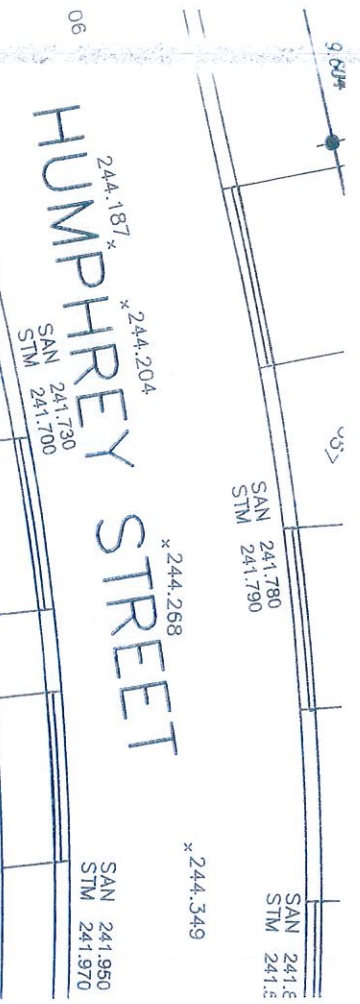


It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

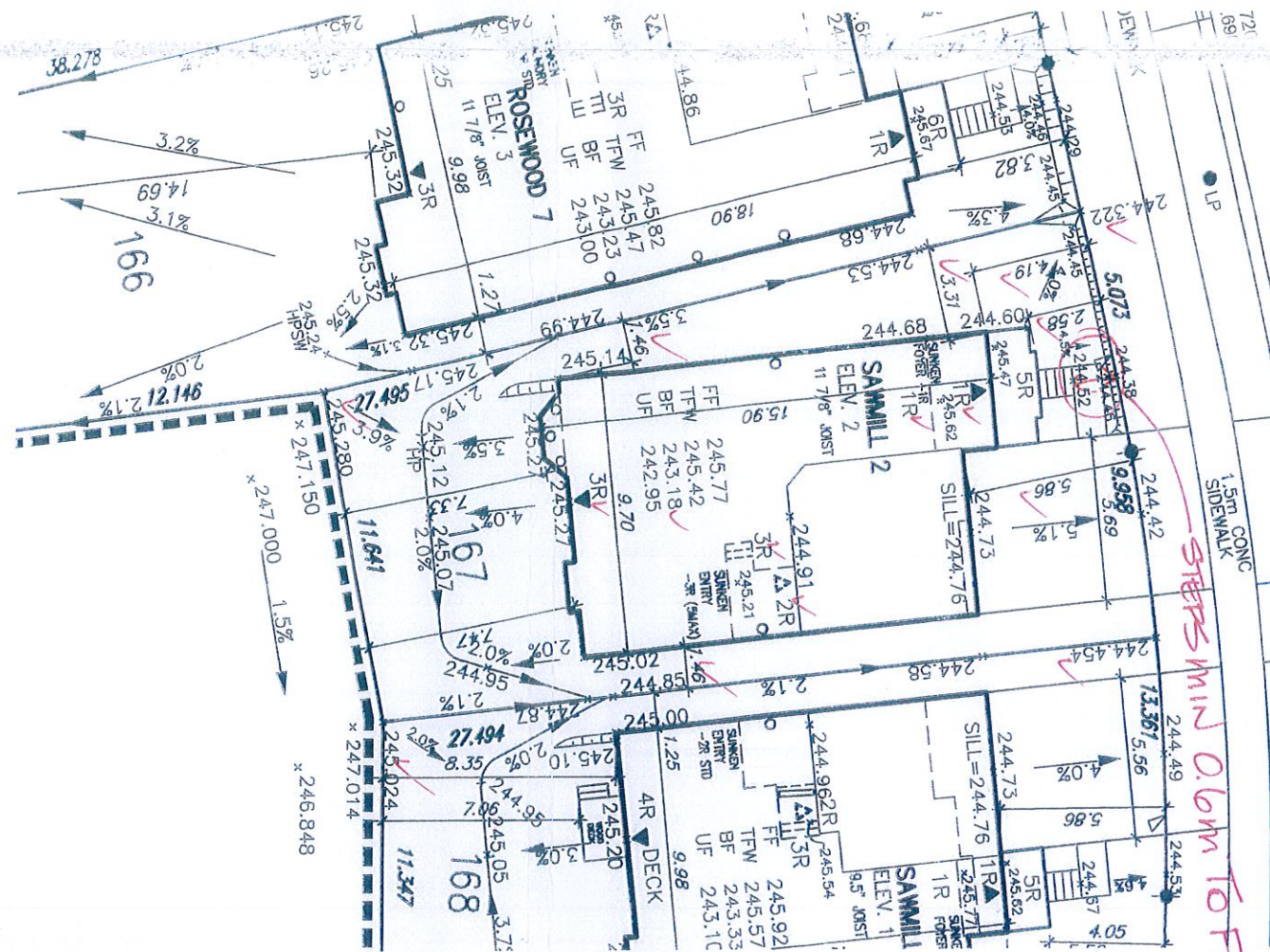
ARCHITECTURAL REVIEW & APPROVAL  
NOV 30 2018  
John G. Williams Limited, Architect



CITY OF HAMILTON  
Building Division  
Permit No. 18-148455  
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE  
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW  
These drawings and/or specifications have been reviewed by  
FOR CHIEF BUILDING OFFICIAL  
JAN 14 2019  
DATE

THIS LOT GRADING PLAN HAS BEEN REVIEWED BY METROPOLITAN CONSULTING INC. FOR CONFORMANCE WITH THE APPROVED SUBDIVISION GRADING DESIGN. THE PROPOSED GRADES ON THIS PLAN ARE IN GENERAL CONFORMITY WITH THE APPROVED GRADING PLAN AS IT RELATES TO THIS LOT AND ADJACENT LOTS, WHERE THE BASEMENT FLOOR OR OTHER FOUNDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBDIVISION PLANS. THE SEWER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE MINIMUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE O.A.C. AND CITY DESIGN CRITERIA. NOTE: THIS CERTIFICATION DOES NOT REPLACE THE DESIGNER'S RESPONSIBILITY TO EXPOSE THE SEWER LATERALS AND CONFIRM ELEVATIONS PRIOR TO EXCAVATING FOR THE FOUNDATION. BY USE OF THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR IMMEDIATELY REPORTING TO METROPOLITAN CONSULTING ANY DISCREPANCY OR VARIATION BETWEEN THE LATERAL INFORMATION AND GRADES DERIVED ON THIS PLAN AND THE CONDITIONS FOUND IN THE FIELD.

LICENSED PROFESSIONAL ENGINEER  
K.D. HOLLINGWORTH  
100152747  
PROVINCE OF ONTARIO



LOT No.	LOT WIDTH (M)	LOT AREA (M <sup>2</sup> )
167	15.03	368

NOTE: REFER TO LANDSCAPE DRAWINGS FOR ALL FINISHING TYPES, HEIGHTS AND LOCATIONS. CONSULTATION TO VERIFY PRIOR TO INSTALLATION.

**Greenpark**  
RUSSELL GARDENS PHASE 2  
HAMILTON  
LOT SITTING/GRADING  
16036-662-SP

Project Name: RUSSELL GARDENS PHASE 2  
City: HAMILTON  
Lot: LOT SITTING/GRADING  
Drawing No.: 16036-662-SP

Project No.: 167  
Engineered Plan No.: 16036

Project Name: RUSSELL GARDENS PHASE 2  
City: HAMILTON  
Lot: LOT SITTING/GRADING  
Drawing No.: 16036-662-SP

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	NOV 16/18	GW
2	ISSUED FOR REVIEW	NOV 09/18	GW

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