

STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS

20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

ASSUME THE LARGER FOOTINGS SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.f.) SOIL BEARING CAPACITY OR 90 KPa
FOR ENGINEERED FILL IS USED, TO BE VERIFIED ON SITE.

FOUNDATION WALLS WITH ENGINEERING JOISTS OVER 16'-0" SPAN

24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

ENGINEERED FILL FOOTINGS

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING

BELOW EXTERIOR WALLS.

30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS. (REFER TO ENG. FILL FOOTING DETAIL)

PAD FOOTING

120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL

F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD

F2 = 36"x36"x18" CONCRETE PAD F2 = 40"x40"x18" CONCRETE PAD

F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD

F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD

F5 = 18"x18"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa
WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS:

WL1 = 3'1 1/2" x 3'1 1/2" x 1 1/4" (90x90x6) + 2'-2" x 8" SPR.

WL2 = 4' x 3'1 1/2" x 5/16" (100x90x6) + 2'-2" x 8" SPR.

WL3 = 5' x 3'1 1/2" x 5/16" (125x90x6) + 2'-2" x 10" SPR.

WL4 = 6' x 3'1 1/2" x 3/8" (150x90x10) + 2'-2" x 12" SPR.

WL5 = 8' x 4' x 3/8" (150x100x10) + 2'-2" x 12" SPR.

WL6 = 5' x 3'1 1/2" x 5/16" (125x90x6) + 3'-2" x 12" SPR.

WL7 = 5' x 3'1 1/2" x 5/16" (125x90x6) + 3'-2" x 10" SPR.

WL8 = 5' x 3'1 1/2" x 5/16" (125x90x6) + 3'-2" x 12" SPR.

WL9 = 8' x 4' x 3/8" (150x100x10) + 3'-2" x 12" SPR.

WOOD LINTELS:

WB1 = 2'-2" x 8" SPRUCE BEAM

WB2 = 3'-2" x 8" SPRUCE BEAM

WB3 = 2'-2" x 10" SPRUCE BEAM

WB4 = 3'-2" x 10" SPRUCE BEAM

WB5 = 2'-2" x 12" SPRUCE BEAM

WB6 = 3'-2" x 12" SPRUCE BEAM

WB7 = 5'-2" x 12" SPRUCE BEAM

WB8 = 4'-2" x 8" SPRUCE BEAM

WB9 = 4'-2" x 10" SPRUCE BEAM

WB10 = 4'-2" x 10" SPRUCE BEAM

STEEL LINTELS:

L1 = 3'1 1/2" x 3'1 1/2" x 1 1/4" (90x90x6) L4 = 6' x 3'1 1/2" x 3/8" (150x90x10)

L2 = 4' x 3'1 1/2" x 5/16" (100x90x6) L5 = 8' x 4' x 3/8" (150x100x10)

L3 = 5' x 3'1 1/2" x 5/16" (125x90x6) L6 = 7' x 4' x 3/8" (180x100x10)

LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)

LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)

LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)

LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)

LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)

LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)

LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)

LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)

LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)

LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)

LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)

LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)

LVL8 = 2-1 3/4" x 14" (2-45x356)

LVL9 = 3-1 3/4" x 14" (3-45x356)

DOOR SCHEDULE:

1 = 2'-10" x 6'-8" INSULATED ENTRANCE DOOR

1A = 2'-8" x 6'-8" INSULATED ENTRANCE DOOR

2 = 2'-8" x 6'-8" EXTERIOR GLAZED DOOR

3 = 2'-8" x 6'-8" SLAB DOOR (1 3/4" EXTERIOR)

4 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)

5 = 2'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)

6 = 2'-2" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)

7 = 1'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)

8 = 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)

9 = 3'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)

10 = 2'-2-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)

11 = 2'-2-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)

12 = 2'-6" x 6'-8" FRENCH DOOR (1 3/8" INTERIOR)

GRANDBROOKE 1-013 ELEV-2 ENERGY EFFICIENCY- SB12			
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	581.79	89.90	15.45 %
LEFT SIDE	1091.07	0.00	0.00 %
RIGHT SIDE	1116.38	83.67	7.49 %
REAR	648.35	139.07	21.45 %
TOTAL	3437.59	312.64	9.09 %

AREA CALCULATIONS EL-2			
GROUND FLOOR AREA	=	1016 Sq. Ft.	
SECOND FLOOR AREA	=	1296 Sq. Ft.	
TOTAL FLOOR AREA	=	2312 Sq. Ft.	
ADD OPEN AREAS	=	0 Sq. Ft.	
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.	
GROSS FLOOR AREA	=	2312 Sq. Ft.	
GROUND FLOOR COVERAGE	=	1016 Sq. Ft.	
GARAGE COVERAGE / AREA	=	237 Sq. Ft.	
PORCH COVERAGE / AREA	=	74 Sq. Ft.	
COVERAGE W/ PORCH	=	1327 Sq. Ft.	
	=	123.3 Sq. m.	
COVERAGE W/O PORCH	=	1253 Sq. Ft.	
	=	116.41 Sq. m.	

All work shall conform to the Ontario
Building Code O. Reg. 332/12 as amended

2306

9.8m LOTS

GRANDBROOKE 1-013

ELEVATION 2

PACKAGE 'A1'

O. REG. 332/12

STRUDET INC.



FOR STRUCTURE ONLY

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JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE SIGNATURE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED DIMENSIONS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN REQUIRED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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3	JUNE 27, 2018	ISSUED FOR STRUCTURAL REVIEW
2	JUNE 27, 2018	COORDINATED ROOF AND FLOOR INFORMATION
1	MAY 22, 2018	FROM VETRAIA WESTLAKE-3 15-42

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR, SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code.

Walter Botter *WBE* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code.

Jardin design group inc. 27763
FIRM NAME BCIN

TITLE SHEET
MINNISALE HOME CORP.
CITY OF BRAMPTON

TYPE	AREA
T	2306
SCALE:	3/16" = 1'-0"
PROJ. No.	DWG. No.
18-24	0



Certified Model # *Green for Homes*
18-33120600 DR
M Plan
Model *m2000 lot 13*

For conventional wood framing
framing shall conform to OBC 9.23

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED

JAN 15 2019

BY

MARK DERKSEN

W Architect Inc.
DESIGN CONTROL REVIEW

OCT 26 2018

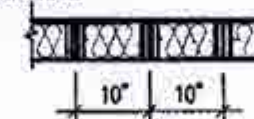
FINAL

BY: *CTC*

This stamp is only for the purpose of design control and carries no other professional obligations.

OCT 2 2 2018

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED AND NAILED TOGETHER AND SPACED MAX. @ 10" O.C. FULL HT C/W SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:

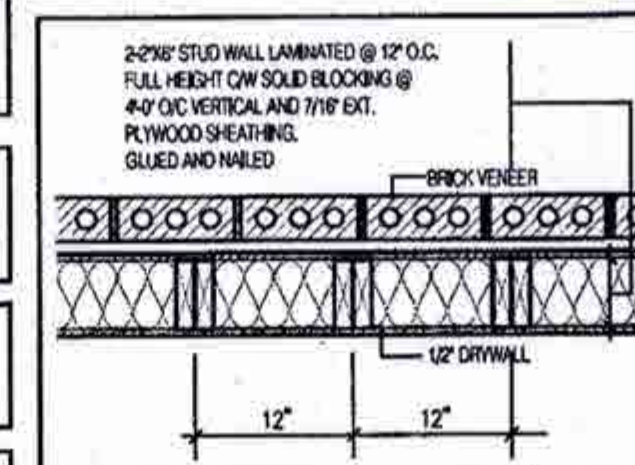
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

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NOTE:

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.



FULL HEIGHT WALL DETAIL 1
WITH BRICK VENEER N.T.S.

LEGEND:

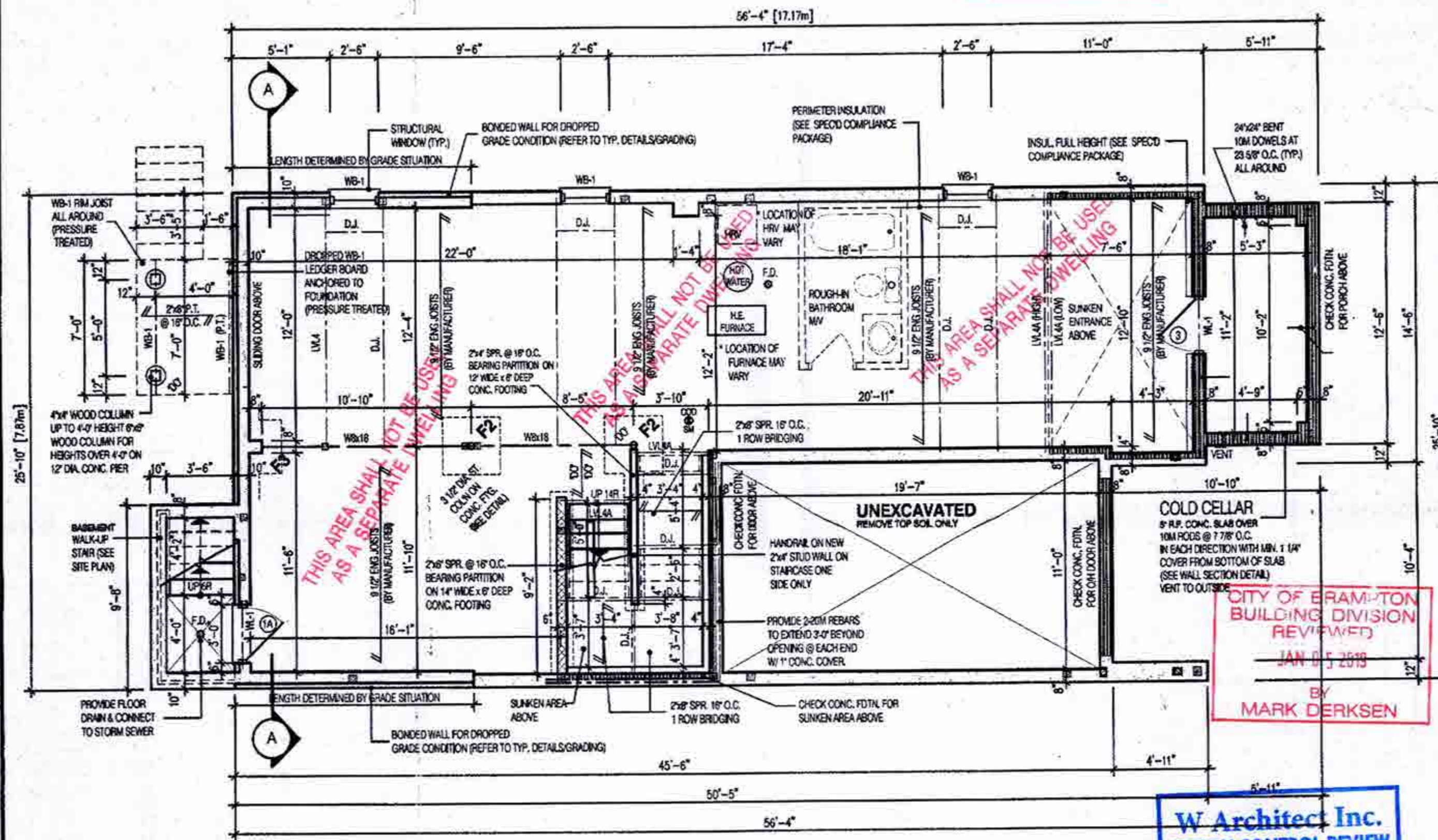
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
NOV 21 2018
PLUMBING BY
KOFI MORIEL

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
NOV 09 2018
BY
TODD PAYNE

2306
9.8m LOTS
GRANDBROOKE 1-013
ELEVATION 2
PACKAGE 'A1'
O.REG. 332/12

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY



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1	MAY 22, 2018	FROM VETRIALLA WESTLAKES-15-42

NO. DATE: WORK DESCRIPTION:
jardin
DESIGN GROUP INC
64 JARDIN DR, SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.3 of the building code.
Walter Botter *WBE* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.
jardin design group inc. 27763
FIRM NAME BCIN

BASEMENT FL. PL. EL-2
MINNISALE HOME CORP.
CITY OF BRAMPTON

TYPE T AREA 2306
SCALE: 3/16"=1'-0"
PROJ. NO. 18-24 DIVS. NO. 1A

W Architect Inc.
DESIGN CONTROL REVIEW
OCT 26 2018
FINAL BY: GEGE
This stamp is only for the purpose of control and carries no other professional obligations.

ALL PLUMBING SHALL CONFORM TO THE ONTARIO BUILDING CODE, O.REG. 332/12, AS AMENDED, DIVISION B, PART 7.

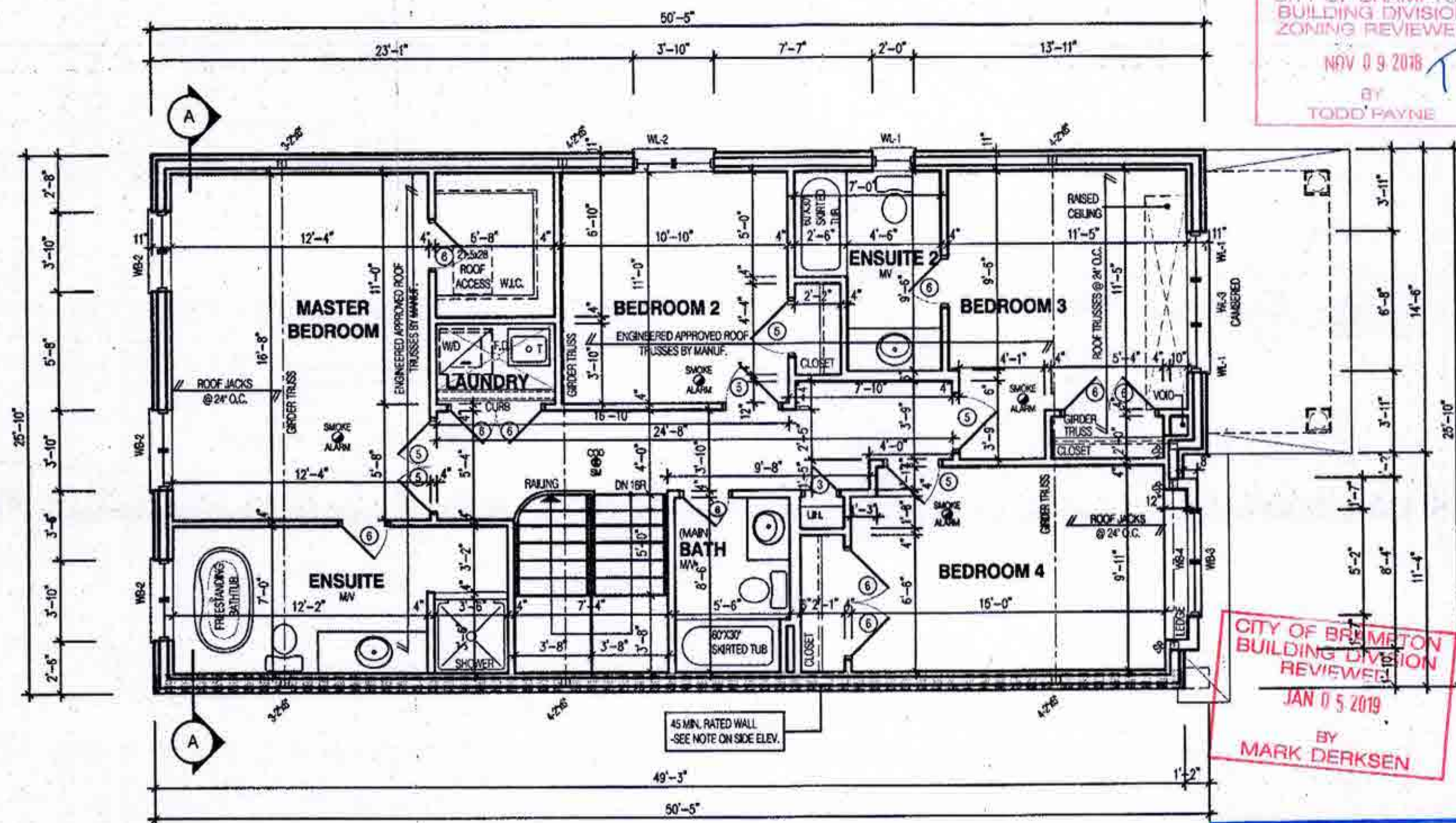
NOTE:
REFER TO SHEET NO. 0-1 FOR UNTEL, BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 9'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
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NOTE:
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:
■ BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
■ INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
■ STL. PLATE FOR STEEL COLN ABOVE LAMINATED VENEER LUMBER
S.J. SINGLE JOIST
D.J. DOUBLE JOIST
T.J. TRIPLE JOIST
○ REPEAT NOTE
○ SHOWER WEEPERS



CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
NOV 21 2018
PLUMBING BY
KOFI MORIEL

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
NOV 09 2018
BY
TODD PAYNE

2306
9.8m LOTS
GRANDBROOKE 1-013
ELEVATION 2
PACKAGE 'A1'
O.REG. 332/12

STRUDET INC.



FOR STRUCTURE ONLY

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1	MAY 22, 2018	FROM VETRAVILLA WESTLAKES-3 15-12

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR, SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Registered unless design is exempt under Division C, Subsection 1.2.3 of the building code.

Walter Botter *WBE* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Registered unless design is exempt under Division C, Subsection 1.2.4 of the building code.

Jardin design group inc. 27763
FIRM NAME BCIN

SECOND FL. PLAN EL-2

MINNISALE HOME CORP.
CITY OF BRAMPTON

TYPE	AREA
T	2306
SCALE	3/16" = 1'-0"
PROJ. NO.	18-24
DWG. NO.	3A



W Architect Inc.
DESIGN CONTROL REVIEW

OCT 26 2018

FINAL BY: GTE

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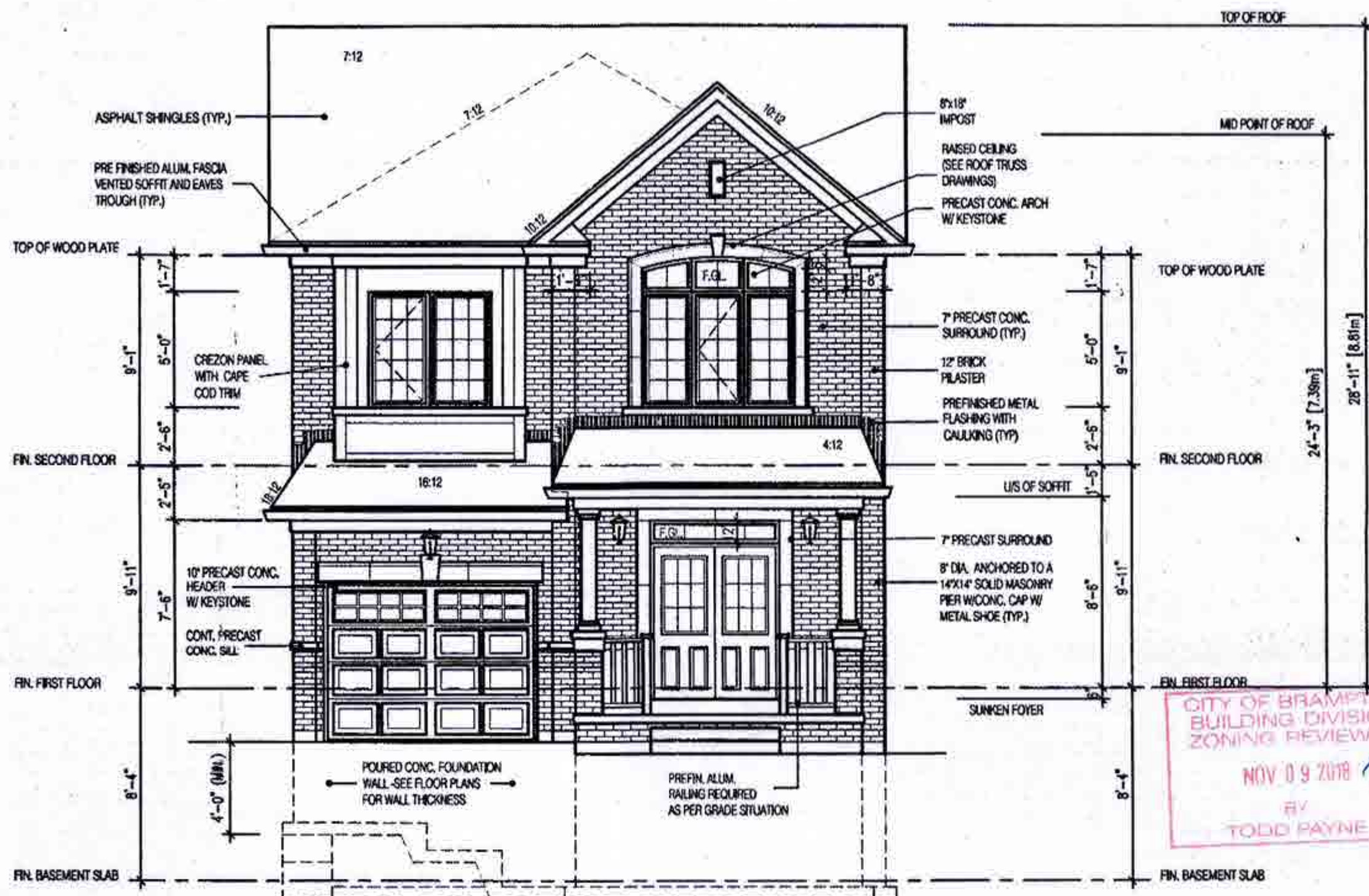
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NOTE:

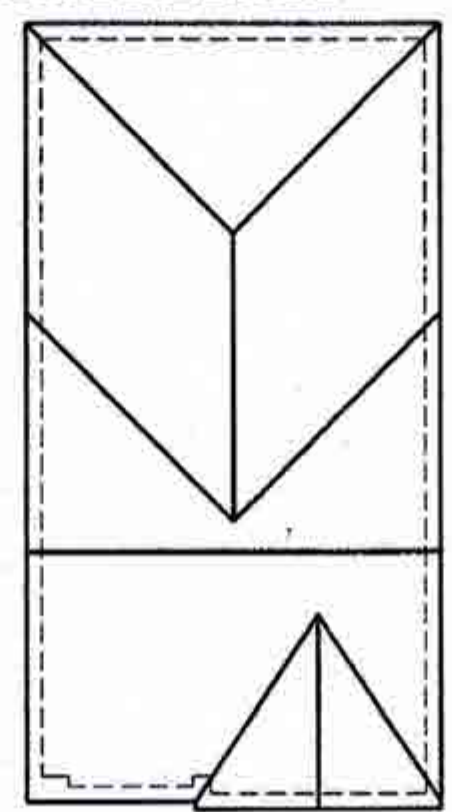
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- REPEAT NOTE
- SHOWER WEEPERS



**GRANDBROOKE 1-013
FRONT ELEV. -2**



**ROOF PLAN
N.T.S.**

W Architect Inc.
DESIGN CONTROL REVIEW
OCT 26 2018
FINAL BY: *GERE*
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CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 05 2019
BY
MARK DERKSEN

OCT 22 2018

**2306
9.8m LOTS
GRANDBROOKE 1-013
ELEVATION 2
PACKAGE 'A1'
O.REG. 332/12**

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jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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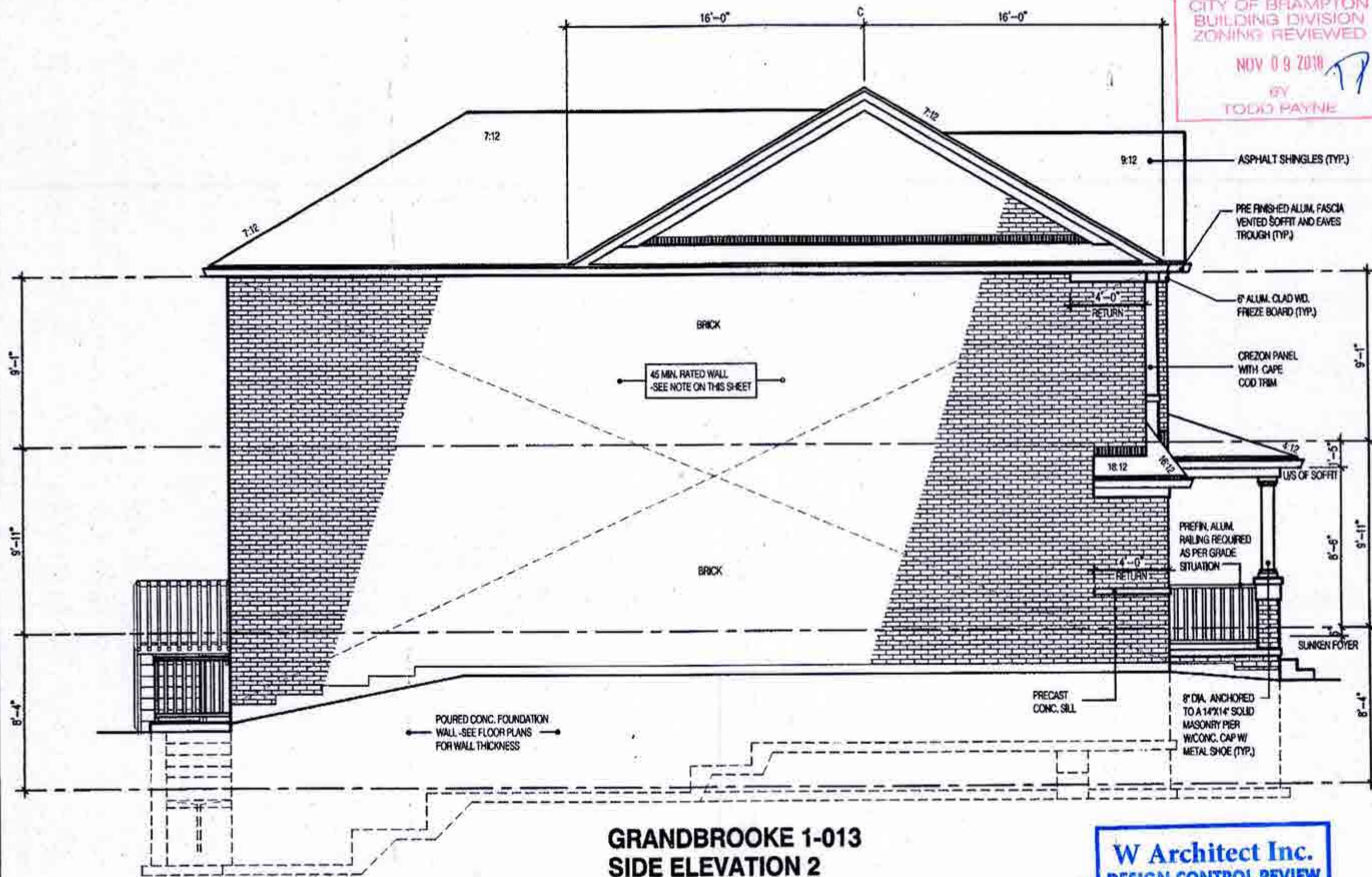
Walter Botter *WBe* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION required unless design is exempt under Division C, Subsection 3.2.4 of the building code.
jardin design group inc. 27763
FIRM NAME BCIN

**FRONT ELEVATION-2
MINNISALE HOME CORP.
CITY OF BRAMPTON**

TYPE T	AREA 2306
SCALE: 3/16" = 1'-0"	
PROJ. NO. 18-24	DWG. NO. 4A

BILD



GRANDBROOKE 1-013
SIDE ELEVATION 2

W Architect Inc.
DESIGN CONTROL REVIEW

OCT 2 6 2018

FINAL BY: *GERE*

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CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED

JAN 0 5 2019

BY
MARK DERKSEN

OCT 2 2 2018

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)
45 MINUTE FIRE RATED AT HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

(REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.5.2)

2306

9.8m LOTS

GRANDBROOKE 1-013

ELEVATION 2

PACKAGE 'A1'

O.REG. 332/12

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED

NOV 0 9 2018

BY
TODD PAYNE

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
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7		
6	OCT 16 2018	PREPARED CUSTOM PLAN AND ISSUED FOR BUILDING PERMIT
5	JULY 26 2018	ISSUED FOR BUILDING PERMIT
4	JULY 28 2018	REVISED PER STRUCTURAL REVIEW AND CLIENTS COMMENTS
3	JUNE 27 2018	ISSUED OR STRUCTURAL REVIEW
2	JUNE 27 2018	COORDINATED ROOF AND FLOOR INFORMATION
1	MAY 22 2018	FROM VETRAALLA WESTLAKE'S 15-42

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.3 of the building code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.4 of the building code.
Jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION-2
MINNISALE HOME CORP.
CITY OF BRAMPTON

TYPE	T	AREA	2306
SCALE	3/16" = 1'-0"		
PROJ. No.	18-24	DWG. No.	5A





**GRANDBROOKE 1-013
REAR ELEVATION 2**

W Architect Inc.
DESIGN CONTROL REVIEW

OCT 26 2018

FINAL BY: *GEE*

This stamp is only for the purpose of design control and carries no other professional obligations.

**CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED**
JAN 05 2019
BY
MARK DERKSEN

OCT 22 2018

2306

9.8m LOTS

GRANDBROOKE 1-013

ELEVATION 2

PACKAGE 'A1'

O.REG. 332/12

**CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED**
NOV 09 2018
BY
TODD PAYNE

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1	MAY 22, 2018	FROM VETRAVIA WESTLAKE-3 15-42

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC

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VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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Required unless design is exempt under Division C, Subsection 1.2.5 of the building code.

Walter Botter *WBe* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.4 of the building code.

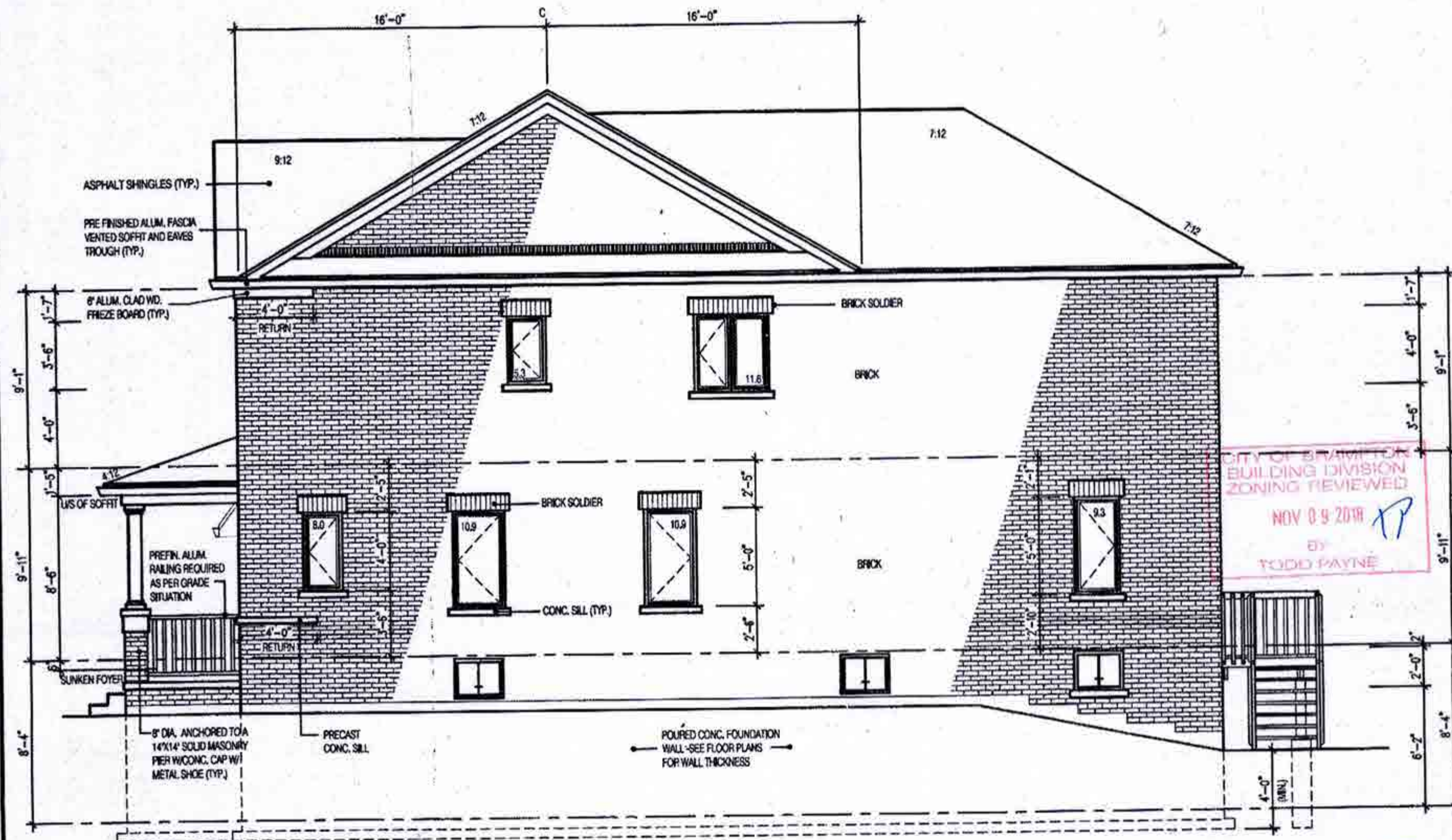
Jardin design group inc. 27763
FIRM NAME BCIN

REAR ELEVATION-2

MINNISALE HOME CORP.
CITY OF BRAMPTON

TYPE	AREA
T	2306
SCALE:	3/16" = 1'-0"
PROJ. No.	DWG. No.
18-24	6A





**GRANDBROOKE 1-013
SIDE ELEVATION 2**

UNPROTECTED OPENINGS

WALL AREA
ALLOWABLE WINDOW AREA @ 7.0%(1.2m SIDEYARD)
ACTUAL GLASS AREA

1116.38
78.15
64.94

W Architect Inc.
DESIGN CONTROL REVIEW

OCT 26 2018

FINAL BY: *CEE*

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**CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED**
JAN 05 2019
BY
MARK DERKSEN

OCT 22 2018

2306
9.8m LOTS
GRANDBROOKE 1-013
ELEVATION 2
PACKAGE 'A1'
O.REG. 332/12

**CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED**
NOV 09 2018
BY
TODD PAYNE

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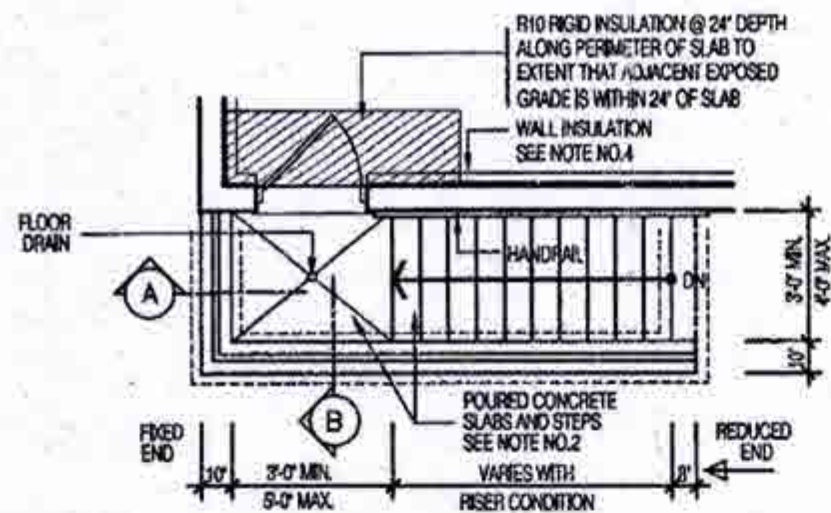
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Walter Botter *WBe* 21037
NAME SIGNATURE BON

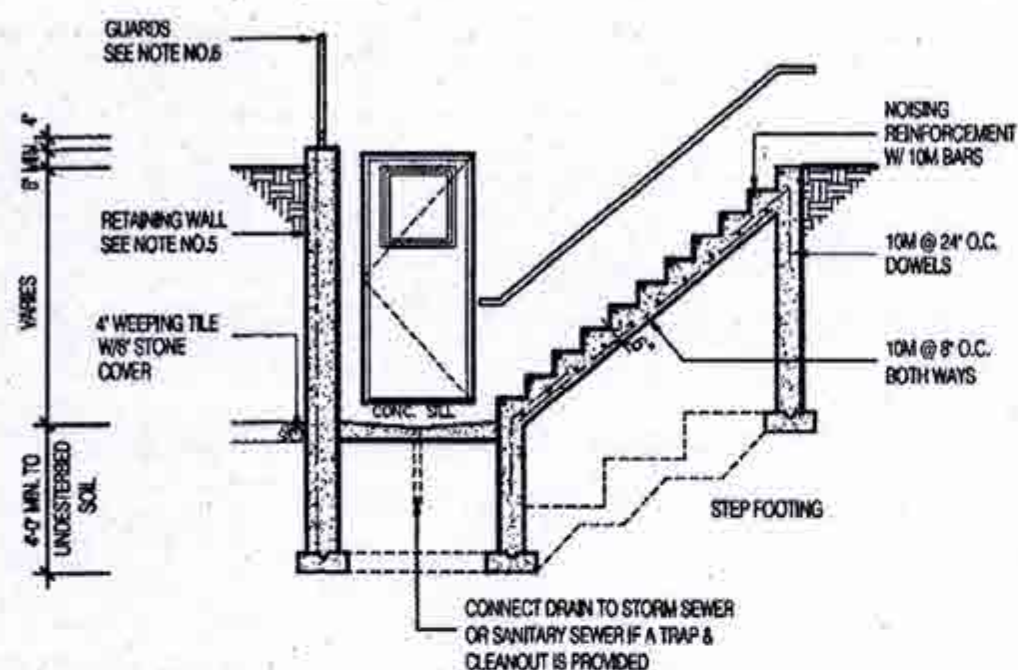
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code
Jardin design group inc. 27763
FIRM NAME BON

SIDE ELEVATION-2
MINNISALE HOME CORP.
CITY OF BRAMPTON

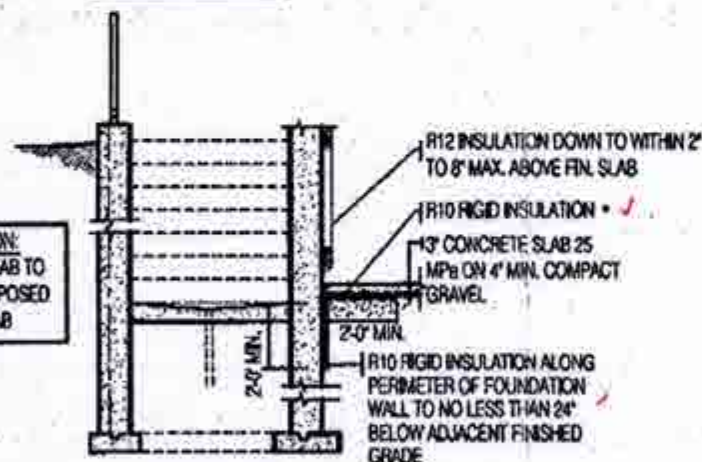
BILD
TYPE T AREA 2306
SCALE: 3/16" = 1'-0"
PROJ. No. 18-24 DWG. No. 7A



PLAN



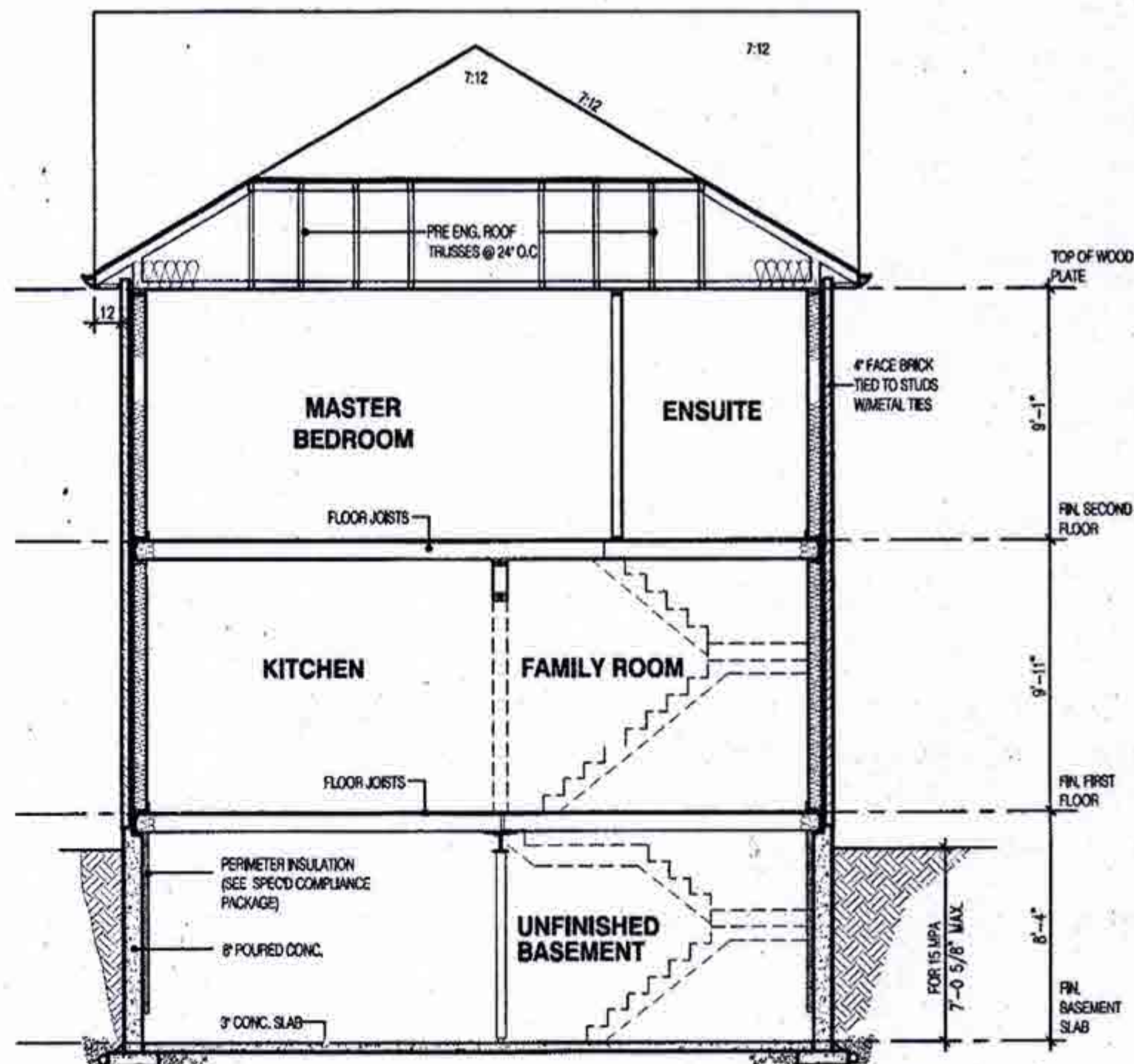
SECTION 'A'



SECTION 'B'

GENERAL NOTES:

- FOOTING**
16"x24" POURED CONC. FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL.
- CONCRETE**
MINIMUM COMPRESSIVE STRENGTH OF 32 MPa (4650 psi) @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.
- EXTERIOR STAIRS**
7 7/8" RISE MAXIMUM
8 1/4" RUN MINIMUM
9 1/4" TREAD MINIMUM
- INSULATION**
MINIMUM R12 INSULATION & VAPOUR BARRIER ON THE INSIDE FACE OF THE EXPOSED FOUNDATION WALL.
- RETAINING WALL**
10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7". PROVIDE 15M VERTICAL REINFORCEMENT @ 16" O.C. AND 15M HORIZONTAL REINFORCEMENT @ 24" O.C. FOR WALL HEIGHTS TO 7'-0".
- GUARDS**
3'-0" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 9'-11". 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.
- UNITS**
1-3 1/2"x3 1/2"x1/4" L + 2-2"x8" SPR.#1



SECTION A-A
ELEVATION 2

W Architect Inc.
DESIGN CONTROL REVIEW

OCT 26 2018

FINAL BY: CEE

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CITY OF BRAMPTON
BUILDING DIVISION
RECEIVED

JAN 05 2019

BY
MARK DERKS OCT 22 2018

2306

9.8m LOTS

GRANDBROOKE 1-013

ELEVATION 2

PACKAGE 'A1'

O.REG. 332/12

STRUDET INC.



FOR STRUCTURE ONLY

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Waiter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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Jardin design group inc. 27763
FIRM NAME BCIN

SECTION EL-2

MINNISALE HOME CORP.
CITY OF BRAMPTON

TYPE	AREA
T	2306
SCALE:	3/16" = 1'-0"
PROJ. NO.	DWG. NO.
18-24	8A

