

STRIP FOOTINGS -

FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE

WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (16 psf) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD

F2 = 36"x36"x16" CONCRETE PAD

F3 = 30"x30"x12" CONCRETE PAD

F4 = 24"x24"x12" CONCRETE PAD

F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

90 KPa ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD

F2 = 40"x40"x16" CONCRETE PAD

F3 = 34"x34"x14" CONCRETE PAD

F4 = 28"x28"x12" CONCRETE PAD

F5 = 18"x18"x8" CONCRETE PAD

WHEN VENEER CUT IS GREATER THAN 26" A 10" FOURED CONC.
FDTH. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

BRICK VENEER LINTELS

WL1 = 3-1/2"x3-1/2"x1/4" (100x90x6.0) + 2-2"x8" SPR. No.2

WL2 = 4"x3-1/2"x1/4" (100x90x6.0) + 2-2"x8" SPR. No.2

WL3 = 5"x3-1/2"x1/4" (125x90x6.0) + 2-2"x10" SPR. No.2

WL4 = 6"x3-1/2"x1/4" (150x90x6.0) + 2-2"x12" SPR. No.2

WL5 = 6"x4"x3/8" (150x100x10.0) + 2-2"x12" SPR. No.2

WL6 = 5"x3-1/2"x1/4" (125x90x6.0) + 2-2"x12" SPR. No.2

WL7 = 5"x3-1/2"x1/4" (125x90x6.0) + 3-2"x10" SPR. No.2

WL8 = 5"x3-1/2"x1/4" (125x90x6.0) + 3-2"x12" SPR. No.2

WL9 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL10 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL11 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL12 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL13 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL14 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL15 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL16 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL17 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL18 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL19 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL20 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL21 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL22 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL23 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL24 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL25 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL26 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL27 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL28 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL29 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL30 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL31 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL32 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL33 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL34 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL35 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL36 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL37 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL38 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL39 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL40 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL41 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL42 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL43 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL44 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL45 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL46 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL47 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL48 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL49 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL50 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL51 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL52 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL53 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL54 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

WL55 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

DOOR SCHEDULE

1 = 2'-10" x 6'-8" (865x2083) - INSULATED ENTRANCE DOOR

2 = 2'-8" x 6'-8" (815x2083) - INSULATED FRONT DOORS

3 = 2'-8" x 6'-8" (815x2083) - WOOD & GLASS DOOR

4 = 2'-8" x 6'-8" x 1-3/4" (815x2083x45) - EXTERIOR SLAB DOOR

5 = 2'-8" x 6'-8" x 1-3/8" (815x2083x35) - INTERIOR SLAB DOOR

6 = 2'-8" x 6'-8" x 1-3/8" (760x2083x35) - INTERIOR SLAB DOOR

7 = 2'-2" x 6'-8" x 1-3/8" (660x2083x35) - INTERIOR SLAB DOOR

8 = 1'-6" x 6'-8" x 1-3/8" (460x2083x35) - INTERIOR SLAB DOOR

SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-1", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

SUPPORTED STEEL
ANGLE UP TO 11'-7".
OTHERWISE TO BE
REVIEWED BY
ENGINEER.

BRICK/
STONE
VENEER

INVERTED
3-1/2"x3-1/2"x1/4"
(90x90x6.0)
STEEL ANGLE

MIN 1'-0"

BRICK/
STONE
VENEER

SUPPORTED STEEL ANGLE
UP TO 11'-7".
OTHERWISE TO BE
REVIEWED BY
ENGINEER.

INVERTED STEEL
ANGLE DETAIL

THE MINIMUM THERMAL PERFORMANCE OF BUILDING
ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE
FOLLOWING

COMPLIANCE PACKAGE "A1"

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.57 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R30)
EXPOSED FLOOR MINIMUM RSI (R) VALUE	5.46 (R30)
HALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.87 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 RIGID)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 25, MAX U=0.20
SPACE HEATING EQUIPMENT MINIMUM AFUE	90%
HVAC MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.60

AREA CALCULATIONS

		ELEV. 2
GROUND FLOOR AREA		1143 Sq. Ft.
SECOND FLOOR AREA		1474 Sq. Ft.
TOTAL FLOOR AREA		2617 Sq. Ft.
		243.15 Sq. M.
1st FLOOR OPEN AREA	= 0	Sq. Ft.
2nd FLOOR OPEN AREA	= 0	Sq. Ft.
ADD TOTAL OPEN AREAS	= 0	Sq. Ft.
ADD FIN. BASEMENT AREA	= 0	Sq. Ft.
GROSS FLOOR AREA	= 2617	Sq. Ft.
		243.15 Sq. M.
GROUND FLOOR COVERAGE	= 1143	Sq. Ft.
GARAGE COVERAGE / AREA	= 555	Sq. Ft.
PORCH COVERAGE / AREA	= 60	Sq. Ft.
TOTAL COVERAGE W/ PORCH	= 1556	Sq. Ft.
		144.56 Sq. m.
TOTAL COVERAGE W/O PORCH	= 1496	Sq. Ft.
		138.98 Sq. m.

ALL ELECTRICAL INSTALLATIONS MUST BE
INSPECTED BY THE ELECTRICAL SAFETY
AUTHORITY. SEPARATE INSPECTION
APPLICATIONS MUST BE FILED.

FOR MORE INFORMATION PLEASE CALL
ELECTRICAL SAFETY AUTHORITY
CUSTOMER SERVICE CENTRE

PHONE (877) 372-7233 FAX (800) 667-4278

LOCATION OF SMOKE ALARMS AS PER OBC DIV. B.9.10.19.3

(1) within dwelling units, sufficient smoke alarms shall be installed so
that:
(a) there is at least one smoke alarm installed on each storey, including
basements, and
(b) on any storey of a dwelling unit containing sleeping rooms, a smoke
alarm is installed:
(i) in each sleeping room and;
(ii) in a location between the sleeping room and the remainder of the
storey, and if the sleeping rooms are served by a hallway, the
smoke alarm shall be located in the hallway.

W Architect Inc.
DESIGN CONTROL REVIEW

NOV 13 2018

FINAL BY: GTE

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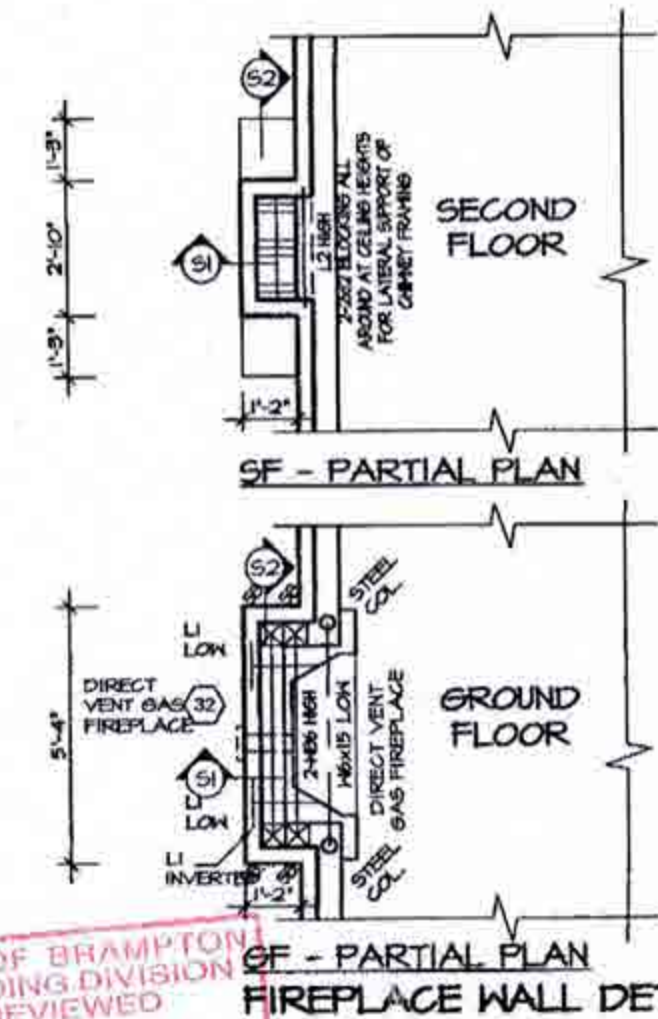
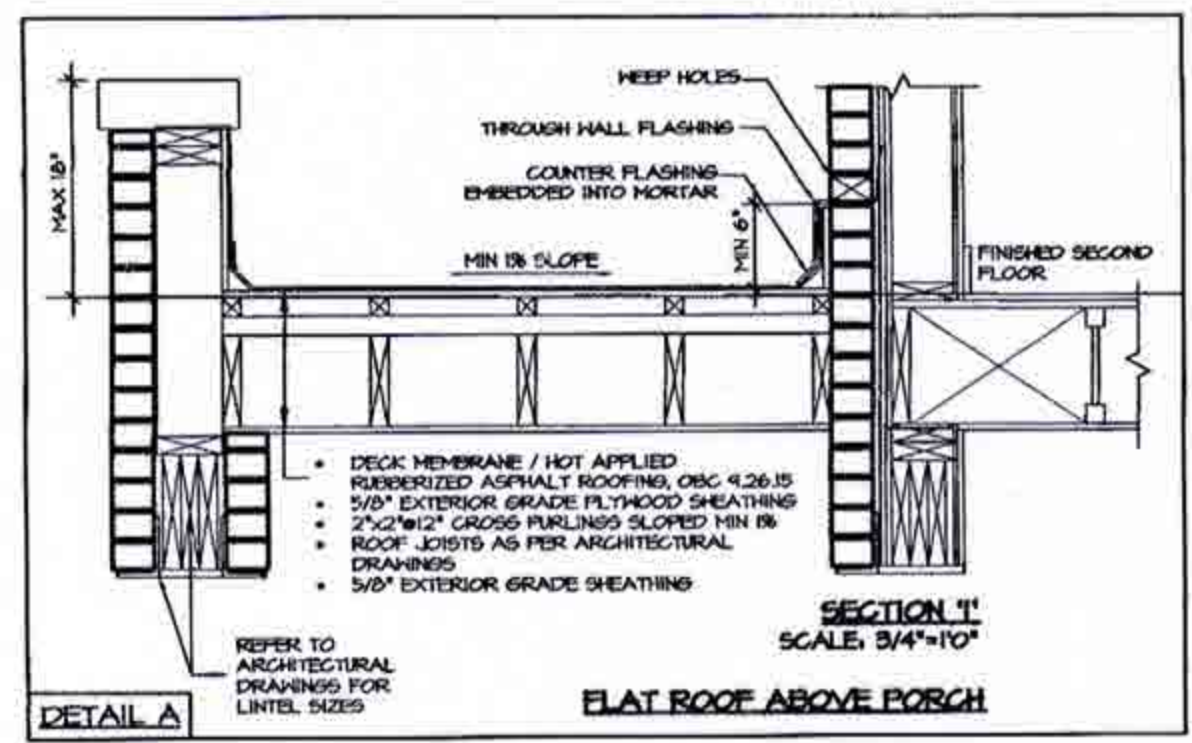
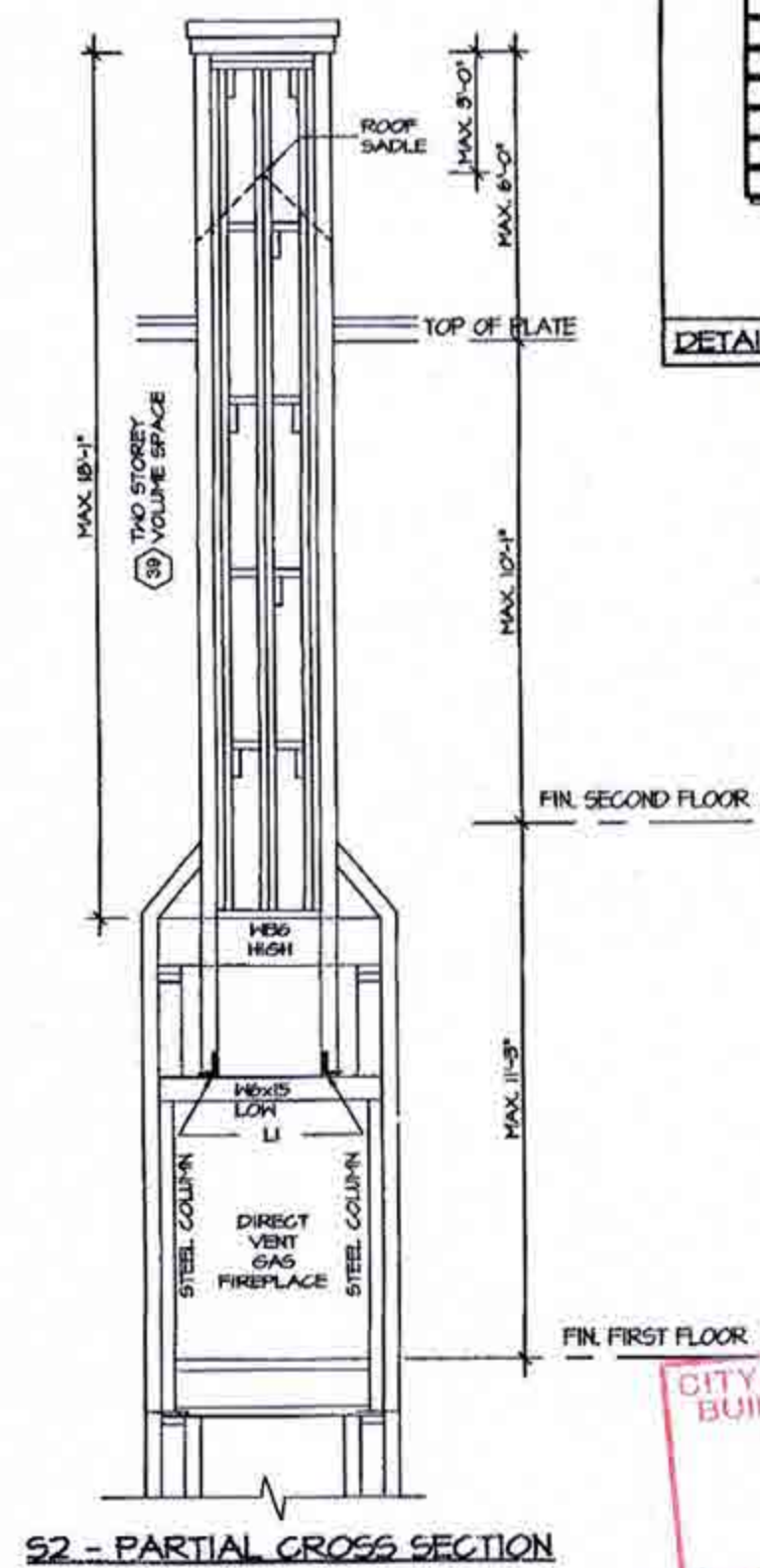
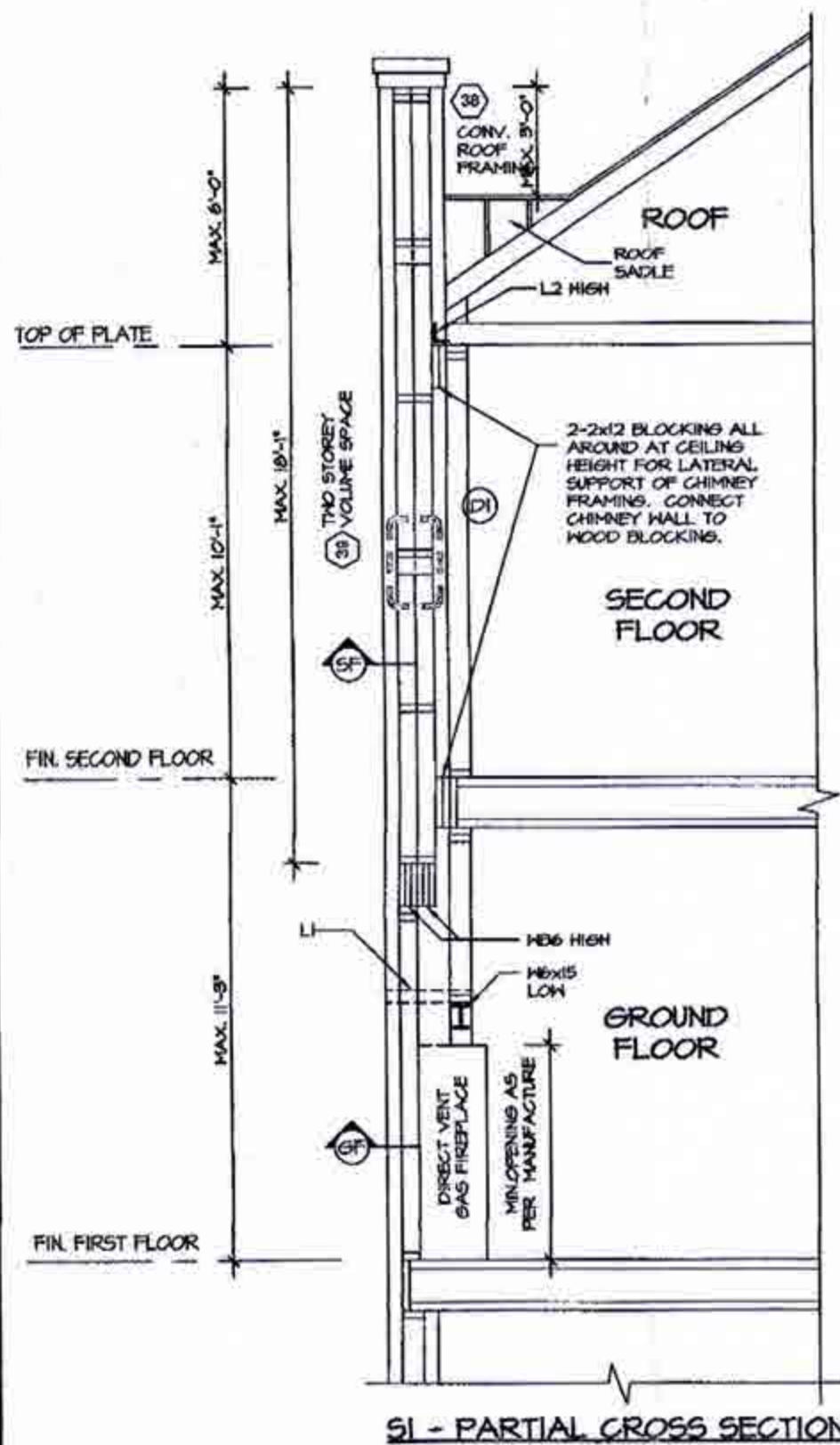
MILLWOOD 12-003

COMPLIANCE PACKAGE "A1"

Greenpark.

PROJECT NAME
MINNISALE HOMES CORP.

October 24, 2018 11:39:40 AM M:\PROJECTS\MINNISALE - BRAMPTON\CUSTOMS\MILLWOOD 12-03 ELEV.2.DWG



- NOTES:**
- 32 DIRECT VENT GAS FIREPLACE**
DIRECT VENT GAS FIREPLACE. VENT TO BE A MINIMUM 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.
 - 38 CONVENTIONAL ROOF FRAMING**
(SEE OBC 9.23.4.2.(1))
FOR MAX. 2240mm (7'-4") SPAN, 38x84 (2"x4") RAFTERS @ 400mm (16") o.c. FOR MAX. 3530mm (11'-7") SPAN, 38x140 (2"x6") RAFTERS @ 400mm (16") o.c. RIDGE BOARD TO BE 51mm (2") DEEPER, 38x34 (2"x4") COLLAR TIES AT MIDSPANS. CEILING JOISTS TO BE 38x84 (2"x4") @ 400mm (16") o.c. FOR MAX. 2830mm (9'-3") SPAN & 38x140 (2"x6") @ 400 (16") o.c. FOR MAX. 4450mm (14'-7") SPAN. RAFTERS FOR BUILT-UP ROOF TO BE 38x84 (2"x4") @ 600mm (24") o.c. WITH A 38x84 (2"x4") CENTER POST TO THE TRUSS BELOW, LATERALLY BRACED @ 1800mm (6'-0") o.c. VERTICALLY.
 - 39 TWO STOREY VOLUME SPACES**
FOR A MAXIMUM 5490mm (18'-0") HEIGHT, PROVIDE 2-38x140 (2-2"x6") CONTINUOUS STUDS @ 300mm (12") o.c. FOR BRICK AND 400mm (16") o.c. FOR SIDING. PROVIDE SOLID WOOD BLOCKING BETWEEN STUDS @ 1220mm (4'-0") o.c. VERT. 1/16" EXT. PLYWOOD.

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 04 2019
BY
MARY FRENETT

W Architect Inc.
DESIGN CONTROL REVIEW
NOV 13 2018
FINAL BY: *WCE*
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STUDET INC. OCT 26 2018
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

MILLWOOD 12-003

COMPLIANCE PACKAGE "A1"

5. _____ 4. _____ 3. _____ 2. _____ 1. REVISED FOR LOT 003 OCT 2018 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME SIGNATURE 28770 BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	AREA CHARTS SCALE 3/16"=1'-0" DATE OCT 2018 BY ZMP AREA 2617	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. PAGE No. 0-2	Greenpark PROJECT NAME MINNISALE HOMES CORP.
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CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 10 2019
PLUMBING BY
KOFI MORIEL

ALL PLUMBING SHALL CONFORM TO
THE ONTARIO BUILDING CODE, O.B.C.
332/12, AS AMENDED, DIVISION B, PART 7.

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 04 2019
BY
MARY FRENETTE

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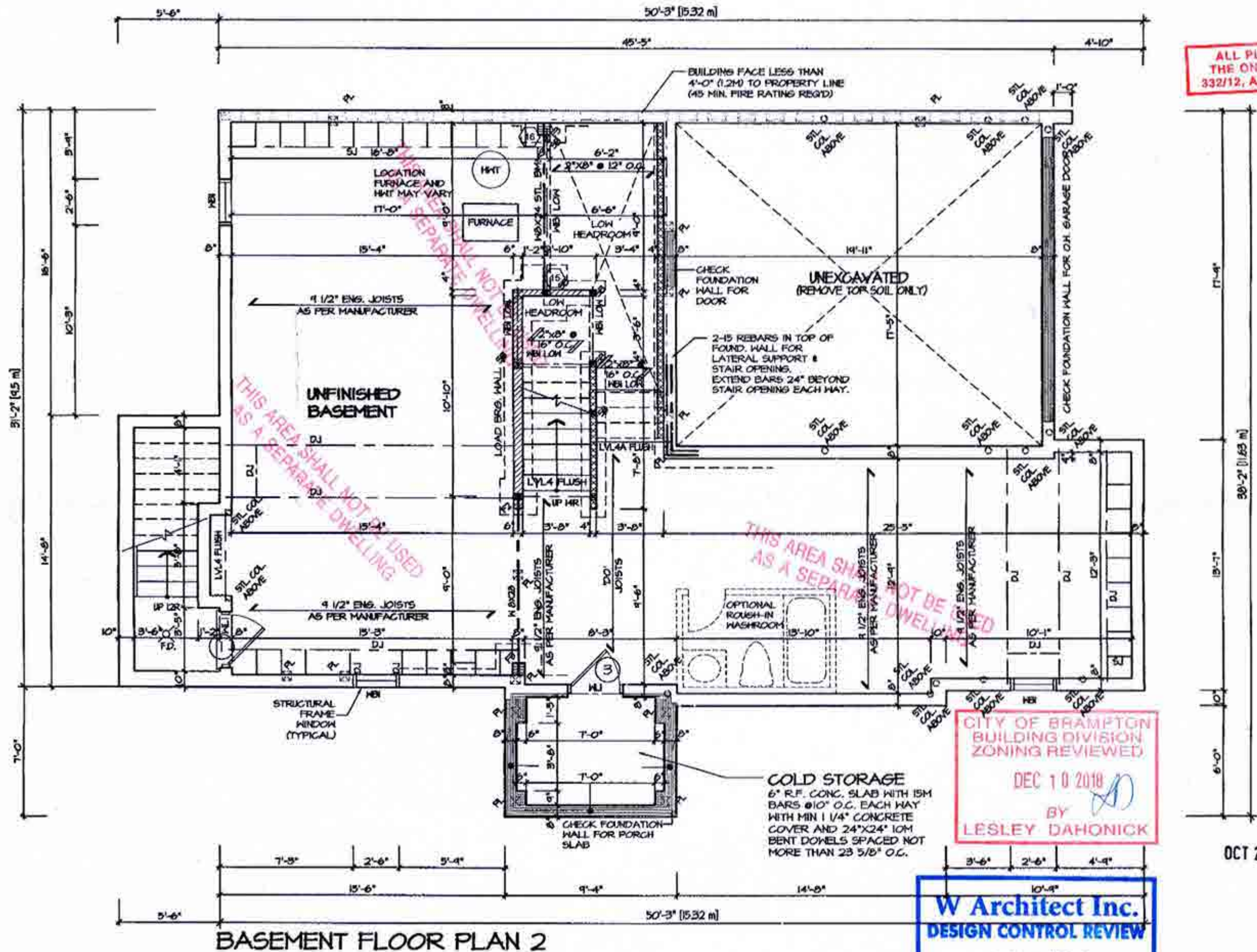
CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
DEC 10 2018
BY
LESLEY DAHONICK



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MILLWOOD 12-003

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DESIGN CONTROL REVIEW
NOV 13 2018
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COMPLIANCE PACKAGE "A1"



BASEMENT FLOOR PLAN 2

NO.	REVISIONS	DATE
1.	REVISED FOR LOT 003	OCT 2018

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 756-4096
F (905) 660-0746

**REGION
DESIGN
INC.**

SHEET TITLE
BASEMENT PLAN 2

SCALE
3/16"=1'-0"

DATE
OCT 2018

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

PAGE No.
1

Greenpark™

PROJECT NAME
MINNISALE HOMES CORP.

PLUMBING BY
KOFI MORIEL

BY
MARY FRENETTE

BY *AD*
DAHONICK

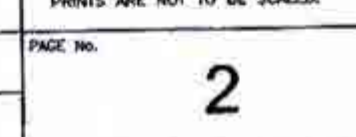
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COMPLIANCE PACKAGE "A1"

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PROJECT NAME
MINNISALE HOMES CORP.



CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 10 2019
PLUMBING BY
KOFI MORIEL

ALL PLUMBING SHALL CONFORM TO
THE ONTARIO BUILDING CODE, O. REG.
332/12, AS AMENDED, DIVISION 8, PART 7.

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 04 2019
BY
MARY FRENETTE

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CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
DEC 10 2018
BY
LESLEY DAHONICK

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
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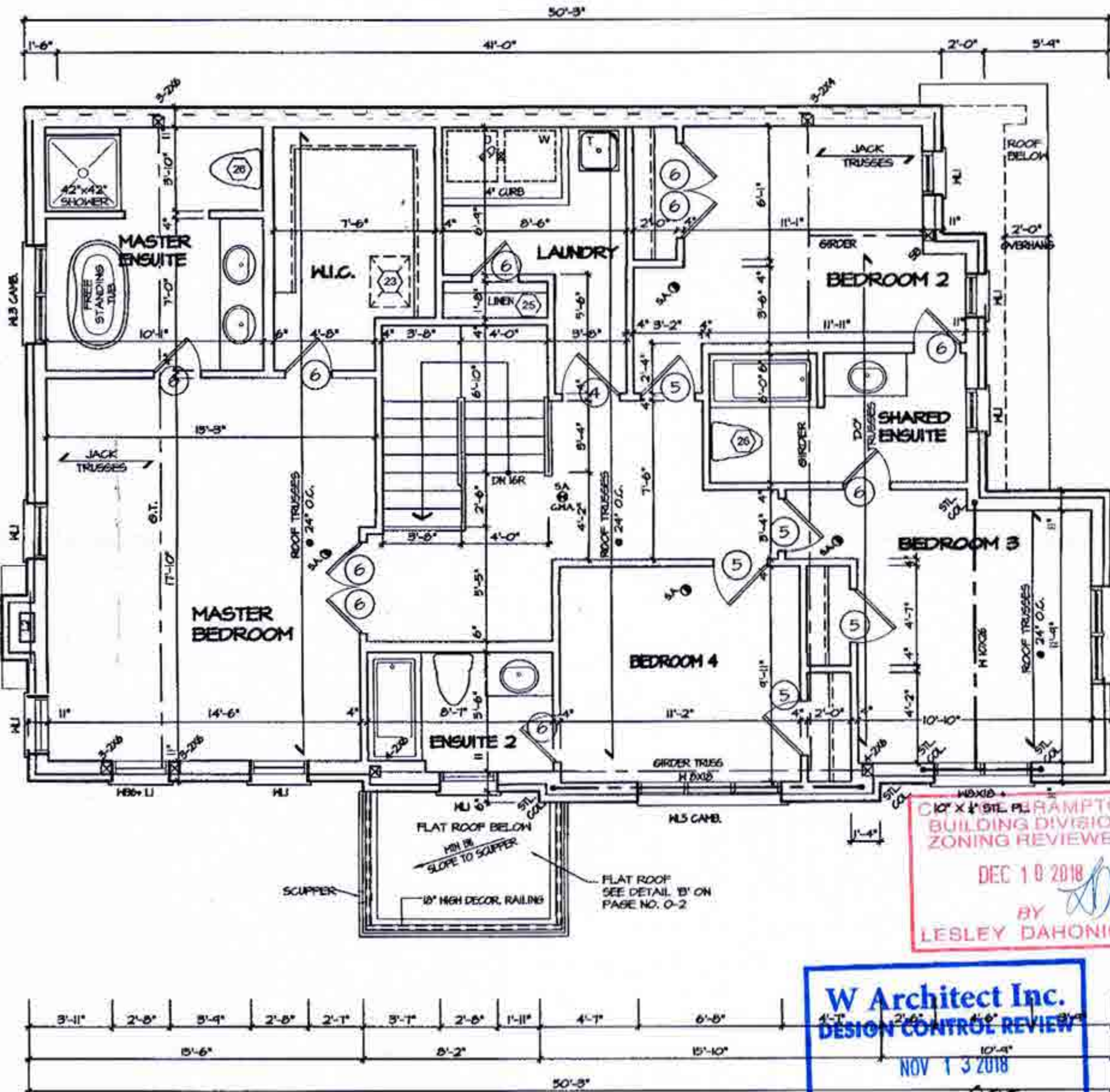
OCT 26 2018

MILLWOOD 12-003

COMPLIANCE PACKAGE "A1"

Greenpark.

PROJECT NAME
MINNISALE HOMES CORP.



SECOND FLOOR PLAN 2

W Architect Inc.
DESIGN CONTROL REVIEW
NOV 13 2018
FINAL BY: GDE
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REVISIONS	
1. REVISED FOR LOT 003	OCT 2018

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

SHEET TITLE
SECOND
FLOOR PLAN 2

SCALE
3/16"=1'-0"

DATE
OCT 2018

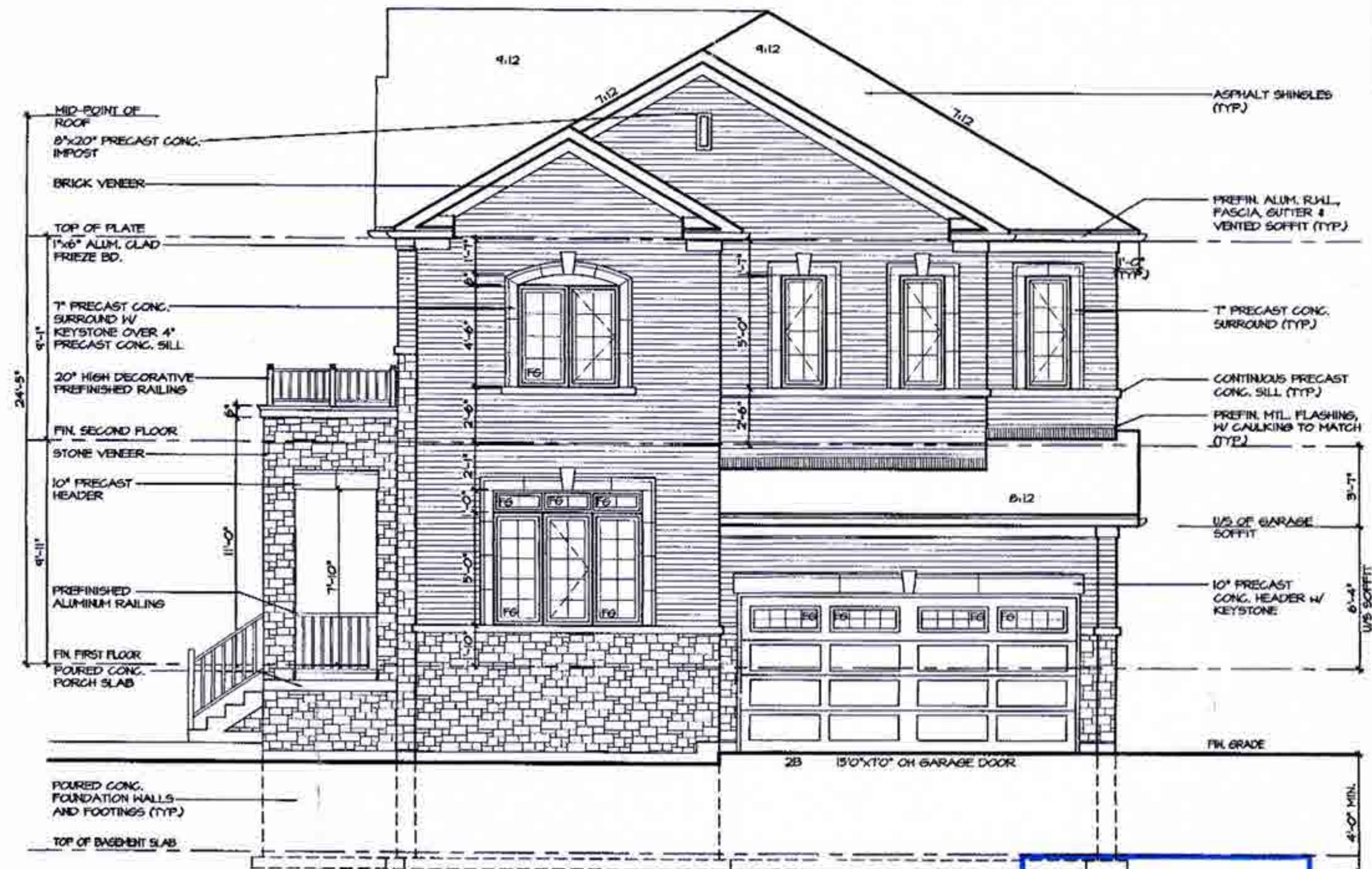
BY
ZMP

AREA
2617

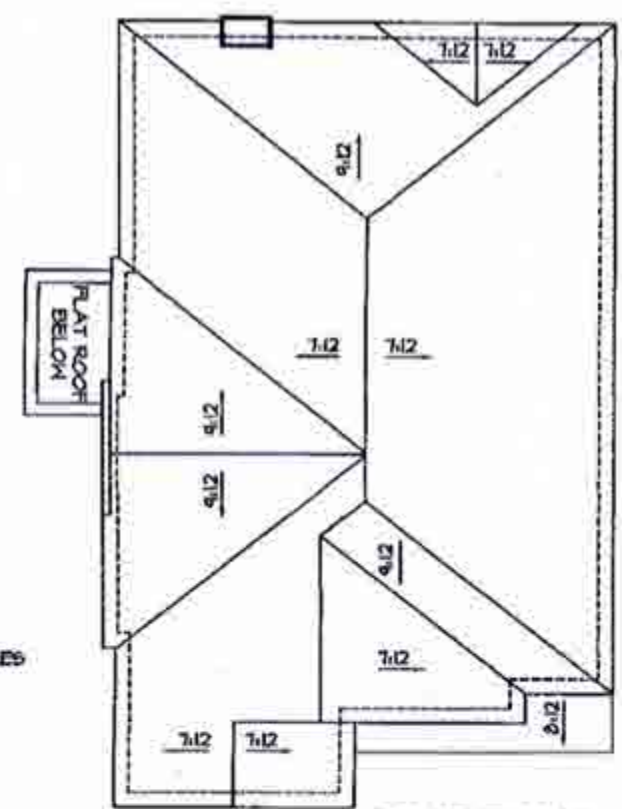
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PAGE No.
3

October 24, 2018 11:48:18 AM M:\PROJECTS\MINNISALE - BRAMPTON\CUSTOMER\MILLWOOD 12-003 ELEV. 2.DWG



FRONT ELEVATION 2



ROOF PLAN 2
SCALE: N.T.S.
CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 04 2019
BY
MARY FRENETTE

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
DEC 10 2018
BY
LESLEY DAHONICK

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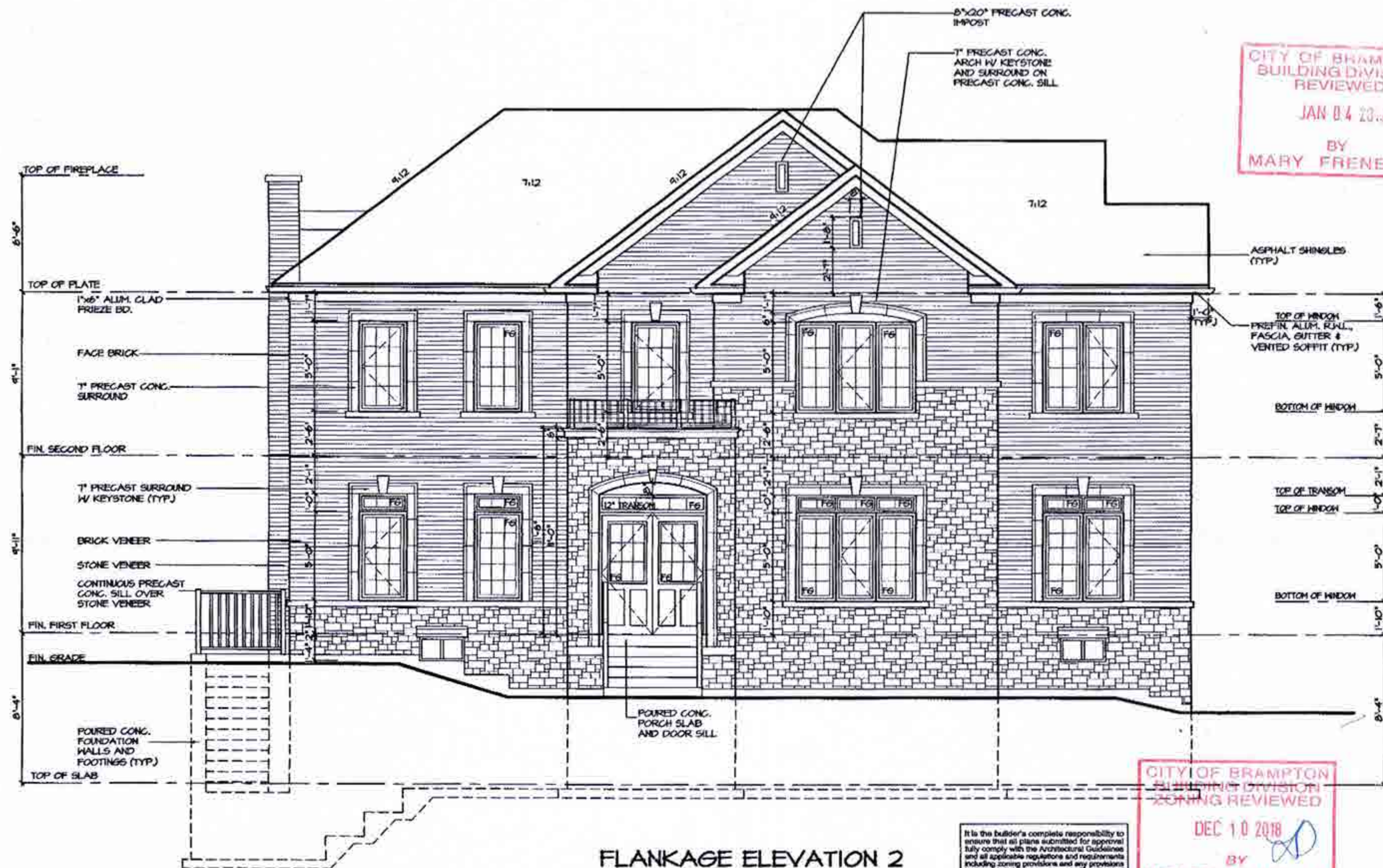
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NOV 13 2018
FINAL BY: *WJG*
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OCT 26 2018

MILLWOOD 12-003
COMPLIANCE PACKAGE "A1"

5. _____ 4. _____ 3. _____ 2. _____ 1. REVISED FOR LOT 003 OCT 2018 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.3 of the building code VIKAS GAJJAR 28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 6700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 F (416) 736-4006 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE FRONT ELEVATION 2 SCALE 3/16"=1'-0" DATE OCT 2018 BY ZMP AREA 2617	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. PAGE No. 4	Greenpark. PROJECT NAME MINNISALE HOMES CORP.
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CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 04 2018
BY
MARY FRENETTE

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
DEC 10 2018
BY
LESLEY DAHONICK

FLANKAGE ELEVATION 2

W Architect Inc.
DESIGN CONTROL REVIEW

NOV 13 2018

FINAL BY: CTE

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OCT 26 2018

MILLWOOD 12-003

COMPLIANCE PACKAGE "A1"

Greenpark

PROJECT NAME
MINNISALE HOMES CORP.

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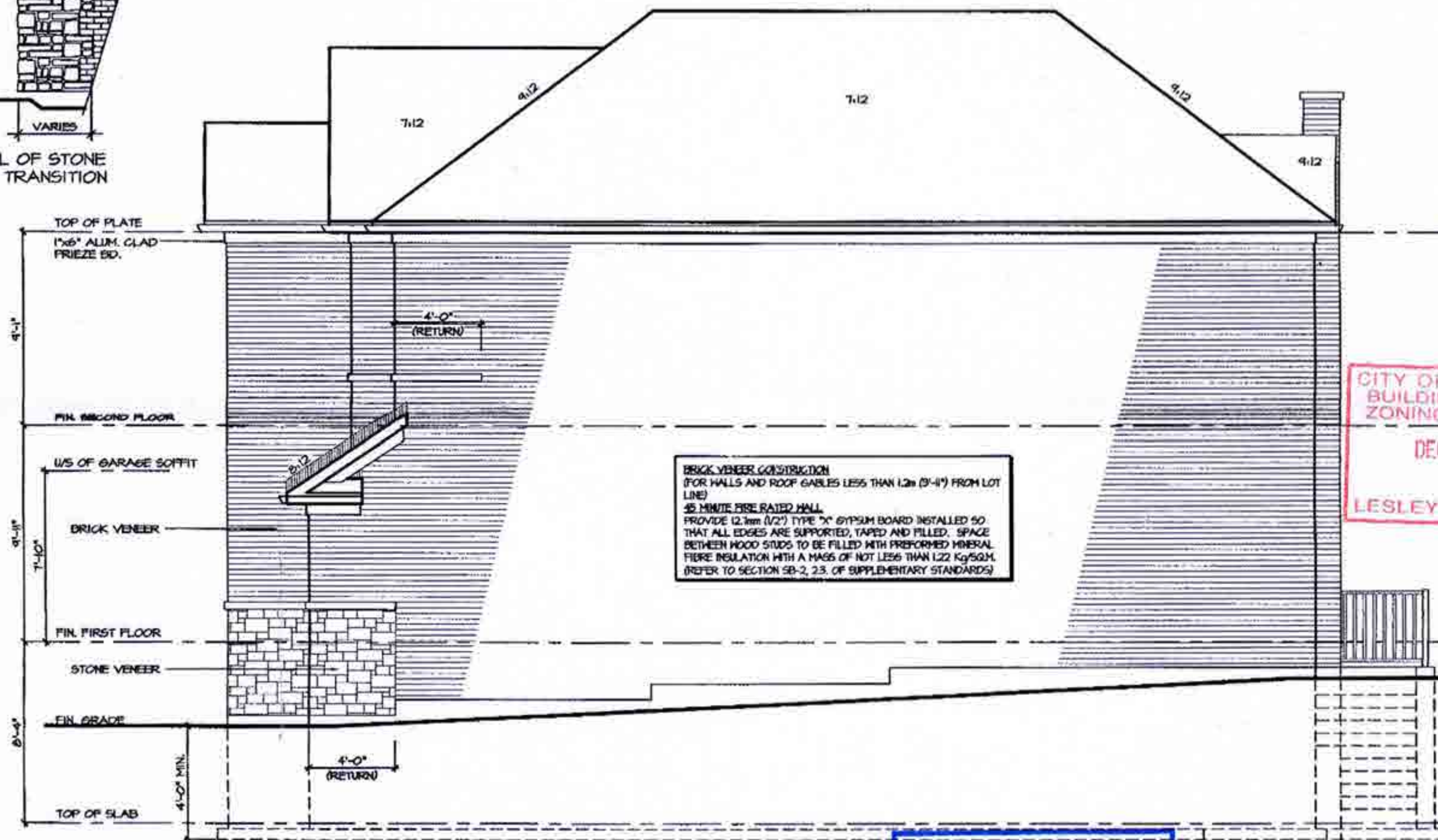
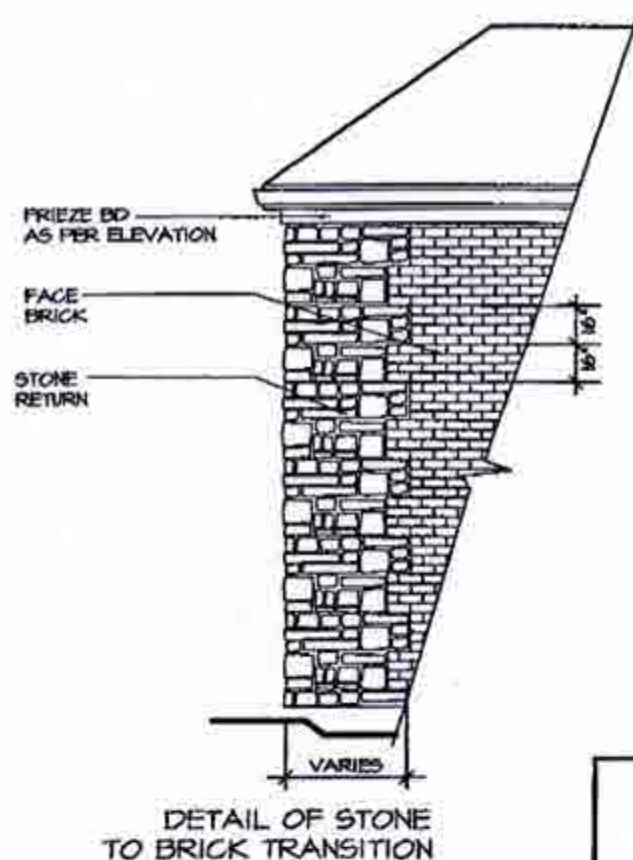
VIKAS GAJJAR
NAME SIGNATURE 28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
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**REGION
DESIGN
INC.**

SHEET TITLE FLANKAGE ELEVATION 2	
SCALE 3/16"=1'-0"	BY ZMP
DATE OCT 2018	AREA 2617

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS, BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
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RIGHT ELEVATION 2

ALLOWABLE GLAZING

HALL AREA = 150 Sq. Ft.
ALLOWABLE GLAZED AREA @ 7.5% 1.9 M = 69.06 Sq. Ft.
SIDE YARD
ACTUAL GLAZED AREA = 0.0 Sq. Ft.
WITH OPTIONAL 30'x24' BASEMENT WINDOWS ACTUAL GLAZED AREA = 0.0 Sq. Ft.

W Architect Inc.
DESIGN CONTROL REVIEW
NOV 13 2018
FINAL BY: GEE
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MILLWOOD 12-003

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**REGION
DESIGN
INC.**

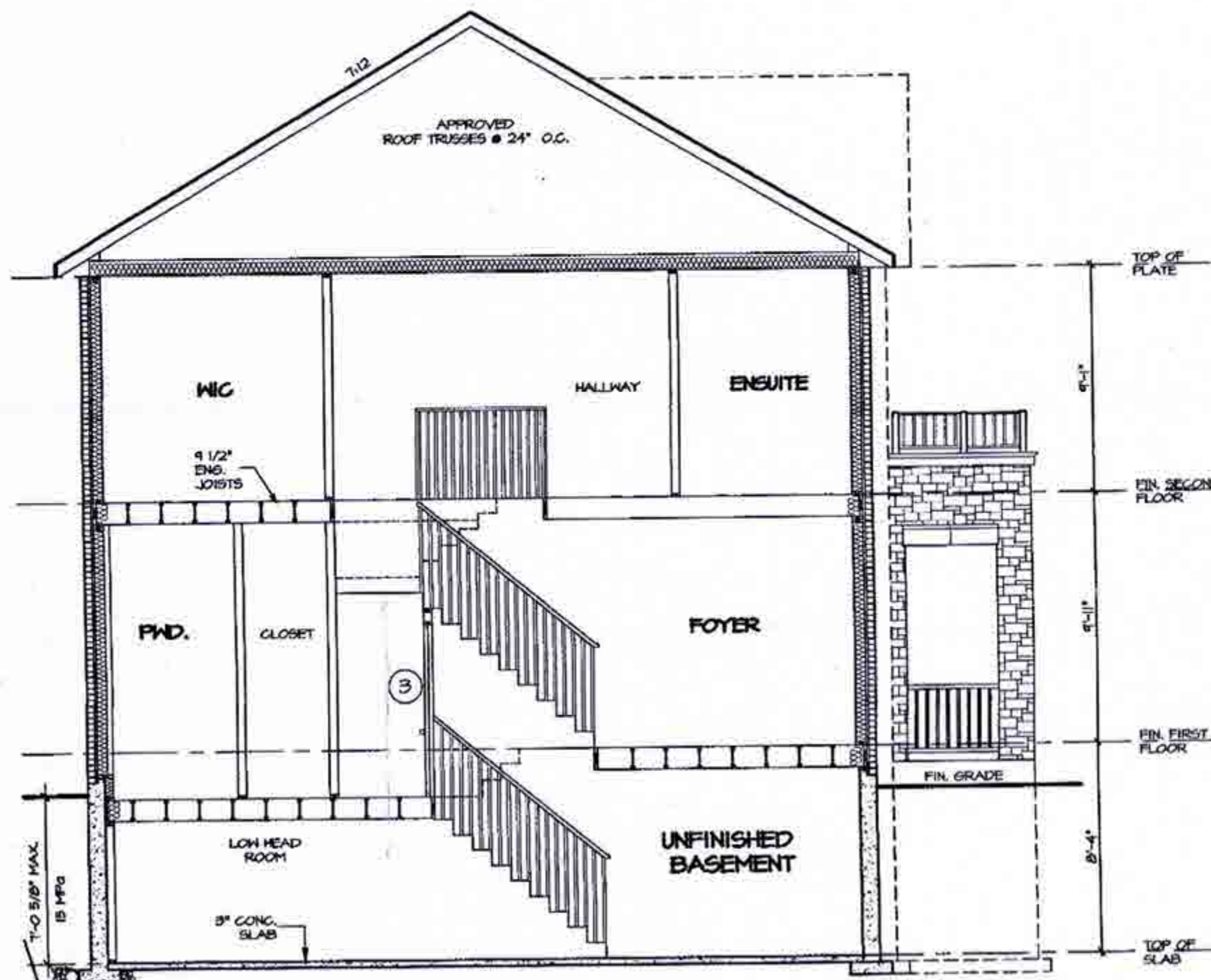
SHEET TITLE RIGHT SIDE ELEVATION 2	
SCALE 3/16"=1'-0"	BY ZMP
DATE OCT 2018	AREA 2617

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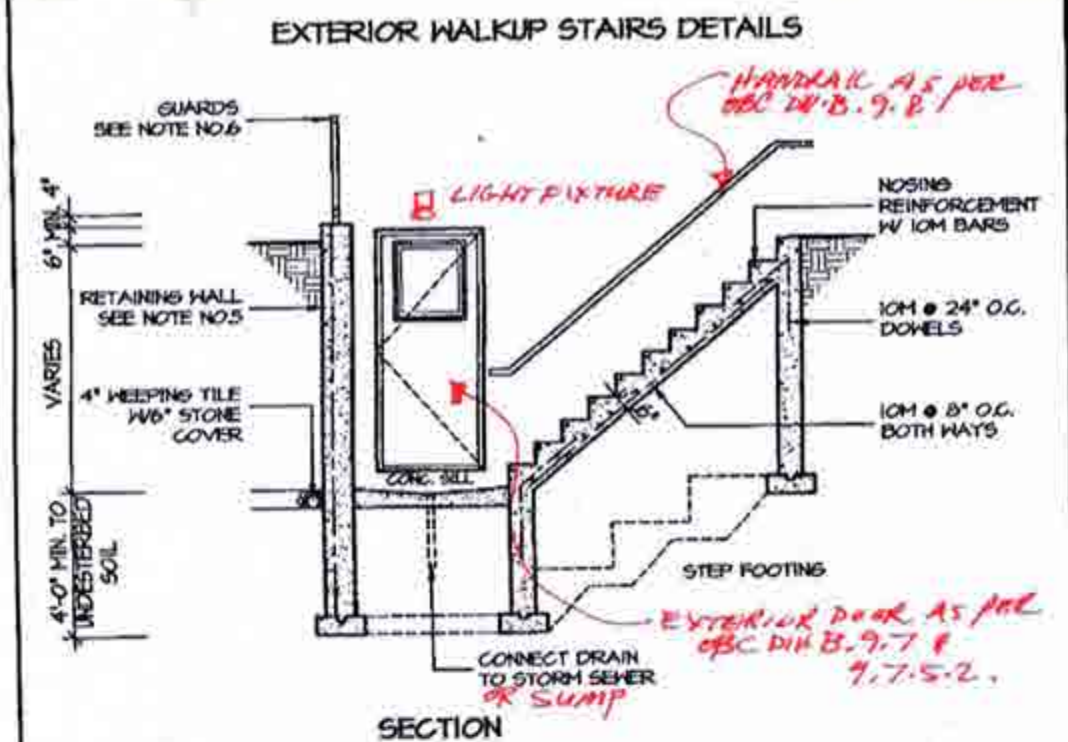
PAGE No.
6

Greenpark.

PROJECT NAME
MINNISALE HOMES CORP.



SECTION A-A



GENERAL NOTES:

1. FOOTING
24"x8" POURED CONC. FOOTINGS. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL.
2. CONCRETE
MINIMUM COMPRESSIVE STRENGTH OF 32 MPa (4650 psi) @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.
3. EXTERIOR STAIRS
7 7/8" RISE MAXIMUM
8 1/4" RUN MINIMUM
9 1/4" TREAD MINIMUM
4. INSULATION
FOR INSULATION VALUE & VAPOUR BARRIER LOCATION REFER TO NOTE 13 OF STANDARD NOTES.
5. RETAINING WALL
10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7". PROVIDE 15M VERTICAL REINFORCEMENT @ 16" O.C. AND 15M HORIZONTAL REINFORCEMENT @ 24" O.C. FOR WALL HEIGHTS TO T-0". RETAINING WALL TO RESIST LATERAL DESIGN LOADS AS PER OBC DIVISION B SECTION 4.13.16.
6. GUARDS
3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11". 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 04 2019
BY
MARY FRENETTE

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DESIGN CONTROL REVIEW
NOV 13 2018
FINAL BY: *CCE*
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OCT 26 2018 FOR STRUCTURE ONLY

MILLWOOD 12-003

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