

STRIP FOOTINGS -
FOR SINGLES & SEMIS UP TO 2 STOREY
8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.
(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE
WHEN TWO CONDITIONS APPLY
ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS
120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

BRICK VENEER LINTELS
WL1 = 3-1/2"x3-1/2"x1/4" (100x90x6.0) + 2-2"x8" SPR No.2
WL2 = 4"x3-1/2"x1/4" (100x90x6.0) + 2-2"x8" SPR No.2
WL3 = 5"x3-1/2"x1/4" (125x90x6.0) + 2-2"x10" SPR No.2
WL4 = 6"x3-1/2"x1/4" (150x90x6.0) + 2-2"x12" SPR No.2
WL5 = 6"x4"x3/8" (150x100x6.0) + 2-2"x12" SPR No.2
WL6 = 5"x3-1/2"x1/4" (125x90x6.0) + 2-2"x12" SPR No.2
WL7 = 5"x3-1/2"x1/4" (125x90x6.0) + 3-2"x10" SPR No.2
WL8 = 5"x3-1/2"x1/4" (125x90x6.0) + 3-2"x12" SPR No.2
WL9 = 6"x4"x3/8" (150x100x6.0) + 3-2"x12" SPR No.2

LINTELS AND BEAMS
MB1 = 2-2"x8" SPR No.2 (2-38x184 SPR No.2)
MB2 = 3-2"x8" SPR No.2 (3-38x184 SPR No.2)
MB3 = 2-2"x10" SPR No.2 (2-38x235 SPR No.2)
MB4 = 3-2"x10" SPR No.2 (3-38x235 SPR No.2)
MB5 = 2-2"x12" SPR No.2 (2-38x286 SPR No.2)
MB6 = 3-2"x12" SPR No.2 (3-38x286 SPR No.2)
MB7 = 5-2"x12" SPR No.2 (5-38x286 SPR No.2)
MB8 = 4-2"x10" SPR No.2 (4-38x235 SPR No.2)
MB9 = 4-2"x12" SPR No.2 (4-38x286 SPR No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (45x184)
LVL1 = 2-1 3/4" x 7 1/4" (45x184)
LVL2 = 3-1 3/4" x 7 1/4" (68x184)
LVL3 = 4-1 3/4" x 7 1/4" (45x184)
LVL4A = 1-1 3/4" x 9 1/2" (45x240)
LVL4 = 2-1 3/4" x 9 1/2" (45x240)
LVL5 = 3-1 3/4" x 9 1/2" (68x240)
LVL5A = 4-1 3/4" x 9 1/2" (45x240)
LVL6A = 1-1 3/4" x 11 7/8" (45x300)
LVL6 = 2-1 3/4" x 11 7/8" (45x300)
LVL7 = 3-1 3/4" x 11 7/8" (68x300)
LVL7A = 4-1 3/4" x 11 7/8" (45x300)
LVL8 = 2-1 3/4" x 14" (45x356)
LVL9 = 3-1 3/4" x 14" (68x356)
LVL10 = 2-1 3/4" x 18" (45x456)

LVL BEAMS SHALL BE VERSA-LAM 2.0E (Fb=2800psi MIN) OR EQUIVALENT.

LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4" (100x90x6.0)
L2 = 4"x3-1/2"x1/4" (100x90x6.0)
L3 = 5"x3-1/2"x1/4" (125x90x6.0)
L4 = 6"x3-1/2"x1/4" (150x90x6.0)
L5 = 6"x4"x3/8" (150x100x6.0)
L6 = 7"x4"x3/8" (175x100x6.0)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT P-4" CEILING	HEIGHT 10" OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
2	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
3	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
4	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

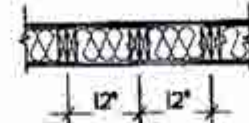
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-1", 2 ROWS FOR SPANS GREATER THAN 1'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

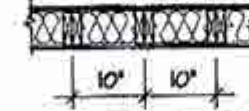
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12" O.C. FULL HT C/M SOLID BLOCKING 4'-0" O.C. VERTICAL AND 7/16" EXT. FLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSU) 15E STUD WALL GLUED AND NAILED TOGETHER AND SPACED MAX. @ 10" O.C. FULL HT C/M SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND MAXIMUM WIDTH IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING

COMPONENT	NOTE
CEILING WITH ATTIC SPACE	R21 (R30)
CEILING WITHOUT ATTIC SPACE	R14 (R20)
EXPOSED FLOOR	R10 (R13)
WALLS ABOVE GRADE	R13 (R20/R25)
BASEMENT WALLS	R25 (R30 BLANKET)
EDGE OF BELOW GRADE SLAB < 600mm BELOW GRADE	R10 (R13)
WINDOWS & SLIDING GLASS DOORS	ENERGY STAR @ ZONE 2 (ER 24W 14)
SPACE HEATING EQUIPMENT	90% ENERGY STAR @ WITH ECM
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HV	TIER 2 65% GRE ENERGY STAR @ HV TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH-AIR
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE EFFICIENCY
DRAIN WATER HEAT RECOVERY	ONE SHOWER + 42% STEADY RS-42 OR TD342
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (25 ACH50 NLR) ATTACHED LEVEL 1 (50 ACH50 NLR)
DUCT SEALING	ALL SUPPLY DUCTS 1m (HORIZONTAL) OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

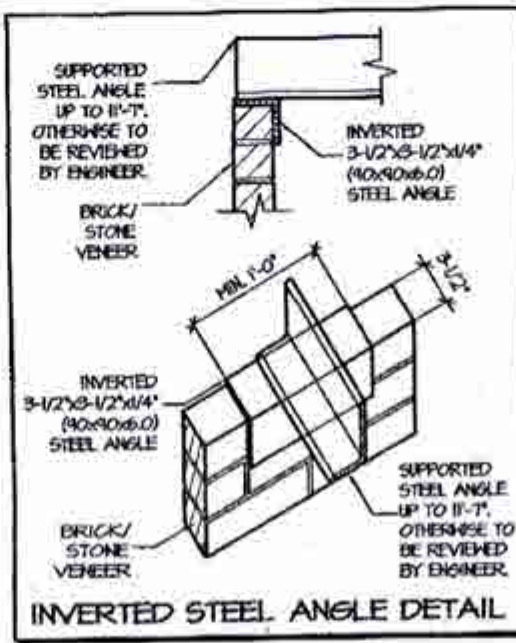
MILLWOOD 51		ELEV.2		COMPLIANCE PACKAGE 'A1'	
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	753.04	69.96	108.14	10.05	14.36 %
LEFT SIDE	1296.54	120.45	32.66	3.03	2.52 %
RIGHT SIDE	1342.42	124.12	43.02	4.04	6.43 %
REAR	804.18	75.23	131.43	12.71	16.91 %
TOTAL	4201.18	390.36	515.25	34.44	8.84 %

1. POST PERMIT CARD IN A CONSPICUOUS PLACE 7 FEET ABOVE GRADE AT BUILDING SITE.
2. APPROVED DRAWINGS MUST BE KEPT ON SITE AT ALL TIMES.
3. IT IS MANDATORY THAT YOU CALL FOR REQUIRED INSPECTIONS 24 HRS. IN ADVANCE.
4. FAILURE TO COMPLY WITH SENTENCE 1 TO 3 WILL RESULT IN STOP WORK ORDERS BEING POSTED.

ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE INSPECTION APPLICATIONS MUST BE FILED.

FOR MORE INFORMATION PLEASE CALL
ELECTRICAL SAFETY AUTHORITY
CUSTOMER SERVICE CENTRE
PHONE (877) 372-7233 FAX (800) 667-4278

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 04 2019
BY MARY FREDETTE



INVERTED STEEL ANGLE DETAIL

AREA CALCULATIONS	ELEV. 2
GROUND FLOOR AREA	= 1442 Sq. Ft.
SECOND FLOOR AREA	= 1672 Sq. Ft.
TOTAL FLOOR AREA	= 3114 Sq. Ft.
	= 289.30 Sq. M.
1ST FLOOR OPEN AREA	= 0 Sq. Ft.
2ND FLOOR OPEN AREA	= 12 Sq. Ft.
ADD TOTAL OPEN AREAS	= 12 Sq. Ft.
ADD FIN BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 3126 Sq. Ft.
	= 290.42 Sq. M.
GROUND FLOOR COVERAGE	= 1442 Sq. Ft.
GARAGE COVERAGE / AREA	= 348 Sq. Ft.
PORCH COVERAGE / AREA	= 40 Sq. Ft.
TOTAL COVERAGE W/ PORCH	= 179.30 Sq. m.
TOTAL COVERAGE W/O PORCH	= 184.00 Sq. Ft.
	= 170.94 Sq. m.

For conventional wood framing shall conform to OBC 9.23

LOCATION OF SMOKE ALARMS AS PER OBC DIV B.9.10.1-1
(1) Within dwelling units, sufficient smoke alarms shall be installed so that:
(a) there is at least one smoke alarm installed on each storey, including basements, and
(b) on any storey of a dwelling unit containing sleeping rooms, a smoke alarm is installed:
(i) in each sleeping room and,
(ii) in a location between the sleeping room and the remainder of the storey, and if the sleeping rooms are served by a hallway, the smoke alarm shall be located in the hallway.

All work shall conform to the Ontario Building Code O. Reg. 332/12 as amended

Engineered floor joists shall be installed in accordance with the supplier's layout and specifications forming part of the permit drawings.



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Brampton.

W Architect Inc.
DESIGN CONTROL REVIEW
NOV 13 2018 NOV 02 2018
FINAL BY: EGE
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MILLWOOD 5-015

COMPLIANCE PACKAGE 'A1'

REVISIONS	
5.	
4.	
3.	
2.	
1. REVISED FOR LOT 15	OCT 2018

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code
VIKAS GAJJAR
NAME SIGNATURE
28770
BCIN

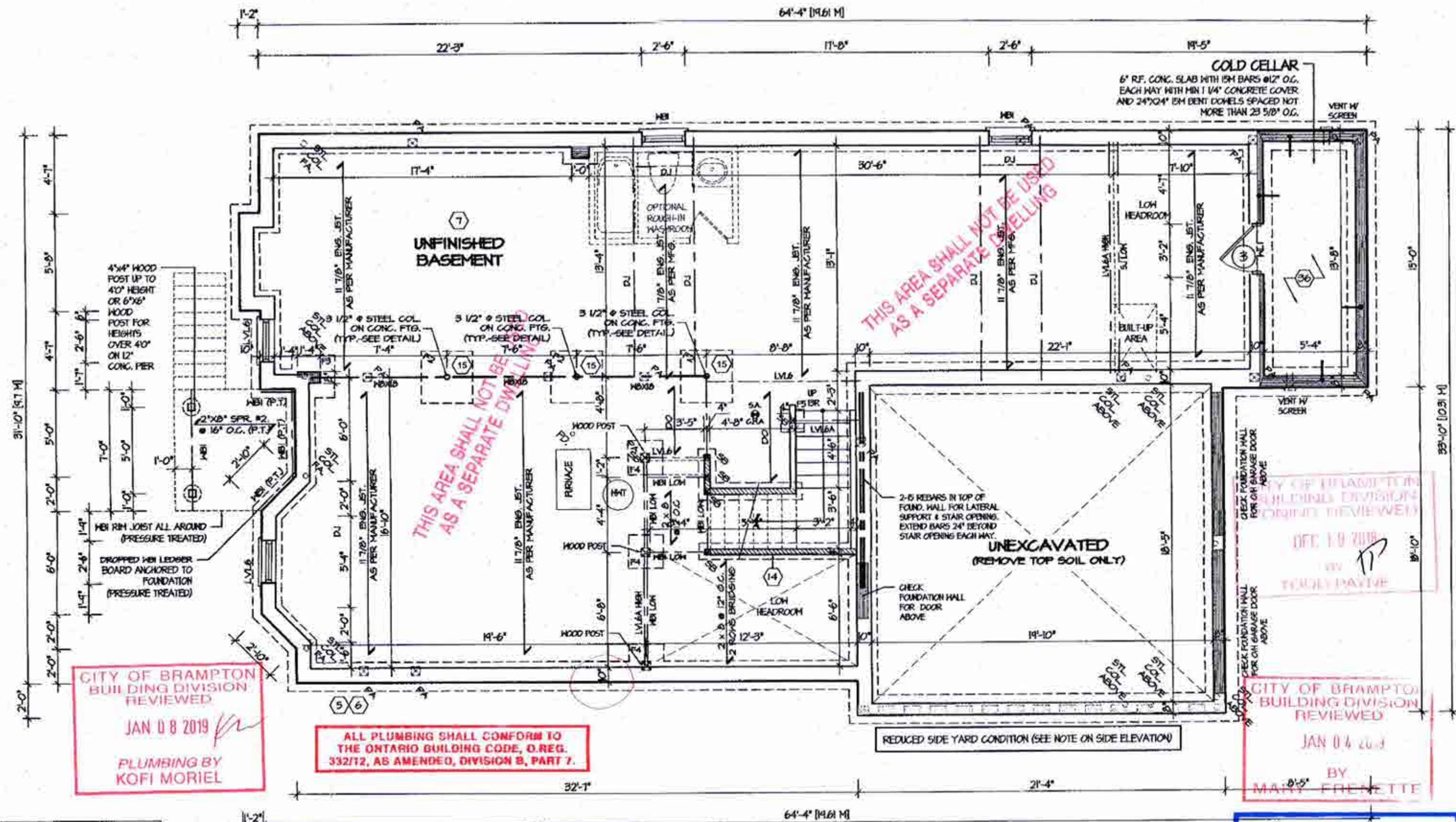
REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P. (416) 738-4096
F. (905) 660-0746

REGION DESIGN INC.

SHEET TITLE
AREA CHARTS
SCALE 3/16"=1'0"
DATE OCT 2018
BY ZMP
AREA 3126

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.
PAGE No. 0

Greenpark.
PROJECT NAME:
MINNISALE HOME CORP



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BASEMENT PLAN '2'

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-1", 2 ROWS FOR SPANS GREATER THAN 5'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLED AND NAILED ON THIS FLOOR.

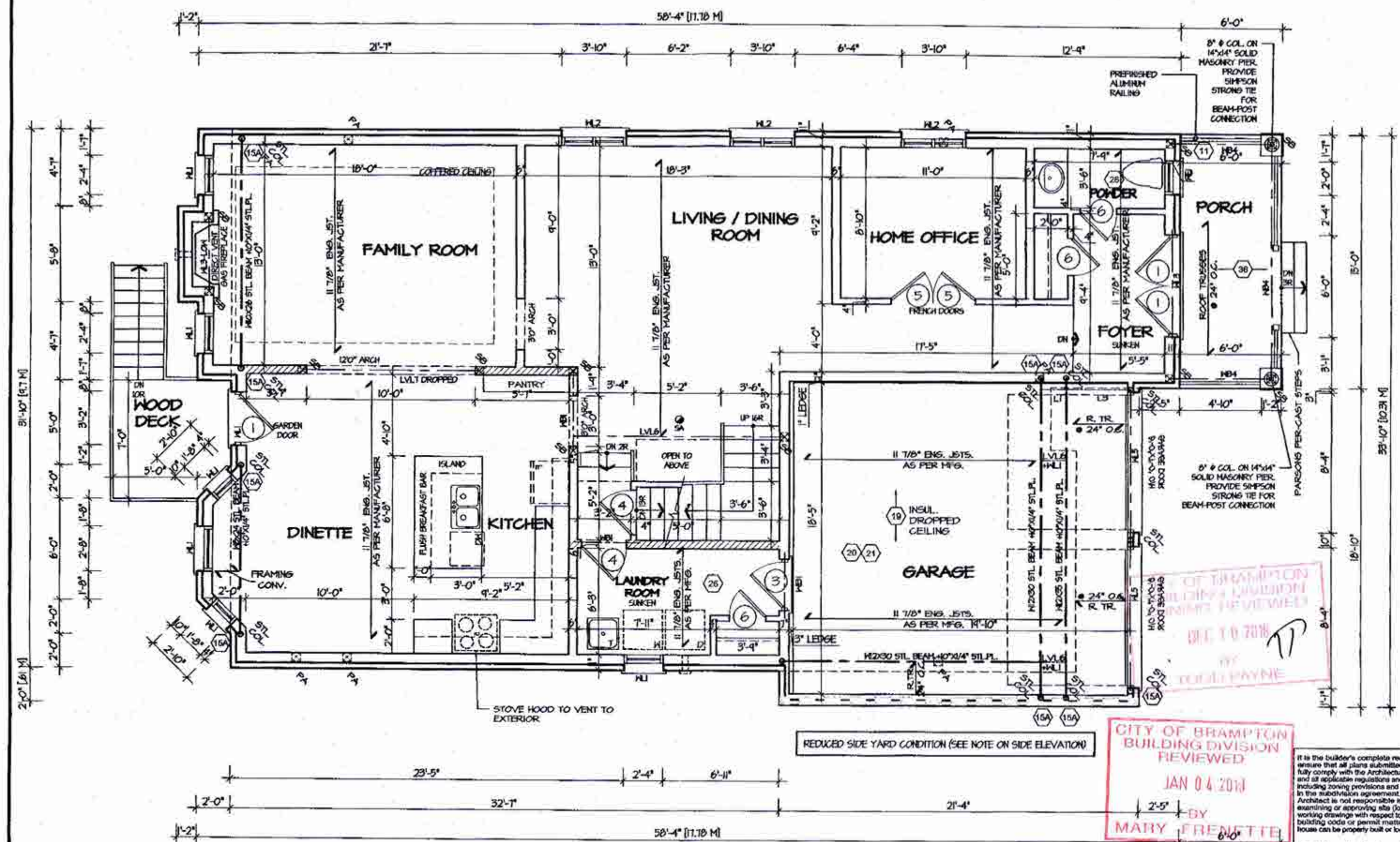


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NOV 02 2018
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MILLWOOD 5-015

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5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE BASEMENT PLAN 2		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. PAGE No. 1	Greenpark. PROJECT NAME: MINNISALE HOME CORP
4.								
3.								
2.								
1.	REVISED FOR LOT 15				OCT 2018	SCALE 3/16"=1'0"		
REVISIONS								



FIRST FLOOR PLAN 2

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-1", 2 ROWS FOR SPANS GREATER THAN 7'

ALL PLUMBING SHALL CONFORM TO THE ONTARIO BUILDING CODE, O.B.C. 332/12, AS AMENDED, DIVISION B, PART 7.

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 5/8" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

REDUCED SIDE YARD CONDITION (SEE NOTE ON SIDE ELEVATION)

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED

JAN 04 2019

BY
MARY FRENETTE

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CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 21 2019
PLUMBING BY
KOFI MORIEL

W Architect Inc.
DESIGN CONTROL REVIEW

NOV 13 2018

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COMPLIANCE PACKAGE 'A1'

Greenpark

PROJECT NAME:
MINNISALE HOME CORP

REVISIONS	
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VIKAS GAJJAR
NAME
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DESIGN
INC.

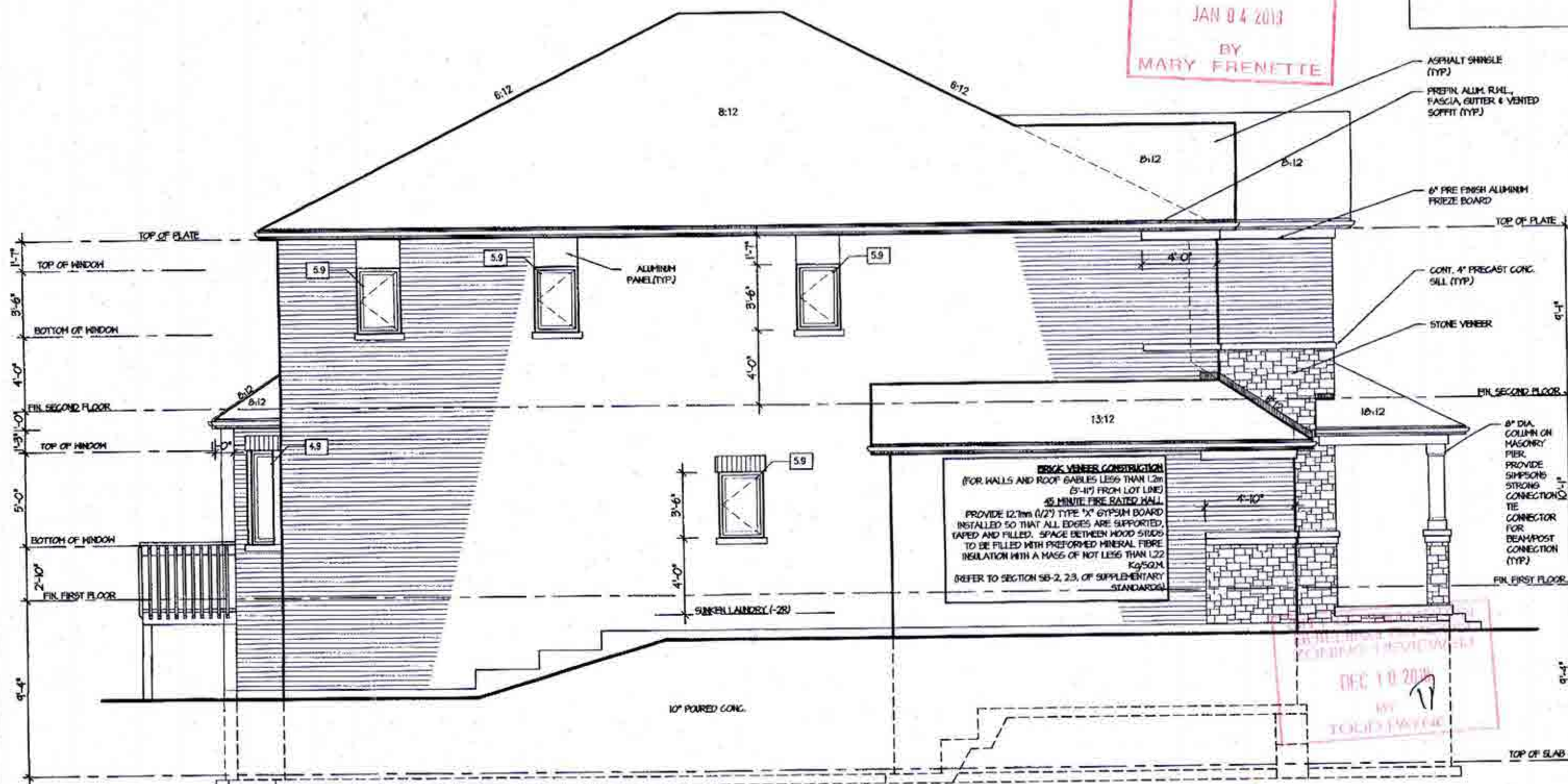
SHEET TITLE
FIRST
FLOOR PLAN 2
SCALE
3/16"=1'-0"
DATE
OCT 2018
BY
ZMP
AREA
3126

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.
PAGE NO.
2

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CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 04 2019
BY
MARY FRENETTE



LEFT SIDE ELEVATION '2'

ALLOWABLE GLAZING

WALL AREA

129.20

WALL AREA

84.94

ALLOWABLE WINDOW AREA

20.50

ACTUAL WINDOW AREA

100 % (1.2 M SIDEYARD)

W Architect Inc.
DESIGN CONTROL REVIEW

129.20

84.94

20.50

FINAL

NOV 13 2018

BY: GEE

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MILLWOOD 5-015

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REVISIONS	
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VIKAS GAJJAR
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REGION
DESIGN
INC.

SHEET TITLE
LEFT
SIDE ELEVATION 2
SCALE
3/16"=1'0"
DATE
OCT 2018
BY
ZMP
AREA
3126

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.
PAGE NO.
5

PROJECT NAME
MINNISALE HOME CORP

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BUILDING DIVISION
REVIEWED
JAN 14 2018
BY
MARY FRENETTE

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
DEC 1 0 2018
BY
TODD PAYNE



RIGHT SIDE ELEVATION '2'

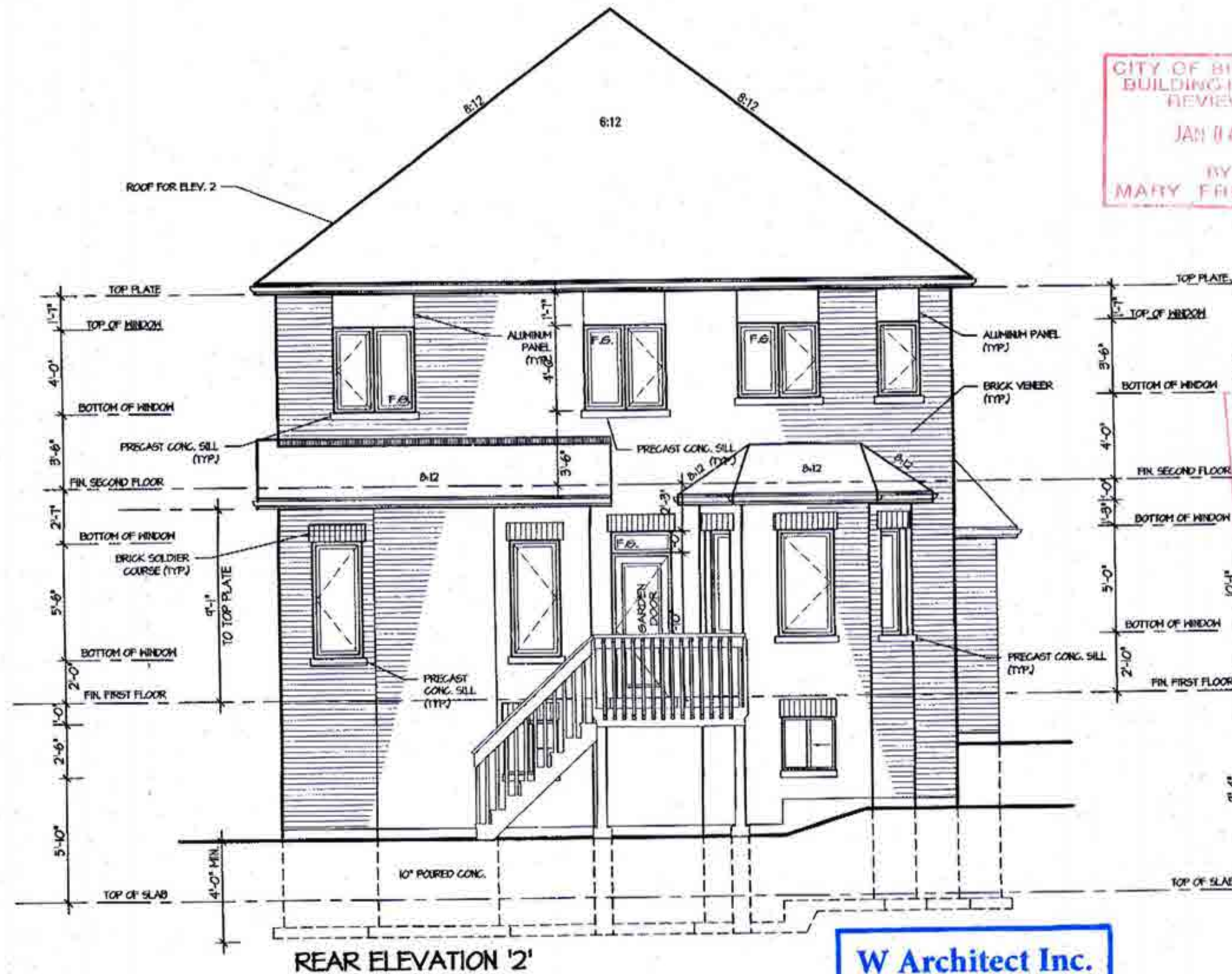
ALLOWABLE GLAZING		
WALL AREA		
HALL AREA		
ALLOWABLE WINDOW AREA *	100 % (1.2 M SIDEYARD)	85.46
ACTUAL WINDOW AREA		72.26

W Architect Inc.
DESIGN CONTROL REVIEW
NOV 13 2018
FINAL BY: *WTE*
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MILLWOOD 5-015
COMPLIANCE PACKAGE 'A1'

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME SIGNATURE 28770 BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4086 F (905) 560-0746	RD REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. PAGE No. 6	 PROJECT NAME: MINNISALE HOME CORP		
4.					RIGHT SIDE ELEVATION 2					
3.					SCALE	3/16"=1'0"			BY	ZMP
2.					DATE	OCT 2018			AREA	3126
1.	REVISED FOR LOT 15				OCT 2018	REVISIONS				

October 30, 2018 11:24:40 AM M:\PROJECTS\MINISALE - BRAMPTON\CUSTOMER\MILLWOOD 5-015 ELEV. 2.DWG



CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 04 2018
BY
MARY FRENETTE

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
OCT 19 2018
BY
THERESA WATSON

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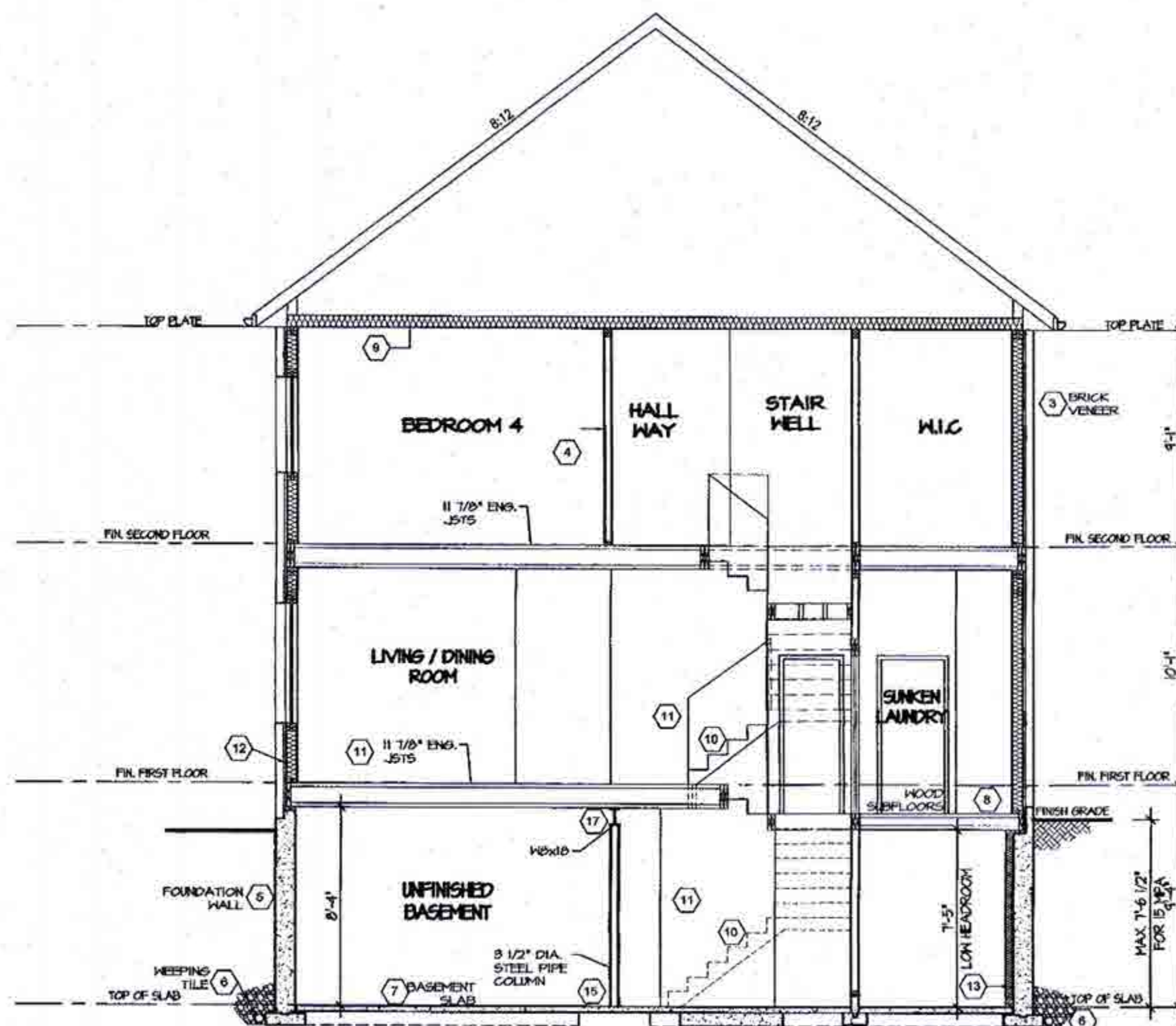
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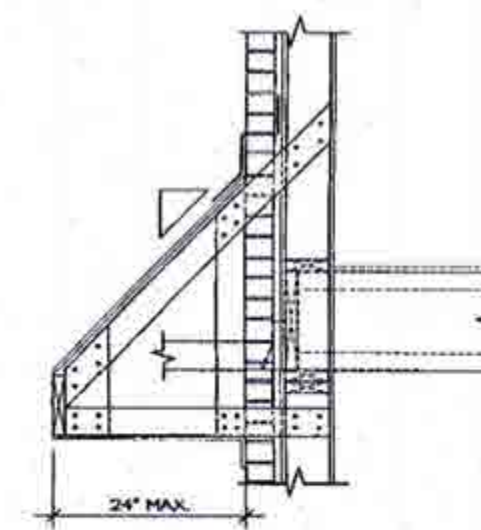
MILLWOOD 5-015

COMPLIANCE PACKAGE 'A1'

5. _____ 4. _____ 3. _____ 2. _____ 1. REVISED FOR LOT 15 OCT 2018 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR 28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8750 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE REAR ELEVATION 2 SCALE 3/16"=1'0" DATE OCT 2018 BY ZMP AREA 3126	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. PAGE No. 7	Greenpark. PROJECT NAME: MINNISALE HOME CORP
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CROSS SECTION A-A



VISOIR ROOF DETAIL
SCALE 12"=1'-0"

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 04 2018
BY
MARY FRIENETTE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions to the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

W Architect Inc.
DESIGN CONTROL REVIEW
NOV 13 2018
FINAL BY *ETC*
This stamp is only for the purpose of design control and carries no other professional obligations.



NOV 02 2018

MILLWOOD 5-015

COMPLIANCE PACKAGE 'A1'

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