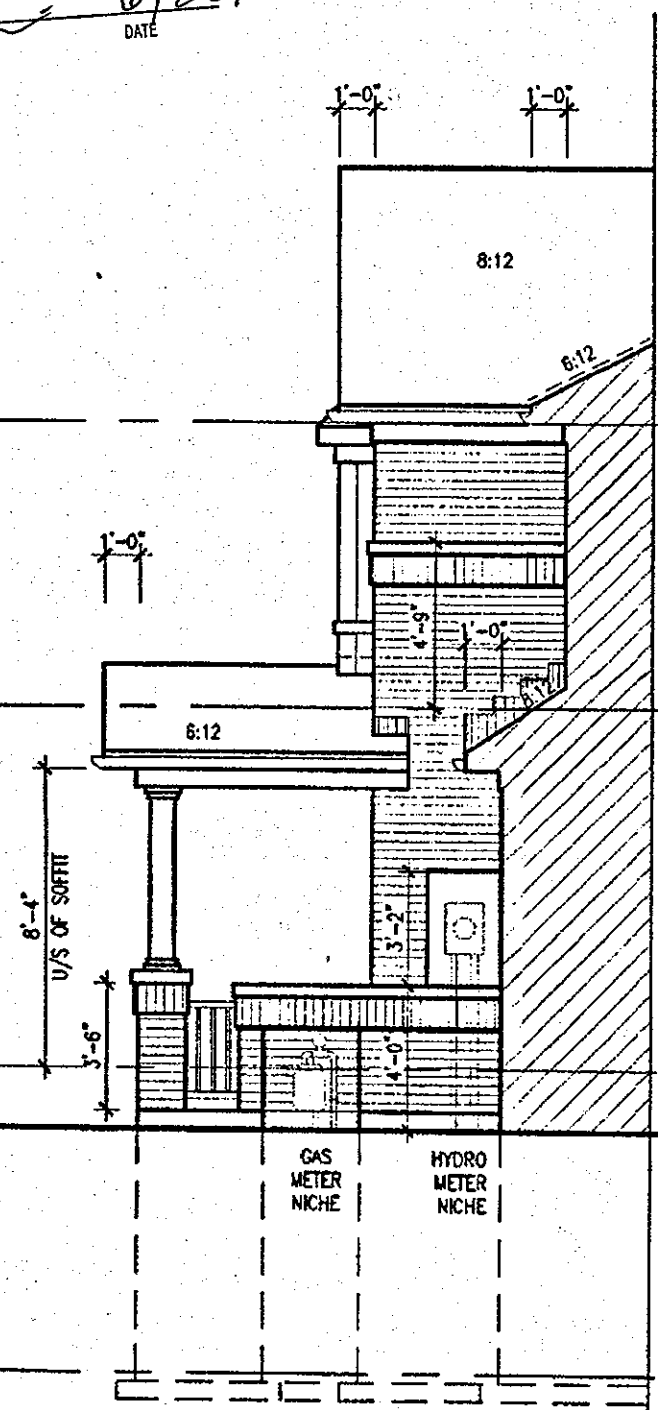
CITY OF HAMILTON  
Building Division

Permit No. 17-131597

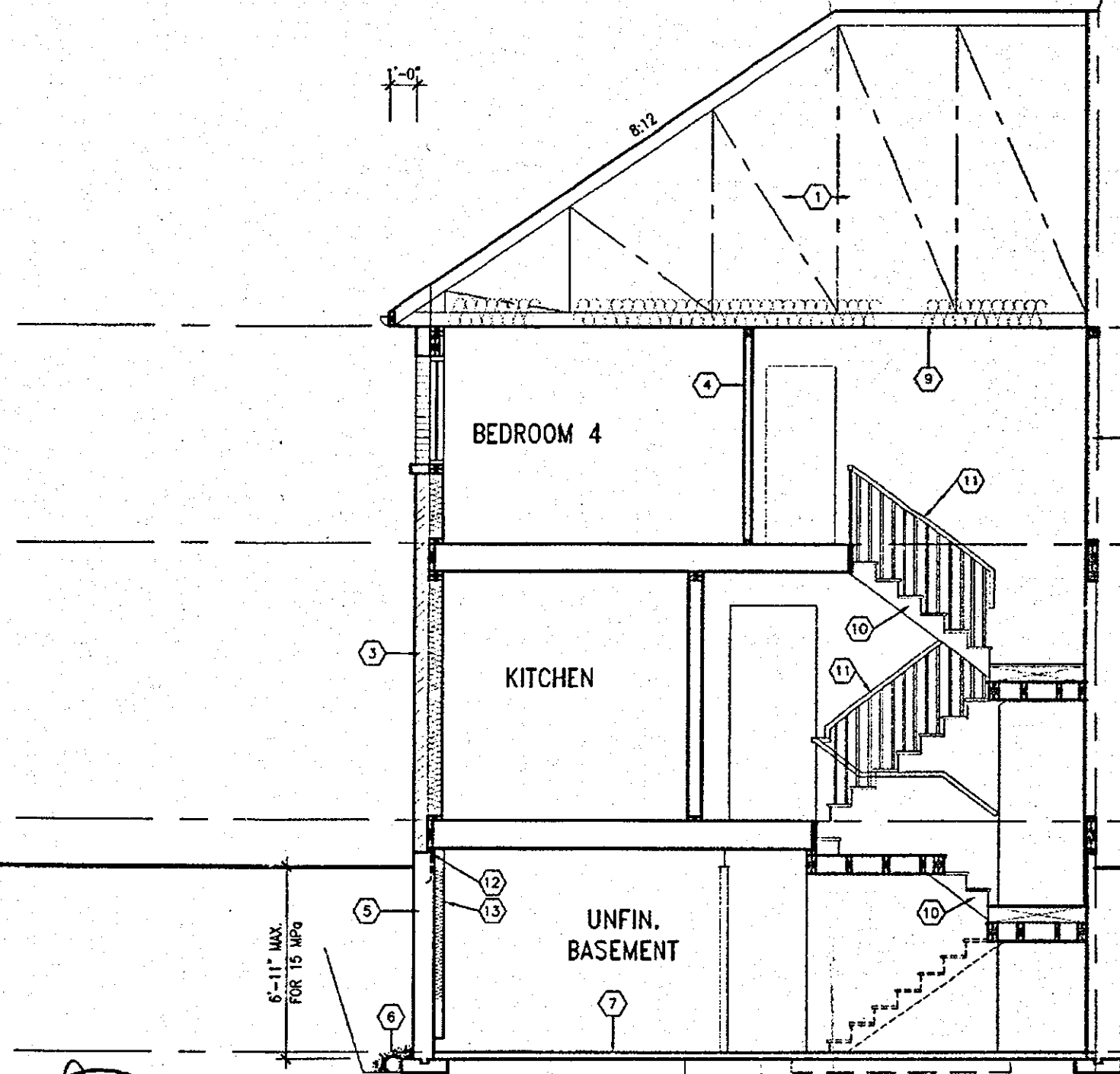
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE  
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by  
*[Signature]*  
FOR CHIEF BUILDING OFFICIAL DATE 6/22/18

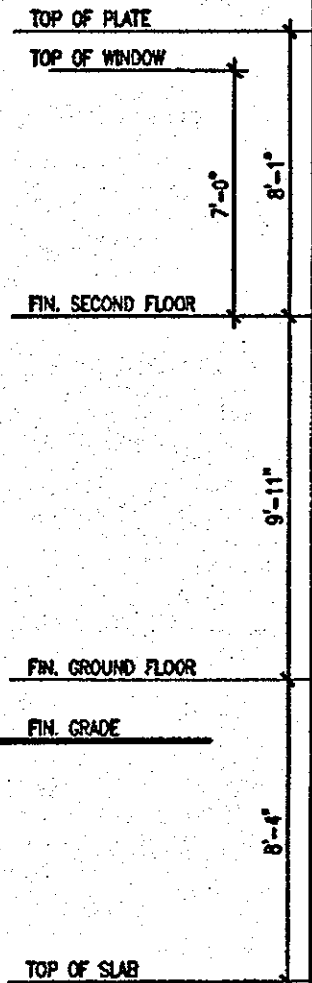
CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department  
MAY 24 2018  
REC BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_



SECTION B ELEV. 1



SECTION A-A ELEV. '1'



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STRUDET INC.  
FOR STRUCTURE ONLY

APR 17 2018

HIGHGROVE 5E  
COMPLIANCE PACKAGE A1

no.	description	date	by	no.	description	date	by
18				5	REVISED	APR 16/18	GW
17				8	REV. PER CITY COMMENTS, REISSUED.	FEB 05/18	GW
16				7	REVISED, ISSUED FOR PERMIT.	SEP 28/17	GW
15				6	ISSUED FOR PRICING.	AUG 23/17	GW
14				5	STUCCO REPLACED.	JUL 05/17	GW
13				4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS.	JUN 14/17	GW
11				2	REVISED PER CLIENT COMMENTS.	APR 28/17	GW
10				1	PRELIMINARY REVIEW.	APR 12/17	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
qualification information  
Richard Vink 24481  
signature  
name registration information  
VAS Design Inc. 42658

**VAS DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
vasdesign.com

**Greenpark.**  
project name: RUSSELL GARDENS PH.2  
municipality: WATERDOWN, ON.  
date: MARCH 2017  
checked by: CW  
scale: 3/16" = 1'-0"  
16036-HIGHGROVE 5E-NEW

**HIGHGROVE 5E**  
project no. 16036  
drawing no. **A6**

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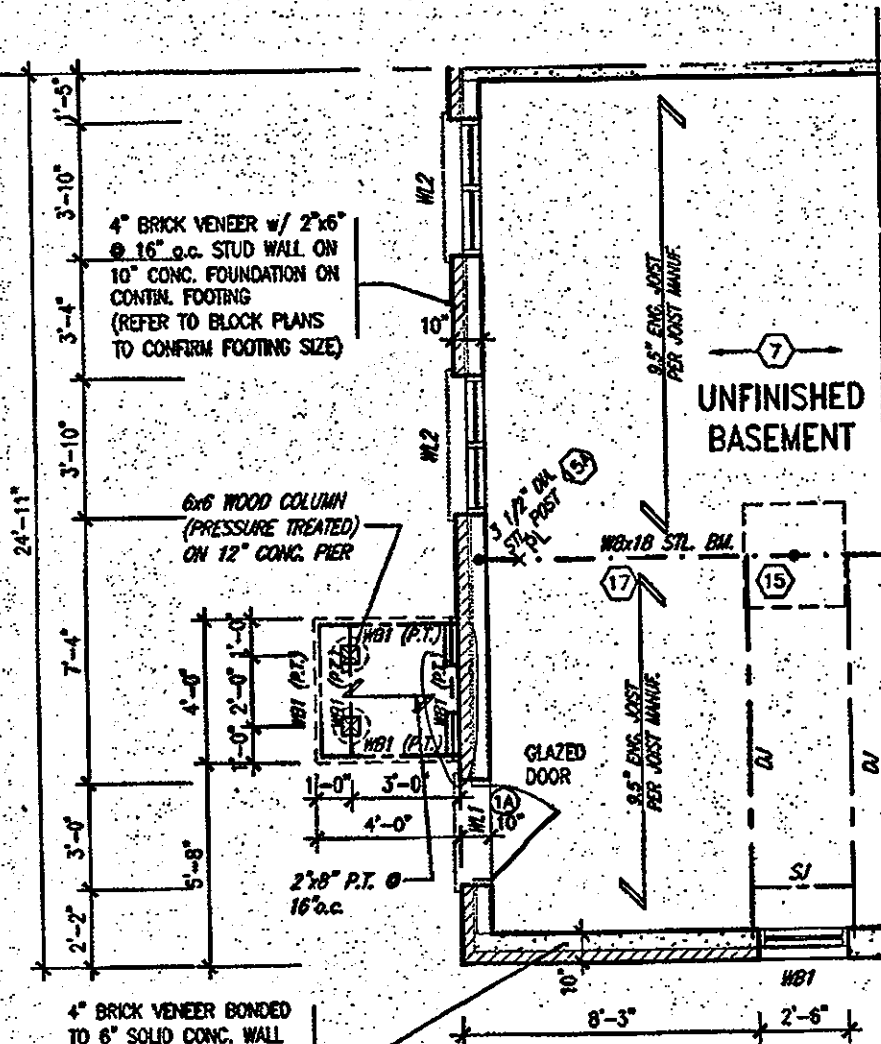
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

ARCHITECTURAL REVIEW & APPROVAL

OCT 16 2017

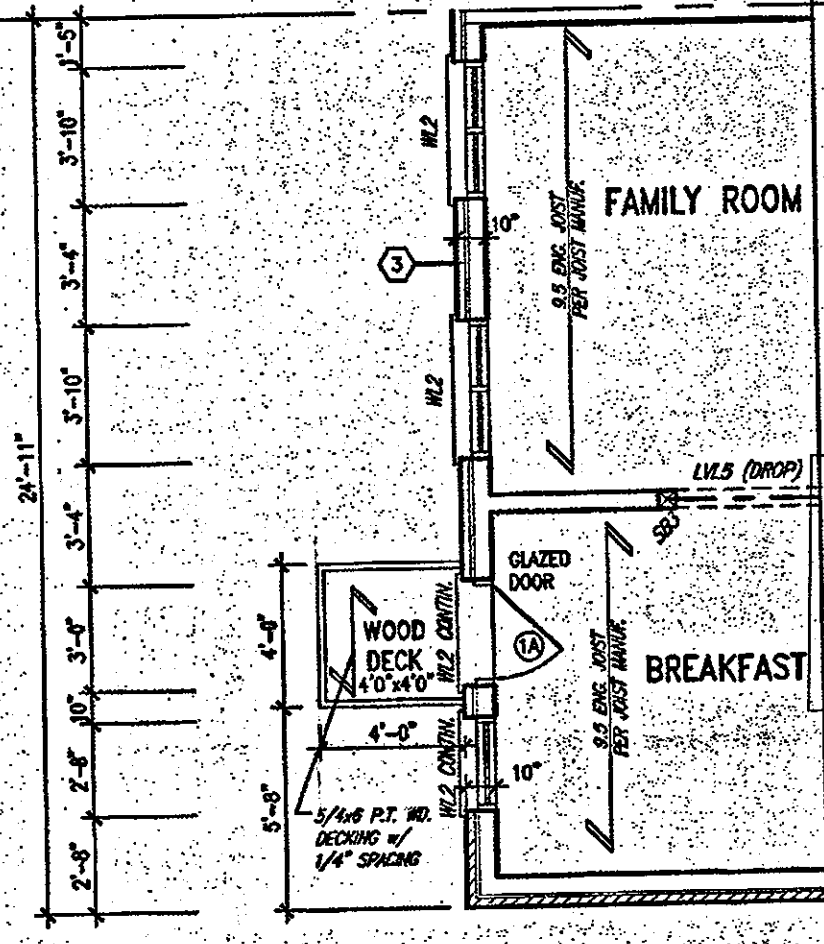
John G. Williams Limited, Architect

VENEER CUT WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.



PART. BASEMENT PLAN - ELEV. '1/2/3' W.O.B CONDITION

LOOK-OUT WOOD DECK DETAILS REFER TO STANDARD DETAIL PACKAGE (PAGE 6-2) FOR ADDITIONAL WOOD DECK INFORMATION.



PART. GROUND FLOOR PLAN - ELEV. '1/2/3' W.O.B CONDITION

CITY OF HAMILTON BUILDING DIVISION Planning & Development Department  
NOV 16 2017  
REC BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
REF'D TO: \_\_\_\_\_ DATE: \_\_\_\_\_

CITY OF HAMILTON Building Division

Permit No. 17-131957

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These drawings and specifications have been reviewed by:

*[Signature]* FOR CHIEF BUILDING OFFICER



STRUDET INC. FOR STRUCTURE ONLY

OCT 04 2017

HIGHGROVE 5E COMPLIANCE PACKAGE A1

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7	REVISED. ISSUED FOR PERMIT.	SEP 28/17	GW
15				6	ISSUED FOR PERMITS.	AUG 23/17	GW
14				5	STUCCO REPLACED.	JUL 05/17	GW
13				4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 14/17	GW
11				2	REVISED PER CLIENT COMMENTS.	APR 28/17	GW
10				1	PRELIMINARY REVIEW.	APR 12/17	GW

The undersigned has reviewed and takes responsibility for the design and has the qualifications and credits. The requirements set out in the Ontario Building Code to be a Designer.  
qualification information  
Richard Vitek 24488 BCN  
name  
signature  
registration information  
VAB Design Inc. 42658  
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



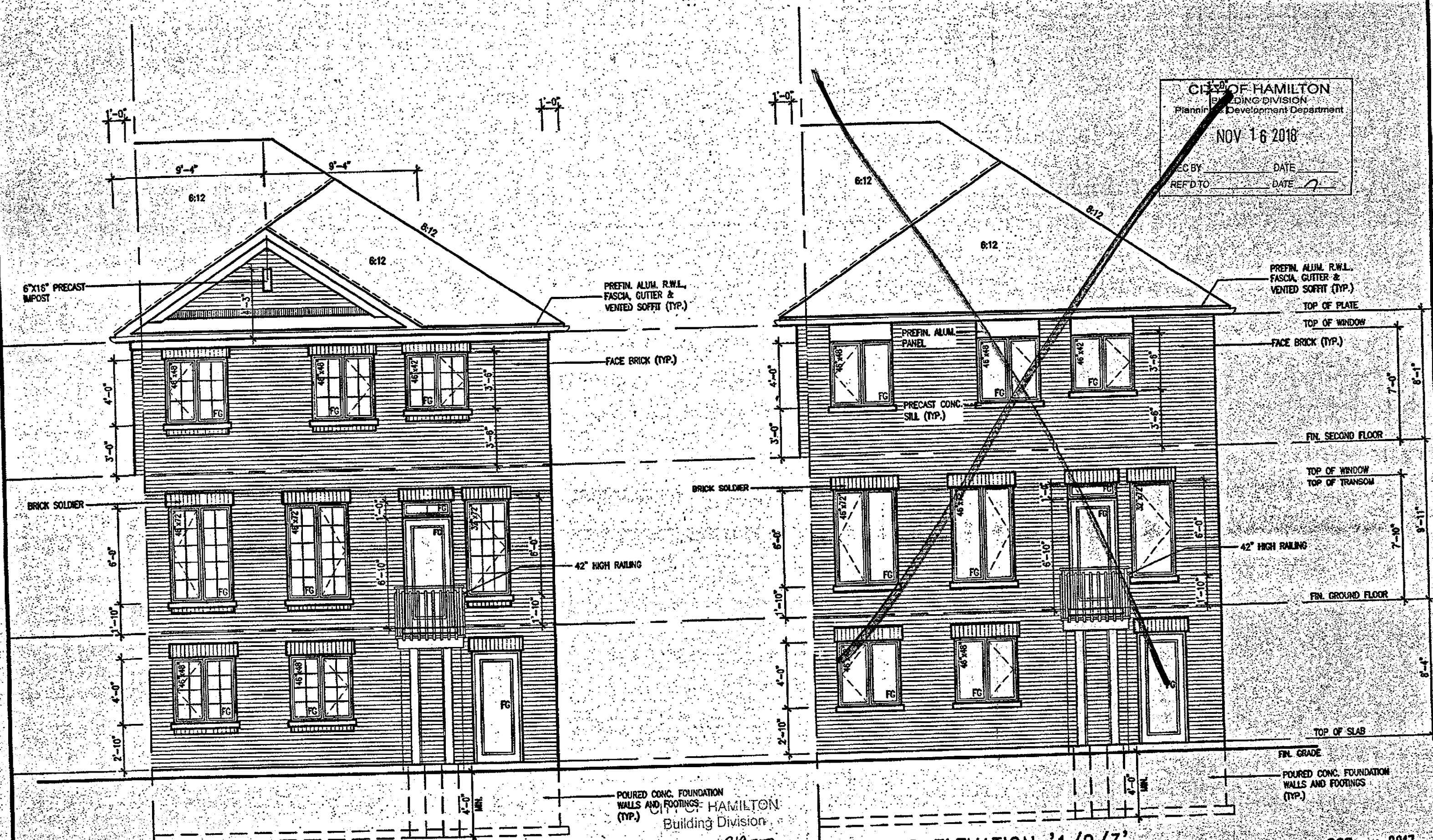
**Greenpark.** HIGHGROVE 5E  
project name: RUSSELL GARDENS PH.2 WATERDOWN, ON. project no. 16036  
date: MARCH 2017  
drawn by: GW  
scale: 3/16" = 1'-0"  
sheet no. 16036-HIGHGROVE 5E  
date: 16036-HIGHGROVE 5E.dwg - 1A - Sep 29 2017 - 1:35 PM  
group no. A12

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2264 SF.

CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department  
NOV 16 2018  
REC BY: DATE  
REFD TO: DATE



UPGRADED REAR ELEVATION '1'  
WOB CONDITION

REAR ELEVATION '1/2/3'  
WOB CONDITION

OCT 04 2017

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OCT 16 2017

John G. Williams Limited, Architect

CITY OF HAMILTON  
Building Division

Permit No. 17-131957  
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These drawings and/or specifications have been reviewed by

*Richard Vink* 6/22/18  
FOR CHIEF BUILDING OFFICIAL DATE

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17				8			
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10				1	PRELIMINARY REVIEW.	APR. 12/17	GW
9							

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qualification information  
name Richard Vink 24488  
signature  
registration information VAS Design Inc. 42658  
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**VAS DESIGN**  
235 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
416.630.2255 416.630.4782  
vasdesign.com

**Greenpark**  
Project name RUSSELL GARDENS PH.2 WATERDOWN, ON.  
date MARCH 2017  
checked by GW  
scale 3/16" = 1'-0"  
16036-HIGHGROVE SE  
DATE - 16/03/2017 11:05:06 AM  
16036-HIGHGROVE SE.dwg - FG - Sep 29 2017 - 1:35 PM

**HIGHGROVE 5E**  
COMPLIANCE PACKAGE A1  
drawing no. A13

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