

STRIP FOOTINGS -
FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.
(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE
WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (16 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS
120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL

F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.
FDNL WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

BRICK VENEER LINTELS

WL1 = 3-1/2"x3-1/2"x1/4" (100x90x6.0) + 2-2"x8" SPR. No.2
WL2 = 4"x3-1/2"x1/4" (100x90x6.0) + 2-2"x8" SPR. No.2
WL3 = 5"x3-1/2"x1/4" (125x90x6.0) + 2-2"x10" SPR. No.2
WL4 = 6"x3-1/2"x1/4" (150x90x6.0) + 2-2"x12" SPR. No.2
WL5 = 6"x4"x3/8" (150x100x9.0) + 2-2"x12" SPR. No.2
WL6 = 5"x3-1/2"x1/4" (125x90x6.0) + 2-2"x12" SPR. No.2
WL7 = 5"x3-1/2"x1/4" (125x90x6.0) + 3-2"x10" SPR. No.2
WL8 = 5"x3-1/2"x1/4" (125x90x6.0) + 3-2"x12" SPR. No.2
WL9 = 6"x4"x3/8" (150x100x9.0) + 3-2"x12" SPR. No.2

WOOD LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
WB8 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
WB9 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 1 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 1 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 1 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 1 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 1 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 1 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 1 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 1 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 1 1/8" (1-45x300)
LVL6 = 2-1 3/4" x 1 1/8" (2-45x300)
LVL7 = 3-1 3/4" x 1 1/8" (3-45x300)
LVL7A = 4-1 3/4" x 1 1/8" (4-45x300)
LVL8 = 2-1 3/4" x 1 1/4" (2-45x356)
LVL9 = 3-1 3/4" x 1 1/4" (3-45x356)
LVL10 = 2-1 3/4" x 1 1/2" (2-45x456)

LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4" (100x90x6.0)
L2 = 4"x3-1/2"x1/4" (100x90x6.0)
L3 = 5"x3-1/2"x1/4" (125x90x6.0)
L4 = 6"x3-1/2"x1/4" (150x90x6.0)
L5 = 6"x4"x3/8" (150x100x9.0)
L6 = 7"x4"x3/8" (175x100x9.0)

DOOR SCHEDULE

1 = 3'-0" x 6'-8" (914x2033) - INSULATED ENTRANCE DOOR
1a = 2'-10" x 7'-0" (813x2381) - INSULATED FRONT DOORS
2 = 2'-8" x 6'-8" (813x2033) - WOOD & GLASS DOOR
3 = 2'-8" x 6'-8" x 1-3/4" (813x2033x45) - EXTERIOR SLAB DOOR
4 = 2'-8" x 6'-8" x 1-3/8" (813x2033x35) - INTERIOR SLAB DOOR
5 = 2'-6" x 6'-8" x 1-3/8" (762x2033x35) - INTERIOR SLAB DOOR
6 = 2'-2" x 6'-8" x 1-3/8" (660x2033x35) - INTERIOR SLAB DOOR
7 = 1'-6" x 6'-8" x 1-3/8" (460x2033x35) - INTERIOR SLAB DOOR
8 = 3'-0" x 6'-8" (914x2033) - BARRIER FREE ACCESS DOOR

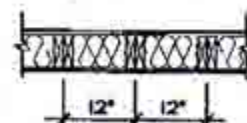
SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-1", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

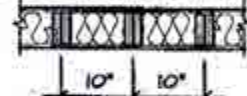
2-2"x8" STUD WALL NAILED TOGETHER AND
SPACED @ 12" O.C. FULL HT C/M SOLID
BLOCKING 4'-0" O.C. VERTICAL AND 1/16"
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL
FOR THIS DETAIL IS 18'-0"

TWO STORY HEIGHT WALL DETAIL

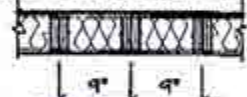
2-1 1/2" x 5 1/2" TIMBERSTRAND (LSU) USE
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @ 10" O.C. FULL HT C/M
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 1/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 20'-2" AND MAXIMUM WIDTH
IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSU) USE
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @ 10" O.C. FULL HT C/M
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 1/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 21'-5" AND MAXIMUM WIDTH IS
40'-0"

TWO STORY HEIGHT WALL DETAIL

C1 = 4"x4"x1/4" H.S.S.
W 10"x8"x1/2" BASE PLATE & 2-3/4" DIA.
ANCHOR BOLTS
C2 = 5"x5"x1/4" H.S.S.
W 12"x12"x1/2" BASE PLATE & 4-3/4" DIA.
ANCHOR BOLTS

USE 4 BOLTS FOR MOMENT CONNECTION

"M" - MOMENT CONNECTION BEAM/COLUMN
= 35 kNm

SANDSTONE 1A		ELEV. 2			
ELEVATION	WALL FT ²	WALL MT ²	OPENING FT ²	OPENING MT ²	PERCENTAGE
FRONT	819.13	76.17	164.50	15.28	20.06 %
LEFT SIDE	1067.88	99.21	41.00	3.81	3.84 %
RIGHT SIDE	1104.08	103.04	79.00	7.34	7.12 %
REAR	922.71	85.73	135.36	12.58	14.61 %
TOTAL	3914.66	364.15	419.86	39.01	10.71 %

1. POST PERMIT CARD IN A CONSPICUOUS PLACE
7 FEET ABOVE GRADE AT BUILDING SITE.
2. APPROVED DRAWINGS MUST BE KEPT ON SITE
AT ALL TIMES.
3. IT IS MANDATORY THAT YOU CALL FOR REQUIRED
INSPECTIONS 24 HRS. IN ADVANCE.
4. FAILURE TO COMPLY WITH SENTENCE 1 TO 3
WILL RESULT IN STOP WORK ORDERS BEING POSTED.

ALL ELECTRICAL INSTALLATIONS MUST BE
INSPECTED BY A QUALIFIED ELECTRICIAN
AUTOMATICALLY VOID INSPECTION
AUTOMATICALLY VOID INSPECTION

FOR MORE INFORMATION PLEASE CALL
1-877-222-7233 FAX 1-800-367-4278

All work shall conform to the Ontario
Building Code O. Reg. 329/19 as amended.

Engineered floor joists shall be installed
in accordance with the supplier's layout and
specifications forming part of the permit drawings.

THE MINIMUM THERMAL PERFORMANCE OF BUILDING
ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE
FOLLOWING

COMPLIANCE PACKAGE "A1"	
COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	1057 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.87 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 RIGID)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 25, MAX. U=0.28
SPACE HEATING EQUIPMENT MINIMUM AFUE	96%
HRV MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.80

ENGINEERED FILL ON LOT(S)

PROVIDE COPIES OF SOIL ENGINEER'S
REPORT(S) TO THE INSPECTOR
BEFORE FOOTING CONSTRUCTION



FOR STRUCTURE ONLY

SANDSTONE 1A-019
COMPLIANCE PACKAGE "A1"

Greenpark.

PROJECT NAME
MINNISALE HOMES CORP.

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 07 2019
BY
MARY FENETTE

W Architect Inc.
DESIGN CONTROL REVIEW

NOV 13 2018

FINAL BY: CCE

This stamp is only for the purposes of design
and carries no other professional obligations

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
BRAMPTON.

NO.	REVISIONS	DATE
1.	REVISED FOR LOT 19	OCT 2018

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unit: a design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS G. JAR 28770
NAME SIGNATURE BCIN

REGION
DESIGN
INC.

GENERAL NOTES
& CHARTS

SCALE 3/16"=1'-0"
DATE OCT 2018

BY ZMP
AREA 2918

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

PAGE No.
0

W Architect Inc.
DESIGN CONTROL REVIEW
JAN. 15, 2019
RECEIVED
FINAL BY G.C.I.

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 21 2019
BY
TODD PAYNE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving any (existing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

RECEIVED
JAN 16 2019
Building Division

JAN 08 2019

SANDSTONE 1A-019
COMPLIANCE PACKAGE "A1"

Greenpark.

PROJECT NAME
MINNISALE HOMES CORP.



SHEET TITLE
BASEMENT PLAN 2

SCALE
3/16"=1'-0"
DATE
JAN 2018

BY
ZMP
AREA
2918

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

PAGE NO.

1

BASEMENT PLAN ELEV. 2

ALL PLUMBING SHALL CONFORM TO THE ONTARIO BUILDING CODE, O.B.C. 332/12, AS AMENDED, DIVISION B, PART 7.

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-0" TO 5'-4", 2 ROWS FOR SPANS GREATER THAN 5'-4"

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLY AND TO BE GLUED AND NAILED ON THIS FLOOR.

NO.	REVISIONS	DATE
5.		
4.		
3.		
2.	REVISED AS PER CITY'S COMMENTS	JAN 2019
1.	REVISED FOR LOT 19	OCT 2018

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

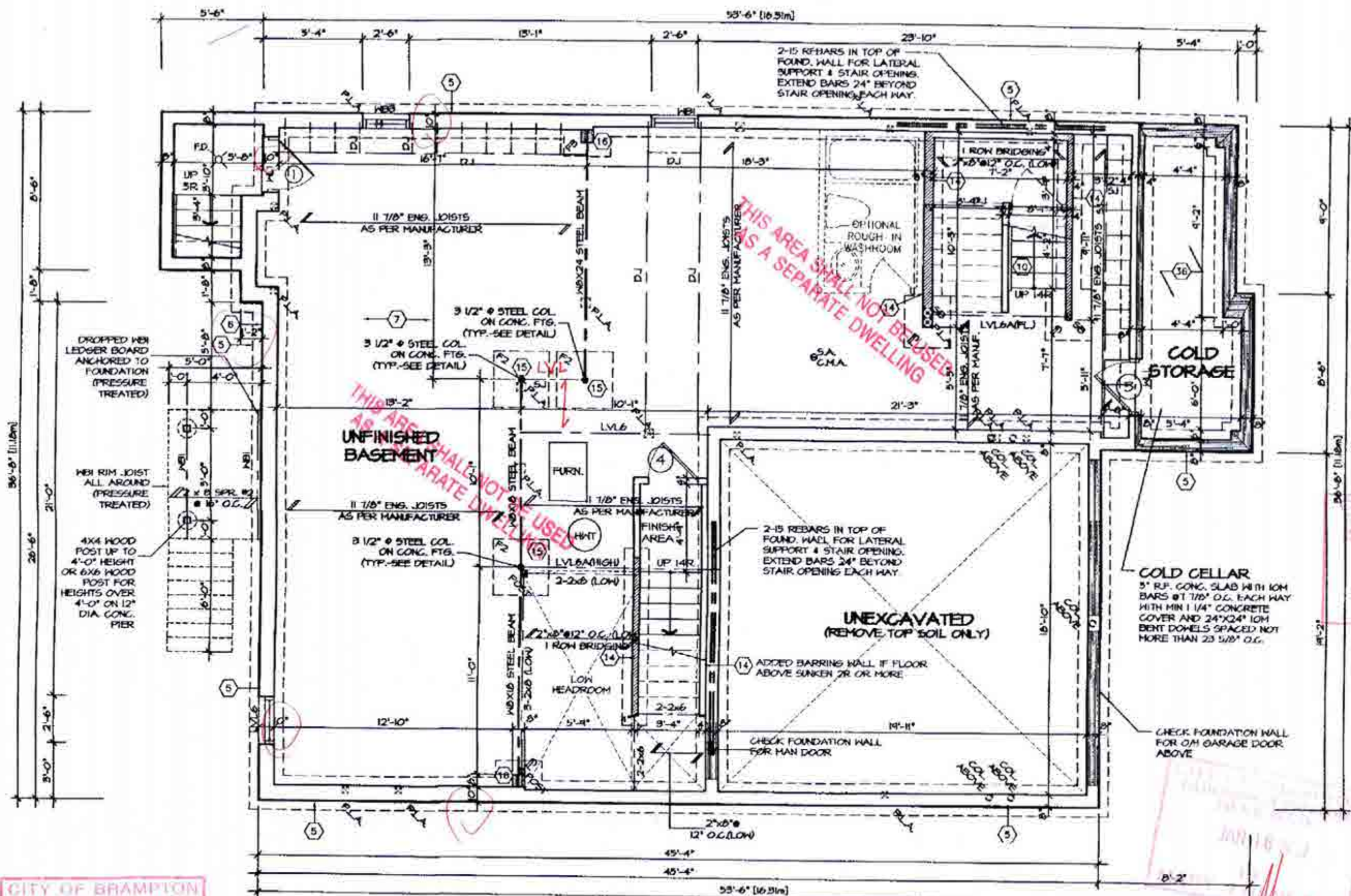
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

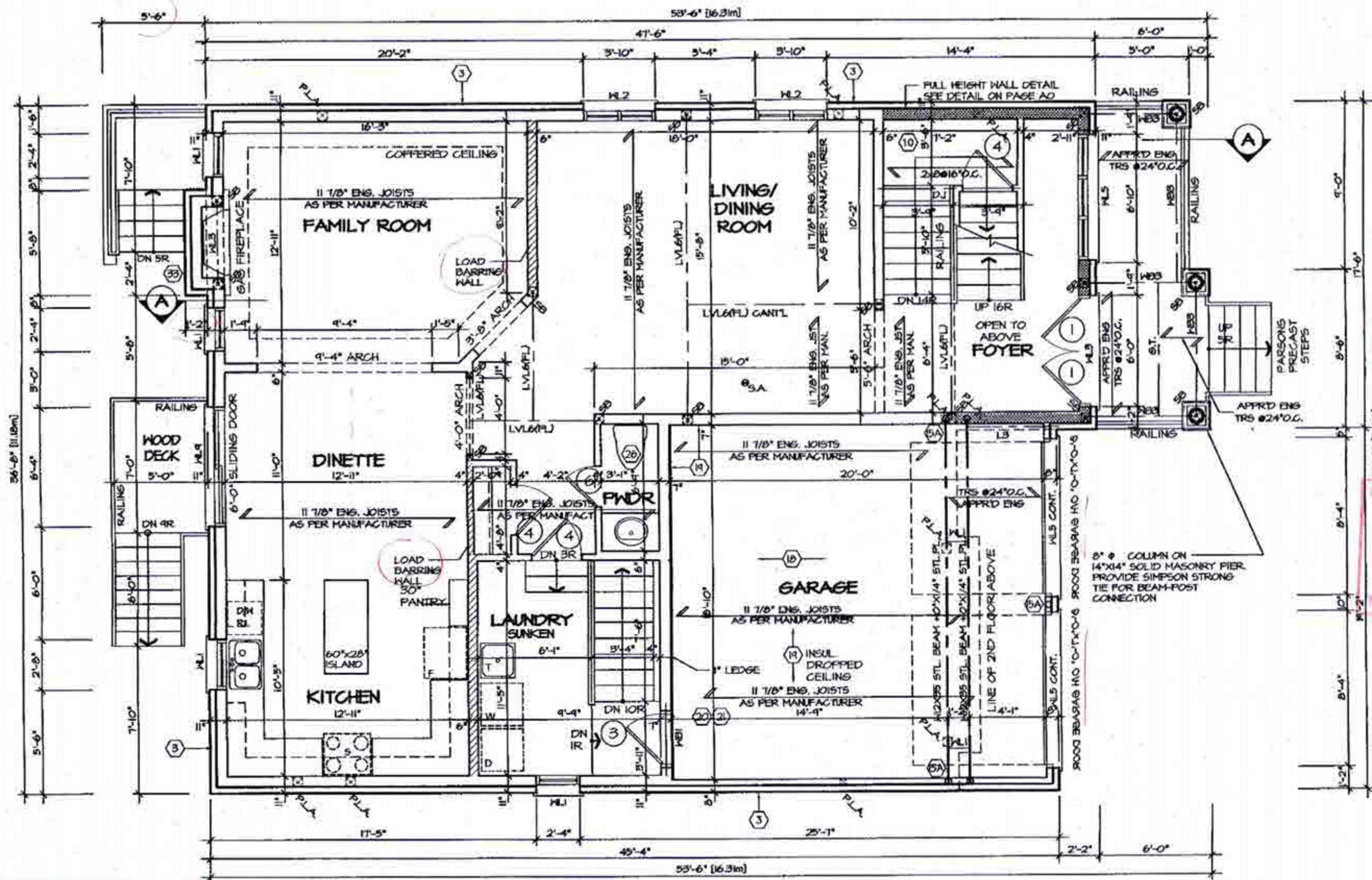
VIKAS GAJAR
NAME
SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 738-4094
F (905) 650-0740

**REGION
DESIGN
INC.**

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 21 2019
PLUMBING BY
KOFI MOHIEL





CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
DEC 10 2018
BY
TODD PAYNE

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 07 2019
BY
MARY TRENETTE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

CITY OF BRAMPTON
BUILDING DIVISION
(REVIEWED)
JAN 7 1 2019
PLUMBING BY
KOFI MORIEL

FIRST FLOOR PLAN ELEV. 2

ALL PLUMBING SHALL CONFORM TO THE ONTARIO BUILDING CODE, O. REG. 332/12, AS AMENDED, DIVISION B, PART 7.

W Architect Inc.
DESIGN CONTROL REVIEW
NOV 13 2018
FINAL BY: GGE
This stamp is only for the purposes of design control and carries no other professional obligations.

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

SANDSTONE 1A-019
COMPLIANCE PACKAGE "A1"

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-1", 2 ROWS FOR SPANS GREATER THAN 1'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 5/8" PLY AND TO BE GULLED AND NAILED ON THIS FLOOR.

NO.	REVISIONS	DATE
1.	REVISED FOR LOT 19	OCT 2018

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Request unless design is exempt under Division C, Subsection 2.2.5 of the building code

VIKAS GAJJAR
NAME
28770
BCIN

SIGNATURE

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-8098
F (905) 660-0746

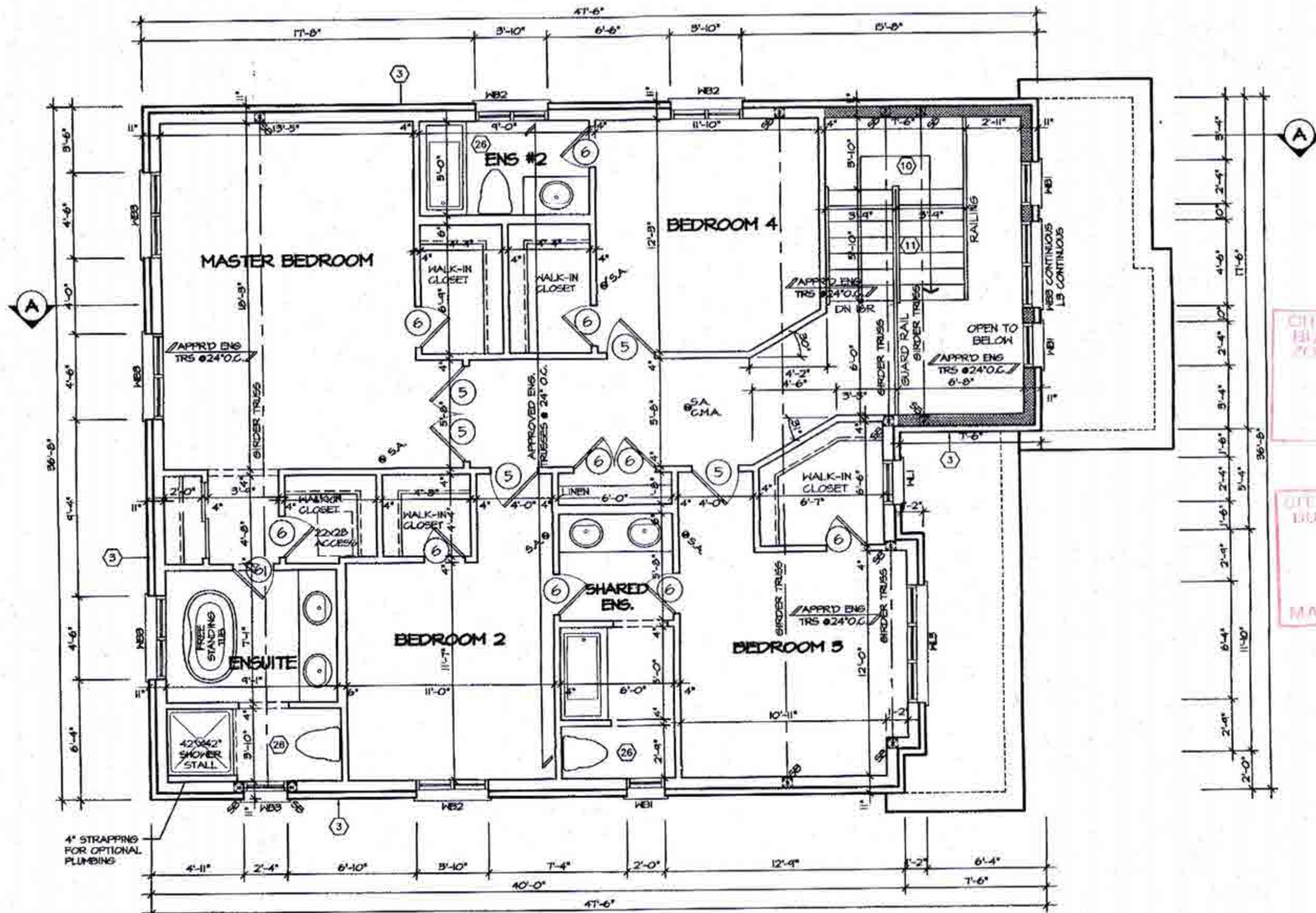
REGION DESIGN INC.

SHEET TITLE
FIRST FLOOR PLAN 2
SCALE
3/16"=1'-0"
DATE
OCT 2018

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

PAGE No.
2

Greenpark
PROJECT NAME
MINNISALE HOMES CORP.



CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
DEC 10 2018
BY
THERESA WAYNE

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 07 2019
BY
MARY FILNEITZ

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CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 21 2019
PLUMBING BY
KOFI MORIEL

SECOND FLOOR PLAN ELEV. 2

ALL PLUMBING SHALL CONFORM TO
THE ONTARIO BUILDING CODE, O.B.C.
332/12, AS AMENDED, DIVISION B, PART 7.

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR
SIZES

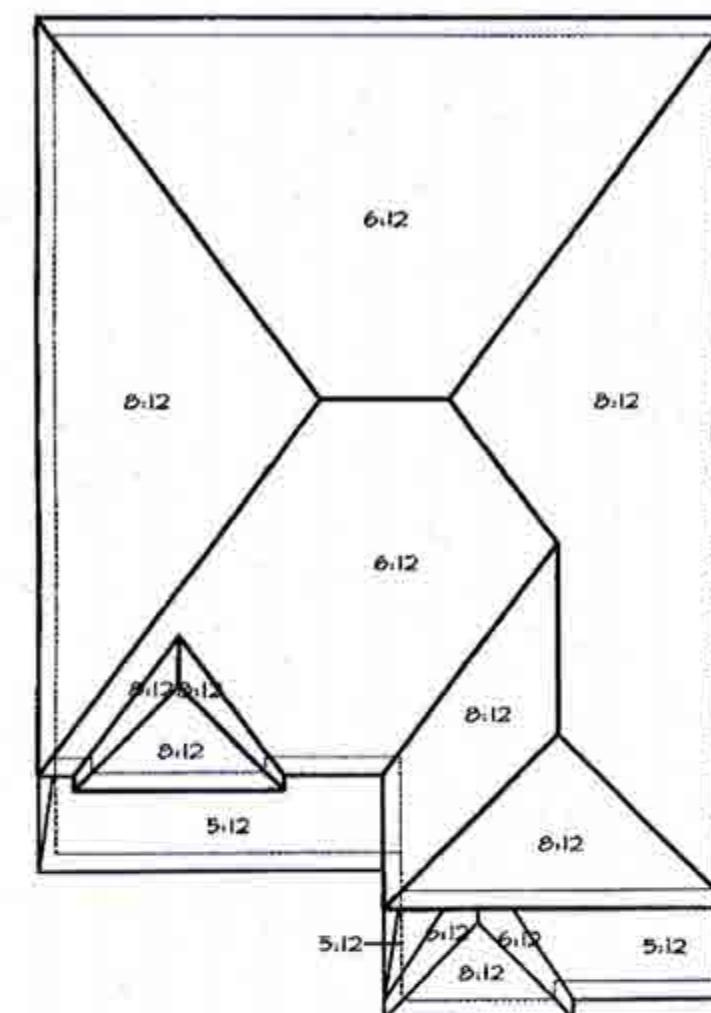
W Architect Inc.
DESIGN CONTROL REVIEW
NOV 13 2018
FINAL BY: *CTCE*
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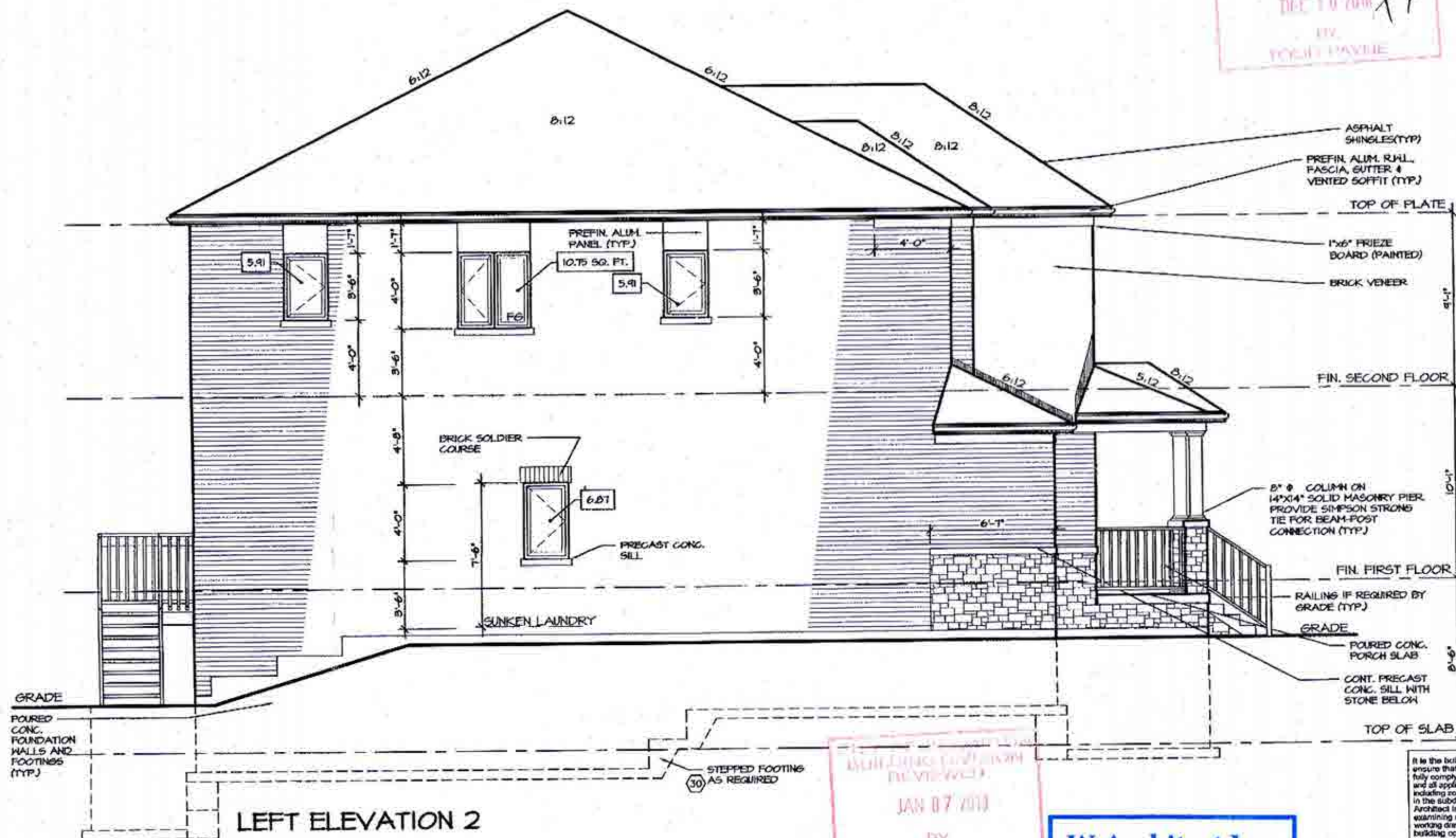
STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

SANDSTONE 1A-019

COMPLIANCE PACKAGE "A1"

REVISIONS 1. REVISED FOR LOT 19 OCT 2018	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME SIGNATURE 28770 BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4086 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE SECOND FLOOR PLAN 2 SCALE 3/16"=1'-0" DATE OCT 2018	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. PAGE No. 3	Greenpark. PROJECT NAME MINNISALE HOMES CORP.
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LEFT ELEVATION 2

ALLOWABLE GLAZING

WALL AREA

WALL AREA

ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)

ACTUAL WINDOW AREA

98958
6927
28.41

JAN 07 2013
 BY
 MARY FRUNETTE

W Architect Inc.
DESIGN CONTROL REVIEW

NOV 13 2018

FINAL BY: GGE

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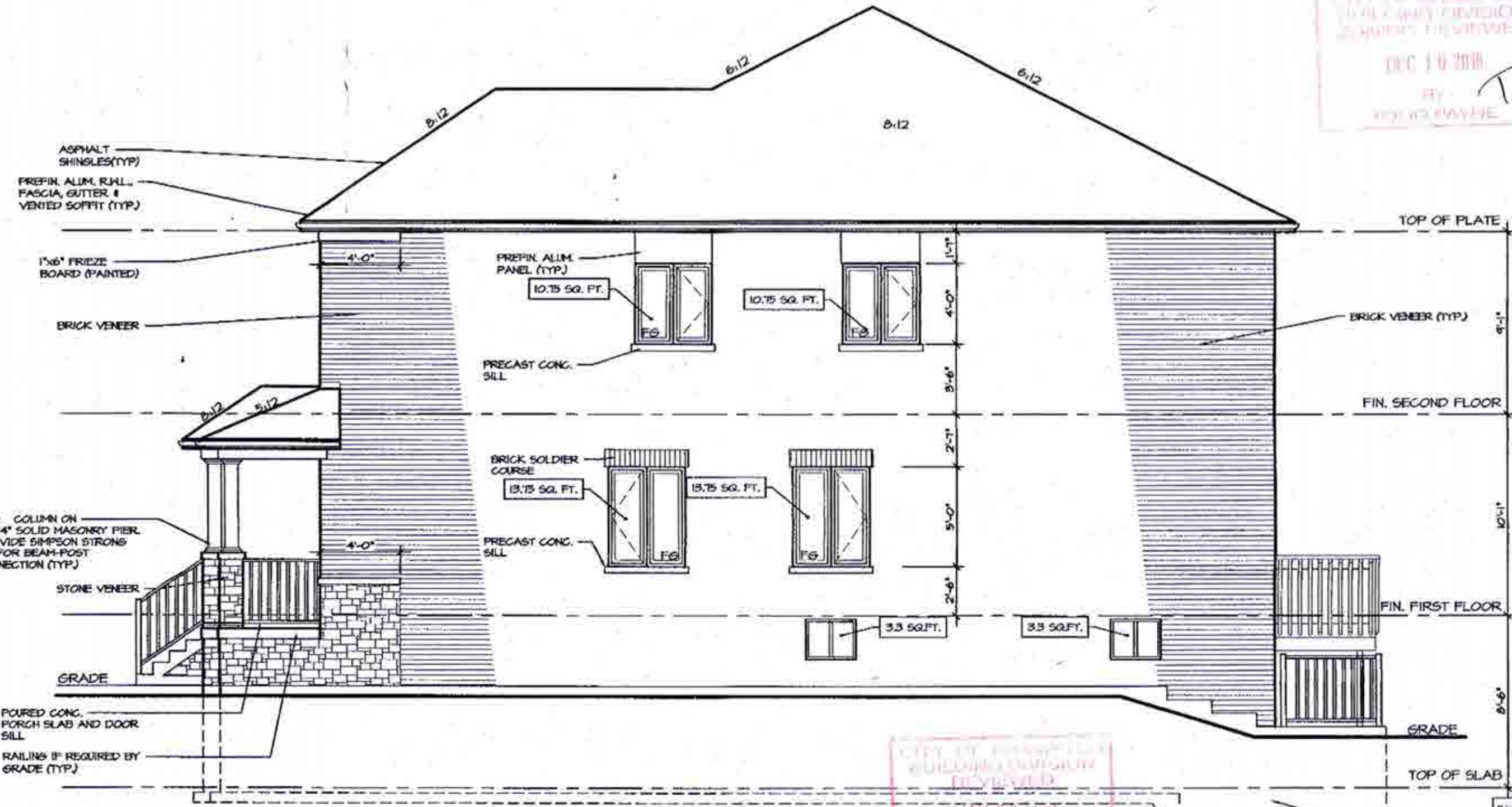
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

SANDSTONE 1A-019

COMPLIANCE PACKAGE "A1"

NOV 02 2018

5.			The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S8 P (416) 736-4096 F (905) 660-0746	 REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	 Greenpark.	
4.						LEFT				PAGE No.
3.						SIDE ELEVATION 2				
2.						SCALE	BY			
1.	REVISED FOR LOT 19	OCT 2018				3/16"=1'-0"	ZMP			
REVISIONS						DATE	AREA			
						OCT 2018	2918			
								PROJECT NAME		
								MINNISALE HOMES CORP.		



RIGHT ELEVATION 2

ALLOWABLE GLAZING

WALL AREA
 WALL AREA
 ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)
 ACTUAL WINDOW AREA

189.58
 64.21
 55.60

W Architect Inc.
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 NOV 13 2018
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SANDSTONE 1A-019
 COMPLIANCE PACKAGE "A1"

REVISIONS 1. REVISED FOR LOT 19 OCT 2018	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME SIGNATURE 28770 BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S8 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE RIGHT SIDE ELEVATION 2 SCALE 3/16"=1'-0" DATE OCT 2018 BY ZMP AREA 2918	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. PAGE No. 6	Greenpark. PROJECT NAME MINNISALE HOMES CORP.
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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

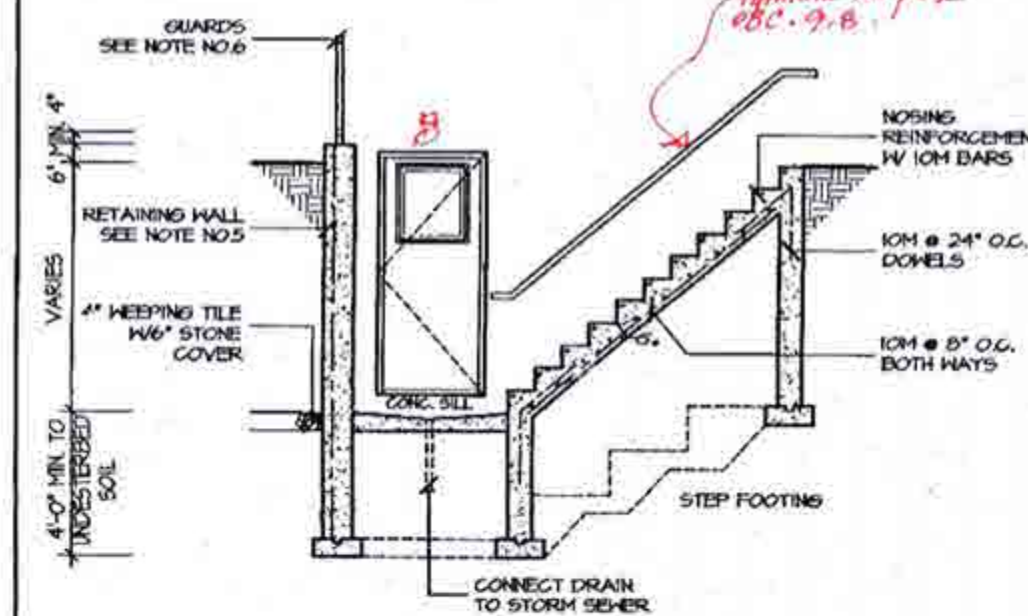
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.



SANDSTONE 1A-019
COMPLIANCE PACKAGE "A1"

5. _____ 4. _____ 3. _____ 2. _____ 1. REVISED FOR LOT 19 OCT 2018 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR 28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONDORD, ONTARIO L4K 4S6 P (416) 736-4000 F (403) 660-0746	REGION DESIGN INC.	SHEET TITLE REAR ELEVATION 2 SCALE 3/16"=1'-0" DATE OCT 2018 BY ZMP AREA 2918	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. PAGE No. 7	Greenpark. PROJECT NAME MINNISALE HOMES CORP.
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EXTERIOR WALKUP STAIRS DETAILS



SECTION

GENERAL NOTES:

1. FOOTING
24"X8" POURED CONC. FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL.
2. CONCRETE
MINIMUM COMPRESSIVE STRENGTH OF 32 MPa (4650 psi) @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.
3. EXTERIOR STAIRS
7 1/8" RISE MAXIMUM
8 1/4" RUN MINIMUM
9 1/4" TREAD MINIMUM
4. INSULATION
FOR INSULATION VALUE & VAPOUR BARRIER LOCATION REFER TO NOTE 13 OF STANDARD NOTES.
5. RETAINING WALL
10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7". PROVIDE 15M VERTICAL REINFORCEMENT @ 16" O.C. AND 15M HORIZONTAL REINFORCEMENT @ 24" O.C. FOR WALL HEIGHTS TO 7'-0". RETAINING WALL TO RESIST LATERAL DESIGN LOADS AS PER OBC DIVISION B SECTION 4.15.16.
6. GUARDS
3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11", 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.

CITY OF BRAMPTON
BUILDING DEPARTMENT
REVIEWED
JAN 07 2019
BY
MARLY EUGENIE

W Architect Inc.
DESIGN CONTROL REVIEW

NOV 13 2018

FINAL BY: *ECE*

This stamp is only for the purposes of design control and carries no other professional obligations.

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STRUDET INC.



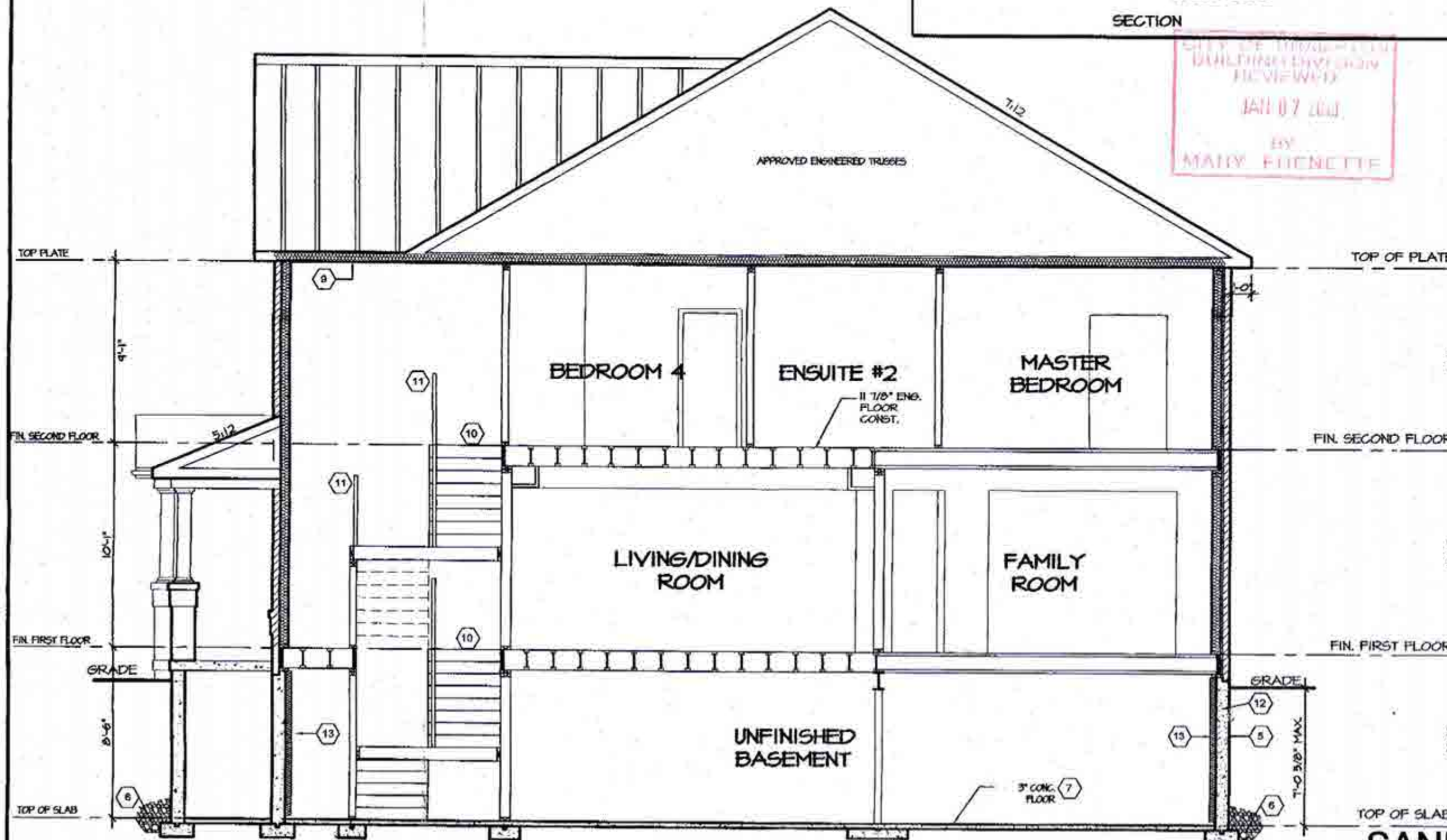
FOR STRUCTURE ONLY

SANDSTONE 1A-019

COMPLIANCE PACKAGE "A1"

NOV 02 2018

SECTION A-A



NO.	REVISIONS	DATE
1.	REVISED FOR LOT 19	OCT 2018

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

VIKAS GAJJAR
NAME
SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 756-5096
F (905) 660-0748

**REGION
DESIGN
INC.**

SHEET TITLE	CROSS SECTION
SCALE	3/16"=1'-0"
DATE	OCT 2018
BY	ZMP
AREA	2918

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
PAGE No.	8

Greenpark.

PROJECT NAME
MINNISALE HOMES CORP.