

BUILDING AREA
7720.99 S.F. (717.30 m²)

PAD FOOTINGS - FOR 2 STOREY TOWNHOUSES

| NO. | TYPE | SIZE | MIN. BENEATHED FILL SOIL |
|-----|--------------|-------------|--------------------------|
| F1 | CONCRETE PAD | 42"x42"x12" | 45"x45"x20" |
| F2 | CONCRETE PAD | 36"x36"x12" | 40"x40"x18" |
| F3 | CONCRETE PAD | 30"x30"x12" | 34"x34"x14" |
| F4 | CONCRETE PAD | 24"x24"x12" | 28"x28"x12" |
| F5 | CONCRETE PAD | 18"x18"x8" | 18"x18"x8" |

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES

FOOTINGS ON NATIVE SOIL (120 kPa)
24"x6" CONCRETE STRIP FOOTINGS (with REIN) BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED)
24"x6" CONCRETE STRIP FOOTINGS (with REIN) BELOW PARTY WALLS
32"x6" CONCRETE STRIP FOOTINGS (with REIN) BELOW THE WALLS

FOOTINGS ON ENGINEERED FILL (90 kPa)
24"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN
32"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN
40"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS (REFER TO FOOTING DETAIL FOR REINFORCEMENT)

ASSUME 120kPa/17.4psi SOIL BEARING CAPACITY FOR NATIVE SOIL OR 90kPa/13psi FOR ENGINEERED FILL.
SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER.

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26". A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

- REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING**
- GROUND FLOOR ROOF STRUCTURE
 - BASEMENT AND GROUND FLOOR LINTELS
 - GROUND FLOOR AND SECOND FLOOR STRUCTURE
 - DOUBLE VOLUME WALL LOCATION AND DETAILS
 - CONCRETE SLABS

NOTE:
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF OVERLAP OF DEMISING LINE/PARTY WALL.

← SUMP PUMP LOCATION

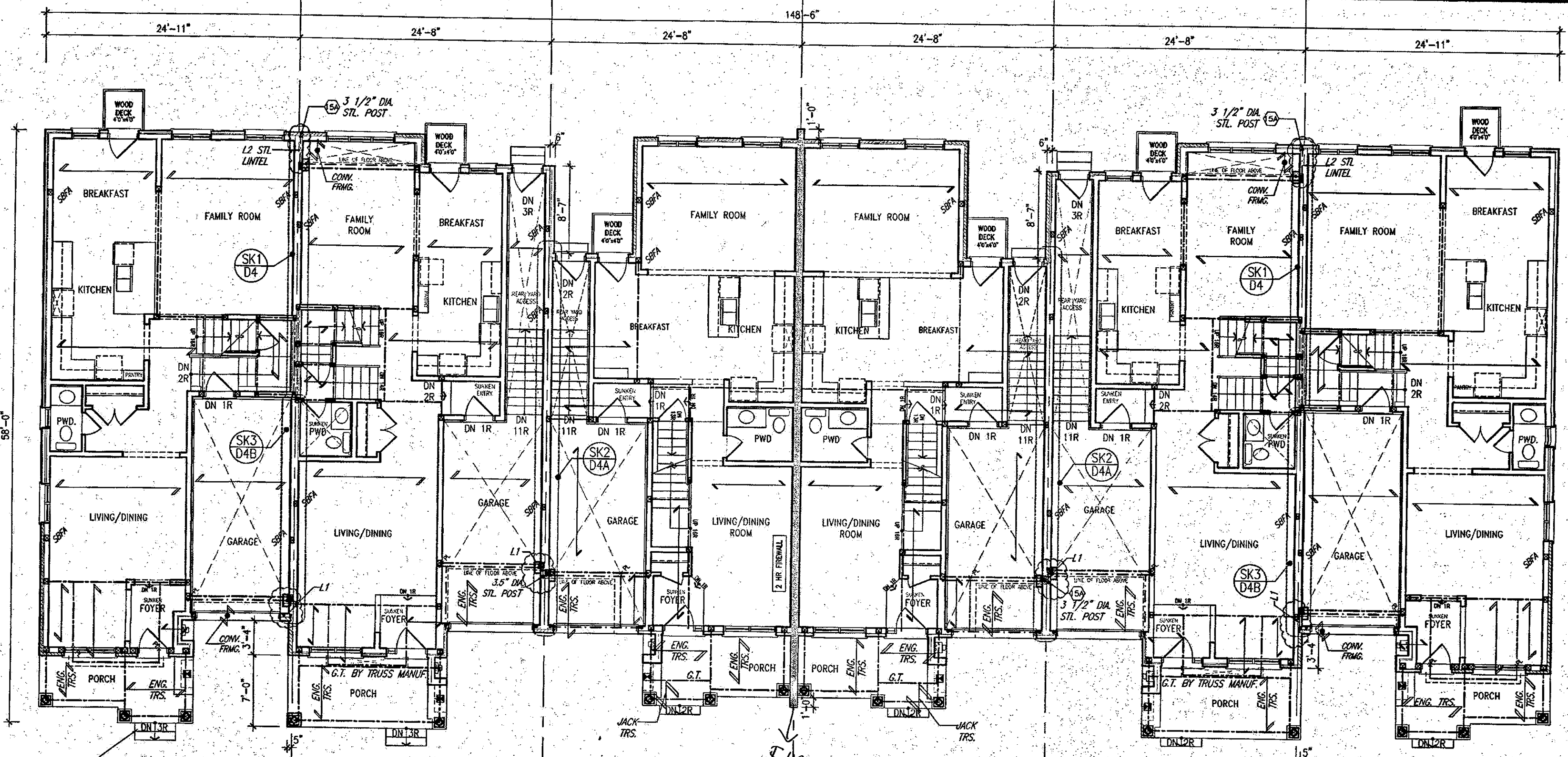
SEE PERMIT
17-131925
FOR STANDARD
DETAILS
(SEE REVISION TO
DETAIL
4-2: EQUIVALENT
THICKNESS
OF 130mm E
14A FOR THIS
PERMIT)

NOTE:
CLOUD INDICATES CONDITION THAT DIFFERS FROM STANDARD UNIT.

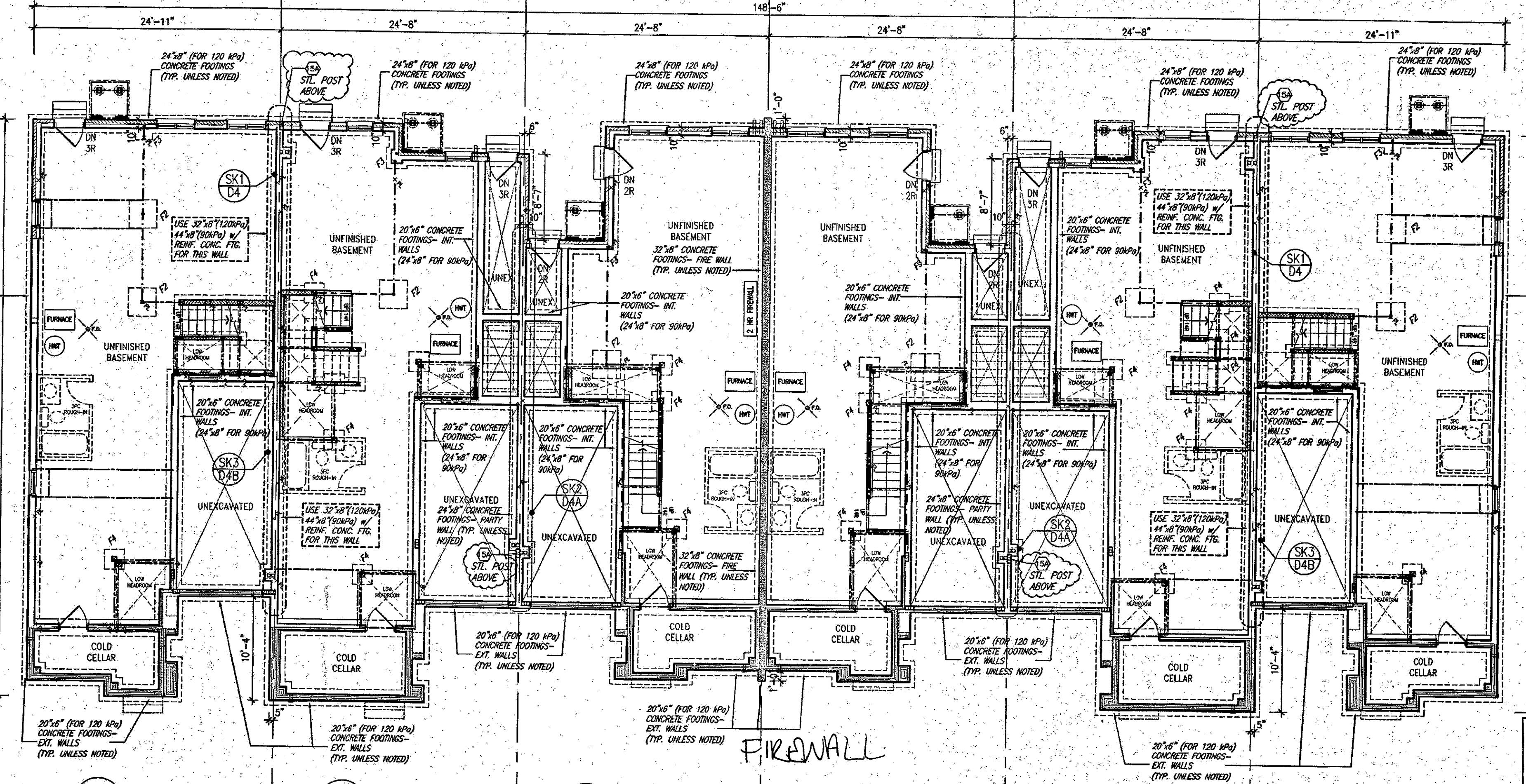
W2a TYPICAL PARTY WALL FOOTING
SCALE: Not to Scale

W2b TYPICAL FIRE WALL FOOTING
SCALE: Not to Scale

W2c EXTERIOR STRIP FOOTING
(On Engineered Fill) (90kPa. Minimum)
SCALE: Not to Scale



GROUND FLOOR PLAN



BASEMENT PLAN

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
MAY 16 2018
REC. BY: [Signature]
DATE: [Signature]
REP'D TO: [Signature]

CITY OF HAMILTON
Building Division
MAY 16 2018
REC. BY: [Signature]
DATE: [Signature]
REP'D TO: [Signature]

STRUDET INC.
FOR STRUCTURE ONLY

APR 23 2018

PHILIP G. WILLIAMS LTD., ARCHITECT
1900 SHEPPARD AVENUE EAST
SUITE 100
SCARBOROUGH, ONTARIO M1S 1T7
TEL: (416) 291-1111
WWW.PGWLTD.COM

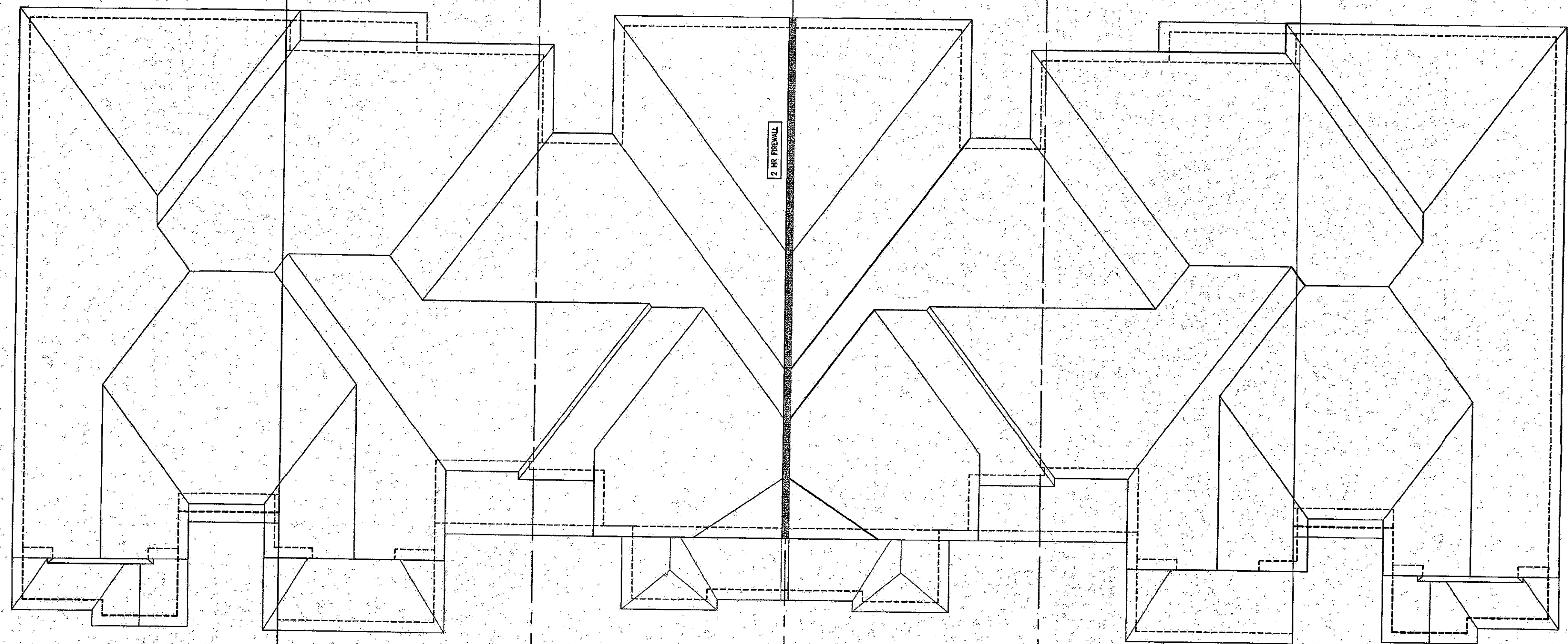
VAS DESIGN
255 Consumers Rd
Suite 120
Toronto, ON M2J 1R4
416.630.2255
416.630.4782
vasdesign.com

Greenpark

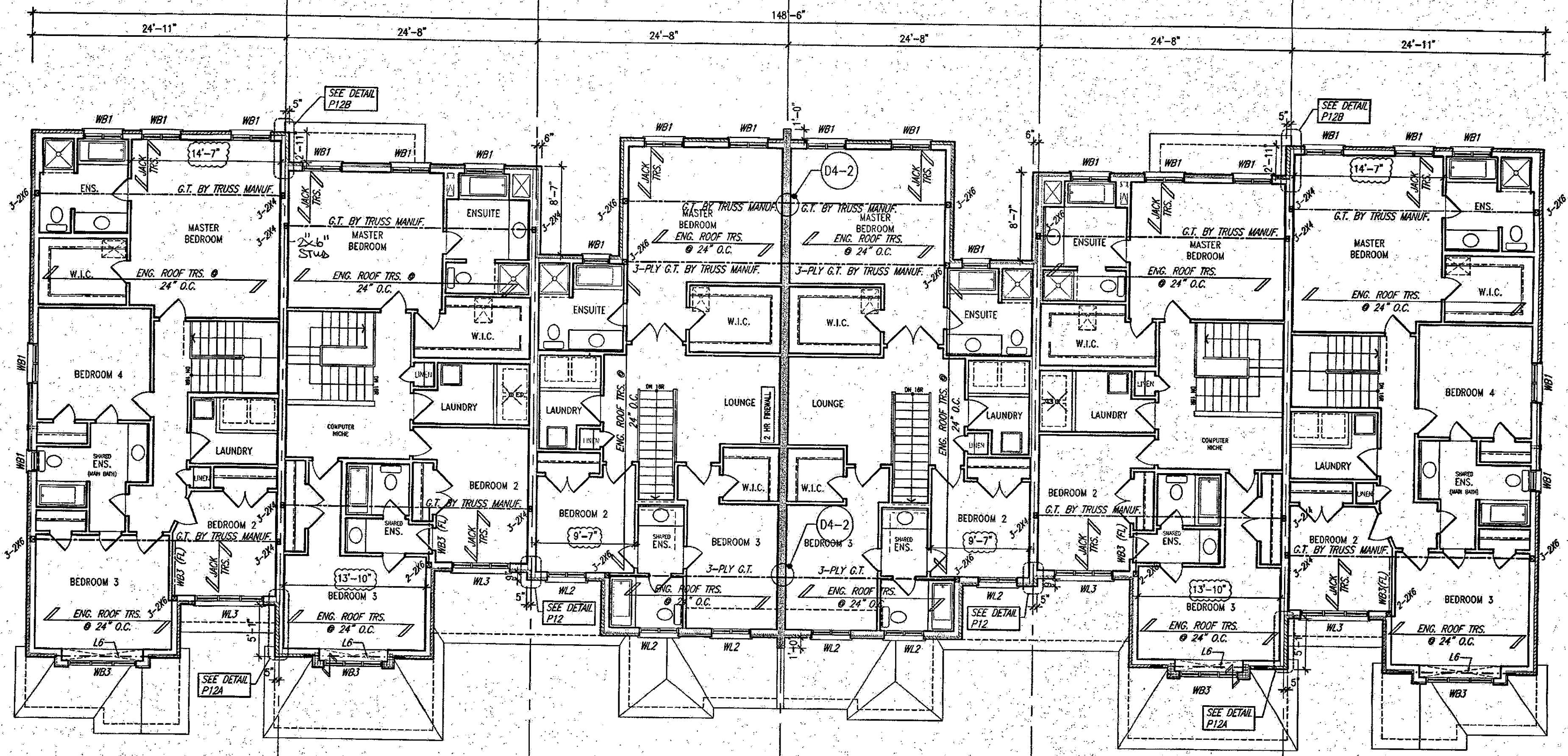
BLK 203
ELEV. 1

RUSSELL GARDENS PH2
WATERDOWN, ON.
HIGHGROVE SERIES
BLOCK 203
BLOCK 203 PLANS
B1

NOTE:
CLOUD INDICATES CONDITION
THAT DIFFERS FROM STANDARD
UNIT.



ROOF PLAN



SECOND FLOOR PLAN

BUILDING AREA
7720.99 S.F. (717.30 m²)

PAD FOOTINGS
120 KPa. MINIMUM SOIL
F1 = 42"x42"x16" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FOOTING PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

STRIP FOOTINGS - FOR 2 STOREY TOWNHOUSES

FOOTINGS ON NATIVE SOIL (120 KPa.)
20"x6" CONCRETE STRIP FOOTINGS AS NOTED ON PLAN
24"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED);
24"x6" CONCRETE STRIP FOOTINGS (with REIN.) BELOW PARTY WALLS
32"x6" CONCRETE STRIP FOOTINGS (with REIN.) BELOW FIRE WALLS

FOOTINGS ON ENGINEERED FILL (90 KPa.)
24"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT, AS NOTED ON PLAN
32"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT (UNLESS OTHERWISE NOTED);
32"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW PARTY WALLS
44"x6" CONCRETE STRIP FOOTINGS WITH REINFORCEMENT BELOW FIRE WALLS
(REFER TO FOOTING DETAIL FOR REINFORCEMENT)

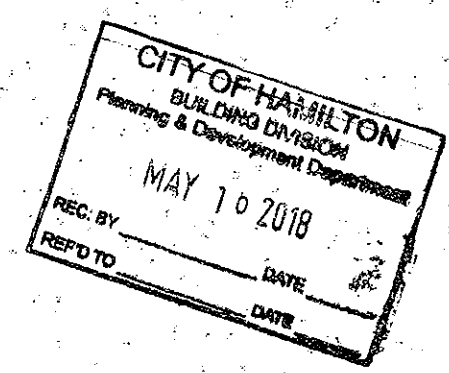
ASSUME 120KPa/174KPa SOIL BEARING CAPACITY FOR NATIVE SOIL OR 90KPa/130KPa FOR ENGINEERED FILL. SOIL BEARING TO BE VERIFIED ON-SITE BY SOILS ENGINEER.

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING
-GROUND FLOOR ROOF STRUCTURE
-BASEMENT AND GROUND FLOOR LINTELS
-GROUND FLOOR AND SECOND FLOOR STRUCTURE
-DOUBLE VOLUME WALL LOCATION AND DETAILS
-CONCRETE SLABS

NOTE:
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK PLANS

SOFFIT VENTING
NO SOFFIT VENTING AT ROOF OVERLAP OF DEMISING LINE/PARTY WALL.



CITY OF HAMILTON
Building Division
17 132161

Permit No. 17 132161

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE.

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE CURRENT BUILDING CODE AND ALL OTHER APPLICABLE LAWS.

These drawings and specifications have been reviewed by:

FOR CHIEF BUILDING OFFICIAL: *[Signature]* DATE: _____



STRUDET INC.
FOR STRUCTURE ONLY

APR 23 2018

BLK 203
ELEV. 1

It is the builder's complete responsibility to verify that all drawings and specifications conform to the applicable Building Code and all other applicable laws and regulations. The Contractor is not responsible for any error or omission in the drawings or specifications. The Contractor is responsible for obtaining all necessary permits and for ensuring that the work is completed in accordance with the drawings and specifications. The Contractor is responsible for obtaining all necessary permits and for ensuring that the work is completed in accordance with the drawings and specifications. The Contractor is responsible for obtaining all necessary permits and for ensuring that the work is completed in accordance with the drawings and specifications.

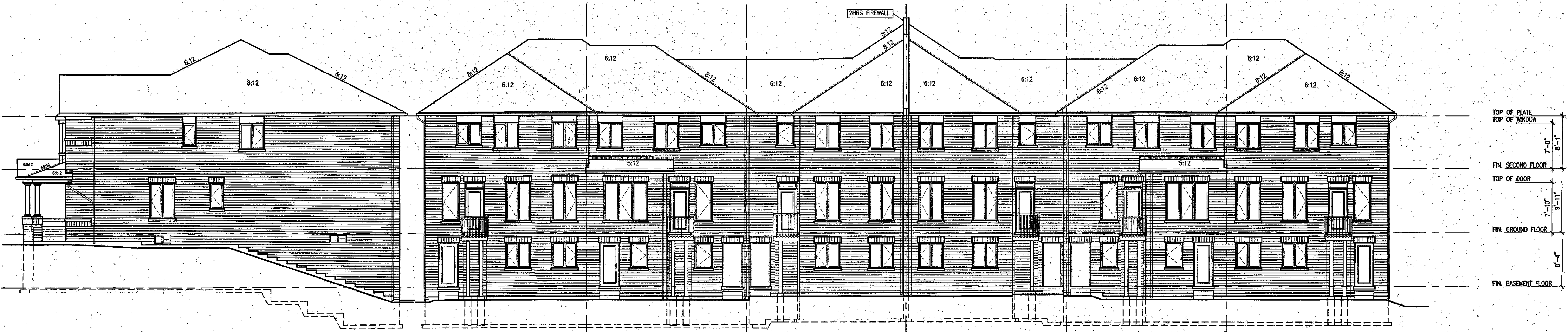
VAS DESIGN
255 Consumers Rd
Suite 120
Toronto, ON M2J 1R4
T 416.630.2255
F 416.630.4782
vasdesign.com

All drawings, specifications, notes, and details are the property of VAS DESIGN. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of VAS DESIGN.

Greenpark

Project Name: RUSSELL GARDENS PH2
Address: WATERDOWN, ON. 16036
Block: BLOCK 203
Block 203 Plans
Sheet: B2
Date: JULY 2017
Scale: 1/2" = 1'-0"
Drawn by: [Name]
Checked by: [Name]

NOTE:
CLOUD INDICATES CONDITION
THAT DIFFERS FROM STANDARD
UNIT.



203-6 HIGHGROVE-5E
ELEV. 1

RIGHT SIDE ELEVATION

203-6 HIGHGROVE-5E
ELEV. 1 (REV.)

203-5 HIGHGROVE-4
ELEV. 1 (REV.)

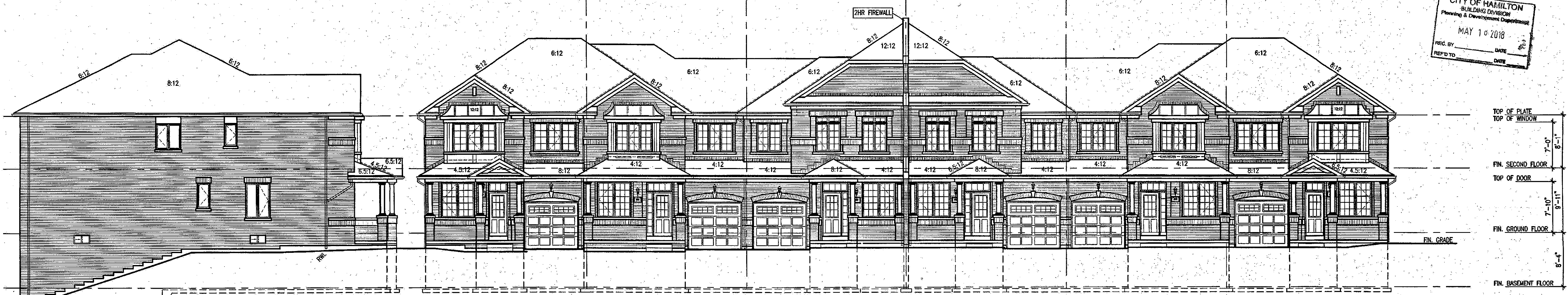
203-4 HIGHGROVE-3
ELEV. 1

REAR ELEVATION

203-3 HIGHGROVE-3
ELEV. 1 (REV.)

203-2 HIGHGROVE-4
ELEV. 1

203-1 HIGHGROVE-5E
ELEV. 1



203-1 HIGHGROVE-5E
ELEV. 1

LEFT SIDE ELEVATION

203-1 HIGHGROVE-5E
ELEV. 1

203-2 HIGHGROVE-4
ELEV. 1

203-3 HIGHGROVE-3
ELEV. 1 (REV.)

FRONT ELEVATION

203-4 HIGHGROVE-3
ELEV. 1

FRONT ELEVATION '1'
203-5 HIGHGROVE-4
ELEV. 1 (REV.)

203-6 HIGHGROVE-5E
ELEV. 1 (REV.)

CITY OF HAMILTON
Planning & Development Department
MAY 1 0 2018

It is the builder's complete responsibility to ensure that all plans submitted for approval and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Authorized to not responsible for any errors or omissions or approving any conditions of building drawings was intended to any drawing or building drawings or other drawings that are not properly built or located on site.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

APPROVED BY: *[Signature]*
DATE: *[Date]*

CITY OF HAMILTON
Building Division
Permit No. 132151
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
[Signature]
FOR CHIEF BUILDING OFFICIAL

| | | |
|----|------------------------------------|--------------|
| 1 | ISSUED FOR PERMIT | APR 20/18 ON |
| 2 | REVISED PER CITY COMMENTS, REVISED | APR 20/18 ON |
| 3 | REVISED PER CITY COMMENTS, REVISED | APR 20/18 ON |
| 4 | ISSUED FOR PERMIT | APR 20/18 ON |
| 5 | ISSUED FOR PERMIT | APR 20/18 ON |
| 6 | REVISED AS PER ENGINEER COMMENTS | APR 20/18 ON |
| 7 | REVISED AS PER CLIENT COMMENTS | APR 20/18 ON |
| 8 | ISSUED FOR PERMIT | APR 20/18 ON |
| 9 | ISSUED FOR PERMIT | APR 20/18 ON |
| 10 | ISSUED FOR PERMIT | APR 20/18 ON |

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are the property of the architect which shall be returned at the completion of the work. Drawings are not to be scaled.

VAS DESIGN
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Suite 120
Toronto, ON M2J 1R4
T 416.630.2255
F 416.630.4782
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Greenpark
RUSSELL GARDENS PH2
WATERDOWN, ON.
HIGHGROVE SERIES
BLOCK 203
B3

APR 23 2018

BLK 203
ELEV. 1