

81K 213

2598 SF.

PAD FOOTINGS
120 KPa. NATIVE SOIL
90 KPa. ENGINEERED FILL SOIL
 F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
 F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
 F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
 F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
 F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
 (REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT
 WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)
 ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)
 WL1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
 WL2 = 4" x 3-1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
 WL3 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
 WL4 = 6" x 3-1/2" x 3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
 WL5 = 6" x 4" x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
 WL6 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
 WL7 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
 WL8 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
 WL9 = 6" x 4" x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)
 WB1 = 2-2"x8" (2-38x184) SPR. No.2
 WB2 = 3-2"x8" (3-38x184) SPR. No.2
 WB3 = 2-2"x10" (2-38x235) SPR. No.2
 WB4 = 3-2"x10" (3-38x235) SPR. No.2
 WB5 = 2-2"x12" (2-38x286) SPR. No.2
 WB6 = 3-2"x12" (3-38x286) SPR. No.2
 WB7 = 5-2"x12" (5-38x286) SPR. No.2
 WB11 = 4-2"x10" (4-38x235) SPR. No.2
 WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS
 LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
 LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
 LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
 LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
 LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
 LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
 LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
 LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
 LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
 LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
 LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
 LVL8 = 2-1 3/4"x14" (2-45x356)
 LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)
 L1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L)
 L2 = 4" x 3-1/2" x 5/16" (100x90x8.0L)
 L3 = 5" x 3-1/2" x 5/16" (125x90x8.0L)
 L4 = 6" x 3-1/2" x 3/8" (150x90x10.0L)
 L5 = 6" x 4" x 3/8" (150x100x10.0L)
 L6 = 7" x 4" x 3/8" (180x100x10.0L)

DOOR SCHEDULE

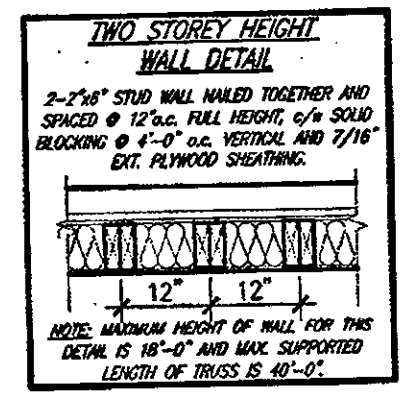
| NOS. | WIDTH | HEIGHT 8' TO 9' CEILING | HEIGHT 10' OR MORE CEILING | TYPE |
|------|--------|-------------------------|----------------------------|--------------------------|
| 1 | 2'-10" | 6'-8" | 8'-0" | INSULATED ENTRANCE DOOR |
| 1a | 2'-8" | 6'-8" | 8'-0" | INSULATED FRONT DOORS |
| 2 | 2'-8" | 6'-8" | 8'-0" | WOOD & GLASS DOOR |
| 3 | 2'-8" | 6'-8" | 8'-0" | INSULATED EXT. SLAB DOOR |
| 4 | 2'-8" | 6'-8" | 8'-0" | INTERIOR SLAB DOOR |
| 5 | 2'-6" | 6'-8" | 8'-0" | INTERIOR SLAB DOOR |
| 6 | 2'-2" | 6'-8" | 8'-0" | INTERIOR SLAB DOOR |
| 7 | 1'-6" | 6'-8" | 8'-0" | INTERIOR SLAB DOOR |

CERAMIC TILE FOR CONVENTIONAL LUMBER (OBC 9.30.6)
 SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
 PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0", 2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING
 REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING
 REFER TO ENGINEERED FLOOR FLAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

CITY OF HAMILTON
 BUILDING DIVISION
 Planning & Development Department
 NOV 21 2017
 REC BY _____ DATE _____
 REF'D TO _____ DATE _____

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))

| DEWBERRY 2E AND ELEV. 1 | ENERGY EFFICIENCY - OBC SB12 | | |
|--|------------------------------|--------------|------------|
| | WALL AREA S.F. | OPENING S.F. | PERCENTAGE |
| ELEVATION | | | |
| FRONT | 635.50 S.F. | 164.90 S.F. | 25.95 % |
| LEFT SIDE | 1059.50 S.F. | 0.00 S.F. | 0.00 % |
| RIGHT SIDE | 1059.50 S.F. | 124.25 S.F. | 11.73 % |
| REAR | 718.17 S.F. | 166.55 S.F. | 23.19 % |
| * OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION | | | |
| TOTAL SQ. FT. | 3472.67 S.F. | 455.70 S.F. | 13.12 % |
| TOTAL SQ. M. | 322.62 S.M. | 42.34 S.M. | 13.12 % |

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))

| DEWBERRY 2E AND ELEV. 2 | ENERGY EFFICIENCY - OBC SB12 | | |
|--|------------------------------|--------------|------------|
| | WALL AREA S.F. | OPENING S.F. | PERCENTAGE |
| ELEVATION | | | |
| FRONT | 635.50 S.F. | 163.37 S.F. | 25.71 % |
| LEFT SIDE | 1059.50 S.F. | 0.00 S.F. | 0.00 % |
| RIGHT SIDE | 1059.50 S.F. | 124.25 S.F. | 11.73 % |
| REAR | 718.17 S.F. | 166.55 S.F. | 23.19 % |
| * OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION | | | |
| TOTAL SQ. FT. | 3472.67 S.F. | 454.17 S.F. | 13.08 % |
| TOTAL SQ. M. | 322.62 S.M. | 42.19 S.M. | 13.08 % |

AREA CALCULATIONS ELEV '1'

| | |
|-----------------------------|----------------|
| LOWER LEVEL FLOOR AREA | 742 SF |
| MAIN LEVEL FLOOR AREA | 934 SF |
| UPPER LEVEL FLOOR AREA | 922 SF |
| TOTAL FLOOR AREA | 2598 SF |
| | (241.36 m2) |
| LOWER LEVEL FLOOR OPEN AREA | XX SF |
| MAIN LEVEL FLOOR OPEN AREA | XX SF |
| UPPER LEVEL FLOOR OPEN AREA | XX SF |
| ADD TOTAL OPEN AREAS | +XX SF |
| ADD FINISHED BSMT AREA | +XX SF |
| GROSS FLOOR AREA | 2598 SF |
| | (241.36 m2) |
| MAIN LEVEL FLOOR COVERAGE | 742 SF |
| GARAGE COVERAGE/AREA | 216 SF |
| PORCH COVERAGE/AREA | 99 SF |
| COVERAGE W/ PORCH | 1057 SF |
| | (98.19 m2) |
| COVERAGE W/O PORCH | 958 SF |
| | (89.00 m2) |

AREA CALCULATIONS ELEV '2'

| | |
|-----------------------------|----------------|
| LOWER LEVEL FLOOR AREA | 742 SF |
| MAIN LEVEL FLOOR AREA | 934 SF |
| UPPER LEVEL FLOOR AREA | 922 SF |
| TOTAL FLOOR AREA | 2598 SF |
| | (241.36 m2) |
| LOWER LEVEL FLOOR OPEN AREA | XX SF |
| MAIN LEVEL FLOOR OPEN AREA | XX SF |
| UPPER LEVEL FLOOR OPEN AREA | XX SF |
| ADD TOTAL OPEN AREAS | +XX SF |
| ADD FINISHED BSMT AREA | +XX SF |
| GROSS FLOOR AREA | 2598 SF |
| | (241.36 m2) |
| MAIN LEVEL FLOOR COVERAGE | 742 SF |
| GARAGE COVERAGE/AREA | 216 SF |
| PORCH COVERAGE/AREA | 99 SF |
| COVERAGE W/ PORCH | 1057 SF |
| | (98.19 m2) |
| COVERAGE W/O PORCH | 958 SF |
| | (89.00 m2) |

CITY OF HAMILTON
 Building Division
 17-132417

Permit No. _____
 THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE.
 THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW.
 These drawings and/or specifications have been reviewed by
 AUG 22 2018
 DATE
 FOR CHIEF BUILDING OFFICIAL



STRUDET INC.
 FOR STRUCTURE ONLY

OCT 04 2017

DEWBERRY 2E
 COMPLIANCE PACKAGE 'A4'

| no. | description | date | by | no. | description | date | by |
|-----|-------------|------|----|-----|-------------------------------------|------------|----|
| 18 | | | | 9 | | | |
| 17 | | | | 8 | | | |
| 16 | | | | 7 | | | |
| 15 | | | | 6 | REVISED. ISSUED FOR PERMIT. | SEP. 29/17 | GW |
| 14 | | | | 5 | ISSUED FOR PRICING. | AUG. 24/17 | GW |
| 13 | | | | 4 | REVISED AS PER ENGINEER COMMENTS. | AUG. 22/17 | WT |
| 12 | | | | 3 | FLOOR JOIST CO-ORD. | JUL. 13/17 | GW |
| 11 | | | | 2 | REV. PER CLIENT COMMENTS. REISSUED. | JUN. 26/17 | GW |
| 10 | | | | 1 | PLANS ISSUED FOR PRELIM. REVIEW. | JUN. 21/17 | GW |

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
 qualification information
 Richard Vink 24488
 signature
 VAS Design Inc. 42658
 some registration information
 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAS DESIGN
 255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 416.630.2255 | 416.630.4782
 vasdesign.com

Greenpark.
 project name: RUSSELL GARDENS PH.2
 location: WATERDOWN, ON.
 date: JUNE 2017
 scale: 3/16" = 1'-0"
 project no.: 16035-DEWBERRY-2E
 drawing no.: AO

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2598 SF.

BASEMENT WALL INSULATION
(TYP) (13)
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING.

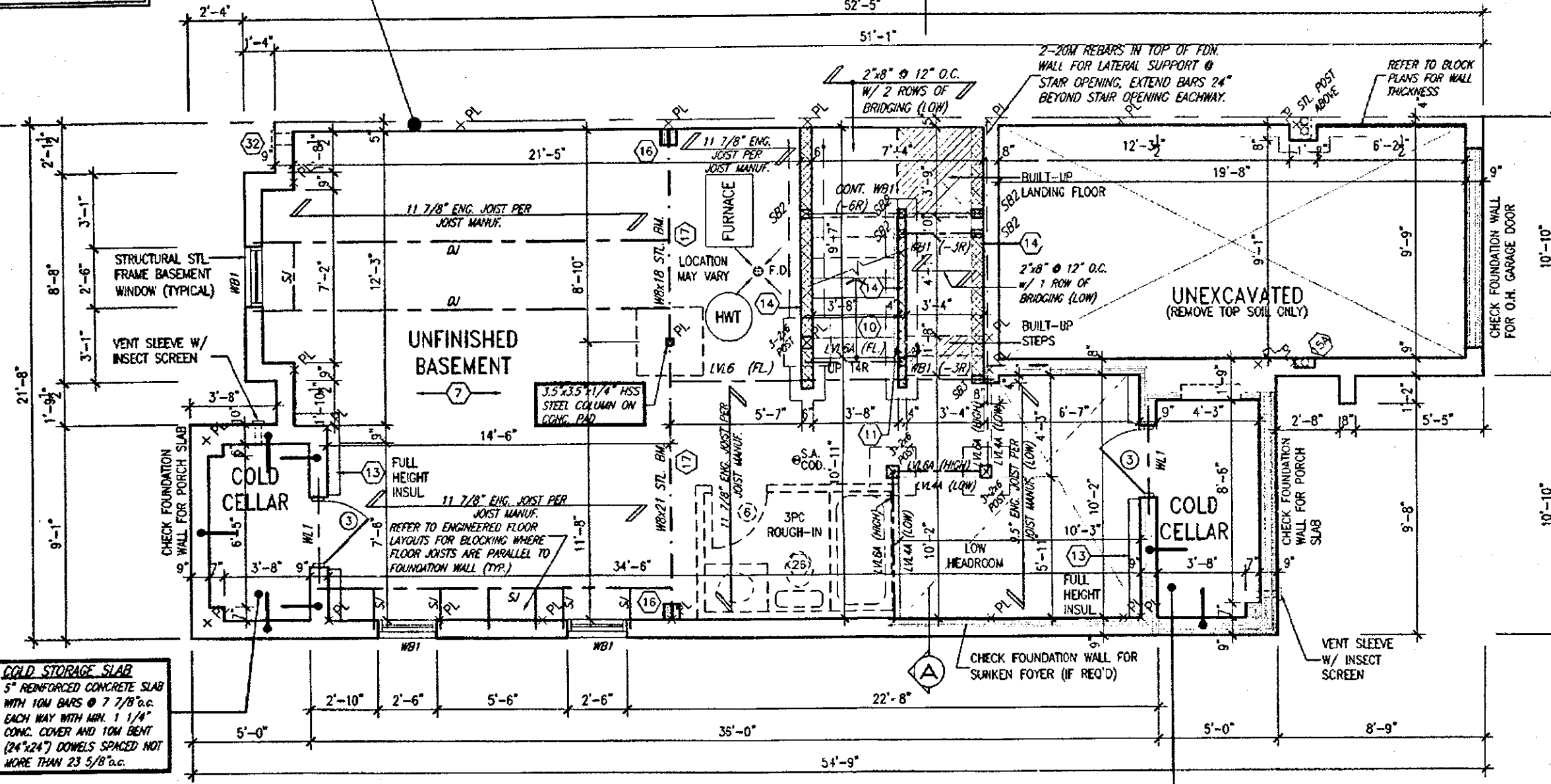
BASEMENT INSULATION AT STAIR/SUNKEN AREAS where FRAMING IS REQ'D. FOR SUPPORT.
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION.
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

PARTY WALL AT GARAGE SIDE CONSTRUCTION
• REFER TO BLOCK PLANS TO CONFIRM WHETHER SK4 OR SK5 PARTY WALL IS TO BE BUILT.
• REFER TO DETAIL PAGES 4 OR 4A TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

MAY 24 2018

REC BY _____ DATE _____
REF'D TO _____ DATE _____



COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB WITH 10M BARS @ 7 7/8"o.c. EACH WAY WITH MIN. 1 1/4" CONC. COVER AND 10M BENT (24"x24") DOWELS SPACED NOT MORE THAN 23 5/8"o.c.

ENGINEERED FLOOR SUBFLOORS
ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR FOR ENGINEERED JOIST ONLY.

COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB WITH 10M BARS @ 7 7/8"o.c. EACH WAY WITH MIN. 1 1/4" CONC. COVER AND 10M BENT (24"x24") DOWELS SPACED NOT MORE THAN 23 5/8"o.c.

BASEMENT PLAN ELEVATION '1'

CITY OF HAMILTON Building Division
Permit No. 17-132417
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS
These drawings and/or specifications have been reviewed by
AUG 22 2018
FOR CHIEF BUILDING OFFICIAL DATE

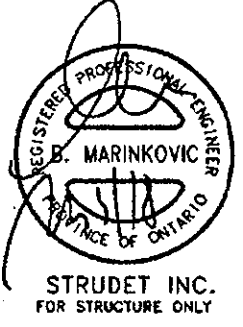
MAY 03 2018

DEWBERRY 2E
COMPLIANCE PACKAGE 'A4'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY _____
DATE May 17, 2018
This stamp certifies compliance with the applicable Design Guidelines and does not constitute professional responsibility.



| no. | description | date | by | no. | description | date | by |
|-----|-------------|------|----|-----|--------------------------------------|------------|----|
| 18 | | | | 9 | | | |
| 17 | | | | 8 | REVISED. | APR. 26/18 | GW |
| 16 | | | | 7 | REVISED PER CITY COMMENTS. REISSUED. | MAR. 06/18 | GW |
| 15 | | | | 6 | REVISED. ISSUED FOR PERMIT. | SEP. 29/17 | GW |
| 14 | | | | 5 | ISSUED FOR PRICING. | AUG. 24/17 | WT |
| 13 | | | | 4 | REVISED AS PER ENGINEER COMMENTS. | AUG. 22/17 | WT |
| 12 | | | | 3 | FLOOR JOIST CO-ORD. | JUL 13/17 | GW |
| 11 | | | | 2 | REV. PER CLIENT COMMENTS. REISSUED. | JUN 26/17 | GW |
| 10 | | | | 1 | PLANS ISSUED FOR PRELIM. REVIEW. | JUN 21/17 | GW |

The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
24488
42653
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
vasdesign.com

Greenpark.
PROJECT name: RUSSELL GARDENS PH.2
MUNICIPALITY: WATERDOWN, ON.
DATE: JUNE, 2017
checked by: [Signature] scale: 3/16" = 1'-0"
16036-DEWBERRY-2E
drawing no. A1
END DEWBERRY 2E
project no. 16036

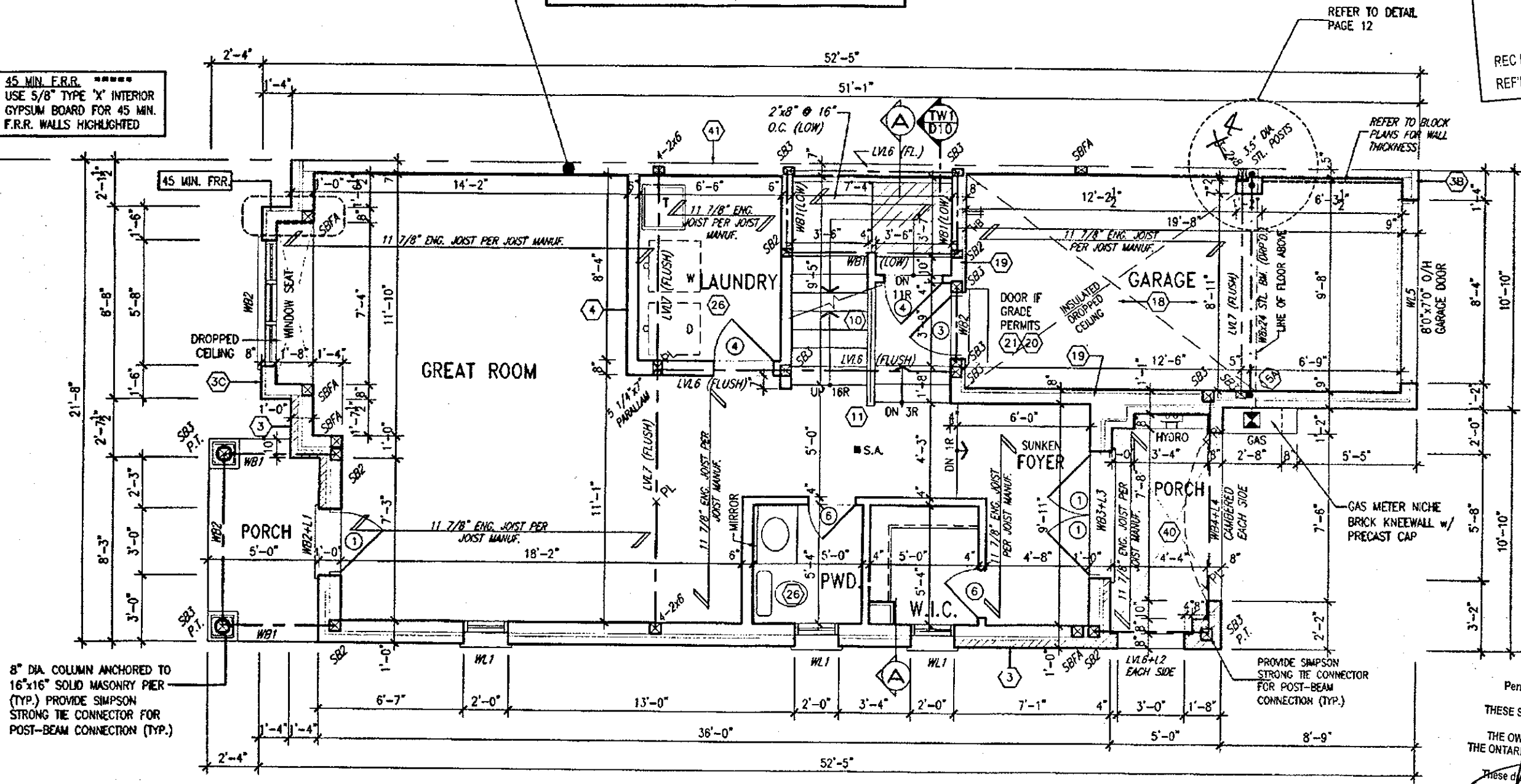
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2598 SF.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
MAY 24 2018
REC BY _____ DATE _____
REF'D TO _____ DATE _____

PARTY WALL AT GARAGE SIDE CONSTRUCTION
 • REFER TO BLOCK PLANS TO CONFIRM WHETHER SK4 OR SK5 PARTY WALL IS TO BE BUILT.
 • REFER TO DETAIL PAGES 4 OR 4A TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

45 MIN. F.R.R. *****
USE 5/8" TYPE 'X' INTERIOR GYPSUM BOARD FOR 45 MIN. F.R.R. WALLS HIGHLIGHTED



ENTRY LEVEL PLAN ELEVATION '1'

ENGINEERED FLOOR SUBFLOORS
ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR FOR ENGINEERED JOIST ONLY.

CITY OF HAMILTON Building Division
Permit No. 17-132417
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
AUG 22 2018
DATE

MAY 03 2018

DEWBERRY 2E
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY _____
DATE: May 17, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



| | | | | | | | | | |
|-----|-------------|------|----|-----|-------------------------------------|-----------|----|--|--|
| 18 | | | | | | | | | |
| 17 | | | | 9 | | | | | |
| 16 | | | | 8 | REVISED. | APR 26/18 | CW | | |
| 15 | | | | 7 | REVISED PER CITY COMMENTS REISSUED. | MAR 06/18 | CW | | |
| 14 | | | | 6 | REVISED. ISSUED FOR PERMIT. | SEP 29/17 | CW | | |
| 13 | | | | 5 | ISSUED FOR PRICING. | AUG 24/17 | CW | | |
| 12 | | | | 4 | REVISED AS PER ENGINEER COMMENTS. | AUG 22/17 | WT | | |
| 11 | | | | 3 | FLOOR JOIST CO-ORD. | JUL 13/17 | GW | | |
| 10 | | | | 2 | REV. PER CLIENT COMMENTS. REISSUED. | JUN 26/17 | GW | | |
| 9 | | | | 1 | PLANS ISSUED FOR PRELIM. REVIEW. | JUN 21/17 | GW | | |
| no. | description | date | by | no. | description | date | by | | |

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
 qualification information
 Richard Vink 24485
 name registration information
 VAS Design Inc. 42658
 Signature: *R. Vink*
 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.
project name: RUSSELL GARDENS PH.2
municipality: WATERDOWN, ON.
date: JUNE, 2017
checked by: [signature]
scale: 3/16" = 1'-0"
16036-DEWBERRY-2E

END DEWBERRY 2E
project no. 16036
drawing no. A2

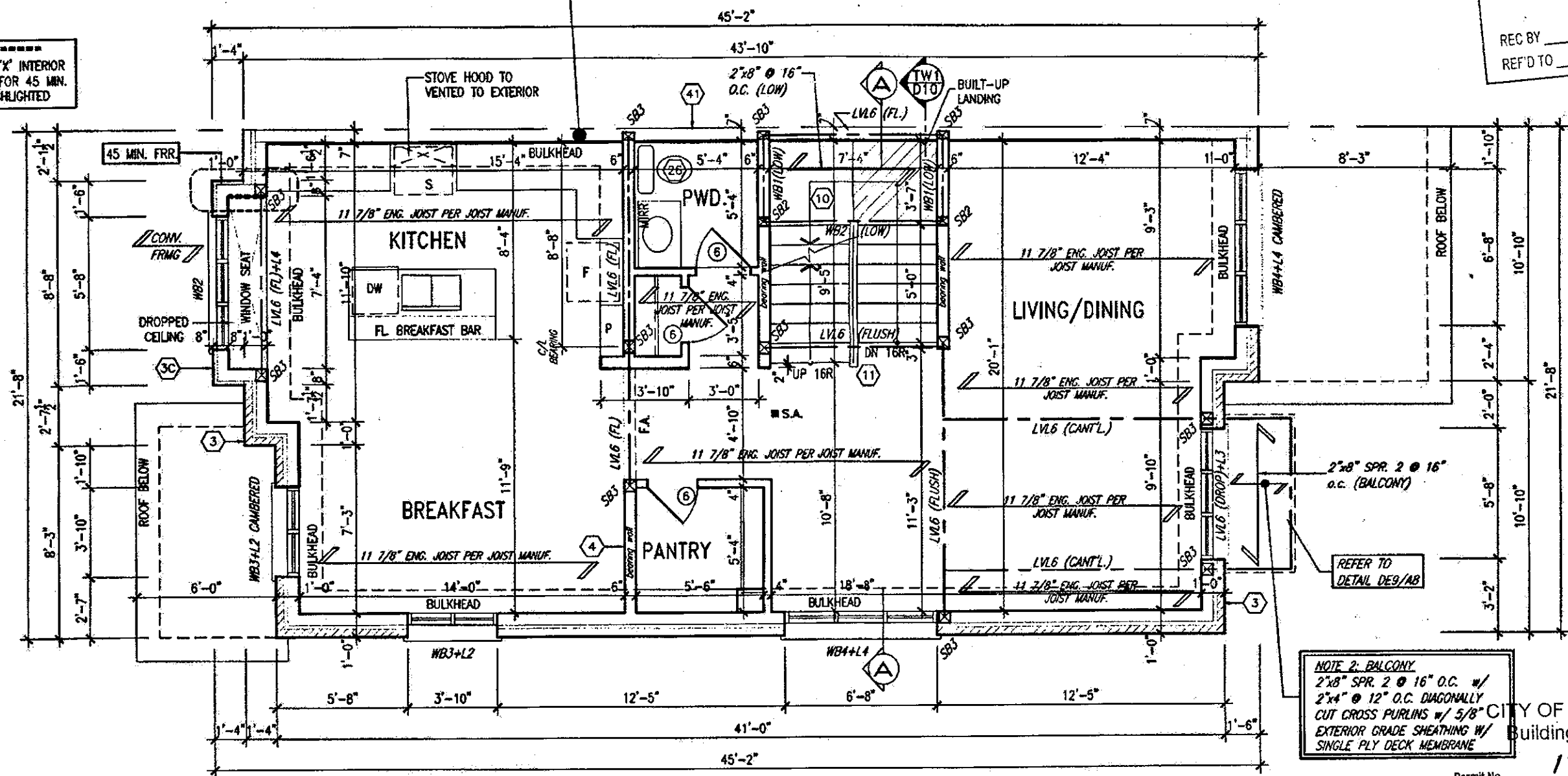
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2598 SF.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
MAY 24 2018
REC BY _____ DATE _____
REF'D TO _____ DATE _____

PARTY WALL AT GARAGE SIDE CONSTRUCTION
 • REFER TO BLOCK PLANS TO CONFIRM WHETHER SK4 OR SK5 PARTY WALL IS TO BE BUILT.
 • REFER TO DETAIL PAGES 4 OR 4A TO VERIFY PARTY WALL THICKNESS/CONSTRUCTION.

45 MIN. F.R.R. -----
 USE 5/8" TYPE 'X' INTERIOR GYPSUM BOARD FOR 45 MIN. F.R.R. WALLS HIGHLIGHTED



MAIN FLOOR PLAN ELEVATION '1'

ENGINEERED FLOOR SUBFLOORS
 ALL SUBFLOORS TO BE 5/8" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR FOR ENGINEERED JOIST ONLY.

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JOHN G. WILLEMS LTD., ARCHITECT
 ARCHITECTURAL DESIGN, REVIEW AND APPROVAL
 APPROVED BY: _____
 DATE: Mar 08, 2018
 This stamp certifies compliance with the applicable Design Guidelines only and does not further professional responsibility.



STRUDET INC.
 FOR STRUCTURE ONLY

NOTE 2: BALCONY
 2"x8" SPR. 2 @ 16" O.C. w/
 2"x4" @ 12" O.C. DIAGONALLY
 CUT CROSS PURLINS w/ 5/8"
 EXTERIOR GRADE SHEATHING w/
 SINGLE PLY DECK MEMBRANE
 REFER TO
 DETAIL DES/AB

CITY OF HAMILTON
 Building Division
 17-132417
 Permit No. _____
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 These drawings and/or specifications have been reviewed by
 AUG 22 2018
 FOR BUILDING OFFICIAL DATE

DEWBERRY 2E
 COMPLIANCE PACKAGE 'A4'

| | | | | | | | |
|-----|-------------|------|----|--------------------------------------|-------------|------|----|
| 18 | | | 9 | | | | |
| 17 | | | 8 | | | | |
| 16 | | | 7 | REVISED PER CITY COMMENTS, REISSUED. | MAR. 05/18 | GW | |
| 15 | | | 6 | REVISED, ISSUED FOR PERMIT. | SEP. 29/17 | GW | |
| 14 | | | 5 | ISSUED FOR PRICING. | AUG. 24/17 | GW | |
| 13 | | | 4 | REVISED AS PER ENGINEER COMMENTS. | AUG. 22/17 | WT | |
| 12 | | | 3 | FLOOR JOIST CO-ORD. | JUL. 13/17 | GW | |
| 11 | | | 2 | REV. PER CLIENT COMMENTS, REISSUED. | JUN. 26/17 | GW | |
| 10 | | | 1 | PLANS ISSUED FOR PREJM. REVIEW. | JUN. 21/17 | GW | |
| no. | description | date | by | no. | description | date | by |

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
 qualification information
 Richard Vink 24488
 name
 registration information
 VAS Design Inc. 42658
 signature
 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be retained at the completion of the work. Drawings are not to be scaled.

VAS DESIGN
 255 Consumers Rd Suite 120
 Toronto ON M2L 1R4
 t 416.630.2255 f 416.630.4782
 vasdesign.com

Greenpark.
 project name
 RUSSELL GARDENS PH.2
 municipality
 WATERDOWN, ON.
 date
 JUNE, 2017
 drawn by
 WT
 checked by
 scale
 3/16" = 1'-0"
 project no.
 16036-DEWBERRY-2E
 drawing no.
 A3

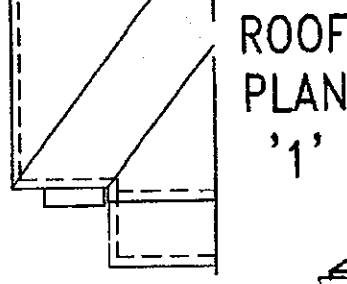
END
 DEWBERRY 2E
 project no.
 16036
 drawing no.
 A3

2598 SF.

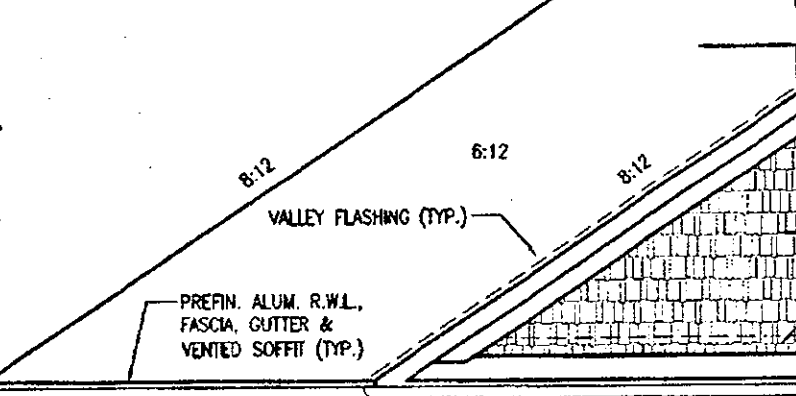
CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

MAY 24 2018

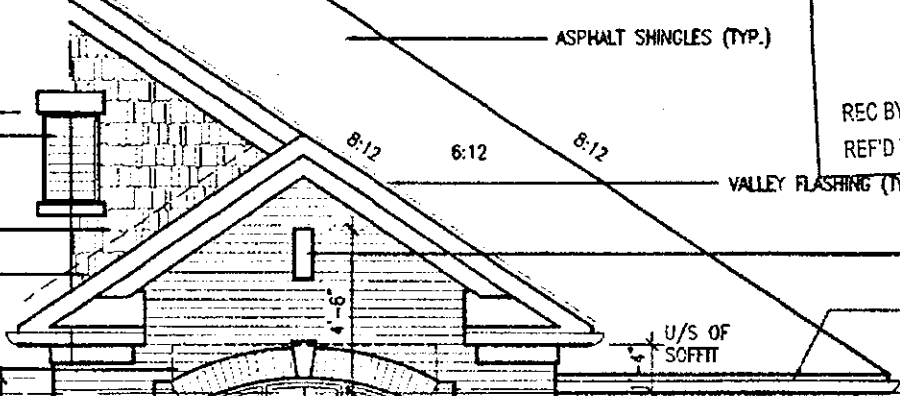
REC BY _____ DATE _____
REF'D TO _____ DATE _____



ROOF PLAN '1'



REAR ELEVATION '1'



FRONT ELEVATION

1"x6" ALUM. CLAD FRIEZE BD.
TOP OF DOOR
7'-4"
5'-0"
42" HIGH PREFIN. GUARD
2'-4"
2'-4"
6" CURB @ DOOR
BRICK SOLDIER W/ KEYSTONE ON 10" & 4" BRICK STACK (TYP.)
5'-0"
CONT. PRECAST CONC. SILL ON BRICK SOLDIER BAND (TYP.)
2'-6"
PRECAST CONC. SILL ON BRICK SOLDIER (TYP.)
2'-6"
PRECAST CONC. HEADER OVER ENTRY DOOR
12" HIGH FG. TRANSOM (TYP.)
1'-0"
7" PRECAST CONC. ARCH SURROUND w/ KEYSTONE (TYP.)
6'-10"
CONTINUOUS PRECAST CONC. SILL OVER STONE VENEER (TYP.)
SUNKEN FOYER

ASPHALT SHINGLES (TYP.)
18"x30" DECOR LOUVRE PANEL WITH VINYL HEADER AND SILL
CEDAR SHAKE VINYL SIDING (TYP.)
PREFIN. MTL. FLASHING, W/ CAULKING BEHIND CLADDING (TYP.)
16" HIGH RAISED CEILING
BRICK SOLDIER ON BRICK STACK (TYP.)
FACE BRICK (TYP.)
CONT. PRECAST CONC. SILL (TYP.)
CONT. PRECAST CONC. SILL ON BRICK SOLDIER BAND (TYP.)
PREFIN. MTL. FLASHING, W/ CAULKING TO MATCH (TYP.)
BRICK SOLDIER ARCH W/ KEYSTONE ON 10" & 4" BRICK STACK (TYP.)
CREZON PANELS w/ CAPE COD TRIM (TYP.)
PRECAST CONC. SILL (TYP.)
PREFIN. MTL. FLASHING, W/ CAULKING TO MATCH (TYP.)
1"x6" ALUM. CLAD FRIEZE BD.
BRICK SOLDIER W/ KEYSTONE
STONE VENEER (TYP.)
U/S OF SOFFIT

ASPHALT SHINGLES (TYP.)
VALLEY FLASHING (TYP.)
6"x16" PRECAST CONC. IMPOST (TYP.)
PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)
TOP OF PLATE
1"x6" ALUM. CLAD FRIEZE TOP OF WINDOW
BRICK SOLDIER ON 4" BRICK STACK
CONT. PRECAST CONC. SILL ON BRICK SOLDIER BAND (TYP.)
FIN. UPPER FLOOR
TOP OF WINDOW
BRICK SOLDIER ARCH W/ KEYSTONE ON 10" & 4" BRICK STACK (TYP.)
7'-5"
PRECAST CONC. SILL (TYP.)
FIN. MAIN FLOOR
TOP OF WINDOW / TRANSOM
8" DIA. COLUMN ANCHORED TO 16"x16" SOLID MASONRY PIER (TYP.) PROVIDE SIMPSON STRONG TIE CONNECTOR FOR POST-BEAM CONNECTION (TYP.)
FIN. ENTRY FLOOR
FIN. GRADE

GARAGE DOOR G2A-8
POURED CONC. PORCH SLAB AND DOOR SILL
PRECAST CONC. CAP OVER GAS METER NICHE. SLOPE CAP AWAY FROM BUILDING FACE.
POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)
30"x16"
CITY OF HAMILTON Building Division
Permit No. 17-132417
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and specifications have been reviewed by
AUG 22 2018
FOR CLIENT FORWING OFFICIAL DATE
POURED CONC. PORCH SLAB AND DOOR SILL
TOP OF SLAB

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY _____
DATE May 17, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

| no. | description | date | by | no. | description | date | by |
|-----|-------------|------|----|-----|-------------------------------------|------------|----|
| 18 | | | | 3 | REVISED. | APR. 26/18 | GW |
| 17 | | | | 8 | REVISED. | MAR. 06/18 | GW |
| 16 | | | | 7 | REVISED PER CITY COMMENTS REISSUED. | SEP. 29/17 | GW |
| 15 | | | | 6 | REVISED, ISSUED FOR PERMIT. | AUG. 24/17 | GW |
| 14 | | | | 5 | ISSUED FOR PRICING. | AUG. 22/17 | WT |
| 13 | | | | 4 | REVISED AS PER ENGINEER COMMENTS. | JUL 13/17 | GW |
| 12 | | | | 3 | FLOOR JOIST CO-ORD. | JUN 26/17 | GW |
| 11 | | | | 2 | REV. PER CLIENT COMMENTS. REISSUED. | JUN 21/17 | GW |
| 10 | | | | 1 | PLANS ISSUED FOR PRE-JM. REVIEW. | | |

The undersigned has reviewed and takes responsibility for this design and has the qualifications and assets the requirements set out in the Ontario Building Code to be a Designer.
Richard Vink 24488
signature
VAS Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are statements of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto, ON, M2J 1R4
416.630.2255 / 416.630.4782
va3design.com

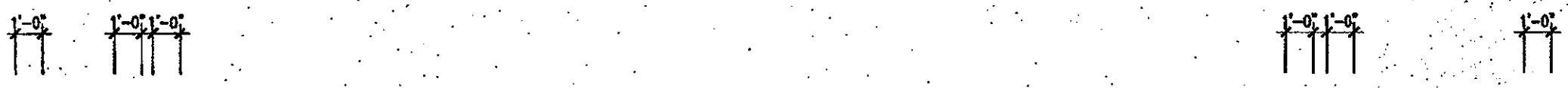
Greenpark.
project name: RUSSELL GARDENS PH.2
municipality: WATERDOWN, ON.
date: JUNE, 2017
checked by: [signature]
scale: 3/16" = 1'-0"
16036-DEWBERRY-2E
drawing no. A5

END
DEWBERRY 2E
project no. 16036
drawing no. A5

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2598 SF.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
NOV 21 2017
REC BY _____ DATE _____
REF'D TO _____ DATE _____

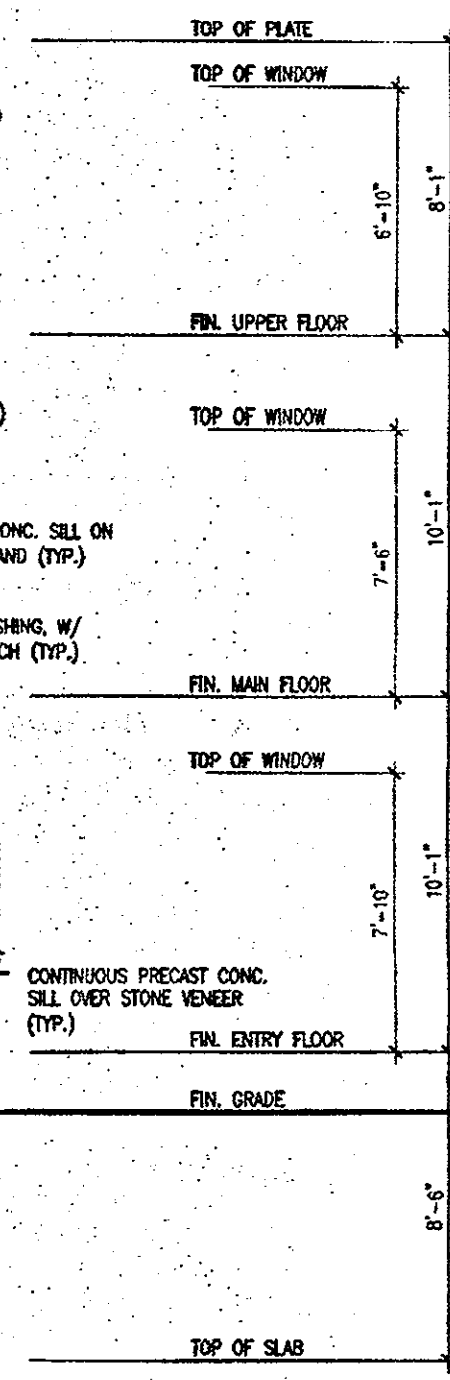


BRICK SOLDIER ON 4" BRICK STACK
PRECAST CONC. SILL ON BRICK ROWLOCK (TYP.)
CONT. PRECAST CONC. SILL (TYP.)

CREZON PANELS w/ CAPE COD TRIM (TYP.)

CREZON PANELS w/ CAPE COD TRIM (TYP.)
STONE VENEER (TYP.)
8" DIA COLUMN ANCHORED TO 16"x16" SOLID MASONRY PIER (TYP.) PROVIDE SIMPSON STRONG-TIE CONNECTOR FOR POST-BEAM CONNECTION (TYP.)

1"x6" ALUM. CLAD FREEZE BD.
42" HIGH PREFIN. GUARD
FACE BRICK (TYP.)
CONT. PRECAST CONC. SILL ON BRICK SOLDIER BAND (TYP.)
PREFIN. MTL. FLASHING, w/ CAULKING TO MATCH (TYP.)



| | |
|-------------------|-----------------|
| WALL AREA | 1390.19 SQ. FT. |
| LIMITING DISTANCE | 1.5 M (7X) |
| OPENING ALLOWED | 97.31 SQ. FT. |
| OPENING PROVIDED | 93.86 SQ. FT. |

CITY OF HAMILTON Building Division
Permit No. 17-132417

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ARCHITECTURAL REVIEW & APPROVAL
OCT 16 2017
John G. Williams Limited, Architect

SIDE ELEVATION '1'

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
AUG 22 2018
FOR THE BUILDING OFFICIAL DATE

OCT 04 2017

DEWBERRY 2E
COMPLIANCE PACKAGE 'A4'

| no. | description | date | by | no. | description | date | by |
|-----|-------------|------|----|-----|-------------------------------------|------------|----|
| 18 | | | | 9 | | | |
| 17 | | | | 8 | | | |
| 16 | | | | 7 | | | |
| 15 | | | | 6 | REVISED. ISSUED FOR PERMIT. | SEP. 29/17 | GW |
| 14 | | | | 5 | ISSUED FOR PRICING. | AUG. 24/17 | GW |
| 13 | | | | 4 | REVISED AS PER ENGINEER COMMENTS. | AUG. 22/17 | WT |
| 12 | | | | 3 | FLOOR JOIST CD-ORD. | JUL. 13/17 | GW |
| 11 | | | | 2 | REV. PER CLIENT COMMENTS. REISSUED. | JUN. 26/17 | GW |
| 10 | | | | 1 | PLANS ISSUED FOR PRELIM. REVIEW. | JUN. 21/17 | GW |

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Richard Vink
signature
24488
42658
name
VA3 Design Inc.
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va3design.com

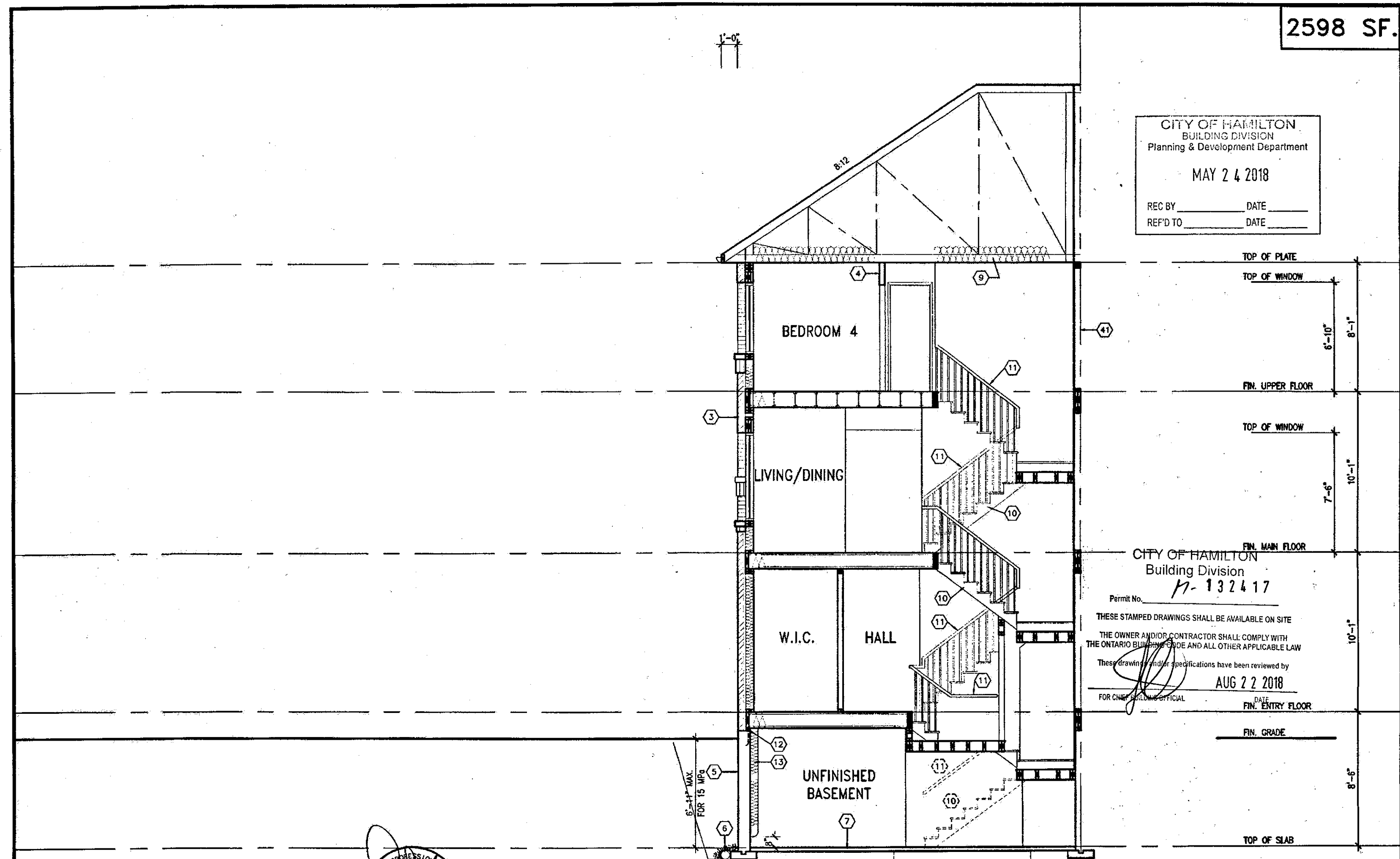
Greenpark
project name
RUSSELL GARDENS PH.2
municipality
WATERDOWN, ON.
date
JUNE, 2017
checked by
scale
3/16" = 1'-0"
16036-DEWBERRY-2E
drawing no.
A6

END
DEWBERRY 2E
project no.
16036
drawing no.
A6

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2598 SF.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
MAY 24 2018
REC BY _____ DATE _____
REF'D TO _____ DATE _____

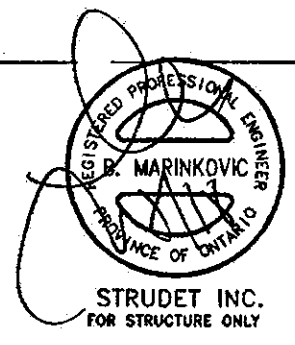


TOP OF PLATE
TOP OF WINDOW
6'-10"
8'-1"
FIN. UPPER FLOOR
TOP OF WINDOW
7'-6"
10'-1"
FIN. MAIN FLOOR
CITY OF HAMILTON Building Division
Permit No. **M-132417**
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
AUG 22 2018
FOR CHIEF BUILDING OFFICIAL DATE
FIN. ENTRY FLOOR
FIN. GRADE
8'-6"
TOP OF SLAB

SECTION A-A - ELEV. '1'

DEWBERRY 2E
COMPLIANCE PACKAGE 'A4'

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| no. | description | date | by | no. | description | date | by |
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| 18 | | | | 9 | | | |
| 17 | | | | 8 | | | |
| 16 | | | | 7 | REVISED PER CITY COMMENTS, REISSUED. | MAR. 06/18 | GW |
| 15 | | | | 6 | REVISED, ISSUED FOR PERMIT. | SEP. 29/17 | GW |
| 14 | | | | 5 | ISSUED FOR PRICING. | AUG. 24/17 | GW |
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signature
name registration information
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Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH.2 WATERDOWN, ON.
date
JUNE, 2017
checked by
WT
scale
3/16" = 1'-0"

END
DEWBERRY 2E
project no.
16036
drawing no.
A7
16036-DEWBERRY-2E

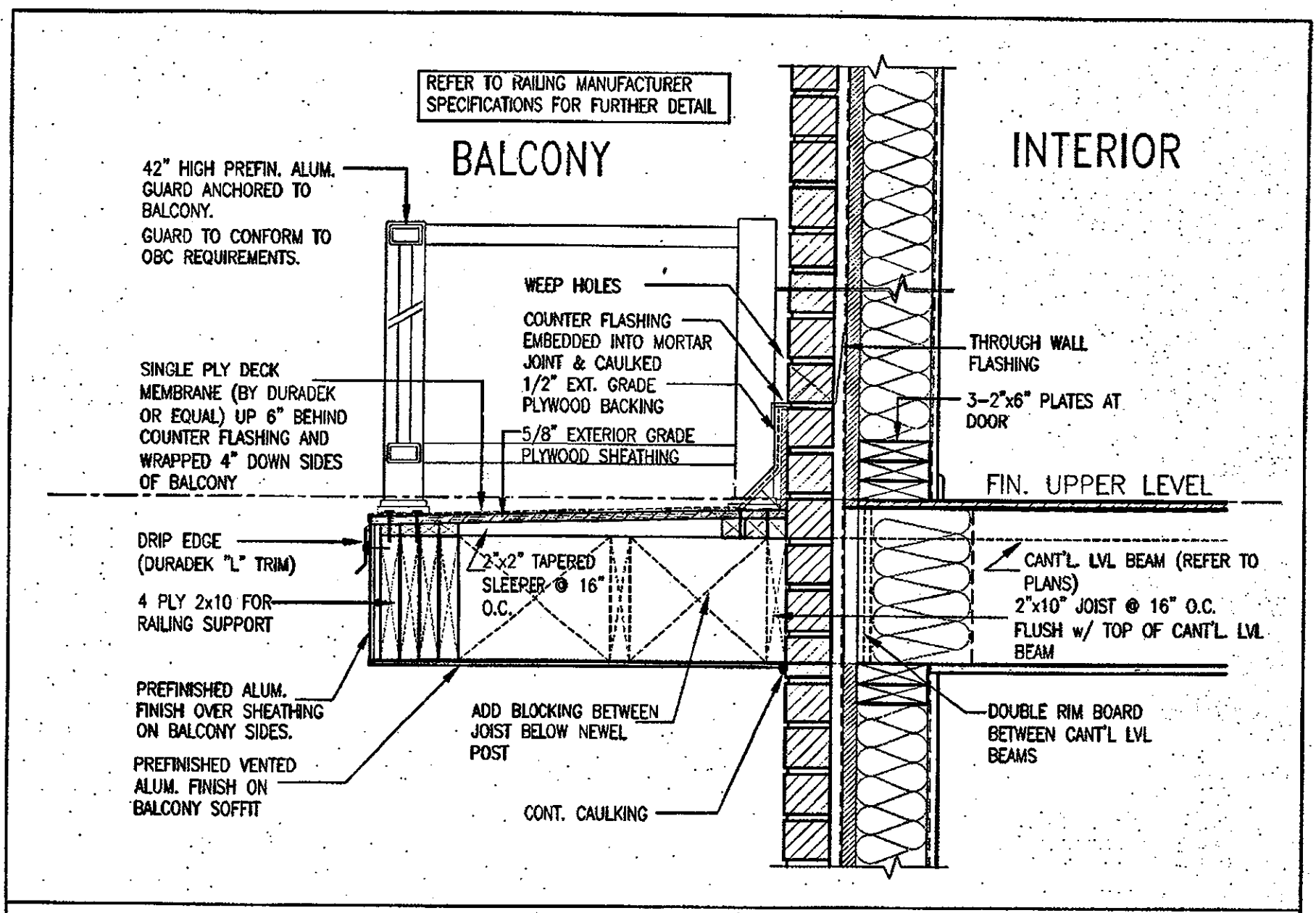
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BUILDING DIVISION
Planning & Development Department

NOV 21 2017

REC BY _____ DATE _____
REF'D TO _____ DATE _____

2598 SF.



DE9 SECTION THROUGH BALCONY AT UPPER LEVEL SCALE: N.T.S.
(Refer to unit plans)

CITY OF HAMILTON
Building Division

Permit No. 17-132417

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
[Signature] AUG 7 2017
DATE

FOR CHIEF HOLDING OFFICIAL

OCT 04 2017

DEWBERRY 2E
COMPLIANCE PACKAGE 'A4'

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STRUDET INC.
FOR STRUCTURE ONLY

| no. | description | date | by | no. | description | date | by |
|-----|-------------|------|----|-----|-------------------------------------|------------|----|
| 18 | | | | 9 | | | |
| 17 | | | | 8 | | | |
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| 11 | | | | 2 | REV. PER CLIENT COMMENTS, REISSUED. | JUN. 26/17 | GW |
| 10 | | | | 1 | PLANS ISSUED FOR PRELIM. REVIEW. | JUN. 21/17 | GW |
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qualification information
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name
registration information
VA3 Design Inc. 42658

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
RUSSELL GARDENS PH.2 WATERDOWN, ON.
date
JUNE, 2017
checked by
scale
3/16" = 1'-0"

END
DEWBERRY 2E

project no.
16036

drawing no.
A8

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