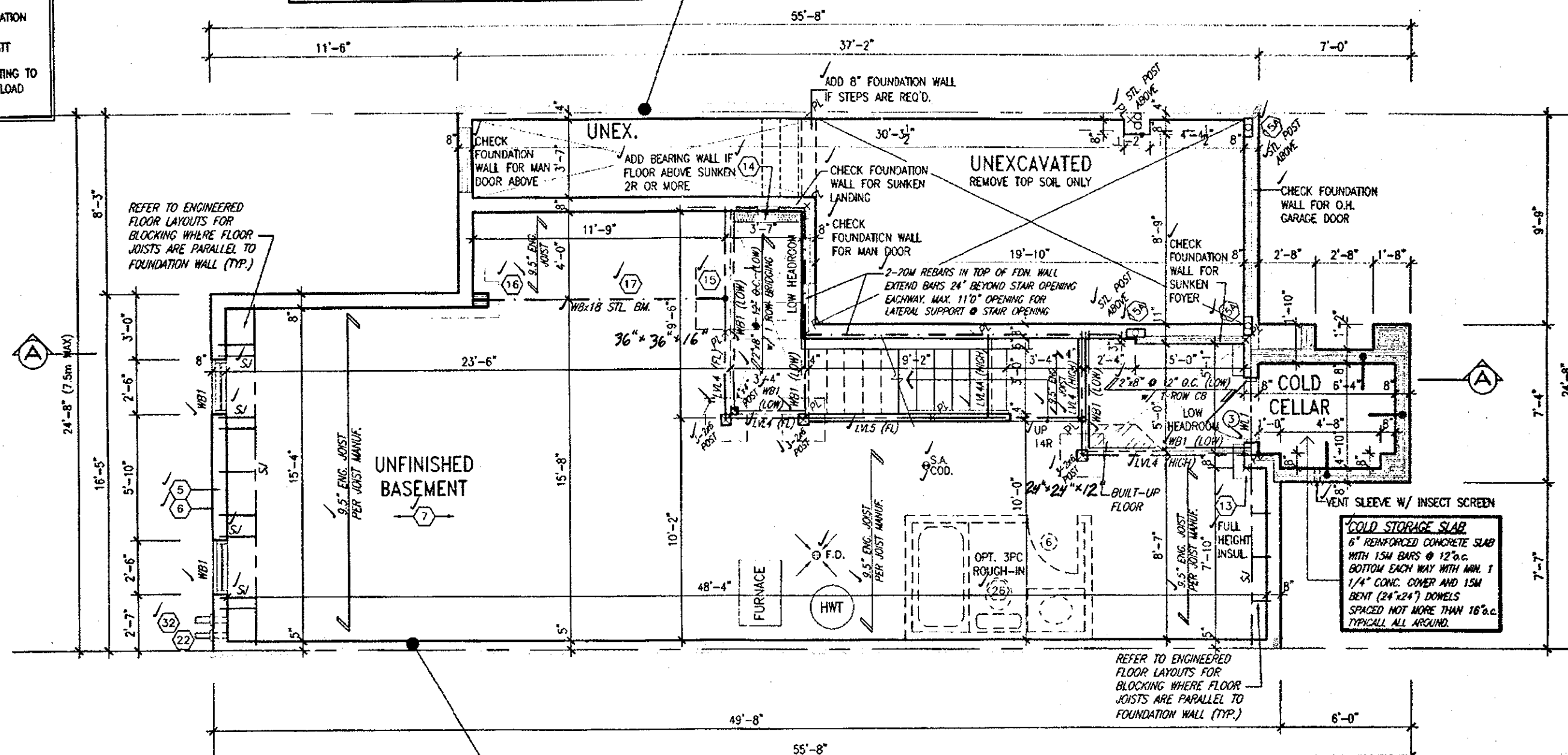


BASEMENT WALL INSULATION
(TYP) 13
-6" (R20) CONTINUOUS BLANKET
INSULATION. INSULATION
UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT
STAIR/SUNKEN AREAS where
FRAMING IS REQ'D. FOR
SUPPORT.
-2" (R10) CONTINUOUS INSULATION
(RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT
INSULATION.
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.

PARTY WALL AT GARAGE SIDE CONSTRUCTION

- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK2 OR SK3 PARTY WALL IS TO BE BUILT.
- REFER TO DETAIL PAGES 4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.



PARTY WALL AT HOUSE SIDE CONSTRUCTION

- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1 OR SK3 PARTY WALL IS TO BE BUILT.
- REFER TO DETAIL PAGES 4 OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

BASEMENT PLAN ELEV. '2'

**Electrical Contractors
Registration Agency**
of the
**Electrical
Safety
Authority**

**ALL ELECTRICAL INSTALLATIONS
MUST BE INSPECTED BY THE
ELECTRICAL SAFETY AUTHORITY.
SEPARATE INSPECTION
APPLICATIONS MUST BE FILED.
FOR MORE INFORMATION PLEASE CALL:
1-877-ESA-SAFE (372-7233)
PLUG IN SAFELY. HIRE A LICENSED
ELECTRICAL CONTRACTOR.
FIND A CONTRACTOR AT
www.plugin safely.ca**

CITY OF HAMILTON
Building Division

Permit No 17-132133-00-R9

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
 MAY 29 1961
 FOR CHIEF BUILDING OFFICIAL DATE

APR 17 2018

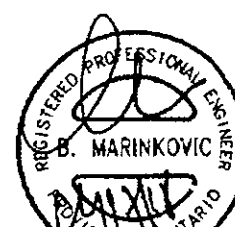
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: Apr. 20, 2018

DATE: Apr. 20, 2018
This stamp certifies compliance with the approach
Design Guidelines only and bears no further
professional responsibility.



STRUDET INC.
FOR STRUCTURE ONLY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
REVISED
MAY 22 2018

REC. BY _____ DATE _____
REF'D TO _____ DATE _____

18				9			
17				8	REVISED.	APR 13/18	G
16				7	REV. PER CITY COMMENTS. REISSUED.	FEB. 15/18	G
15				6	REVISED. ISSUED FOR PERMIT.	SEP. 28/17	G
14				5	ISSUED FOR PRICING.	AUG. 23/17	G
13				4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	W
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	G
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17	G
10				1	PRELIMINARY REVIEW.	APR. 12/17	G
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Contract Building Code to be a Designer. qualification information Richard Vink name signature VAS Design Inc. Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be used	24 42
--	---------------------



VA3
DESIGN

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

 **Greenpark.**

Project name: **RUSSELL GARDENS PH.2** Municipality: **WATERDOWN, ON.**
Date: **APRIL 2017** Basement:
Drawn by: **WT** Checked by: **GW** Scale: **3/16" = 1'-0"**

HIGHGROVE 3

project no.
16036

BASEMENT PLAN ELEV. '2'

16036-HIGH-GROVE-3 A1b

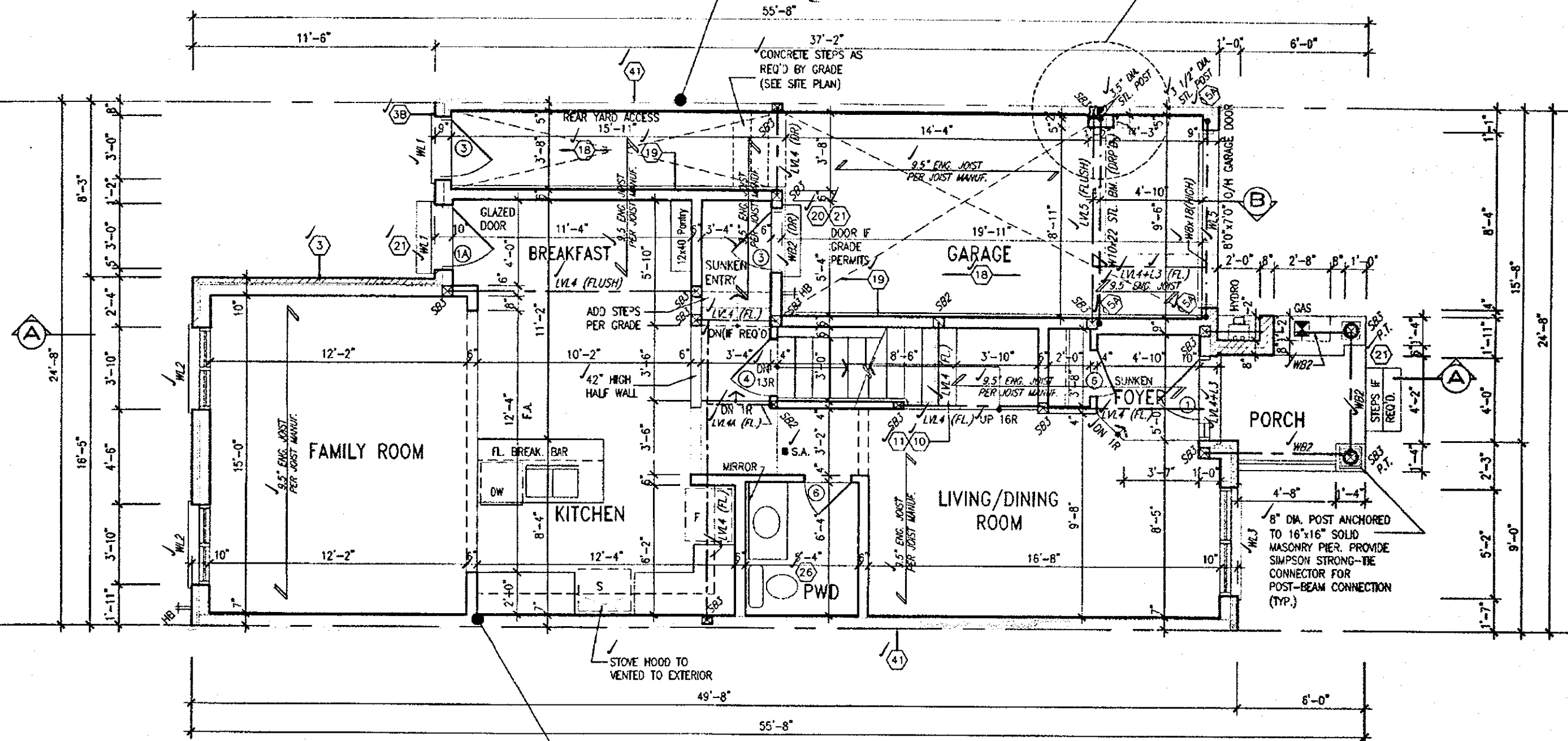
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SEPARATE INSPECTION
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1-877-ESA-SAFE (372-7233)
PLUG IN SAFELY, HIRE A LICENSED
ELECTRICAL CONTRACTOR.
FIND A CONTRACTOR AT
www.pluginsafely.ca**

PARTY WALL AT GARAGE SIDE CONSTRUCTION

- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK2 OR SK3 PARTY WALL IS TO BE BUILT.
- REFER TO DETAIL PAGES 4A OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

REFER TO DETAIL
PAGE 14



PARTY WALL AT HOUSE SIDE CONSTRUCTION

- REFER TO BLOCK PLANS TO CONFIRM WHETHER SK1 OR SK3 PARTY WALL IS TO BE BUILT.
- REFER TO DETAIL PAGES 4 OR 4B TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

GROUND FLOOR PLAN ELEV. '2'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONSULTANTS
AND APPROVAL

APPROVED BY: [Signature]
DATE: APR 20, 2015

This stamp certifies compliance with the applicable
Design-Build delivery only and bears no further
professional responsibility.

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS AND
TOWNHOUSE BLOCK PLANS FOR ALL ROOF
FRAMING INFORMATION UNLESS OTHERWISE
NOTED

ENGINEERED FLOOR FRAMING INFO
REFER TO ENGINEERED FLOOR LAYOUTS FOR
ALL FLOOR FRAMING INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.



STRUDET INC.
FOR STRUCTURE ONLY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
REVISED
MAY 2 2 2018
REC. BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

Permit No. 17-132133-00-R9

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
 MAY 29/18
 FOR CHIEF BUILDING OFFICIAL DATE

APR 17 2018

HIGHGROVE 3
COMPLIANCE PACKAGE 'A1'

18				9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Florida Building Code to be a Designer.	
17				8 REVISED.	APR 13/18	GW		information	
16				7 REV. PER CITY COMMENTS. REISSUED.	FEB 15/18	GW		R Vink	244
15				6 REVISED, ISSUED FOR PERMIT.	GSP 28/17	GW		signature	
14				5 ISSUED FOR PRICING.	AUG 23/17	GW		name	
13				4 REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT		registration information	
12				3 CHANGED JOIST DEPTH / FLOOR HEIGHTS	JUN 12/17	GW		VAS Design Inc.	428
11				2 REVISED PER CLIENT COMMENTS.	APR 28/17	GW		Contacted must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the product of the Designer which shall be returned at the completion of the project. Drawings are not to be scaled	
10				1 PRELIMINARY REVIEW.	APR 12/17	GW			
no. description date by no. description date by									

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information	
Richard Vink	244
name	signature
registration information	
YAS Design Inc.	428

Contractor must verify of dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VAS
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

Greenpark.

Project Name: **RUSSELL GARDENS PH.2** Municipality: **WATERDOWN, ON.**

At: **APRIL 2017** Ground Floor

Drawn by: **GW** Checked by: **GW** Scale: **3/16" = 1'-0"**

NOT TO BE USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT

HIGHGROVE 3

project no.
16036

PLAN ELEV. '2'

file name
16036-HIGHGROVE-3

drawing no.
A2b

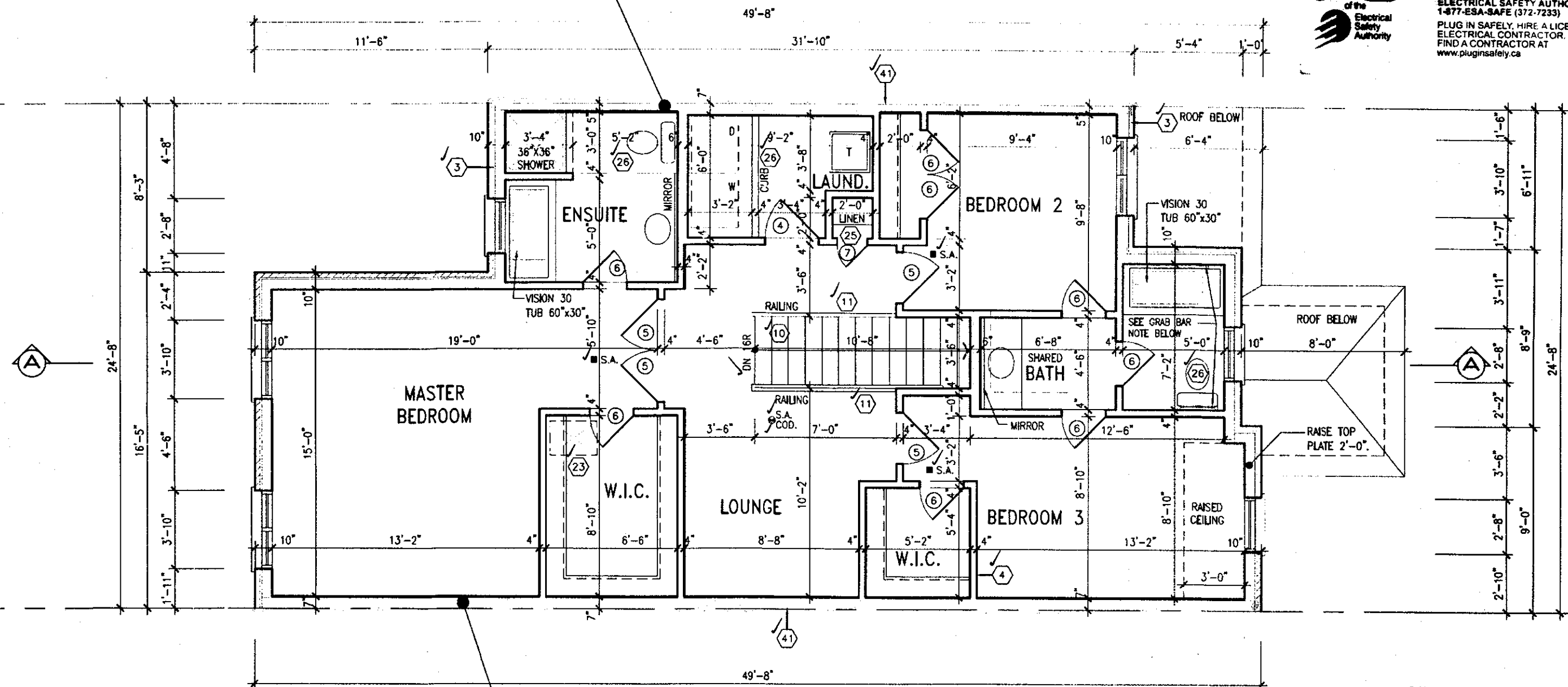
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**Electrical Contractor
Registration Agency**

**of the
Electrical
Safety
Authority**

PARTY WALL CONSTRUCTION (UPPER FLOOR)

- SUBSTITUTE 2"x6" STUDS WHERE ADDITIONAL BEARING IS REQUIRED.
- REFER TO BLOCK PLANS.



PARTY WALL CONSTRUCTION (UPPER FLOOR)

- SUBSTITUTE 2"x6" STUDS WHERE ADDITIONAL BEARING IS REQUIRED.
- REFER TO BLOCK PLANS.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
HAMILTON

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
REVISED
MAY 22 2018

REC. BY _____ DATE _____
REF'D TO _____ DATE _____

HIGHGROVE 3
COMPLIANCE PACKAGE 'A1'

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3,
3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

18				9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Richard Vink  signature BCO registration information YAS Design Inc. 42665 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Payment is not to be made until all drawings are returned.
17				8				
16				7	REV. PER CITY COMMENTS, REISSUED.	FEB, 15/18	GW	
15				6	REVISED, ISSUED FOR PERMIT.	SEP 28/17	GW	
14				5	ISSUED FOR PRICING.	AUG. 23/17	GW	
13				4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	WT	
12				3	CHANGED JOIST DEPTH / FLOOR HEIGHTS	JUN 12/17	GW	
11				2	REVISED PER CLIENT COMMENTS.	APR 28/17	GW	
10				1	PRELIMINARY REVIEW.	APR. 12/17	GW	
no.	description	date	by	no.	description	date	by	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. /s/

W	qualification information	
W	Richard Vink	2448
W	name	signature

registration information
YA3 Design Inc. 4265

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

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VA9
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com



project name	municipality
RUSSELL GARDENS PH.2	WATERDOWN, ON.

date
APRIL 2017

drawn by
WT

checked by
GW

scale
 $3/16" = 1'-0"$

HIGHGROVE 3

project no.
6036

3b

1902 SF.

CITY OF HAMILTON
Building Division

Permit No. 17-132133-00-R9

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
B. R. H. DEC 11/17
FOR CHIEF BUILDING OFFICIAL DATE

ASPHALT SHINGLES (TYP.)

MID-POINT OF MAIN ROOF

VALLEY FLASHING (TYP.)

PREFIN. ALUM. R.W.L.
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

1"x6" ALUM. CLAD
FRIEZE BD. (TYP.)

TOP OF PLATE

TOP OF WINDOW

BRICK SOLDIER OVER
BRICK STACK ON PRECAST
CONC. SILL (TYP.)

BRICK VENEER (TYP.)

PREFIN. MTL. FLASHING
W/ CAULKING TO MATCH
(TYP.)

FIN. SECOND FLOOR

TOP OF WINDOW

TOP OF TRANSOM

BRICK SOLDIER WITH
KEYSTONE (TYP.)

CONT. 4" PRECAST CONC.
SILL W/ BRICK ROWLOCK
BAND (TYP.)

FIN. GROUND FLOOR

FIN. GRADE

ROOF PLAN
ELEV. 2

PREFIN. ALUM. PANEL
(TYP.)

PRECAST CONC. SILL
(TYP.)

12" HIGH TRANSOM (FG)

FACE BRICK (TYP.)

6:12

6:12

BRICK PLASTER (TYP.)
BRICK ROWLOCK W/ 1/2"
PROJ. ON 16" WIDE 1" RAISED
BRICK PLASTER ON BRICK
ROWLOCK BASE W/ 1/2" PROJ.

18" HIGH TRANSOM (FG)

8" DIA. POST ANCHORED
TO 16"x16" SOLID
MASONRY PIER (TYP.)

FIN. SUNKEN FOYER

POURED CONC. DOOR SILL

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

FRONT ELEVATION '2'

REAR ELEVATION '2'

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OCT 16 2017

John G. Williams, Limited, Architect

3'-6" HIGH RAILING IF PORCH SLAB IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN PORCH SLAB IS LESS THAN 5'-11" ABOVE FINISHED GRADE

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
NOV 16 2017
REC. BY _____ DATE _____
REF'D TO _____ DATE _____

OCT 04 2017

HIGHGROVE 3
COMPLIANCE PACKAGE 'A1'

18			9		
17			8		
16			7		
15			6	REVISED, ISSUED FOR PERMIT.	SEP. 28/17 GW
14			5	ISSUED FOR PRICING.	AUG. 23/17 GW
13			4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17 WT
12			3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17 GW
11			2	REVISED PER CLIENT COMMENTS.	APR. 28/17 GW
10			1	PRELIMINARY REVIEW.	APR. 12/17 GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
name
registration information
VA3 Design Inc. 42658

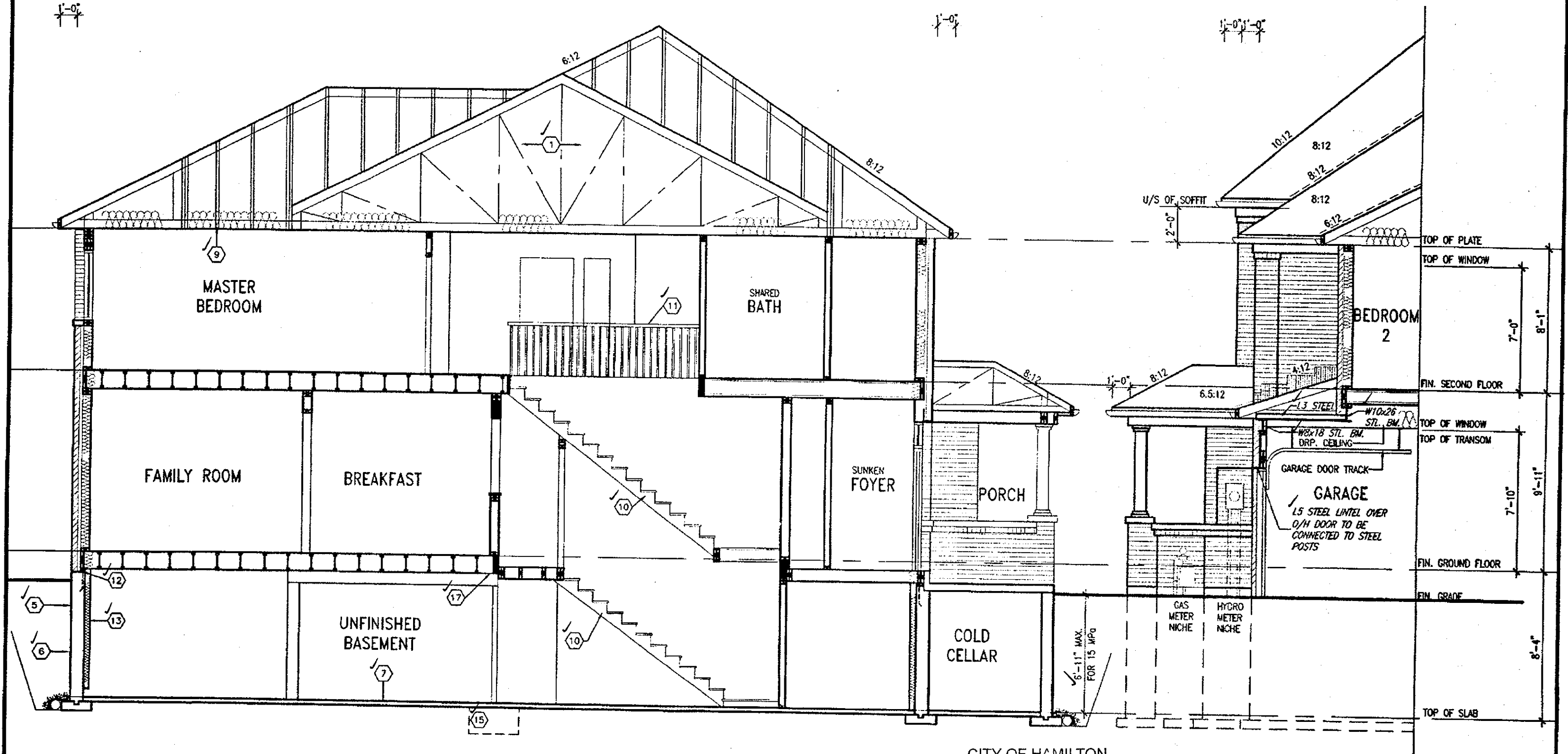
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VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
va3design.com

Greenpark.		HIGHGROVE 3	
project name RUSSELL GARDENS PH.2	municipality WATERDOWN, ON.	project no. 16036	drawing no. A4b
date APRIL 2017			
FRONT & REAR ELEVATION '2'			
drawn by WT	checked by GW	scale 3/16" = 1'-0"	file name 16036-HIGHGROVE-3
date OCT 04 2017			

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1902 SF.



SECTION A-A ELEV. 2

SECTION B

CITY OF HAMILTON
Building Division

Permit No. 17-132133-00-R9

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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
[Signature] MAY 29/18
FOR CHIEF BUILDING OFFICIAL DATE

APR 17 2018

HIGHGROVE 3
COMPLIANCE PACKAGE 'A1'

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STRUDET INC.
FOR STRUCTURE ONLY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
REVISED
MAY 22 2018
REC. BY _____ DATE _____
REF'D TO _____ DATE _____

18		9	
17		8	REVISED
16		7	REV. PER CITY COMMENTS, REISSUED.
15		6	REVISED, ISSUED FOR PERMIT.
14		5	ISSUED FOR PRICING.
13		4	REVISED AS PER CLIENT COMMENTS.
12		3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS.
11		2	REVISED PER CLIENT COMMENTS.
10		1	PRELIMINARY REVIEW.
9			
8			
7			
6			
5			
4			
3			
2			
1			
0			
no	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
name
registration information
VAS Design Inc.
24488
42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAS DESIGN
255 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
416.630.2255 416.630.4782
vasdesign.com

Greenpark.
project name
RUSSELL GARDENS PH.2
municipality
WATERDOWN, ON.

HIGHGROVE 3
project no.
16036

date
APRIL 2017
checked by
GT
scale
3/16" = 1'-0"
drawing no.
16036-HIGHGROVE-3
A6b

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: Apr. 20, 2018

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 6)
FOR ADDITIONAL WOOD DECK INFORMATION.

NOTE:
REFER TO STANDARD DRAWINGS FOR ADDITIONAL
INFORMATION.

A circular professional engineer seal for the Province of Ontario. The outer ring contains the text "REGISTERED PROFESSIONAL ENGINEER" at the top and "PROVINCE OF ONTARIO" at the bottom. In the center, the name "MARINKOVIC" is printed. There are two stylized, overlapping oval shapes behind the name, possibly representing a signature or a design element.

STRUDET INC.
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CITY OF HAMILTON
Building Division

Permit No. 17-132133-00-29

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These drawings and/or specifications have been reviewed by B. R. MAY 29/18
FOR CHIEF BUILDING OFFICIAL DATE

APR 17 2018

HIGHGROVE 3
COMPLIANCE PACKAGE 'A1'

18				3		
17				8	REVISED.	APR. 13/18 GW
16				7	REV. PER CITY COMMENTS. REISSUED.	FEB. 15/18 GW
15				6	REVISED. ISSUED FOR PERMIT.	SEP. 28/17 GW
14				5	ISSUED FOR PRICING.	AUG. 23/17 GW
13				4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17 WT
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17 GW
11				2	REVISED PER CLIENT COMMENTS.	APR. 28/17 GW
10				1	ISSUED FOR CLIENT PRELIMINARY REVIEW	
no. description		date	by	info description		date by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Richard Vink	24488
name	BCA
signature	
registration information	
VAS Design Inc.	42653

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

Drawings not to be signed

**VAD
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
L 416.630.2255 F 416.630.4782
vadesign.com

 Greenpark.		Municipality WATERDOWN, ON.	
Project Name RUSSELL GARDENS PH.2		Partial Plans - I	
Date APRIL 2017		Scale 3/16" = 1'-0"	
Drawn by WT		Checked by GW	

HIGHGROVE 3	
	project no. 16036
DECK CONDITION	drawing no.
file name 16036-HIGHGROVE-3	A7
Fri - Apr 13 2012 - 3:13 PM	

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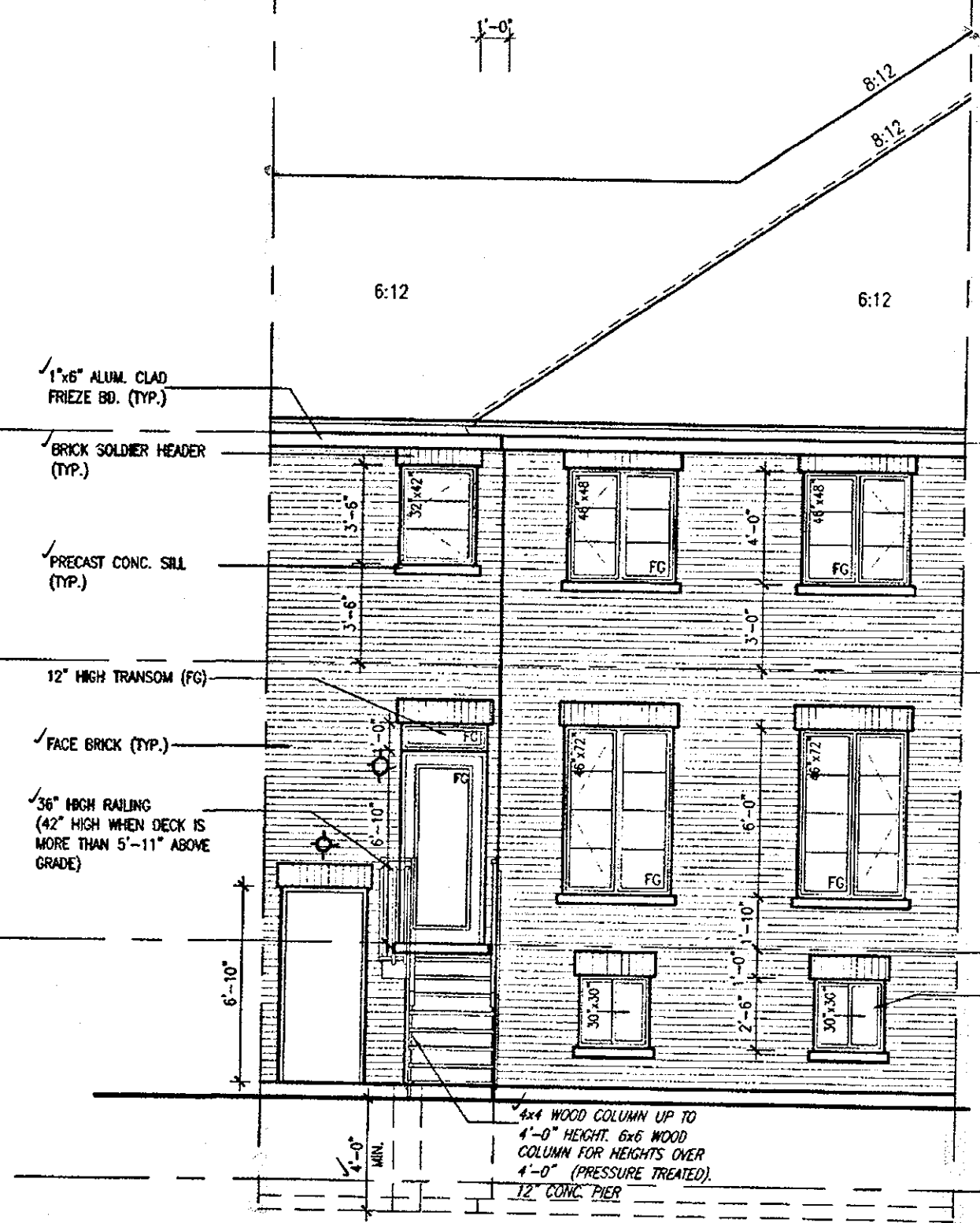
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: APR 20, 2018

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



UPGRADED REAR ELEVATION '2'
DECK CONDITION (8R OR MORE)

CITY OF HAMILTON
Building Division

Permit No. 17-132133-00-R9

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

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These drawings and/or specifications have been reviewed by
B. R. L. MAY 29/18
 FOR CHIEF BUILDING OFFICIAL DATE

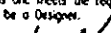
APR 17 2018

HIGHGROVE 3
COMPLIANCE PACKAGE 'A1'

18				9			
17				8	REVISED.	APR 13/18	GW
16				7	REV. PER CITY COMMENTS. REISSUED.	FEB 15/18	GW
15				6	REVISED. ISSUED FOR PERMIT.	SEP 28/17	GW
14				5	ISSUED FOR PRICING.	AUG 23/17	GW
13				4	REVISED AS PER CLIENT COMMENTS.	JUN 21/17	GW
12				3	CHANGED JOIST DEPTH/ FLOOR HEIGHTS	JUN 12/17	GW
11				2	REVISED PER CLIENT COMMENTS.	APR 28/17	GW
10				1	ISSUED FOR CLIENT PRELIMINARY REVIEW		
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and was the qualifications and meets the requirements set out in the Design Building Code to be a Designer.

qualification information

Richard Vink		24488
name	signature	BCIN
registration information		
VAS Design Inc.		42658

Contractor must only at meetings on the job and report any discrepancy to the Designer before proceeding with work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled

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 Greenpark.	
project name	municipality
RUSSELL GARDENS PH.2	WATERDOWN, ON.
date	
APRIL 2017	UPGRADE REAR ELEV. 2 - D
drawn by	scale
MT	3/16" = 1'-0"
checked by	
GW	

HIGHGROVE 3		project no. 16036
DECK CONDITION	file name 16036-HIGHGROVE-3	drawing no. A9b

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