

Lot 20

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.

30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE
WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (8 psf) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL

F1 = 42"x42"x8" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

90 KPa ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.
FDTN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

BRICK VENEER LINTELS

WL1 = 3-1/2"x3-1/2"x1/4" (100x90x6.0) + 2-2"x8" SPR. No.2
WL2 = 4"x3-1/2"x5/16" (100x90x8.0) + 2-2"x8" SPR. No.2
WL3 = 5"x3-1/2"x5/16" (125x90x8.0) + 2-2"x10" SPR. No.2
WL4 = 6"x3-1/2"x5/16" (150x90x10.0) + 2-2"x12" SPR. No.2
WL5 = 6"x4"x3/8" (150x100x10.0) + 2-2"x12" SPR. No.2
WL6 = 5"x3-1/2"x5/16" (125x90x8.0) + 2-2"x12" SPR. No.2
WL7 = 5"x3-1/2"x5/16" (125x90x8.0) + 3-2"x10" SPR. No.2
WL8 = 5"x3-1/2"x5/16" (125x90x8.0) + 3-2"x12" SPR. No.2
WL9 = 6"x4"x3/8" (150x100x10.0) + 3-2"x12" SPR. No.2

LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
WB8 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
WB9 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1/4" x 3/4" x 7 1/4" (4-45x184)
LVL1 = 2-1/4" x 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1/4" x 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1/4" x 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1/4" x 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1/4" x 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1/4" x 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1/4" x 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1/4" x 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1/4" x 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1/4" x 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1/4" x 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1/4" x 3/4" x 14" (2-45x356)
LVL9 = 3-1/4" x 3/4" x 14" (3-45x356)
LVL10 = 2-1/4" x 3/4" x 18" (2-45x456)

LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4" (100x90x6.0)
L2 = 4"x3-1/2"x5/16" (100x90x8.0)
L3 = 5"x3-1/2"x5/16" (125x90x8.0)
L4 = 6"x3-1/2"x5/16" (150x90x10.0)
L5 = 6"x4"x3/8" (150x100x10.0)
L6 = 7"x4"x3/8" (175x100x10.0)

DOOR SCHEDULE

1 = 2'-10" x 6'-8" (665x2093) - INSULATED ENTRANCE DOOR
1a = 2'-8" x 6'-8" (215x2093) - INSULATED FRONT DOORS
2 = 2'-8" x 6'-8" (215x2093) - GLASS DOOR
3 = 2'-8" x 6'-8" x 1-3/4" (215x2093x45) - EXTERIOR SLAB DOOR
4 = 2'-8" x 6'-8" x 1-3/8" (215x2093x35) - INTERIOR SLAB DOOR
5 = 2'-6" x 6'-8" x 1-3/8" (160x2093x35) - INTERIOR SLAB DOOR
6 = 2'-2" x 6'-8" x 1-3/8" (660x2093x35) - INTERIOR SLAB DOOR
7 = 1'-6" x 6'-8" x 1-3/8" (460x2093x35) - INTERIOR SLAB DOOR

SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-1", 2 ROWS FOR SPANS GREATER THAN 1'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

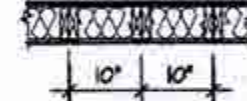
2-2"x8" STUD WALL NAILED TOGETHER AND
SPACED @ 12" O.C. FULL HT. G/M SOLID
BLOCKING 4'-0" O.C. VERTICAL AND 1/16"
EXT. PLY SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL
FOR THIS DETAIL IS 18'-0"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSU) 1.5E
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @ 10" O.C. FULL HT. G/M
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 1/16" EXT. OSB SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS
20'-2" AND MAXIMUM SUPPORTED LENGTH OF
TRUSS IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

THE MINIMUM THERMAL PERFORMANCE OF BUILDING
ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE
FOLLOWING

COMPLIANCE PACKAGE "A1"

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.51 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R30)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R30)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.81 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 R610)
HEATED SLAB OR SLAB 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 25, MAX U=0.28
SPACE HEATING EQUIPMENT MINIMUM ARIE	96%
HVAC MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.80

SANDSTONE 2A		ELEV.1 (4 BEDROOM W/ ALL OPTIONS) SB12			
ELEVATION	WALL FT ²	WALL MT ²	OPENING FT ²	OPENING MT ²	PERCENTAGE
FRONT	880.24	13.14	132.20	12.28	15.92 %
LEFT SIDE	1033.63	48.03	52.90	4.91	5.12 %
RIGHT SIDE	1033.63	48.03	3.60	3.75	3.75 %
REAR	763.84	70.91	164.64	15.30	21.56 %
TOTAL	3661.44	340.16	388.50	36.04	

SANDSTONE 2A		ELEV.1 (5 BEDROOM W/ ALL OPTIONS) SB12			
ELEVATION	WALL FT ²	WALL MT ²	OPENING FT ²	OPENING MT ²	PERCENTAGE
FRONT	880.24	13.14	132.20	12.28	15.92 %
LEFT SIDE	1033.63	48.03	52.90	4.91	5.12 %
RIGHT SIDE	1033.63	48.03	38.71	3.60	3.75 %
REAR	763.88	70.91	164.64	15.30	21.56 %
TOTAL	3661.43	340.16	388.50	36.04	10.61 %

SANDSTONE 2A		ELEV.2 (4 BEDROOM W/ ALL OPTIONS) SB12			
ELEVATION	WALL FT ²	WALL MT ²	OPENING FT ²	OPENING MT ²	PERCENTAGE
FRONT	710.24	11.56	123.16	11.44	15.99 %
LEFT SIDE	1065.38	48.98	52.90	4.91	4.91 %
RIGHT SIDE	1065.38	48.98	38.71	3.60	3.63 %
REAR	763.88	70.91	164.64	15.30	21.56 %
TOTAL	3664.93	340.48	379.46	35.25	10.35 %

SANDSTONE 2A		ELEV.2 (5 BEDROOM W/ ALL OPTIONS) SB12			
ELEVATION	WALL FT ²	WALL MT ²	OPENING FT ²	OPENING MT ²	PERCENTAGE
FRONT	710.24	11.56	123.16	11.44	15.99 %
LEFT SIDE	1065.38	48.98	76.40	7.10	7.11 %
RIGHT SIDE	1065.38	48.98	21.74	2.02	2.04 %
REAR	763.88	70.91	164.64	15.30	21.56 %
TOTAL	3664.93	340.48	385.94	35.86	10.53 %

AREA CALCULATIONS		ELEV. 1	
GROUND FLOOR AREA	=	1315	Sq. Ft.
SECOND FLOOR AREA	=	1642	Sq. Ft.
TOTAL FLOOR AREA	=	2957	Sq. Ft.
	=	274.71	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	0	Sq. Ft.
ADD TOTAL OPEN AREAS	=	0	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	2957	Sq. Ft.
	=	274.71	Sq. M.
GROUND FLOOR COVERAGE	=	1315	Sq. Ft.
GARAGE COVERAGE / AREA	=	414	Sq. Ft.
PORCH COVERAGE / AREA	=	164	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	168.90	Sq. M.
TOTAL COVERAGE W/O PORCH	=	172.9	Sq. M.
	=	160.63	Sq. M.

AREA CALCULATIONS		ELEV. 2	
GROUND FLOOR AREA	=	1331	Sq. Ft.
SECOND FLOOR AREA	=	1667	Sq. Ft.
TOTAL FLOOR AREA	=	2998	Sq. Ft.
	=	278.52	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	0	Sq. Ft.
ADD TOTAL OPEN AREAS	=	0	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	2998	Sq. Ft.
	=	278.52	Sq. M.
GROUND FLOOR COVERAGE	=	1331	Sq. Ft.
GARAGE COVERAGE / AREA	=	414	Sq. Ft.
PORCH COVERAGE / AREA	=	50	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1795	Sq. Ft.
	=	166.76	Sq. M.
TOTAL COVERAGE W/O PORCH	=	1745	Sq. Ft.
	=	162.12	Sq. M.

All work shall conform to the Ontario
Building Code O. Reg. 332/12 as amended

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 05 2019
BY
MARK DERKSEN

W Architect Inc.
DESIGN CONTROL REVIEW

OCT 17 2018

FINAL BY: CEE

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control and carries no other professional obligations.

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

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Guidelines approved by the City of
BRAMPTON.



SANDSTONE 2A
COMPLIANCE PACKAGE "A1"

Greenpark.

PROJECT NAME:
MINNISALE HOMES CORP.

5.		
4.		
3.		
2.	ISSUED FOR PERMIT	JULY 2018
1.	TRANSFERRED FROM VETRALLA AND MODIFIED	MAY 10, 2018
REVISIONS		

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code
VIKAS GAJJAR
NAME SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P. (416) 735-4095
F. (905) 600-0748

REGION
DESIGN
INC.

SHEET TITLE
GENERAL NOTES
& CHARTS
SCALE
3/16"=1'-0"
DATE
JULY 2018
BY
MB
TYPE
PROJECT NO.
17-04-07

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.
AREA
2957
PAGE NO.
0



July 18, 2018 11:33:55 AM M:\PROJECTS\MINNISALE - BRAMPTON\STANDARD\SANDSTONE 2A - REGISTRATION 2A.PAGE

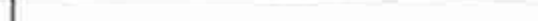
CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
NOV 15 2018
BY
TODD PAYNE



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

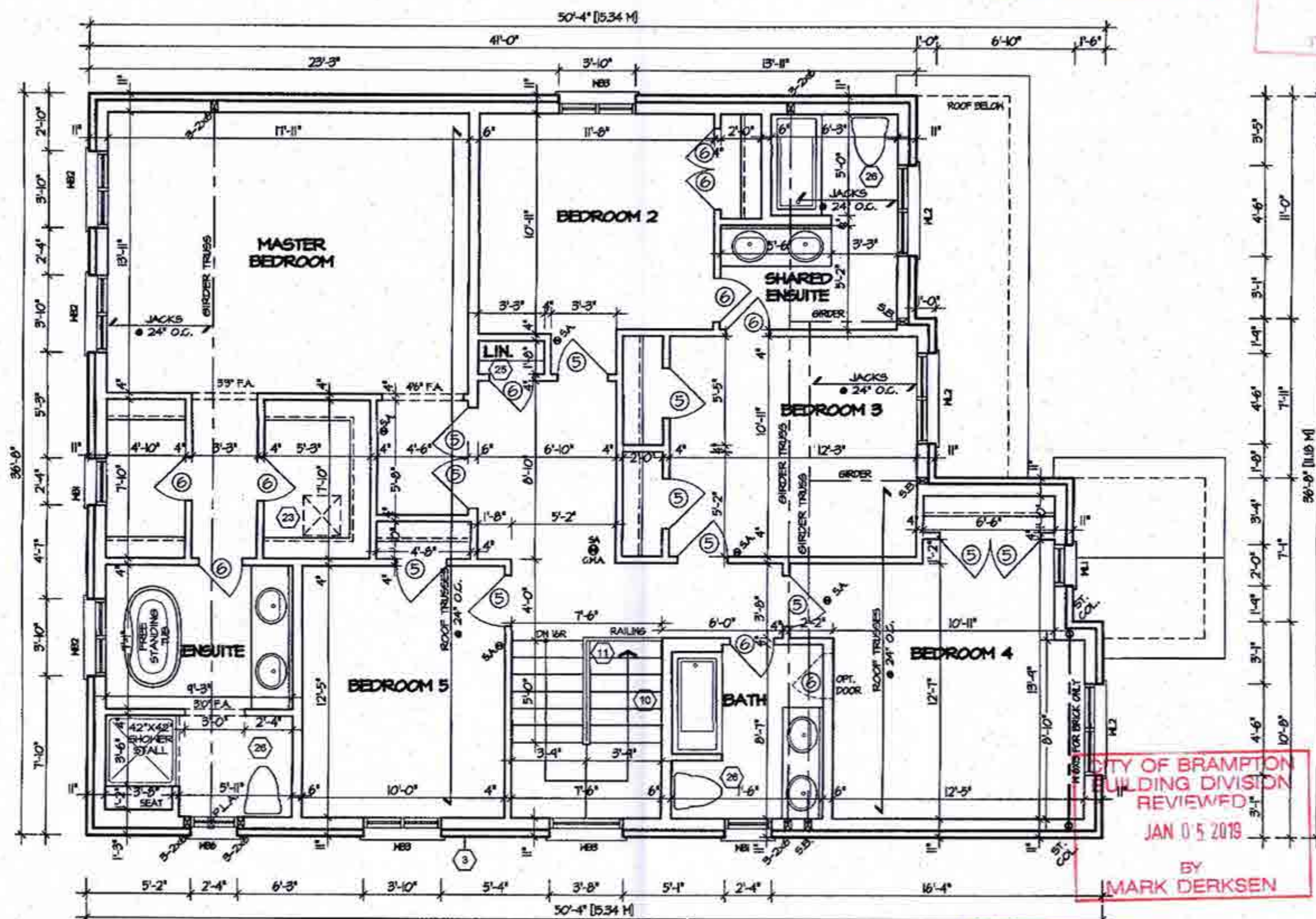
STUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

SANDSTONE 2A
COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S8 P (416) 736-4096 F (905) 880-0746	REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 PROJECT NAME: MINNISALE HOMES CORP.	
4.					FIRST FLOOR PLAN ELEV. 2					
3.					SCALE	BY	AREA	PAGE No.		
2.	ISSUED FOR PERMIT				JULY 2018	3/16"=1'-0"	MB	2957		2-2
1.	TRANSFERRED FROM VETRAALLA AND MODIFIED				MAY 10, 2018	DATE	TYPE	PROJECT NO.		
REVISIONS			JULY 2018		17-04-07					

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
NOV 22 2018
KOFI MORIEL

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
NOV 15 2018
TODD HAYNE



SECOND FLOOR PLAN 2
5 BEDROOM

ALL PLUMBING SHALL CONFORM TO
THE ONTARIO BUILDING CODE, O. REG.
332/12, AS AMENDED, DIVISION B, PART 7.

W Architect Inc.
DESIGN CONTROL REVIEW

OCT 17 2018

FINAL

BY: [Signature]
JUL 27 2018
This stamp is only for the purposes of design control and carries no other professional obligations.

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 05 2019
BY
MARK DERKSEN

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SANDSTONE 2A
COMPLIANCE PACKAGE "A1"

Greenpark.

PROJECT NAME:
MINNISALE HOMES CORP.

REVISIONS	
5.	
4.	
3.	
2. ISSUED FOR PERMIT	JULY 2018
1. TRANSFERRED FROM VETRALLA AND MODIFIED	MAY 10, 2018

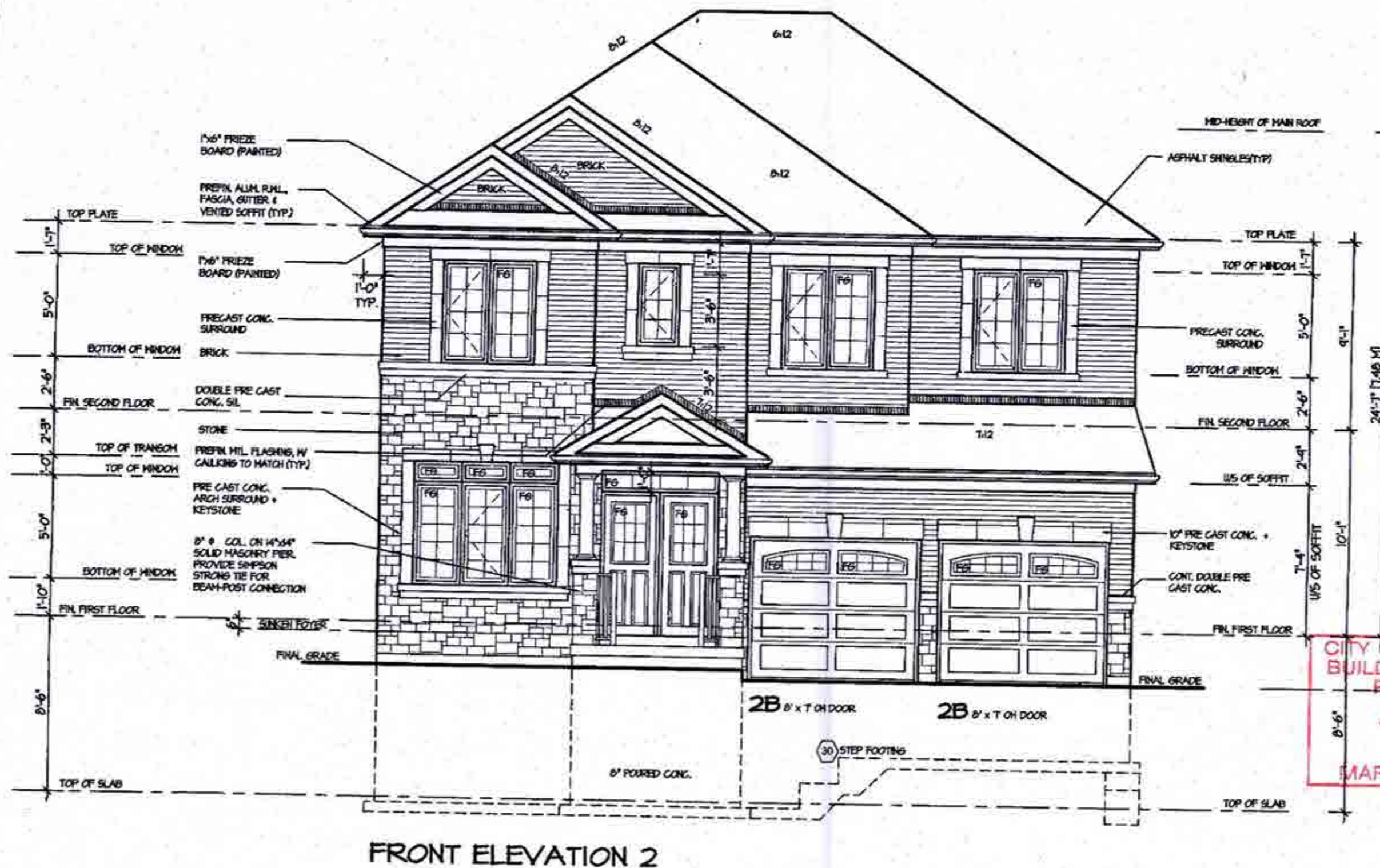
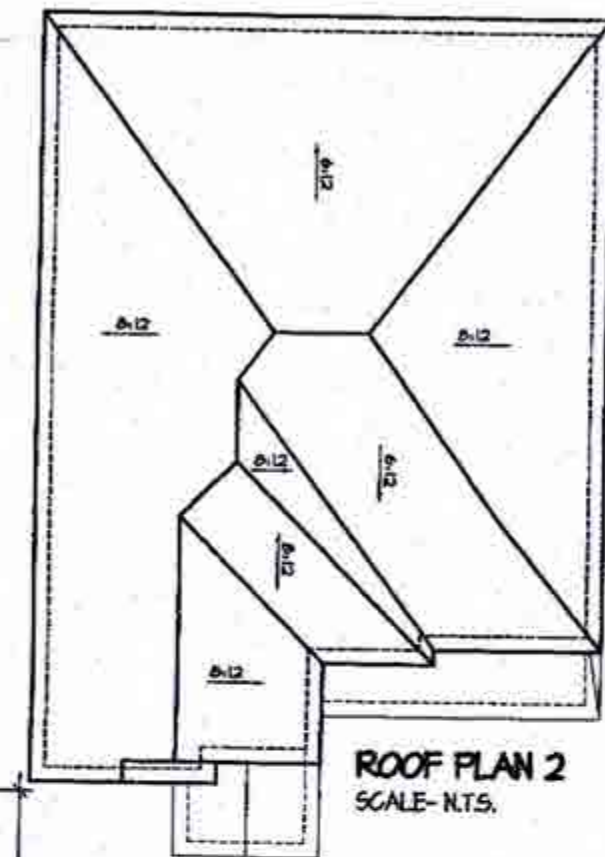
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VIKAS GAJJAR
NAME
SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE
SECOND
FLOOR PLAN ELEV. 2
SCALE
3/16"=1'-0"
DATE
JULY 2018
BY
MB
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.
AREA
2957
PAGE NO.
3A-2
PROJECT NO.
17-04-07



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4.					FRONT ELEVATION 2						
3.					SCALE	BY				AREA	PAGE No.
2.					3/16"=1'-0"	MB				2957	4-2
1.					DATE	TYPE				PROJECT NO.	
ISSUED FOR PERMIT		JULY 2018	JULY 2018		17-04-07	PROJECT NAME:		MINNISALE HOMES CORP.			
TRANSFERRED FROM VETRALLA AND MODIFIED		MAY 10, 2018									
REVISIONS											



CITY OF BRAMPTON
 BUILDING DIVISION
 REVIEWED
 JAN 05 2019
 BY
 MARK DERKSEN

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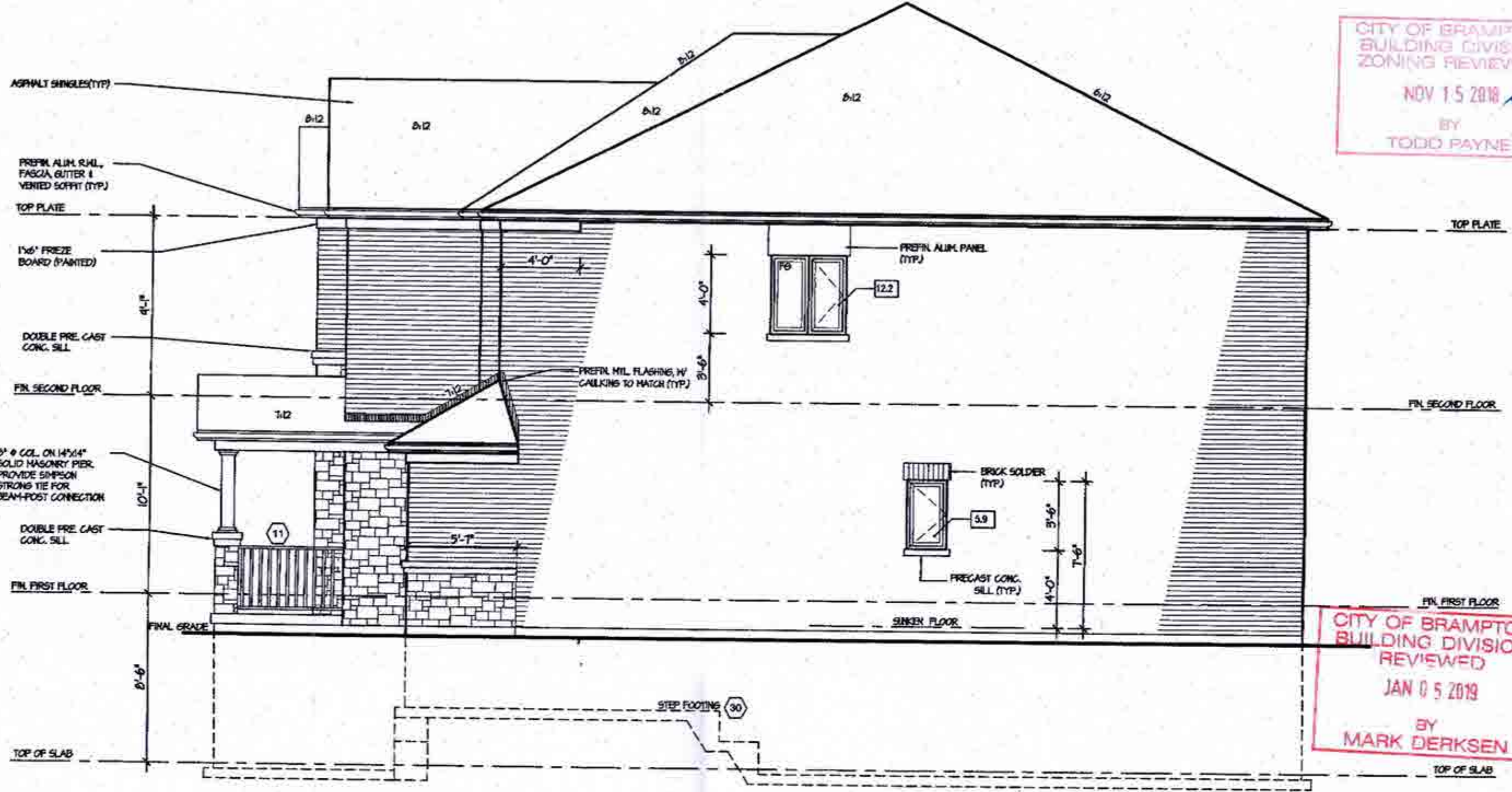
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SANDSTONE 2A

COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4R 4S6 P (416) 736-6098 F (905) 860-0746	REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.			
4.					LEFT SIDE ELEVATION 2					
3.					SCALE 3/16"=1'-0"	BY MB	AREA 2957	PAGE NO. 5A-2		PROJECT NAME: MINNISALE HOMES CORP.
2.	ISSUED FOR PERMIT JULY 2018				DATE JULY 2018	TYPE	PROJECT NO. 17-04-07			
1.	TRANSFERRED FROM VETRAALLA AND MODIFIED MAY 10, 2018									
REVISIONS										



CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
NOV 15 2018
BY
TODD PAYNE

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 05 2019
BY
MARK DERKSEN

RIGHT SIDE ELEVATION 2
5 BED

ALLOWABLE GLAZINGS (5 BEDROOM OPTION)

HALL AREA	=	1065	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1:12 H SIDE YARD	=	1455	Sq. Ft.
ACTUAL GLAZED AREA	=	181	Sq. Ft.

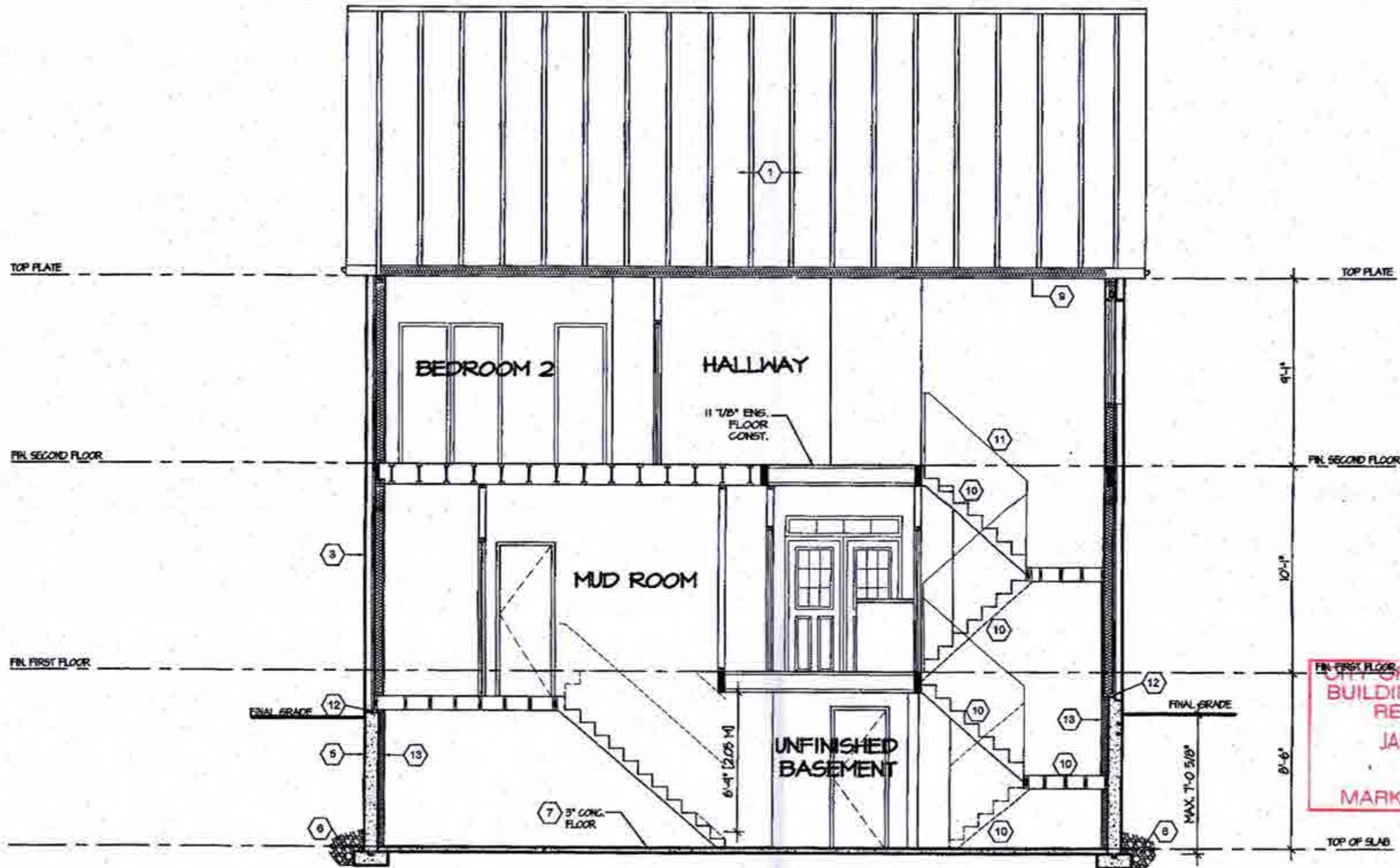
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W Architect Inc.
DESIGN CONTROL REVIEW
OCT 17 2018
FINAL JUL 27 2018 GCE
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SANDSTONE 2A
COMPLIANCE PACKAGE "A1"

5. _____ 4. _____ 3. _____ 2. ISSUED FOR PERMIT JULY 2018 1. TRANSFERRED FROM VETRALIA AND MODIFIED MAY 10, 2018 REVISIONS		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code. VIKAS GAJJAR NAME SIGNATURE 28770 BCIN		REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P. (416) 738-4008 F. (905) 660-0746		REGION DESIGN INC.		SHEET TITLE RIGHT SIDE ELEVATION 2 SCALE 3/16"=1'-0" DATE JULY 2018 BY MB TYPE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2957 PROJECT NO. 17-04-07 PAGE No. 6A-2		Greenpark PROJECT NAME: MINNISALE HOMES CORP.	
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SECTION A-A

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (filling) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 05 2019
BY
MARK DERKSEN

STRUDET INC.



W Architect Inc.
DESIGN CONTROL REVIEW
OCT 17 2018
FINAL
This stamp is only for the purpose of design control and carries no other professional obligations.

SANDSTONE 2A
COMPLIANCE PACKAGE "A1"

Greenpark.

PROJECT NAME:
MINNISALE HOMES CORP.

REVISIONS	
5.	
4.	
3.	
2. ISSUED FOR PERMIT	JULY 2018
1. TRANSFERRED FROM VETRALLA AND MODIFIED	MAY 10, 2018

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME SIGNATURE
28770
BCIN

REGION DESIGN INC.
5700 DUFFERIN ST.
OAKHURST, ONTARIO
L4K 4S6
P (416) 736-4086
F (905) 560-0746

**REGION
DESIGN
INC.**

SHEET TITLE
CROSS SECTION

SCALE
3/16"=1'-0"

DATE
JULY 2018

BY
MB

TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA
2957

PROJECT NO.
17-04-07

PAGE NO.
8



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines, and all applicable regulations and requirements regarding zoning provisions and any provisions in the subdivision agreement. The Contract Architect is not responsible in any way for examining or approving the (noting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

SANDSTONE 2A
COMPLIANCE PACKAGE "A1"

6.			The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4095 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		
4.						DECK PLANS				
3.						SCALE	BY	AREA	PAGE No.	
2. ISSUED FOR PERMIT	JULY 2018					3/16"=1'-0"	MB	2957	9	
1. TRANSFERRED FROM VETRALLA AND MODIFIED	MAY 10, 2018					DATE	TYPE	PROJECT NO.		
REVISIONS							PROJECT NAME:		MINNISALE HOMES CORP.	

