

Blk 27

2309 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS
 8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
 20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
 FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
 24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
FOOTINGS ON ENGINEERED FILL
 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
 BELOW EXTERIOR WALLS.
 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
 BELOW PARTY WALLS.
 (REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY
 ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa
 FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS
120 KPa NATIVE SOIL **90 KPa ENGINEERED FILL SOIL**
 F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
 F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
 F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
 F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
 F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
 (REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT
 WHEN VENEER CUT IS GREATER THAN 26", A 10"
 POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)
 ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
 FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)
 WL1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
 WL2 = 4" x 3-1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
 WL3 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
 WL4 = 6" x 3-1/2" x 3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
 WL5 = 6" x 4" x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
 WL6 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
 WL7 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
 WL8 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
 WL9 = 6" x 4" x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)
 WB1 = 2-2"x8" (2-38x184) SPR. No.2
 WB2 = 3-2"x8" (3-38x184) SPR. No.2
 WB3 = 2-2"x10" (2-38x235) SPR. No.2
 WB4 = 3-2"x10" (3-38x235) SPR. No.2
 WB5 = 2-2"x12" (2-38x286) SPR. No.2
 WB6 = 3-2"x12" (3-38x286) SPR. No.2
 WB7 = 5-2"x12" (5-38x286) SPR. No.2
 WB11 = 4-2"x10" (4-38x235) SPR. No.2
 WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS
 LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
 LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
 LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
 LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
 LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
 LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
 LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
 LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
 LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
 LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
 LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
 LVL8 = 2-1 3/4"x14" (2-45x356)
 LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)
 L1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L)
 L2 = 4" x 3-1/2" x 5/16" (100x90x8.0L)
 L3 = 5" x 3-1/2" x 5/16" (125x90x8.0L)
 L4 = 6" x 3-1/2" x 3/8" (150x90x10.0L)
 L5 = 6" x 4" x 3/8" (150x100x10.0L)
 L6 = 7" x 4" x 3/8" (180x100x10.0L)

DOOR SCHEDULE

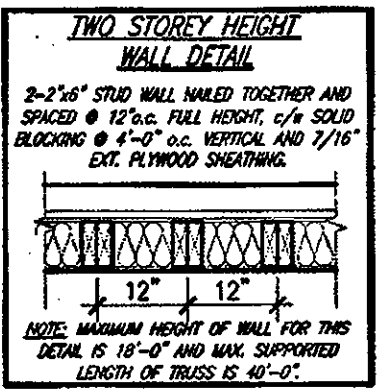
NOS.	WIDTH	HEIGHT 8' TO 9' CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
10	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	INSULATED EXT. SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER
 (OBC 9.30.6)
 SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C.
 BELOW ALL CERAMIC TILE AREAS.
 PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0",
 2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING
 REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL
 ROOF FRAMING INFORMATION UNLESS OTHERWISE
 NOTED.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO
 FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING
 REFER TO ENGINEERED FLOOR FLAYOUTS FOR ALL
 ENGINEERED FLOOR FRAMING INFORMATION AND
 DETAILS. UNLESS OTHERWISE NOTED.



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 ensure that all plans submitted for approval
 fully comply with the Architectural Guidelines
 and all applicable regulations and requirements
 including zoning provisions and any provisions in
 the subdivision agreement. The Control
 Architect is not responsible in any way for
 examining or approving site (lotting) plans or
 working drawings with respect to any zoning or
 building code or permit matter or that any
 house can be properly built or located on its lot.

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 Guidelines approved by the City of
 HAMILTON.

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))

HIGHGROVE 12, ELEVATION 1	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	503.14 S.F.	10.67 S.F.	20.74 %
LEFT SIDE	1043.97 S.F.	209.59 S.F.	20.08 %
RIGHT SIDE	1043.97 S.F.	0.00 S.F.	0.00 %
REAR	503.14 S.F.	112.92 S.F.	22.44 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX. 10.0 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3094.22 S.F.	426.88 S.F.	13.80 %
TOTAL SQ. M.	287.46 S.M.	39.66 S.M.	13.80 %

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))

HIGHGROVE 12, ELEVATION 2	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	503.14 S.F.	68.58 S.F.	13.63 %
LEFT SIDE	1044.05 S.F.	208.66 S.F.	19.99 %
RIGHT SIDE	1044.05 S.F.	0.00 S.F.	0.00 %
REAR	503.14 S.F.	102.07 S.F.	20.29 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX. 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3094.38 S.F.	379.31 S.F.	12.26 %
TOTAL SQ. M.	287.47 S.M.	35.24 S.M.	12.26 %

AREA CALCULATIONS FLEV '1'

GROUND FLOOR AREA	1056 SF
SECOND FLOOR AREA	1253 SF
TOTAL FLOOR AREA	2309 SF
	(214.51 m ²)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	XX SF
ADD TOTAL OPEN AREAS	+XX SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	2309 SF
	(214.51 m ²)
GROUND FLOOR COVERAGE	1056 SF
GARAGE COVERAGE/AREA	202 SF
PORCH COVERAGE/AREA	161 SF
COVERAGE W/ PORCH	1419 SF
	(131.83 m ²)
COVERAGE W/O PORCH	1258 SF
	(116.87 m ²)

AREA CALCULATIONS FLEV '2'

GROUND FLOOR AREA	1056 SF
SECOND FLOOR AREA	1253 SF
TOTAL FLOOR AREA	2309 SF
	(214.51 m ²)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	XX SF
ADD TOTAL OPEN AREAS	+XX SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	2309 SF
	(214.51 m ²)
GROUND FLOOR COVERAGE	1056 SF
GARAGE COVERAGE/AREA	202 SF
PORCH COVERAGE/AREA	144 SF
COVERAGE W/ PORCH	1402 SF
	(130.25 m ²)
COVERAGE W/O PORCH	1258 SF
	(116.87 m ²)

CITY OF HAMILTON
 BUILDING DIVISION
 Planning & Development Department

NOV 16 2017

REC BY _____ DATE _____
 REF'D TO _____ DATE _____

CITY OF HAMILTON
 Building Division

Permit No. 17-132216

THESE PLANS AND SPECIFICATIONS SHALL BE COMPLIED WITH ON SITE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HAMILTON AND THE PROVINCE OF ONTARIO.

THROUGH THE SIGNATURE OF THE CONTRACTOR, IT IS CERTIFIED THAT THESE PLANS AND SPECIFICATIONS COMPLY WITH THE CITY OF HAMILTON BUILDING CODE AND ALL APPLICABLE REGULATIONS AND REQUIREMENTS.

FOR CONTRACTOR: *[Signature]*

OCT 04 2017

HIGHGROVE 12
COMPLIANCE PACKAGE 'A1'



STRUDET INC.
 FOR STRUCTURE ONLY

18			9			
17			8	REVISED. ISSUED FOR PERMIT.	SEP. 22/17	GW
16			7	ISSUED FOR PRICING.	AUG. 23/17	GW
15			6	ELEV. 2 PORCH DEPTH REDUCED 8".	JUL. 13/17	GW
14			5	STUCCO REPLACED.	JUL. 05/17	GW
13			4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 15/17	GW
11			2	REVISED PER CLIENT COMMENTS.	MAY. 03/17	GW
10			1	PRELIMINARY REVIEW.	APR. 12/17	GW
no.	description	date	no.	description	date	by

VAS DESIGN

255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 t 416.630.2255 | 416.630.4782
 vasdesign.com

Greenpark **HIGHGROVE 12**

project name: RUSSELL GARDENS PH.2 WATERDOWN, ON. project no.: 16036

date: APRIL 2017 checked by: scale: 3/16" = 1'-0" drawing no.: A0

GENERAL NOTES & CHARTS

16036-HIGHGROVE-12

DATE: 16/04/2017 11:53:00 AM

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2309 SF.

BASEMENT WALL INSULATION
(TYP) (13)
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT STAIR/SUNKEN AREAS where FRAMING IS REQ'D. FOR SUPPORT.
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION.
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

PARTY WALL AT GARAGE SIDE CONSTRUCTION
• REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1, SK2 OR SK3 PARTY WALL IS TO BE BUILT.
• REFER TO DETAIL PAGES 4,4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

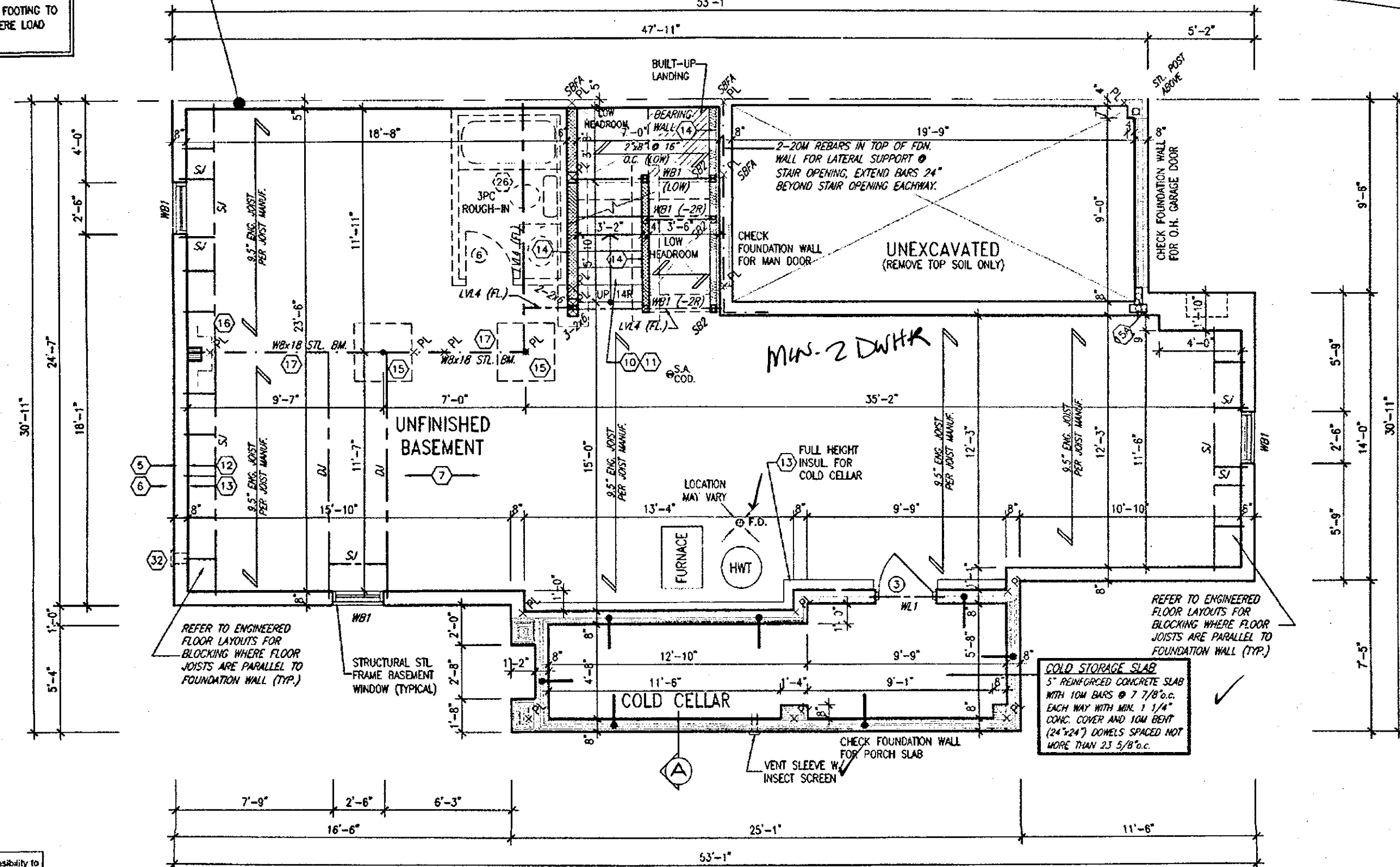
CITY OF HAMILTON
Building Division

Permit No. 17-132214

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
[Signature] DATE *July 24/19*
FOR CHIEF BUILDING OFFICIAL DATE

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
MAY 24 2018
REC BY _____ DATE _____
REF'D TO _____ DATE _____



BASEMENT PLAN - ELEV. '2'

MAY 17 2018

HIGHGROVE 12
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY *[Signature]*
DATE May 17 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

18		9	REV. PER CITY COMMENTS REISSUED.	FEB. 09/18	GW	The undersigned has reviewed and takes responsibility for the design and here the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17		8	REVISED. ISSUED FOR PERMIT.	SEP 22/17	GW	
16		7	ISSUED FOR PRICING.	AUG. 23/17	GW	
15		6	ELEV. 2 PORCH DEPTH REDUCED 4".	JUL 13/17	GW	
14		5	STUCCO REPLACED.	JUL 05/17	GW	
13		4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT	
12		3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 15/17	GW	
11		2	REVISED PER CLIENT COMMENTS.	MAY 03/17	GW	
10	REVISED.	1	PRELIMINARY REVIEW.	APR. 12/17	GW	
9	no. description		date by no. description	date by		

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2N 1S4
416.630.2255 / 416.630.4782
vasdesign.com

Greenpark. HIGHGROVE 12
project name: RUSSELL GARDENS PH.2
municipality: WATERDOWN, ON.
project no.: 16036
DATE: APRIL 2017
checked by: GW
scale: 3/16" = 1'-0"
drawing no.: 16036-HIGHGROVE-12
DATE: May 15 2018 - 12:22 PM
A1a

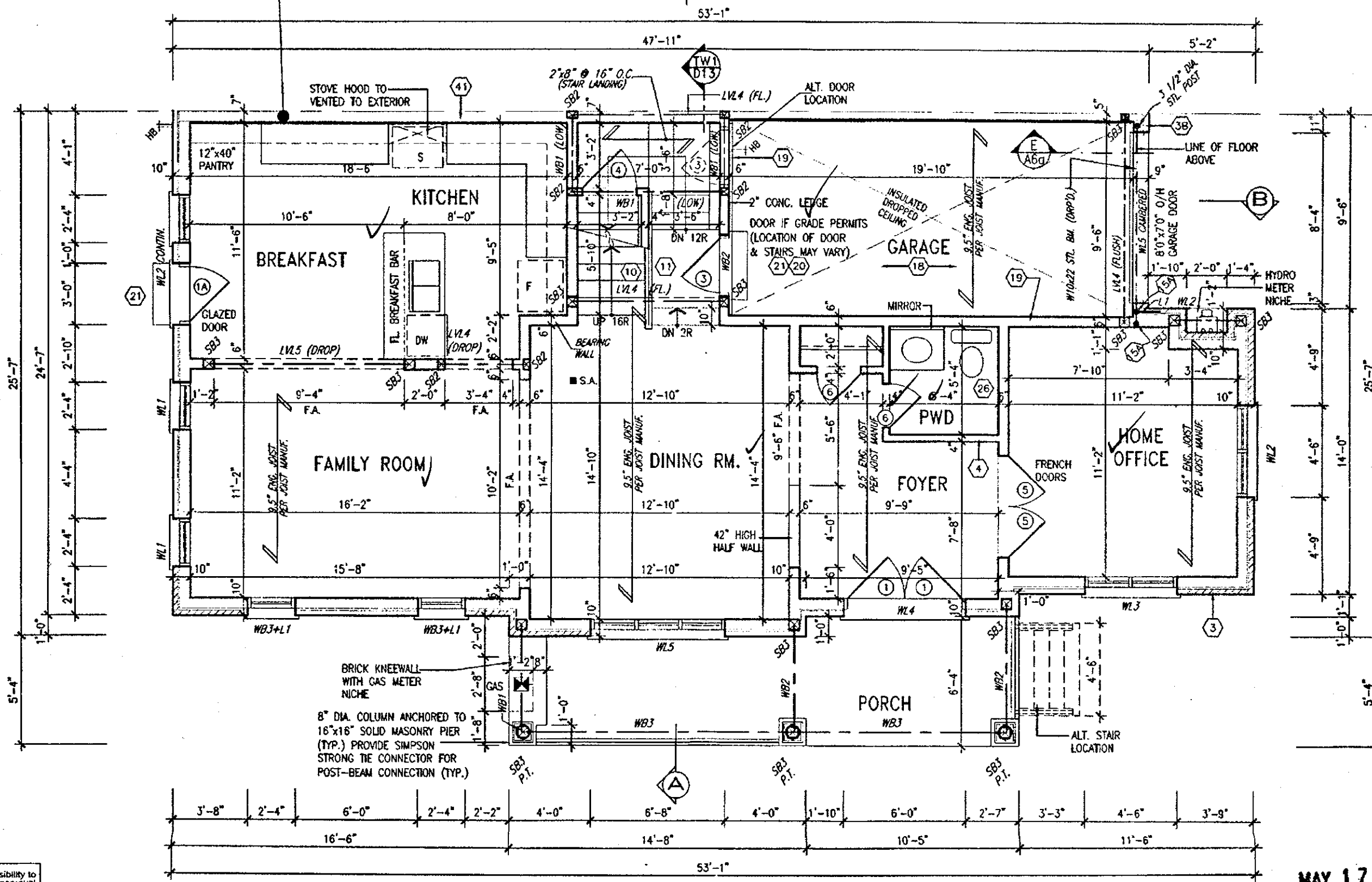


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CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
MAY 24 2018
REC BY _____ DATE _____
REF'D TO _____ DATE _____

Permit No. 17-132216
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and specifications have been reviewed by
[Signature]
FOR CHIEF BUILDING OFFICIAL DATE 5/24/18

PARTY WALL AT GARAGE SIDE CONSTRUCTION
• REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1, SK2 OR SK3 PARTY WALL IS TO BE BUILT.
• REFER TO DETAIL PAGES 4.4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.



GROUND FLOOR PLAN - ELEV. '2'



MAY 17 2018

HIGHGROVE 12
COMPLIANCE PACKAGE 'A1'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY _____
DATE May 17, 2018
This stamp certifies compliance with the applicable Design Guidelines only and carries no further professional responsibility.

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS AND TOWNHOUSE BLOCK PLANS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

18	REV. PER CITY COMMENTS, REISSUED.	FEB. 08/18	GW	The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17	REVISED, ISSUED FOR PERMIT.	SEP. 27/17	GW	qualifier: Information
16	ISSUED FOR PRICING.	AUG. 23/17	GW	qualifier: Information
15	ELEV. 2 PORCH DEPTH REDUCED 8".	JUL. 13/17	GW	Richard Vink 24488 signature
14	STUCCO REPLACED.	JUL. 05/17	GW	name
13	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT	registration information
12	CHANGED JOIST DEPTH/ FLOOR HEIGHTS.	JUN. 15/17	GW	VAS Design Inc. 47658
11	REVISED PER CLIENT COMMENTS.	MAY. 03/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
10	REVISED.	APR. 16/18	GW	
9	PRELIMINARY REVIEW.	APR. 12/17	GW	
no	description	date	by	

VA DESIGN
255 Consumers Rd Suite 120
Toronto ON M2E 1R4
t 416.630.2255 f 416.630.4782
va@design.com

Greenpark.
project name
RUSSELL GARDENS PH.2
municipality
WATERDOWN, ON.
date
APRIL 2017
checked by
GW
scale
3/16" = 1'-0"
drawing no.
18036-HIGHGROVE-12

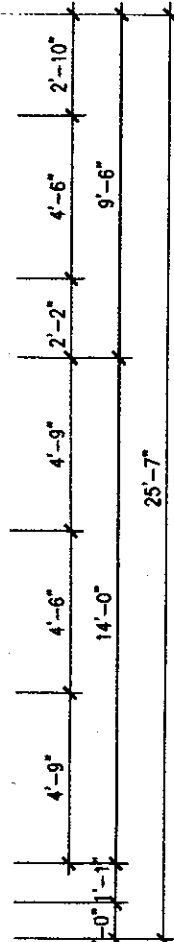
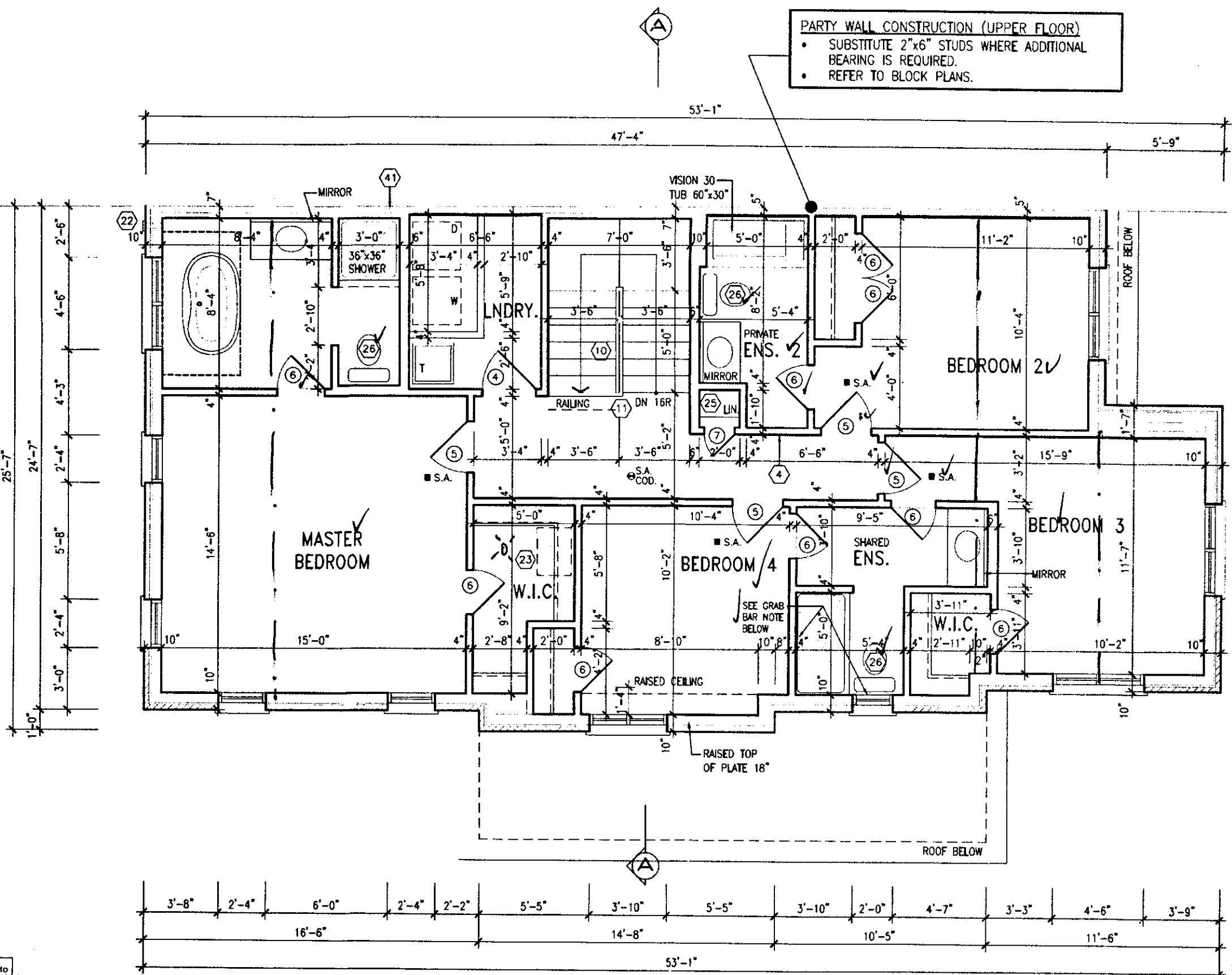
HIGHGROVE 12
project no.
16036
drawing no.
A2a

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2309 SF.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
MAY 24 2018
REC BY: _____ DATE: _____
REF'D TO: _____ DATE: _____

PARTY WALL CONSTRUCTION (UPPER FLOOR)
• SUBSTITUTE 2"x6" STUDS WHERE ADDITIONAL BEARING IS REQUIRED.
• REFER TO BLOCK PLANS.



CITY OF HAMILTON
Building Division

Permit No. 17-132216

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and specifications have been reviewed by
[Signature] July 24/18
FOR CHIEF BUILDING OFFICIAL DATE

FEB 09 2018

**HIGHGROVE 12
COMPLIANCE PACKAGE 'A1'**

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SECOND FLOOR PLAN - ELEV. '2'

NOTE: ROOF FRAMING
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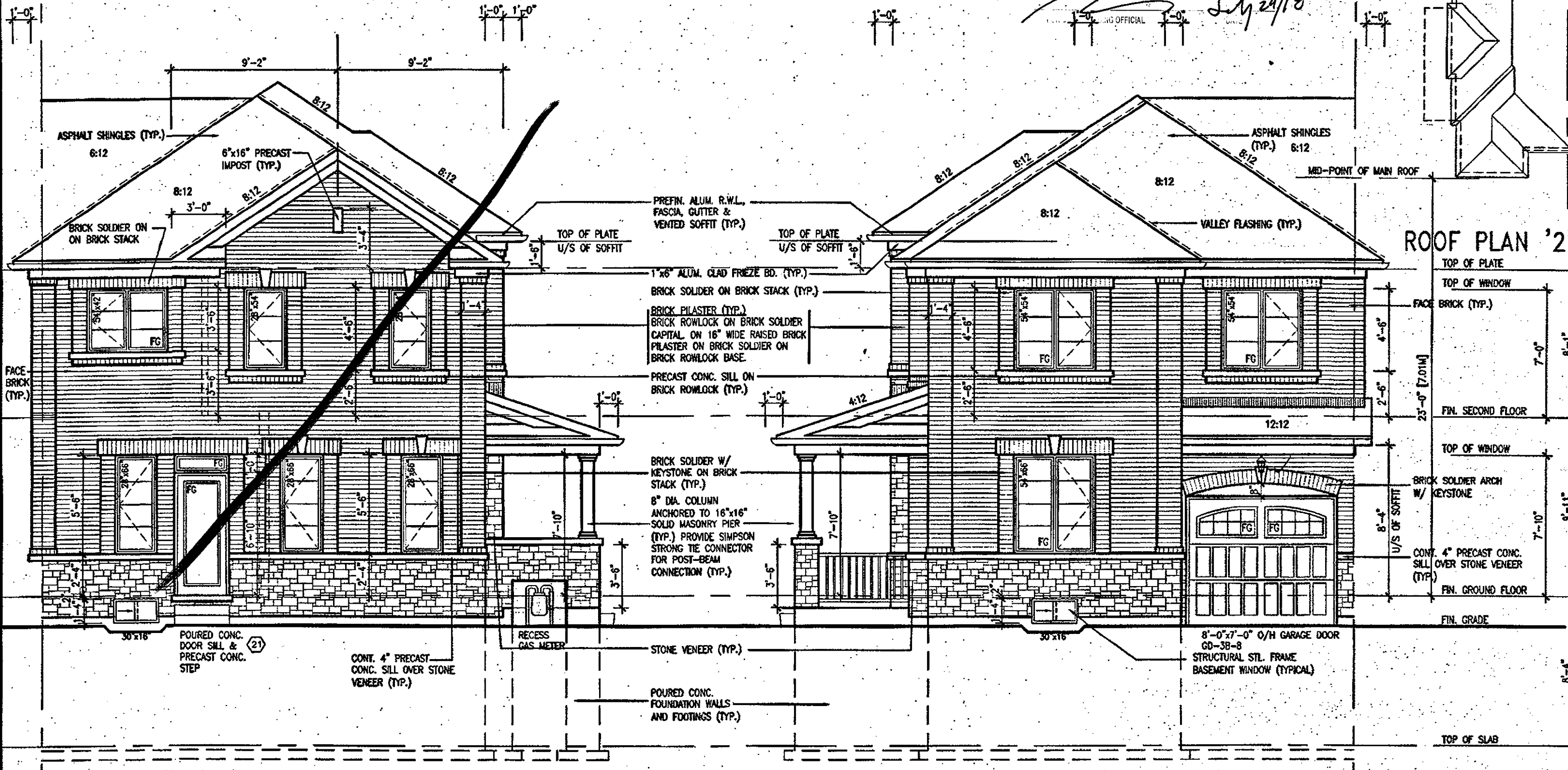
18			9	REV. PER CITY COMMENTS. REISSUED.	FEB 08/18	CW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information <i>R Vink</i> Richard Vink 24488 name signature DCN registration information VAS Design Inc. 42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 vasdesign.com	HIGHGROVE 12 project name RUSSELL GARDENS PH.2 WATERDOWN, ON. municipality project no. 16036 date APRIL 2017 drawn by WT checked by GW scale 3/16" = 1'-0" file name 16036-HIGHGROVE-12 drawing no. A3a
17		8	REVISED. ISSUED FOR PERMIT.	SEP 22/17	CW				
16		7	ISSUED FOR PRICING.	AUG 23/17	CW				
15		6	ELEV. 2 PORCH DEPTH REDUCED 8".	JUL 13/17	CW				
14		5	STUCCO REPLACED.	JUL 05/17	CW				
13		4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT				
12		3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 15/17	CW				
11		2	REVISED PER CLIENT COMMENTS	MAY 03/17	CW				
10		1	PRELIMINARY REVIEW.	APR 12/17	CW				
no.	description	date	by	no.	description	date			

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17-132216

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[Signature] 24/18
BUILDING OFFICIAL



REAR ELEVATION '2'

FRONT ELEVATION '2'

ROOF PLAN '2'

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ARCHITECTURAL REVIEW'S APPROVAL

OCT 16 2017

John G. Williams Limited, Architect

no.	description	date	by	no.	description	date	by
18				9			
17				8	REVISED, ISSUED FOR PERMIT.	SEP. 22/17	GW
16				7	ISSUED FOR PRICING.	AUG. 23/17	GW
15				6	ELEV. 2 PORCH DEPTH REDUCED 8".	JUL. 13/17	GW
14				5	STUCCO REPLACED.	JUL. 05/17	GW
13				4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 15/17	GW
11				2	REVISED PER CLIENT COMMENTS.	MAY. 03/17	GW
10				1	PRELIMINARY REVIEW.	APR. 12/17	GW

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark. HIGHGROVE 12

Project name: RUSSELL GARDENS PH.2 WATERDOWN, ON. project no. 16036

Site: APRIL 2017 FRONT & REAR ELEVATION '2'

Scale: 3/16" = 1'-0" 16036-HIGHGROVE-12

WT

DATE: 2017-10-04

OCT 04 2017

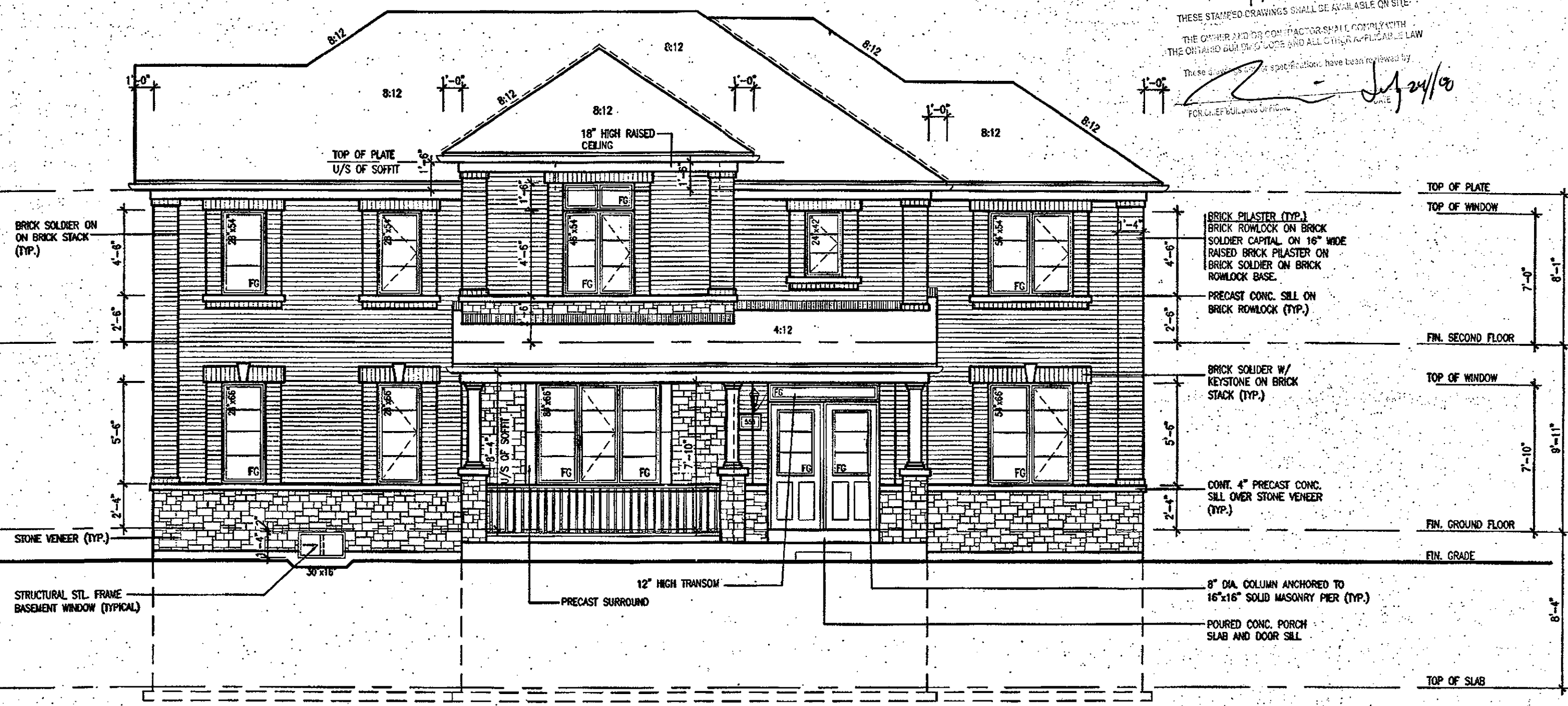
HIGHGROVE 12
COMPLIANCE PACKAGE 'A1'

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2309 SF.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
NOV 16 2017
REC BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division
Permit No. 17-1322/6
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE.
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW.
These drawings and specifications have been reviewed by
[Signature] DATE 10/24/17
FOR CHIEF BUILDING OFFICER



FLANKAGE ELEVATION '2'

OCT 04 2017

HIGHGROVE 12
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

ARCHITECTURAL REVIEW & APPROVAL
OCT 16 2017
[Signature]
John G. Williams Limited, Architect

no.	description	date	by	no.	description	date	by
18				9			
17				8	REVISED, ISSUED FOR PERMIT.	SEP. 22/17	GW
16				7	ISSUED FOR PRICING.	AUG. 23/17	GW
15				6	ELEV. 2 PORCH DEPTH REDUCED 8".	JUL. 13/17	GW
14				5	STUCCO REPLACED.	JUL. 05/17	GW
13				4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN. 15/17	GW
11				2	REVISED PER CLIENT COMMENTS.	MAY. 03/17	GW
10				1	PRELIMINARY REVIEW.	APR. 12/17	GW

The undersigned has reviewed and takes responsibility for this design and lists the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
some registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
va3design.com

Greenpark. HIGHGROVE 12
project name: RUSSELL GARDENS PH.2 WATERDOWN, ON. project no. 16036
date: APRIL 2017 drawing no. FLANKAGE ELEVATION '2'
drawn by: WT checked by: GW scale: 3/16" = 1'-0" file name: 16036-HIGHGROVE-12
G:\E - HAMILTON\GREENPARK\16036 RUSSELL GARDENS PH.2\HIGHGROVE-12\16036-HIGHGROVE-12.dwg - Fri - Sep 22 2017 - 12:27:59
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A5a

2309 SF.

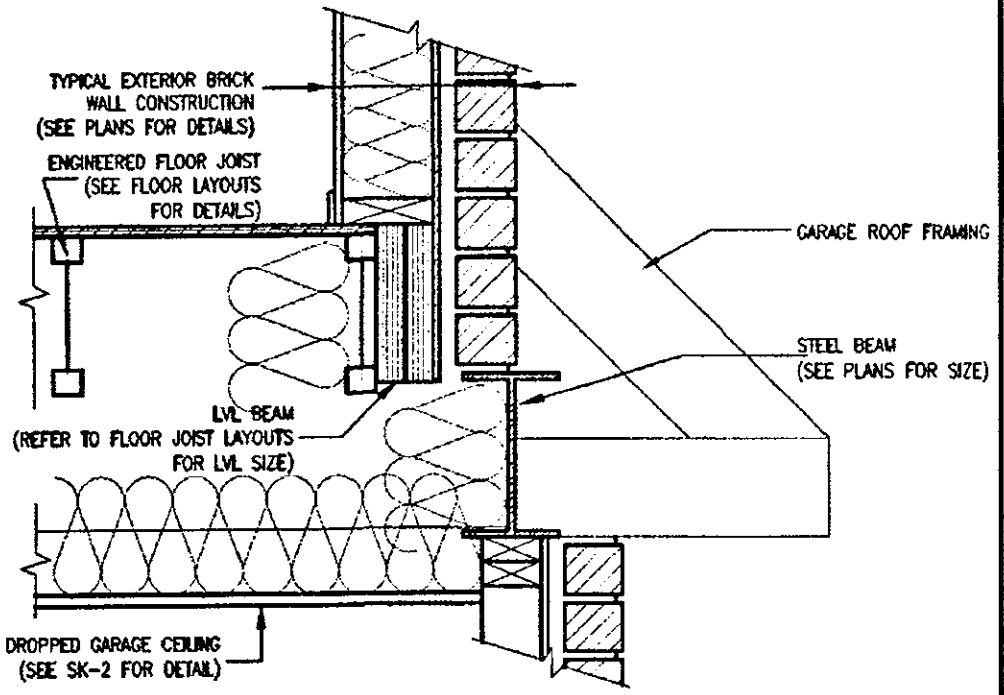
CITY OF HAMILTON
Building Division

Permit No. 17-132216

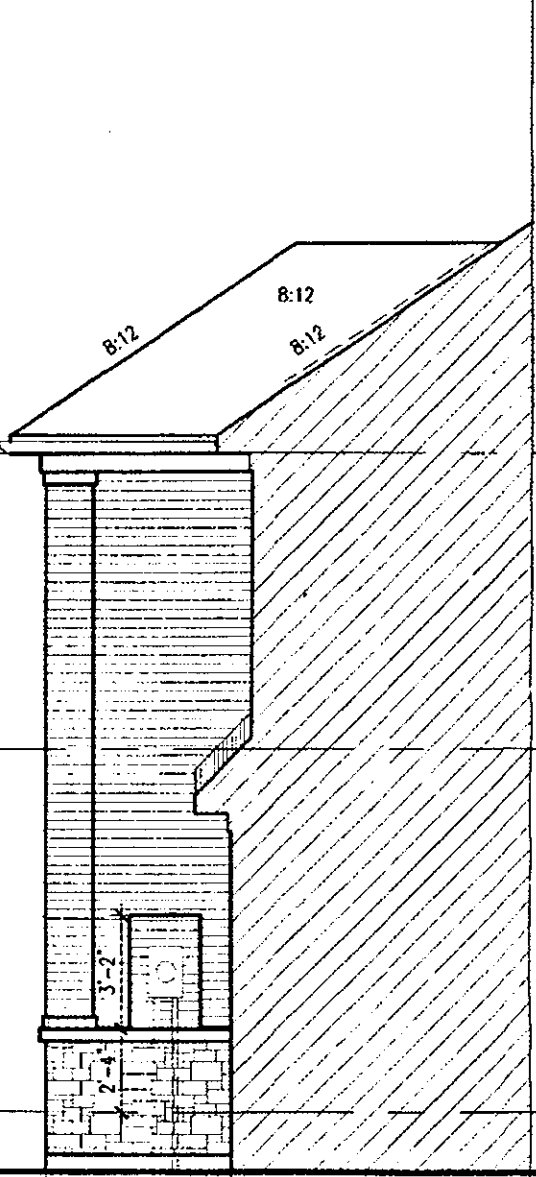
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
[Signature] July 24/18
DATE
FOR CHIEF BUILDING OFFICIAL

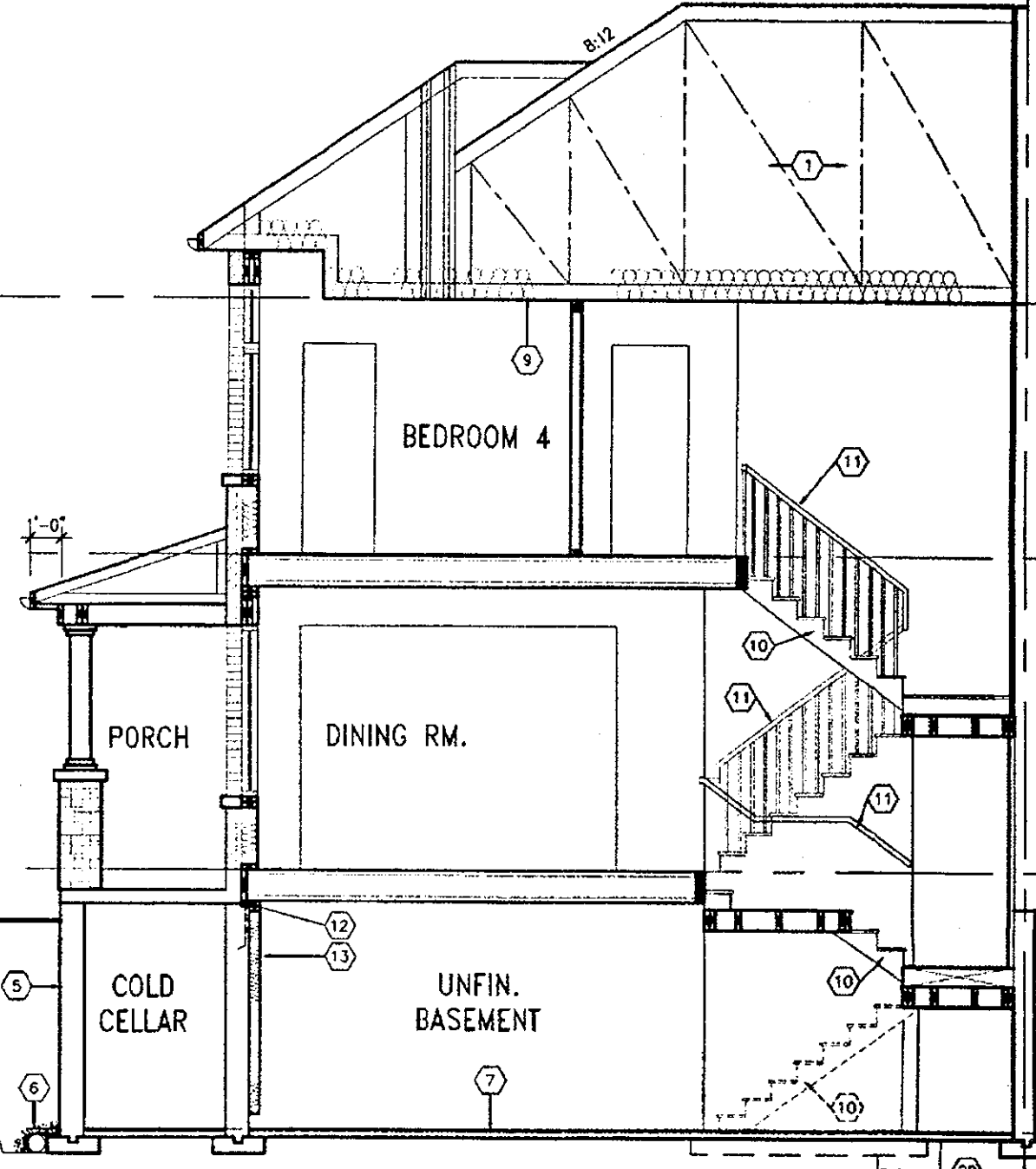
CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
MAY 24 2018
REC BY _____ DATE _____
REF'D TO _____ DATE _____



E
A6a STEEL/LVL BEAM OVER GARAGE
Not to Scale



SECTION B
ELEV. '2'



SECTION A-A ELEV. 2

TOP OF PLATE
TOP OF WINDOW
7'-0"
8'-1"
FIN. SECOND FLOOR
TOP OF WINDOW
7'-10"
9'-11"
FIN. GROUND FLOOR
8'-4"
TOP OF SLAB

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STRUDET INC.
FOR STRUCTURE ONLY

APR 17 2018

HIGHGROVE 12
COMPLIANCE PACKAGE 'A1'

no.	description	date	by	no.	description	date	by
18				9	REV PER CITY COMMENTS, REISSUED.	FEB. 05/18	GW
17				8	REVISED, ISSUED FOR PERMIT.	SEP. 22/17	GW
16				7	ISSUED FOR PRICING.	AUG. 23/17	GW
15				6	ELEV. 2 PORCH DEPTH REDUCED 8".	JUL. 13/17	GW
14				5	STUCCO REPLACED.	JUL. 05/17	GW
13				4	REVISED AS PER CLIENT COMMENTS.	JUN. 21/17	WT
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS.	JUN. 15/17	GW
11				2	REVISED PER CLIENT COMMENTS.	MAY. 03/17	GW
10				1	PRELIMINARY REVIEW.	APR. 12/17	GW
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
[Signature] Richard Vink 24483
name BCK
registration information 47653
YAS Design Inc.
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAS DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
416.630.2255 | 416.630.4782
vasdesign.com

Greenpark.
Municipality: WATERDOWN, ON.
Project name: RUSSELL GARDENS PH.2
Date: APRIL 2017
Checked by: GW
Scale: 3/16" = 1'-0"

HIGHGROVE 12
Project no: 16036
Drawing no: A6a
SECTION A-A- ELEV. '2'

2309 SF.

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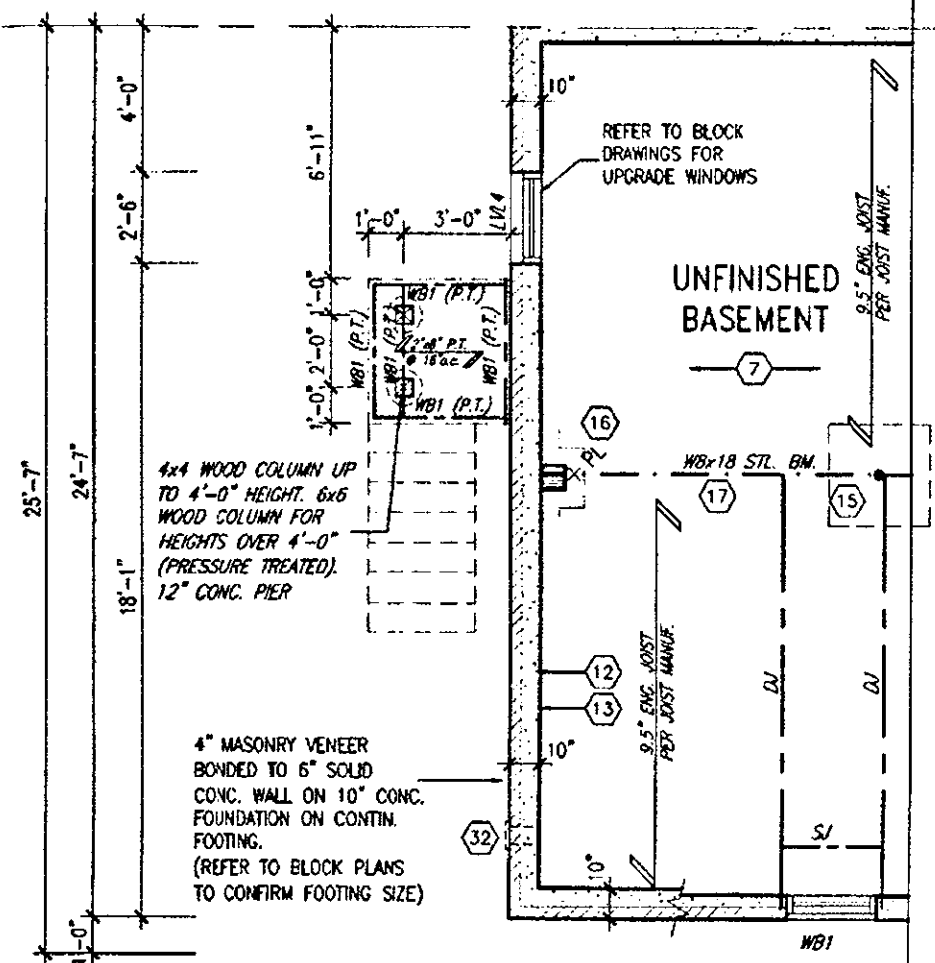
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: *[Signature]*
DATE: APR 20 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

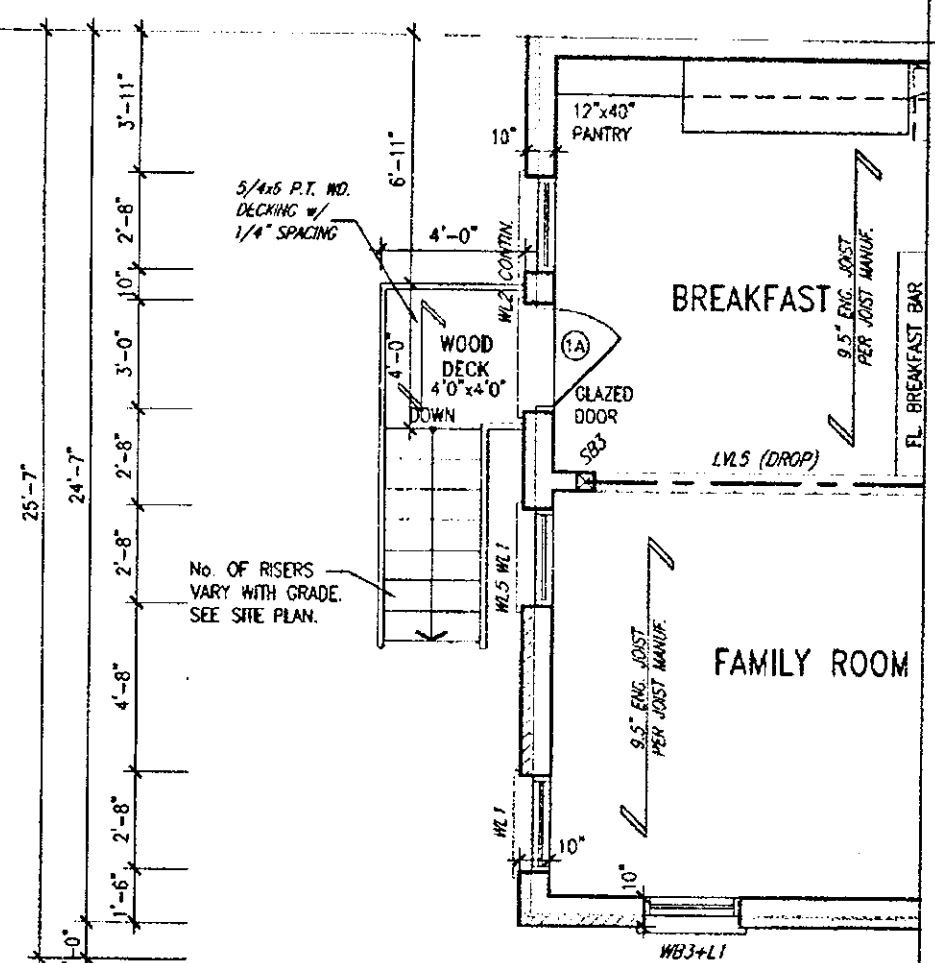
CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

MAY 24 2018

REC BY _____ DATE _____
REF'D TO _____ DATE _____

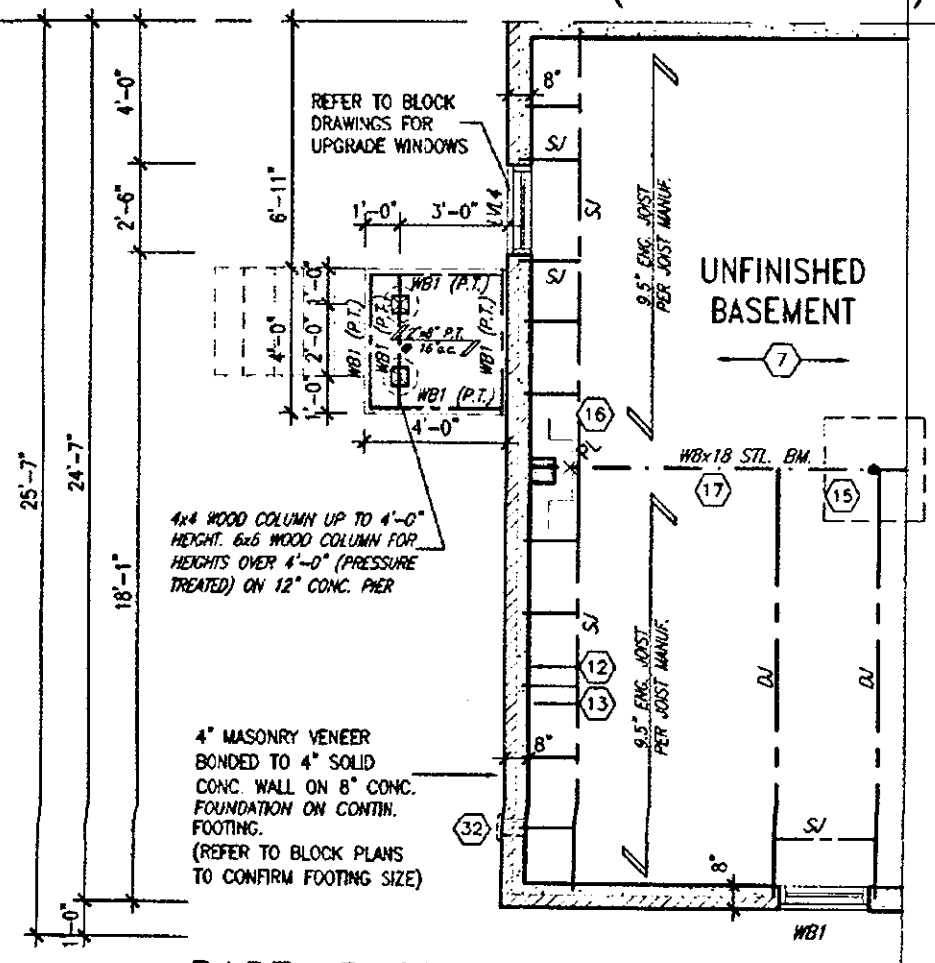


PART. BASEMENT PLAN
W.O.D CONDITION (8R OR MORE)

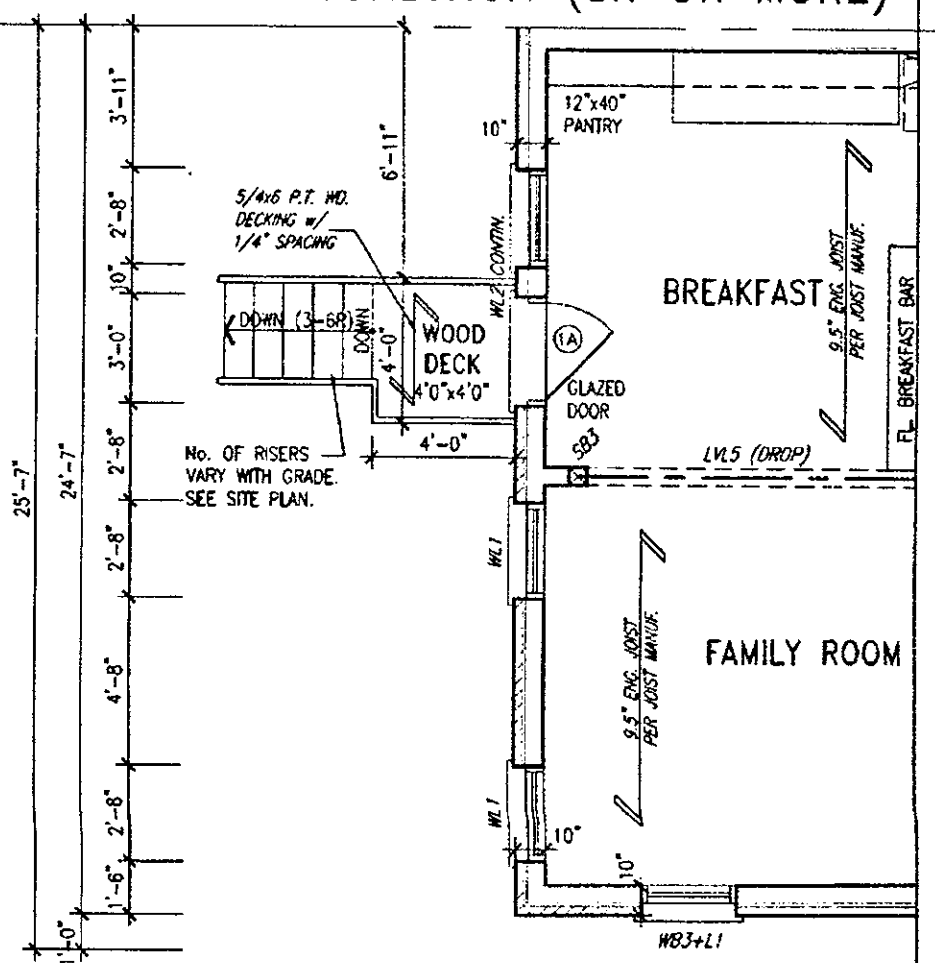


PART. GROUND FLOOR PLAN
W.O.D CONDITION (8R OR MORE)

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 25', A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.



PART. BASEMENT PLAN
W.O.D CONDITION (4R TO 7R)



PART. GROUND FLOOR PLAN
W.O.D CONDITION (4R TO 7R)

WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 6)
FOR ADDITIONAL WOOD DECK INFORMATION.

CITY OF HAMILTON
Building Division
Permit No. 17-132216
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and specifications have been reviewed by
[Signature] July 29/18
FOR CHIEF BUILDING OFFICIAL DATE

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
STRUDET INC.
FOR STRUCTURE ONLY

APR 17 2018
HIGHGROVE 12
COMPLIANCE PACKAGE 'A1'

18			9	REV PER CITY COMMENTS ISSUED.	FEB 08/18	GW
17			8	REVISED ISSUED FOR PERMIT.	SEP 22/17	GW
16			7	ISSUED FOR PRICING.	AUG 23/17	GW
15			6	ELEV. 2 PORCH DEPTH REDUCED 8".	JUL 13/17	GW
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11			2	REVISED PER CLIENT COMMENTS.	MAY 03/17	GW
10	REVISED.	APR 16/18	1	PRELIMINARY REVIEW.	APR 12/17	GW
9	description	date	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
name
signature
VA3 Design Inc. 47658
registration information
Contractor must verify dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1S4
416.630.2255 f 416.630.4782
va3design.com

Greenpark. HIGHGROVE 12
project name: RUSSELL GARDENS PH.2 WATERDOWN, ON. project no: 16036
date: APRIL 2017
drawn by: GW
checked by: GW
scale: 3/16" = 1'-0"
PARTIAL PLANS- DECK CONDITION
16036-HIGHGROVE-12
drawing no: **A7**

2309 SF.

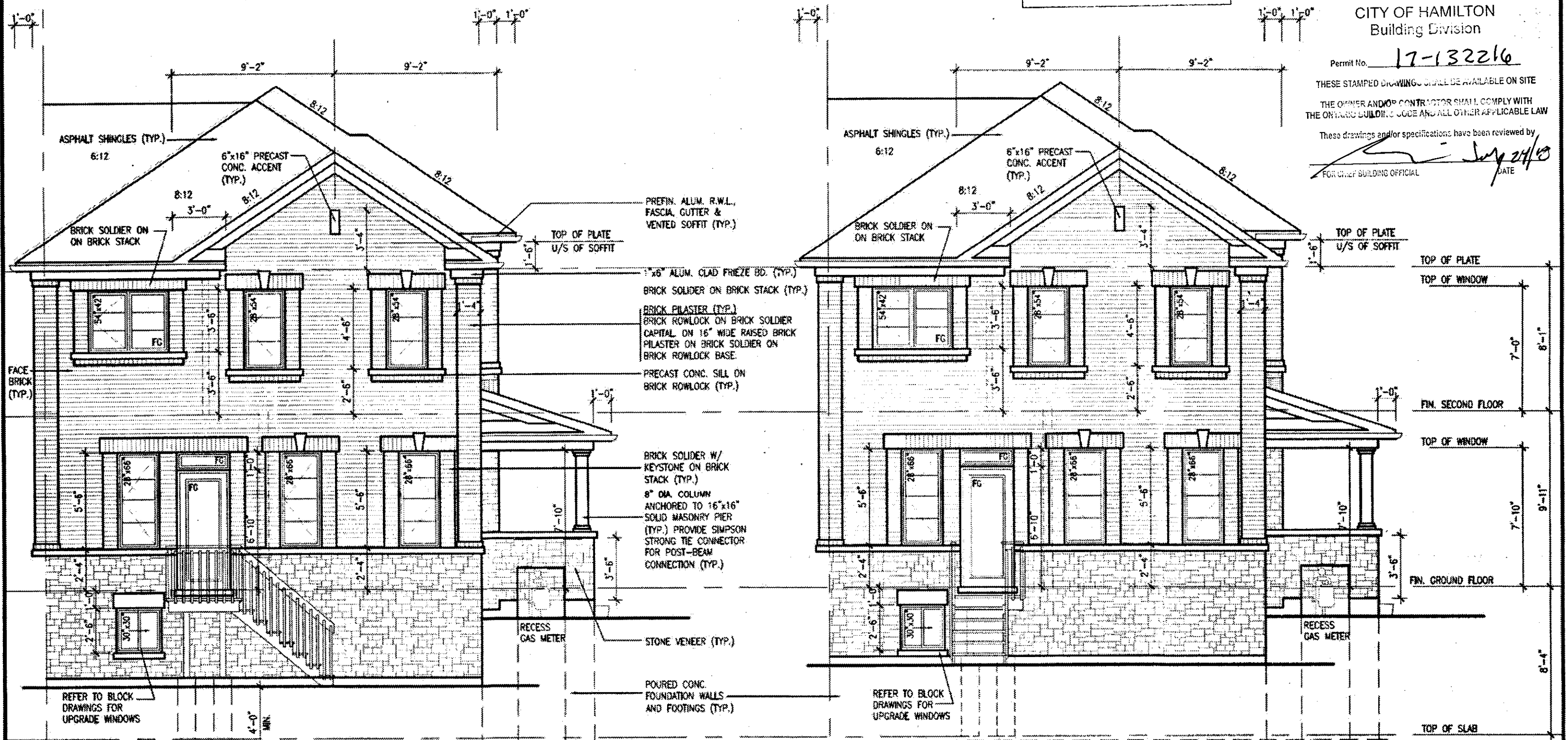
CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
MAY 24 2018
REC'D BY _____
REF'D TO _____

CITY OF HAMILTON
Building Division

Permit No. 17-132216

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
[Signature]
FOR CHIEF BUILDING OFFICIAL DATE 5/24/18



REAR ELEVATION-ELEV. 2
DECK COND' (8R OR MORE)

REAR ELEVATION-ELEV. 2
DECK COND' (4R TO 7R MAX)

HIGHGROVE 12
COMPLIANCE PACKAGE 'A1'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: *[Signature]*
DATE: APR. 25, 2018

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

18		9	REV. PER CITY COMMENTS: RUSSUED	FEB 08/18	CW
17		8	REVISED ISSUED FOR PERMIT.	SEP 22/17	CW
16		7	ISSUED FOR PRICING.	AUG 23/17	CW
15		6	ELEV. 2 PORCH DEPTH REDUCED 8"	JUL 13/17	CW
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13		4	REVISED AS PER CLIENT COMMENTS	JUN 21/17	WT
12		3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 15/17	CW
11		2	REVISED PER CLIENT COMMENTS	MAY 03/17	CW
10	REVISED	1	PRELIMINARY REVIEW	APR 12/17	CW
9	description		date	by	

The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
VAS Design Inc. 42658
name
registration information
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255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark. HIGHGROVE 12
PROJECT name: RUSSELL GARDENS PH.2 WATERDOWN, ON. project no. 16036
date: APRIL 2017 checked by: REAR ELEVATION '2'- DECK CONDITION
signature: *[Signature]* date: 3/16" = 1'-0" drawing no. A8a
16036-HIGHGROVE-12