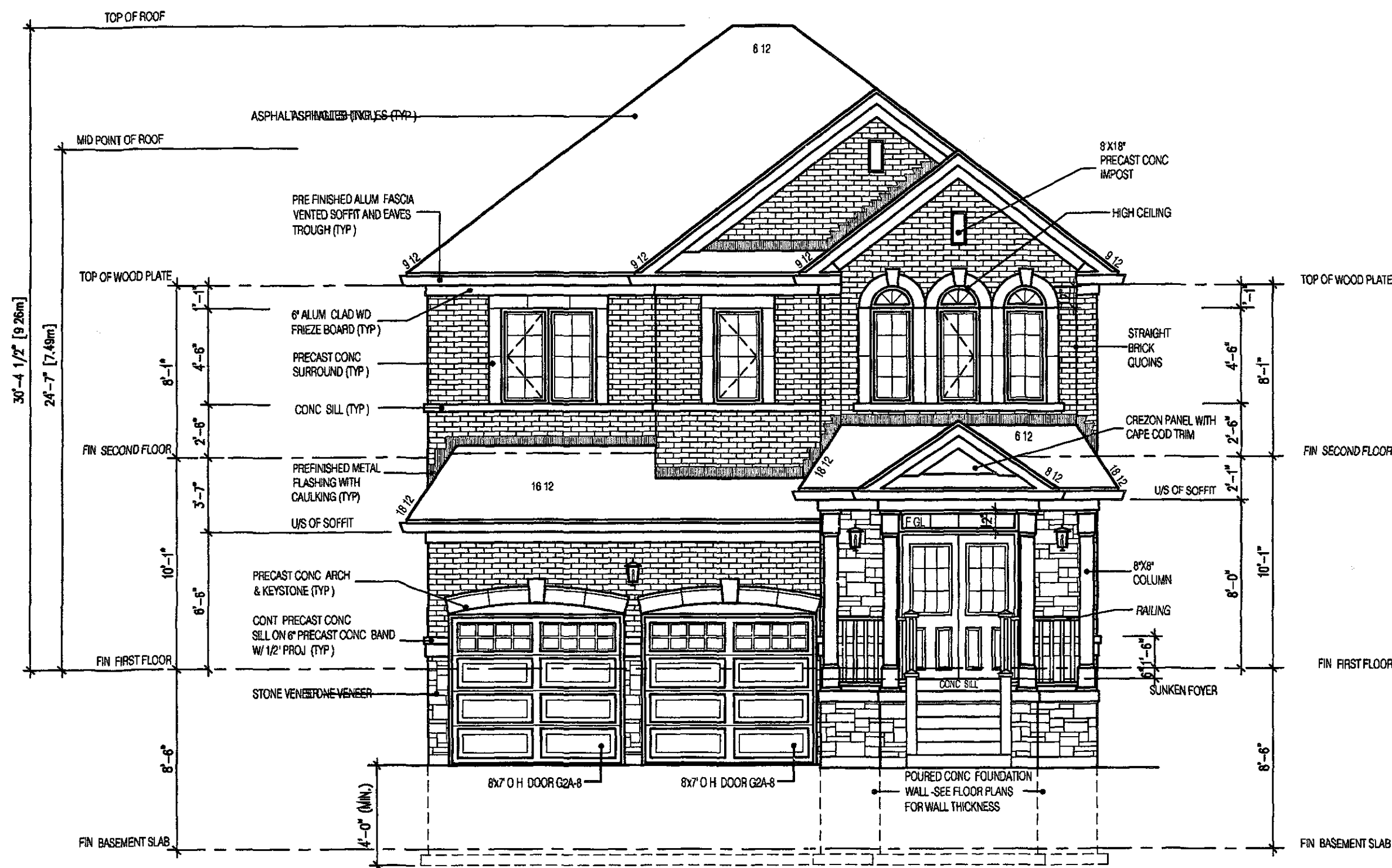




SAWMILL 2 ELEVATION 2 LOT 170

LOT SPECIFIC CHANGES:

- GARAGE ROOF SOFFIT DROPPED 1'-8"
- CHANGED GARAGE ROOF SLOPE TO 16:12

2654

12.5m LOTS

**SAWMILL 2
ELEVATION 2**

PACKAGE 'A1'

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED DIMENSIONS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

7		
6		
5		
4		
3		
2	NOV 21, 2018	REVISED GRADE TO MATCH SITING
1	NOV 20, 2018	ISSUED TO CLIENT

No DATE WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Walter Botter 21037
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Jardin design group inc. 27763
FIRM NAME BCIN

FRONT ELEVATION-2
RUSSELL GARDENS PHASE 2
HAMILTON

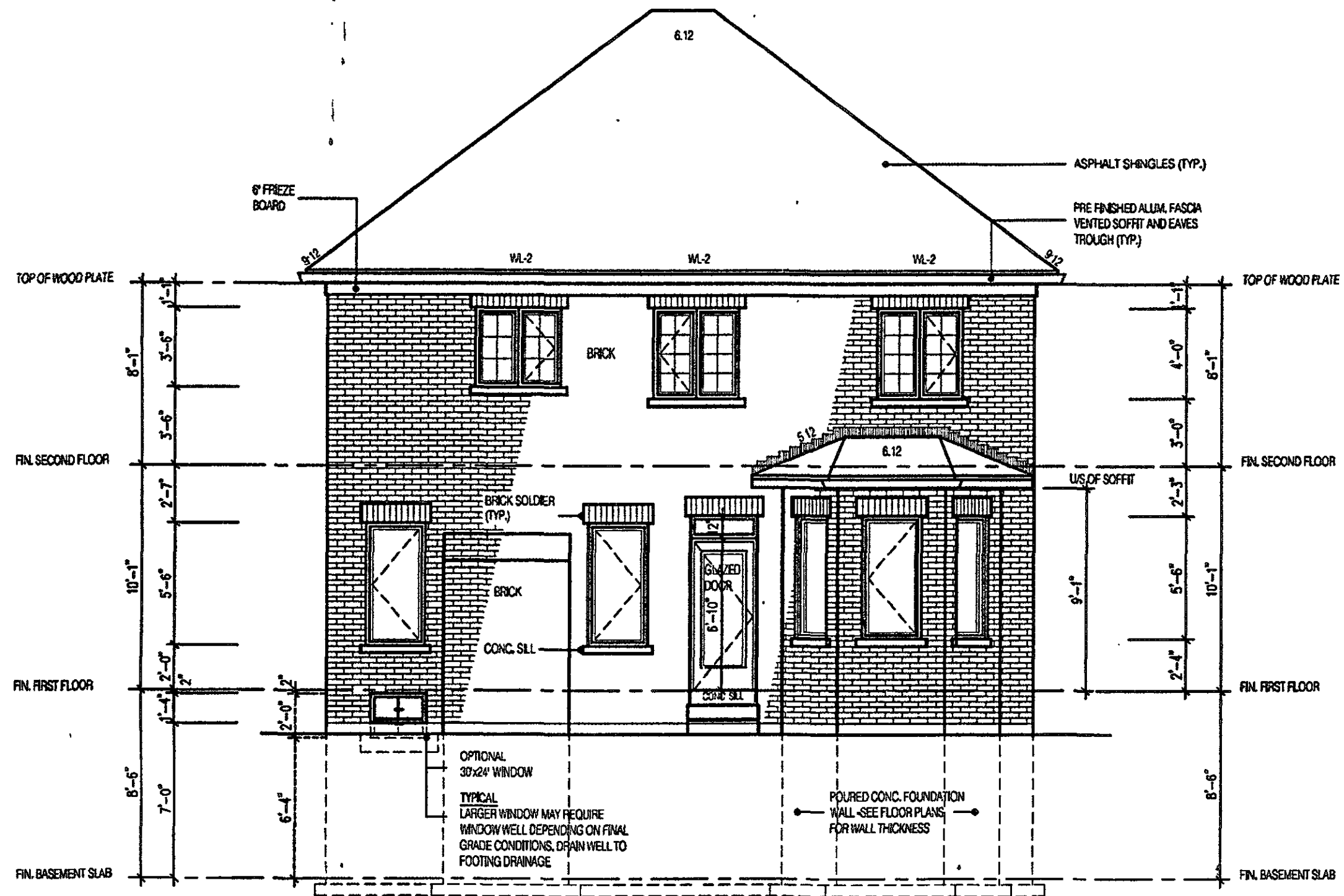
TYPE	AREA
I	
SCALE	3/16"=1'-0"
PROJ No	DWG No
17-16	4A-2

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

ARCHITECTURAL REVIEW & APPROVAL

NOV 30 2018



**REAR ELEVATION 2 - UPGARDE
LOT 170**

CITY OF HAMILTON
PLANNING & BUILDING DIVISION
DEC 12 2018
REC BY _____ DATE _____
REF'D TO _____ DATE _____

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

ARCHITECTURAL REVIEW & APPROVAL

DEC 3 2018
J. G. Williams Limited, Architect

2654
12.5m LOTS
SAWMILL 2
ELEVATION 2
PACKAGE 'A1'
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR MECHANICAL INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONFLICTS WITH INFORMATION SHOWN ON OTHER DRAWINGS OR A BUILDING PERMIT. SURVEY TO THE PROPERTY & UNDERLYING DRAWINGS SHALL BE PROVIDED BY THE CLIENT. AS CONSULTING ENGINEERS MUST BE USED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GRADING, REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO COMPLY WITH THE WORK IN ACCORDANCE WITH THE SOIL REPORT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7	
6	
5	DEC. 3 2018 ADDED REAR UPGRADE FOR LOT 170 ISSUED TO CLIENT
4	SEPT. 18, 2018 ISSUED FOR BUILDING PERMIT
3	SEPT. 18, 2018 COORDINATED AS PER FLOOR ROOF TRUSS LAYOUTS
2	AUG. 7, 2018 ISSUED FOR STRUCTURAL REVIEW
1	AUG. 2, 2018 INTRODUCED INTO PROJECT FROM MINISALE 18-244 MILLWOOD 2

No. DATE WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Waiter Botter *WBotter* 21031
NAME SIGNATURE BCN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCN

REAR ELEVATION-2
RUSSELL GARDENS PHASE 2
HAMILTON

	TYPE	AREA
	SCALE	3/16" = 1'-0"
	PROJ. No.	DWG. No.
	17-16	6A-3