

FOR SINGLES & SEMIS UP TO 2 STOREY

WHEN TWO CONDITIONS APPLY
 ASSUMED 120 KPa (15 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa
 ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

F1 = 42"x42"x18" CONCRETE PAD	F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD	F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD	F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD	F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD	F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

W1.1 = $3 \cdot 1/2 \cdot \pi \cdot 1/2 \cdot x1/4 \cdot (100 \times 10 \times 0.01) + 2 \cdot 2 \cdot x8$ SPR No.2
W1.2 = $4 \cdot x3 \cdot 1/2 \cdot x1/6 \cdot (100 \times 10 \times 0.01) + 2 \cdot 2 \cdot x8$ SPR No.2
W1.3 = $5 \cdot x3 \cdot 1/2 \cdot x1/6 \cdot (125 \times 10 \times 0.01) + 2 \cdot 2 \cdot x12$ SPR No.2
W1.4 = $6 \cdot x3 \cdot 1/2 \cdot x1/6 \cdot (150 \times 10 \times 0.01) + 2 \cdot 2 \cdot x12$ SPR No.2
W1.5 = $6 \cdot x4 \cdot x3/8 \cdot (150 \times 100 \times 0.01) + 2 \cdot 2 \cdot x12$ SPR No.2
W1.6 = $5 \cdot x3 \cdot 1/2 \cdot x1/6 \cdot (125 \times 10 \times 0.01) + 2 \cdot 2 \cdot x12$ SPR No.2
W1.7 = $5 \cdot x3 \cdot 1/2 \cdot x1/6 \cdot (125 \times 10 \times 0.01) + 3 \cdot 2 \cdot x12$ SPR No.2
W1.8 = $5 \cdot x3 \cdot 1/2 \cdot x1/6 \cdot (125 \times 10 \times 0.01) + 3 \cdot 2 \cdot x12$ SPR No.2
W1.9 = $6 \cdot x4 \cdot x3/8 \cdot (150 \times 100 \times 0.01) + 3 \cdot 2 \cdot x12$ SPR No.2

W01 = 2-2"x6" SFR No.2 (2-36"x184 SFR No.2)
W02 = 3-2"x6" SFR No.2 (3-36"x184 SFR No.2)
W03 = 2-2"x8" SFR No.2 (2-36"x235 SFR No.2)
W04 = 3-2"x8" SFR No.2 (3-36"x235 SFR No.2)
W05 = 2-2"x12" SFR No.2 (2-36"x286 SFR No.2)
W06 = 3-2"x12" SFR No.2 (3-36"x286 SFR No.2)
W07 = 5-2"x12" SFR No.2 (5-36"x286 SFR No.2)
W08 = 4-2"x10" SFR No.2 (4-36"x235 SFR No.2)
W09 = 4-2"x12" SFR No.2 (4-36"x286 SFR No.2)

LVLIA = $1 - 1/3/4 \times 7/1/4$ (1-45x184)
 LVLI = $2 - 1/3/4 \times 7/1/4$ (2-45x184)
 LVLI2 = $3 - 1/3/4 \times 7/1/4$ (3-45x184)
 LVLI3 = $4 - 1/3/4 \times 7/1/4$ (4-45x184)
 LVLIA = $1 - 1/3/4 \times 9/1/2$ (1-45x240)
 LVLI = $2 - 1/3/4 \times 9/1/2$ (2-45x240)
 LVLI2 = $3 - 1/3/4 \times 9/1/2$ (3-45x240)
 LVLI3 = $4 - 1/3/4 \times 9/1/2$ (4-45x240)
 LVLIA = $1 - 1/3/4 \times 11/8$ (1-45x300)
 LVLI = $2 - 1/3/4 \times 11/8$ (2-45x300)
 LVLI2 = $3 - 1/3/4 \times 11/8$ (3-45x300)
 LVLI3 = $4 - 1/3/4 \times 11/8$ (4-45x300)
 LVLI = $2 - 1/3/4 \times 14$ (2-45x356)
 LVLI2 = $3 - 1/3/4 \times 14$ (3-45x356)
 LVLI3 = $4 - 1/3/4 \times 14$ (4-45x356)

$L1 = 3 \times 1/2 \times 3 \times 1/2 \times 1/4 \text{L}$ (30x90x6.0L)
 $L2 = 4 \times 3 \times 1/2 \times 5/16 \text{L}$ (100x90x8.0L)
 $L3 = 5 \times 3 \times 1/2 \times 5/16 \text{L}$ (125x90x8.0L)
 $L4 = 6 \times 3 \times 1/2 \times 3/8 \text{L}$ (150x90x10.0L)
 $L5 = 6 \times 4 \times 3/8 \text{L}$ (150x100x10.0L)
 $L6 = 7 \times 4 \times 3/8 \text{L}$ (175x100x10.0L)

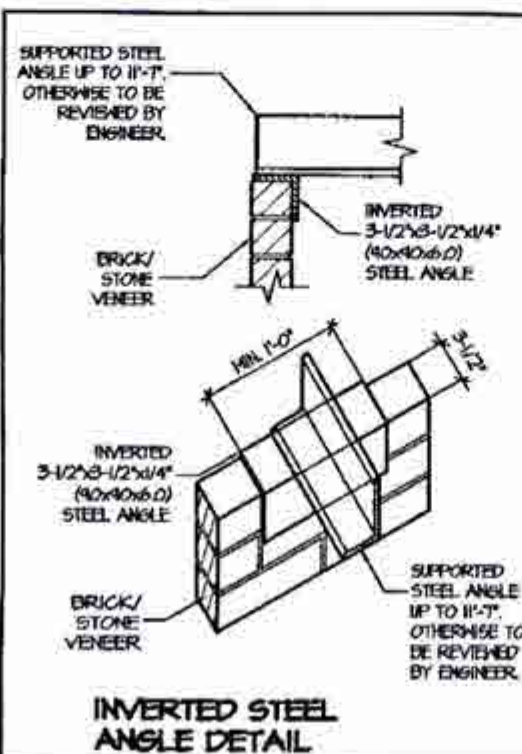
NOS.	WIDTH	HEIGHT 8'-9" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

NOTE: MAXIMUM HEIGHT OF WALL
FOR THIS DETAIL IS 18'-0"

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (L.S.L.) 1.5E
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @10"O.C. FULL HT CM
SOLID BLOCKING MAX. 8'-0"O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.

NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 20'-2" AND MAXIMUM WIDTH
IS 40'-0"

TWO STORY HEIGHT WALL DETAIL



ELEV. 2

GROUND FLOOR AREA	=	1342	Sq. Ft.
SECOND FLOOR AREA	=	1633	Sq. Ft.
TOTAL FLOOR AREA	=	3025	Sq. Ft.
		281.03	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	0	Sq. Ft.
ADD TOTAL OPEN AREAS	=	0	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	3025	Sq. Ft.
		281.03	Sq. M.
GROUND FLOOR COVERAGE	=	1342	Sq. Ft.
GARAGE COVERAGE / AREA	=	362	Sq. Ft.
PORCH COVERAGE / AREA	=	146	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1900	Sq. Ft.
	=	176.52	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1754	Sq. Ft.
	=	162.95	Sq. m.

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING:

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	1.051 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSED FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.81 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 R16D)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 25 MAX. U=0.28
SPACE HEATING EQUIPMENT MINIMUM ARIE	96%
HVAC MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.80

GRANDBROOKE 12		ELEV.2			
ELEVATION	WALL FT ²	WALL MT ²	OPENING FT ²	OPENING MT ²	PERCENTAGE
FRONT	849.42	83.56	124.72	11.54	13.87 %
FLANKAGE	1016.97	100.05	240.47	22.34	22.33 %
RIGHT SIDE	1156.16	107.41	0.00	0.00	0.00 %
REAR	787.66	73.19	150.77	14.01	19.14 %
TOTAL	3420.41	364.22	515.96	47.89	13.16 %

Engineered floor joists shall be installed in accordance with the supplier's layout and specifications forming part of the permit drawings.

Certified Model # 18: 4109156 a/cwbr
Builder Greenpark Homes
M Plan m2060 Lot #
Model Custom Home

For conventional framing roof/ceilings
framing shall conform to OBC.9.23

18-410956 0000RR

All work shall conform to the Ontario Building Code O. Reg. 332/12 as amended

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 07 2019
BY
MARK DERKSEN

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W Architect Inc.
DESIGN CONTROL REVIEW

NOV 13 2018

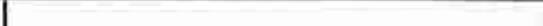
FINAL BY: GFE

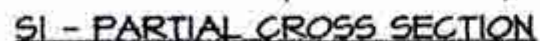
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COMPLIANCE PACKAGE A1

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S5 P (416) 736-4098 F (905) 860-0748	REGION DESIGN INC.	SHEET TITLE AREA CHARTS		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		
4.					SCALE	BY			PAGE No.
3.					3/16"=1'-0"	ZMP			
2.					DATE	AREA			
1.	REVISED FOR LOT 1				OCT 2018	3025			
REVISIONS							0	PROJECT NAME	
								MINNISALE HOMES CORP.	



32 DIRECT VENT GAS FIREPLACE
DIRECT VENT GAS FIREPLACE
VENT TO BE A MINIMUM 300mm
(12") FROM ANY OPENING AND
ABOVE FIN. GRADE. REFER TO
GAS UTILIZATION CODE

FOR MAX. 2240mm (7'-4") SPAN,
38x84 (2"x4") RAFTERS @ 400mm
(16") o.c. FOR MAX. 3530mm (11'-7")
SPAN, 38x140 (2"x6") RAFTERS
@ 400mm (16") o.c. RIDGE BOARD
TO BE 51mm (2") DEEPER, 38x34
(2"x4") COLLAR TIES AT MIDSPANS.
CEILING JOISTS TO BE 38x84
(2"x4") @ 400mm (16") o.c. FOR MAX.
2830mm (9'-3") SPAN & 38x140
(2"x6") @ 400 (16") o.c. FOR MAX.
4450mm (14'-7") SPAN. RAFTERS
FOR BUILT-UP ROOF TO BE 38x84
(2"x4") @ 600mm (2'4") o.c. WITH A
38x84 (2"x4") CENTER POST TO THE
TRUSS BELOW, LATERALLY BRACED
@ 1800mm (6'-0") o.c. VERTICALLY.

39 FOR A MAXIMUM 5490mm (18'-0") HEIGHT, PROVIDE 2-38x140 (2-2"x6") CONTINUOUS STUDS @300mm (12") o.c. FOR BRICK AND 400mm (16") o.c. FOR SIDING. PROVIDE SOLID WOOD BLOCKING BETWEEN STUDS @1220mm (4'-0") o.c. VERT. 7/16" EXT. PLYWOOD.



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BY
MARK DERKSEN

NOV 13 2018

FINAL BY: EGE

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OCT 26 2018

COMPLIANCE PACKAGE A1

REVISIONS

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME



SIGNATURE

28770

BCIN

P (416) 738-4094

INC.

SCALE
3/16"=1'-0"

DATE **OCT 2018**

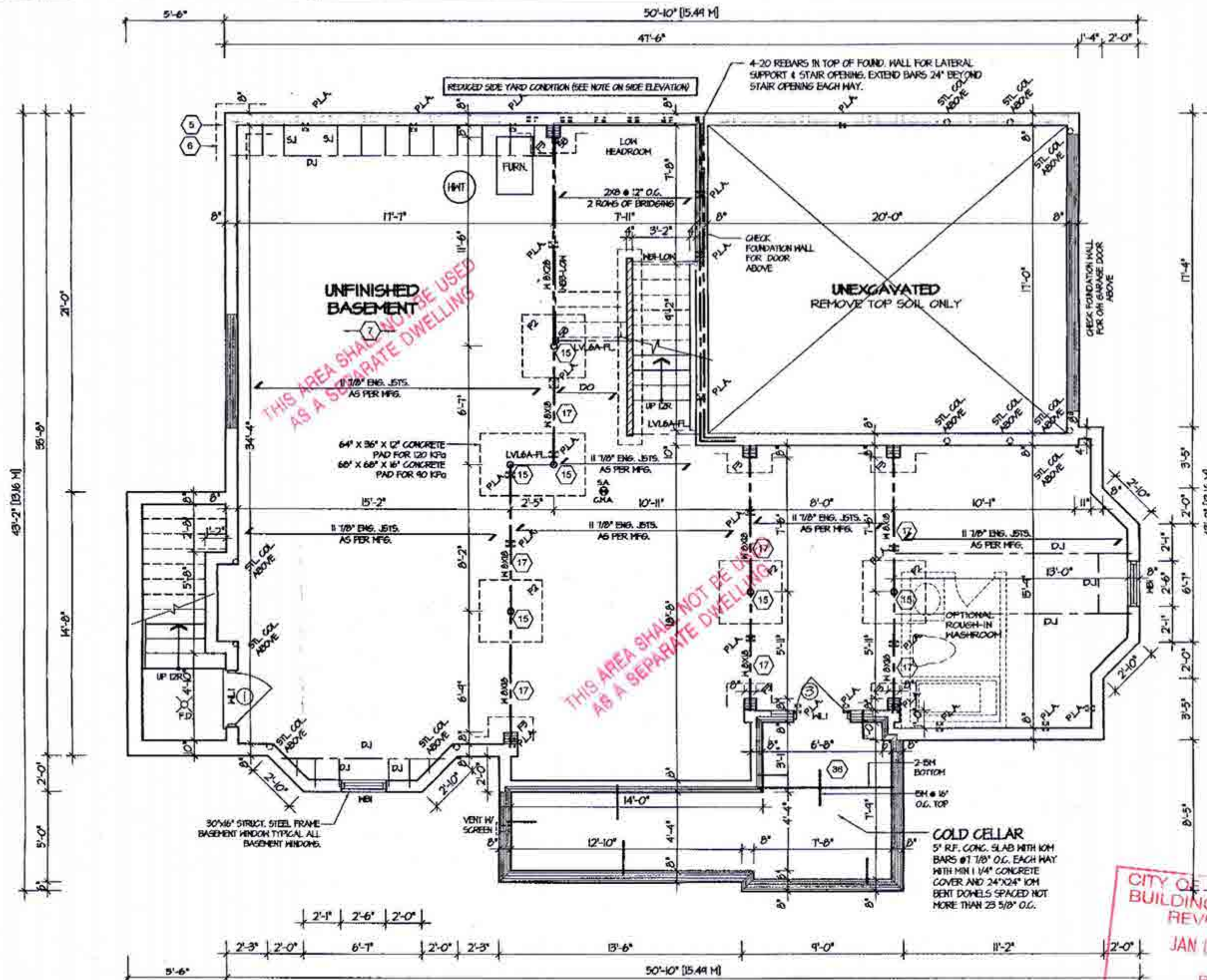
BY	ZMF
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AREA	302
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PAGE 14

0-2

PROJECT NAME
MINNISALE HOMES CORP.



BASEMENT FLOOR PLAN 2'

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGES FOR SPANS OF 5'-0" TO 7'-0", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GULLED AND NAILED ON THIS FLOOR.

NOTE 1: FINAL LOCATION OF SUMP PUMP IS BASED ON SITE CONDITION

ALL PLUMBING SHALL CONFORM TO THE ONTARIO BUILDING CODE, O. REG. 332.12, AS AMENDED, DIVISION B, PART 7.

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 08 2019
PLUMBING BY
KOFI MORIEL

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
DEC 10 2018
PP
LOU LAYNE

W Architect Inc.
DESIGN CONTROL REVIEW
NOV 13 2018
FINAL BY CEE
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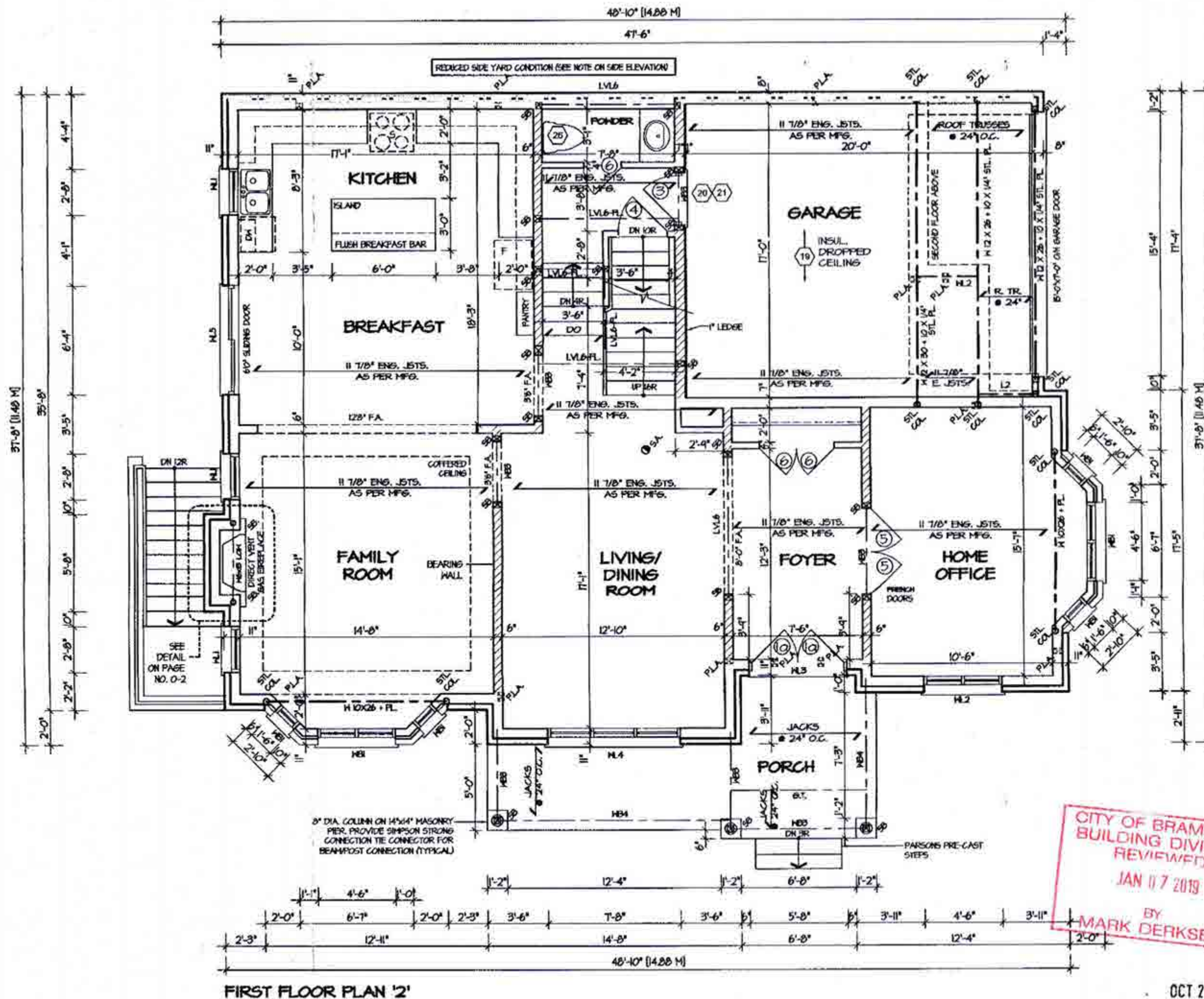
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CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 07 2019
BY
MARK DERKSEN

OCT 26 2018

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COMPLIANCE PACKAGE A1

5. REVISIONS 1. REVISED FOR LOT 1 OCT 2018	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code. VIKAS GAJJAR NAME SIGNATURE 28770 BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746 REGION DESIGN INC.	SHEET TITLE BASEMENT PLAN 2 SCALE 3/16"=1'-0" DATE OCT 2018 BY ZMP AREA 3025	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. PAGE No. 1	Greenpark. PROJECT NAME MINNISALE HOMES CORP.
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FIRST FLOOR PLAN '2'

CITY OF BRAMPTON
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JAN 08 2019
PLUMBING BY
KOFI MORIEL

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
DEC 10 2018
BY
VICTOR PAVINE

W Architect Inc.
DESIGN CONTROL REVIEW
NOV 13 2018
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STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 17 2019
BY
MARK DERKSEN

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Contract
Architect is not responsible in any way for
examining or approving any (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

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with the applicable Architectural Design
Guidelines approved by the City of
Brampton.

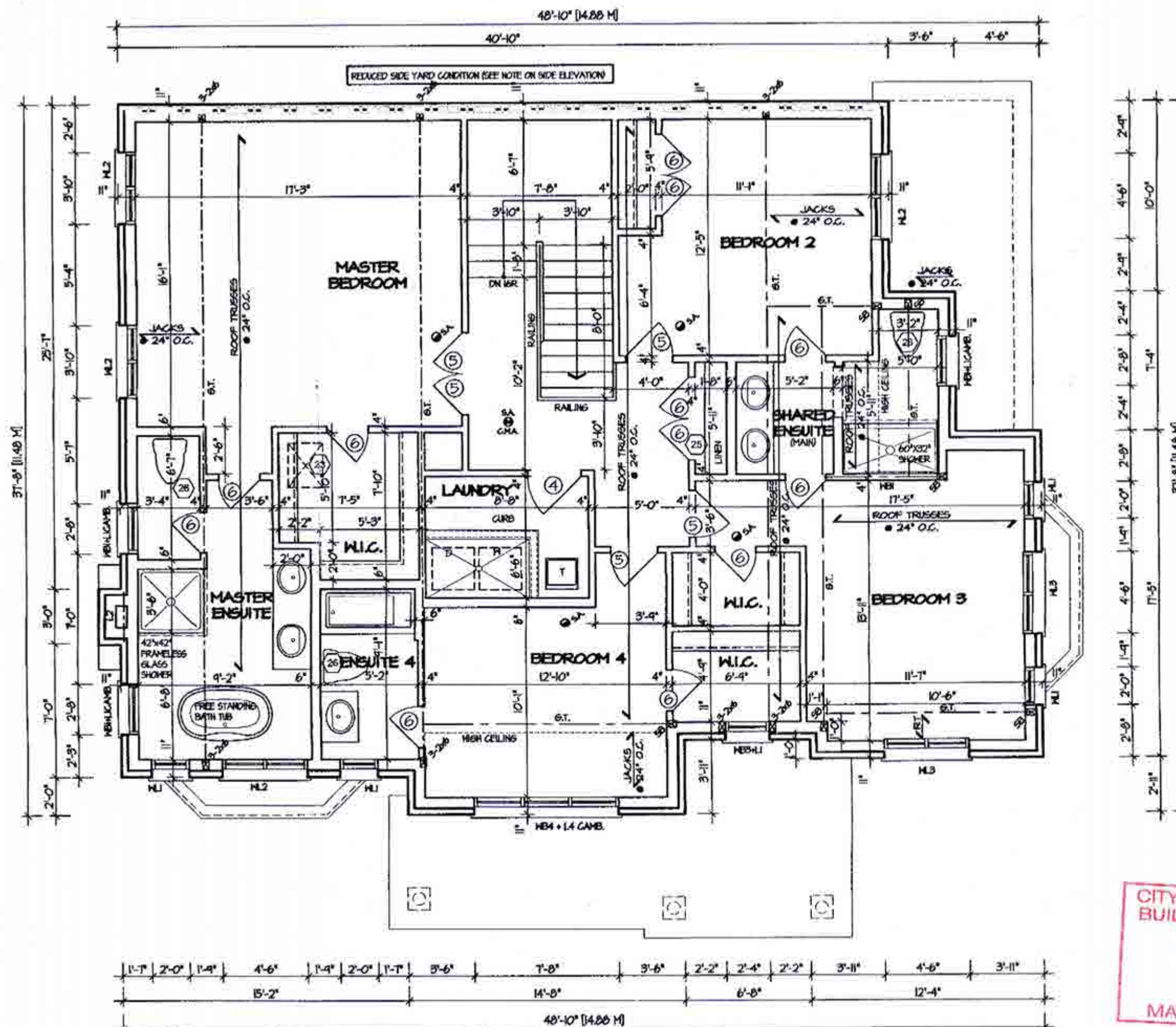
ALL PLUMBING SHALL CONFORM TO
THE ONTARIO BUILDING CODE, O. REG.
332/12, AS AMENDED, DIVISION B, PART 7.

GRANDBROOKE 12-001

COMPLIANCE PACKAGE A1

OCT 26 2018

REVISIONS 1. REVISED FOR LOT 1 OCT 2018	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME 28770 SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFY ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0748	SHEET TITLE FIRST FLOOR PLAN 2 SCALE 3/16"=1'-0" BY ZMP DATE OCT 2018 AREA 3025	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. PAGE NO. 2	Greenpark. PROJECT NAME MINNISALE HOMES CORP.
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SECOND FLOOR PLAN '2'

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REVIEWED
JAN 08 2019
PLUMBING BY
KOFI MOHIEL

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
DEC 14 2018
BY
TOMMY PAYNE

W Architect Inc.
DESIGN CONTROL REVIEW
NOV 13 2018
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BUILDING DIVISION
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JAN 07 2019
BY
MARK DERKSEN

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OCT 26 2018

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COMPLIANCE PACKAGE A1

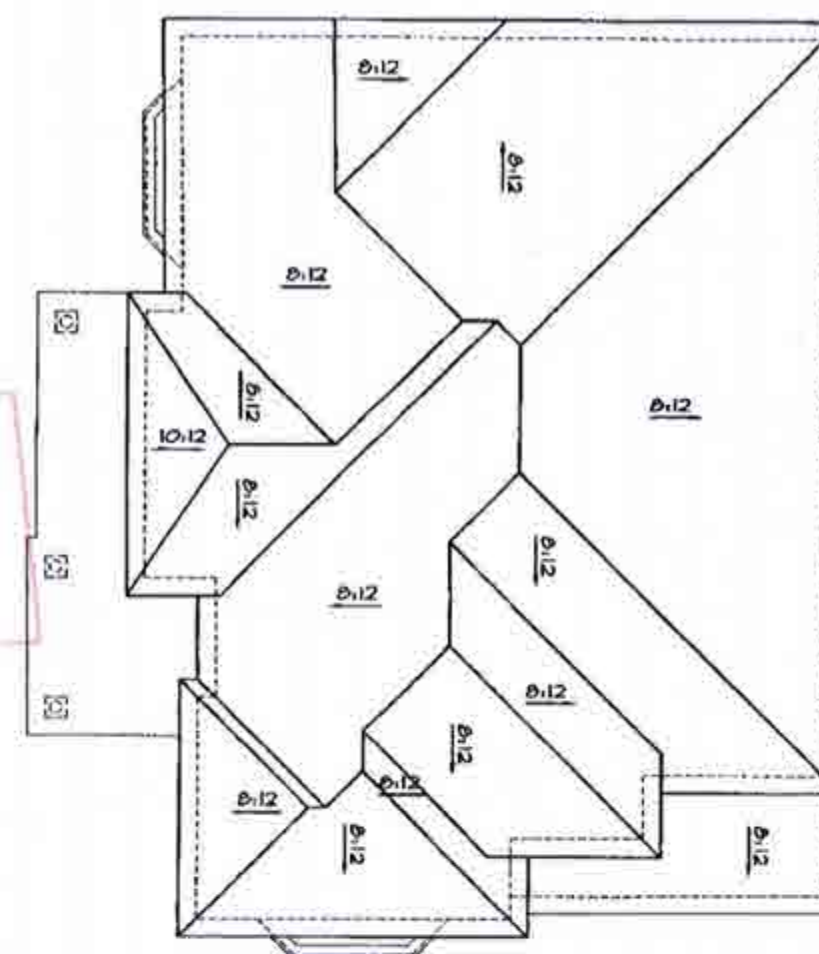
ALL PLUMBING SHALL CONFORM TO
THE ONTARIO BUILDING CODE, O. REG.
332/12, AS AMENDED, DIVISION B, PART 7.



PROJECT NAME
MINNISALE HOMES CORP.

5. 4. 3. 2. 1. REVISED FOR LOT 1 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code. VIKAS GAJJAR NAME 28770 BCIN SIGNATURE	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	SHEET TITLE SECOND FLOOR PLAN 2 SCALE 3/16"=1'-0" DATE OCT 2018 BY ZMP AREA 3025	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. PAGE No. 3	PROJECT NAME MINNISALE HOMES CORP.
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CITY OF BRAMPTON
BUILDING DEPARTMENT
DEC 10 2018
BY
YOUSUF MAYHE



ROOF PLAN 2
Scale: N.T.S.



FRONT ELEVATION 2

W Architect Inc.
DESIGN CONTROL REVIEW
NOV 13 2018
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CITY OF BRAMPTON
BUILDING DEPARTMENT
REVIEWED
JAN 17 2019
OCT 26 2018
BY
MARK DERIKSEN

GRANDBROOKE 12-001

COMPLIANCE PACKAGE A1

5.	
4.	
3.	
2.	
1.	REVISED FOR LOT 1
OCT 2018	
REVISIONS	

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code
VIKAS GAJJAR
NAME
SIGNATURE
28770
BCIN

REGION DESIGN INC.
6700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S8
P (416) 736-4096
F (905) 660-0746

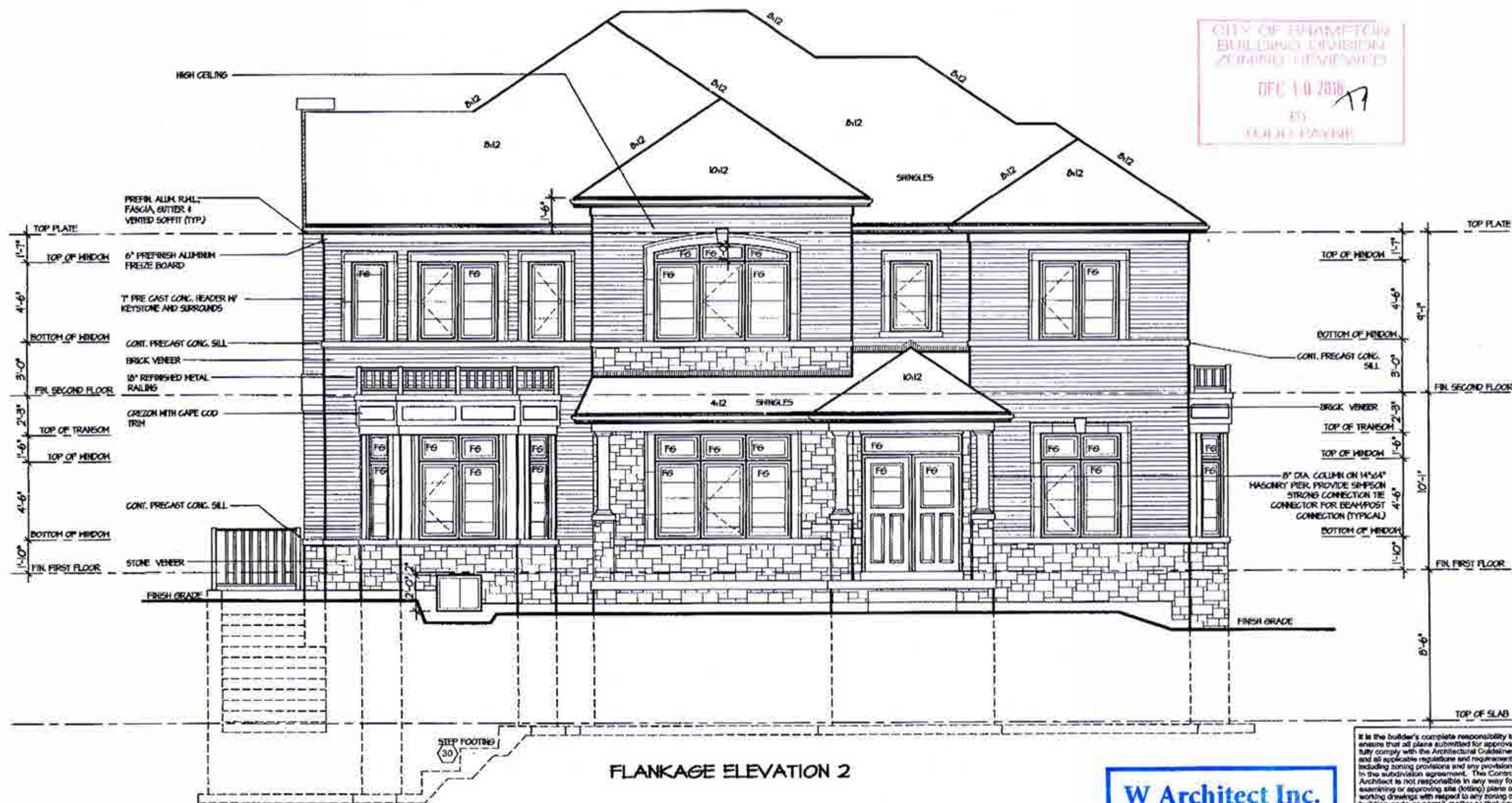
**REGION
DESIGN
INC.**

SHEET TITLE
FRONT ELEVATION 2
SCALE
3/16"=1'-0"
DATE
OCT 2018
BY
ZMP
AREA
3025

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.
PAGE No.
4

Greenpark.
PROJECT NAME
MINNISALE HOMES CORP.

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
DEC 10 2018
BY
CITY ENGINEER



FLANKAGE ELEVATION 2

W Architect Inc.
DESIGN CONTROL REVIEW

NOV 13 2018

FINAL BY: *CAGE*

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BUILDING DIVISION
REVIEWED
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BY
MARK DERKSEN

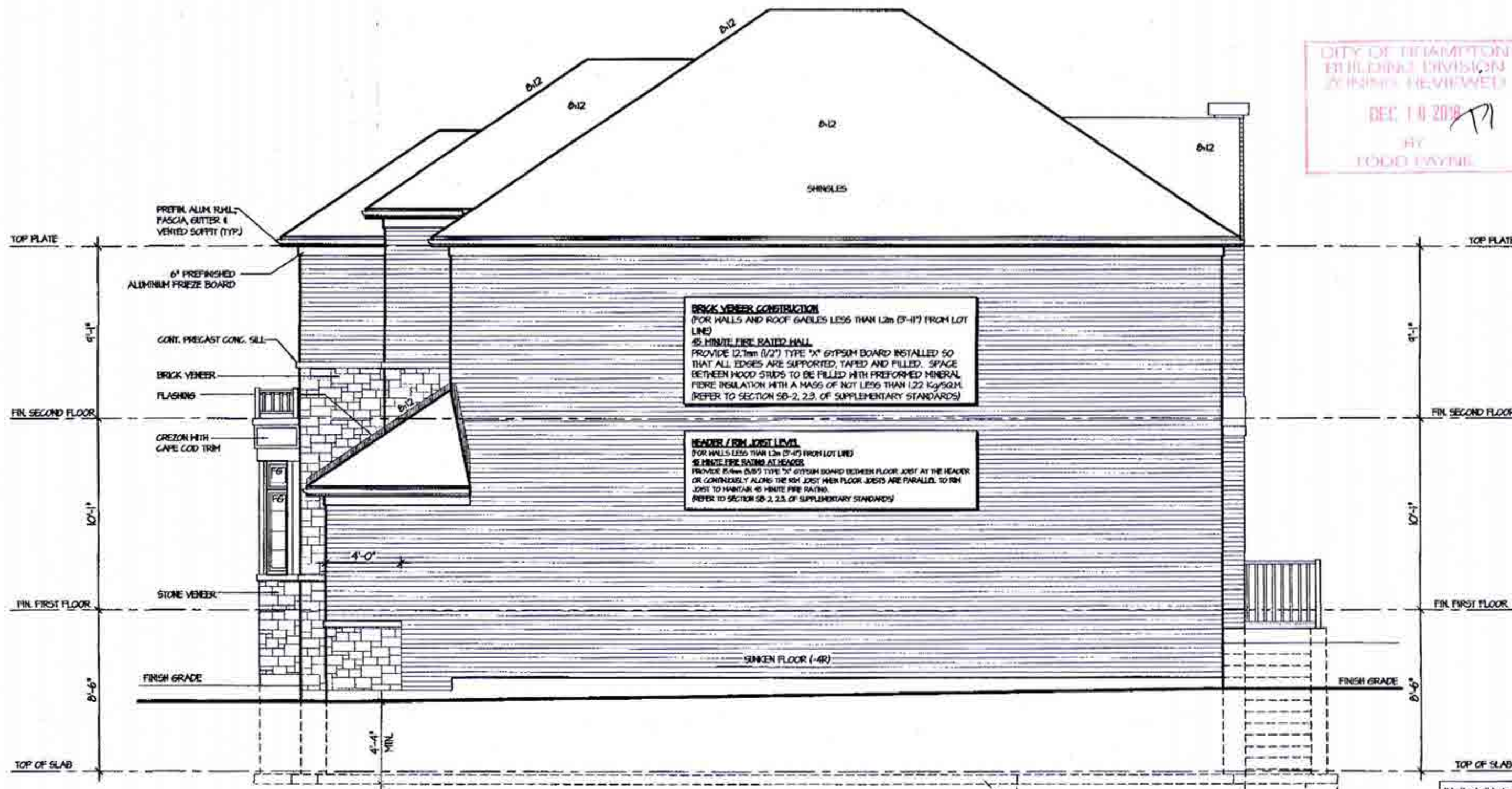
GRANDBROOKE 12-001

COMPLIANCE PACKAGE A1

5. _____ 4. _____ 3. _____ 2. _____ 1. REVISED FOR LOT 1 OCT 2018 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.6 of the building code VIKAS GAJJAR NAME SIGNATURE 28770 BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 560-0746 REGION DESIGN INC.	SHEET TITLE FLANKAGE SIDE ELEVATION 2 SCALE 3/16"=1'-0" DATE OCT 2018 BY ZMP AREA 3025	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. PAGE NO. 5	Greenpark. PROJECT NAME MINNISALE HOMES CORP.
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CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
DEC 10 2018
BY
TODD PAYNE



RIGHT ELEVATION 2

ALLOWABLE GLAZING (STANDARD PLAN)

HALL AREA	106	Sq. Ft.
ALLOWABLE GLAZED AREA @ 0.5 O.B.M. SIDE YARD	0.00	Sq. Ft.
ACTUAL GLAZED AREA	0.0	Sq. Ft.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with applicable Architectural Design Guidelines approved by the City of BRAMPTON.
BUILDING DIVISION
REVIEWED
JAN 11 7 2019
BY
MARK DERKSEN

W Architect Inc.
DESIGN CONTROL REVIEW

NOV 13 2018

FINAL

BY

CITE

OCT 26 2018

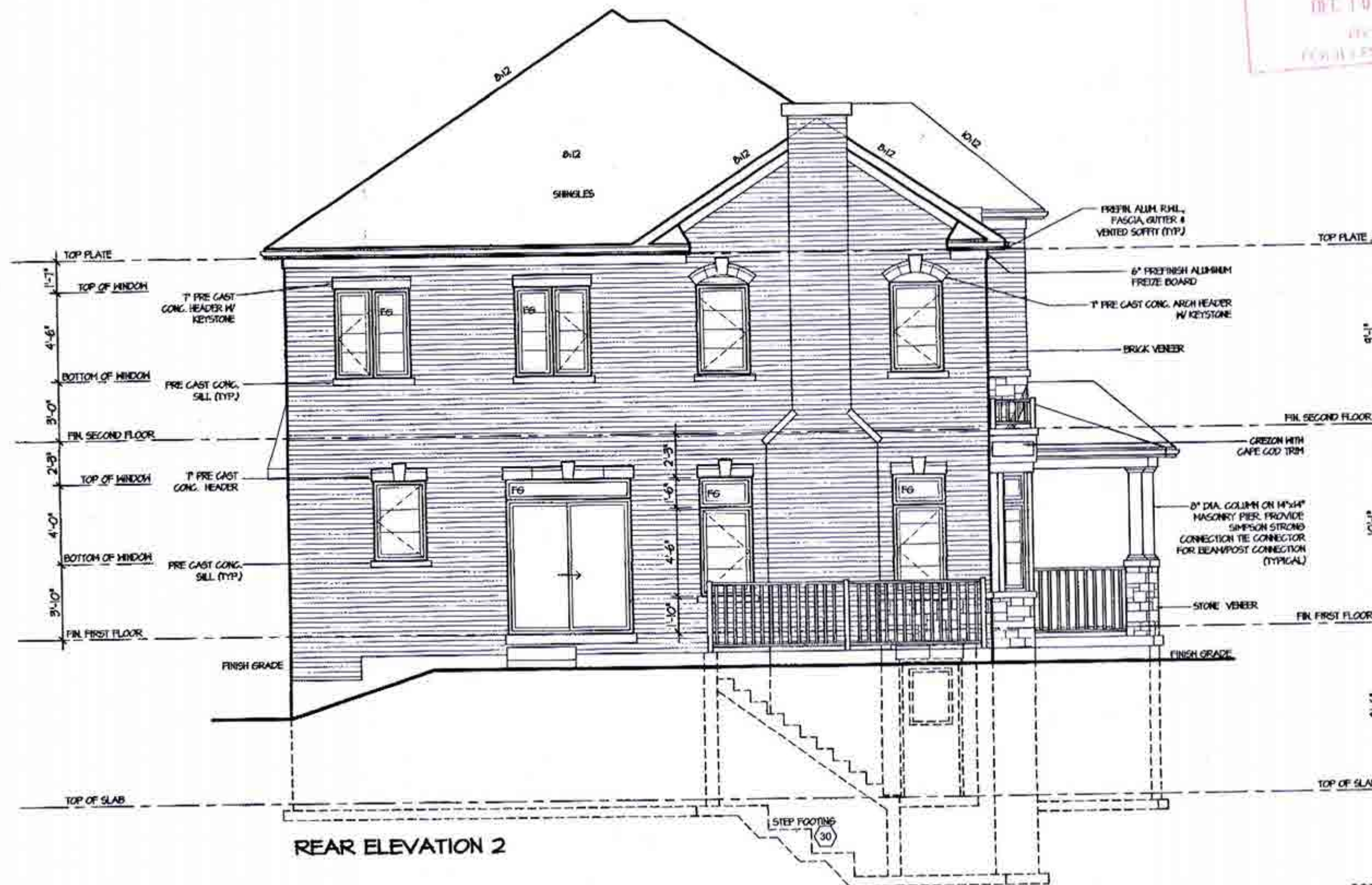
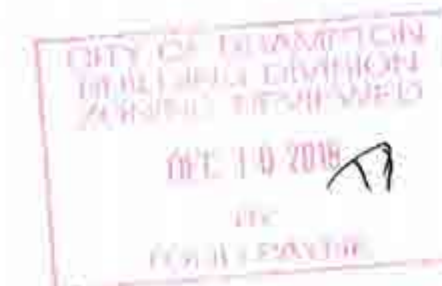
This stamp is only for the purpose of design control and carries no other professional obligations.

GRANDBROOKE 12-001

COMPLIANCE PACKAGE A1

5. _____ 4. _____ 3. _____ 2. _____ 1. REVISED FOR LOT 1 OCT 2018 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR 28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	SHEET TITLE RIGHT SIDE ELEVATION 2 SCALE 3/16"=1'-0" DATE OCT 2018 BY ZMP AREA 3025	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. PAGE NO. 6	Greenpark. PROJECT NAME MINNISALE HOMES CORP.
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REAR ELEVATION 2

W Architect Inc.
DESIGN CONTROL REVIEW

NOV 13 2018

FINAL BY: *GCE*

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CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED

JAN 17 2019

BY:
MARK DERKSEN

OCT 26 2018

GRANDBROOKE 12-001

COMPLIANCE PACKAGE A1

5.		
4.		
3.		
2.		
1.	REVISED FOR LOT 1	OCT 2018

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GALLIAR
NAME
28770
BCIN

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L4K 4S6
P (416) 736-4096
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**REGION
DESIGN
INC.**

SHEET TITLE
REAR ELEVATION 2

SCALE
3/16"=1'-0"

DATE
OCT 2018

BY
ZMP

AREA
3025

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

PAGE NO.

7

Greenpark.

PROJECT NAME
MINNISALE HOMES CORP.

Diagram illustrating the cross-section of a storm sewer installation, showing the retaining wall, stairs, and various reinforcement details.

Labels and Dimensions:

- GUARDS SEE NOTE NO.6
- 6" MIN. 4"
- RETAINING WALL SEE NOTE NO.5
- 4" WEEPING TILE W/6" STONE COVER
- 4'-0" MIN. TO UNDISTURBED SOIL
- CONG. SILL
- CONNECT DRAIN TO STORM SEWER
- NOSE REINFORCEMENT W/ 10M BARS
- 10M @ 24" O.C. DOWNELS
- 10M @ 8" O.C. BOTH WAYS
- STEP FOOTING

GENERAL NOTES:

- [illegible]

GRANDBROOKE 12-001

COMPLIANCE PACKAGE A1



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