

STRIP FOOTINGS

FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.

30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)
ASSUME THE LARGER FOOTING SIZE
WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.f.) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

90 KPa ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x18" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.
FOOTING WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.)
FLAT WORK TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

BRICK VENEER LINTELS

WL1 = 5'-1/2"x3'-1/2"x1/4" (100x90x6.0) + 2-2"x8" SPR. No.2
WL2 = 4'-3/4"x3'-1/2"x1/4" (100x90x6.0) + 2-2"x8" SPR. No.2
WL3 = 5'-3/4"x3'-1/2"x1/4" (125x90x6.0) + 2-2"x10" SPR. No.2
WL4 = 6'-3/4"x3'-1/2"x1/4" (150x90x6.0) + 2-2"x12" SPR. No.2
WL5 = 8'-3/4"x3'-1/2"x1/4" (150x100x6.0) + 2-2"x12" SPR. No.2
WL6 = 5'-3/4"x3'-1/2"x1/4" (125x90x6.0) + 2-2"x12" SPR. No.2
WL7 = 5'-3/4"x3'-1/2"x1/4" (125x90x6.0) + 3-2"x10" SPR. No.2
WL8 = 5'-3/4"x3'-1/2"x1/4" (125x90x6.0) + 3-2"x12" SPR. No.2
WL9 = 6'-3/4"x3'-1/2"x1/4" (150x100x6.0) + 3-2"x12" SPR. No.2

WOOD LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
WB8 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
WB9 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (4-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (4-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (4-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (2-45x456)

LOOSE STEEL LINTELS

L1 = 5'-1/2"x3'-1/2"x1/4" (100x90x6.0)
L2 = 4'-3/4"x3'-1/2"x1/4" (100x90x6.0)
L3 = 5'-3/4"x3'-1/2"x1/4" (125x90x6.0)
L4 = 6'-3/4"x3'-1/2"x1/4" (150x90x6.0)
L5 = 8'-3/4"x3'-1/2"x1/4" (150x100x6.0)
L6 = 7'-3/4"x3'-1/2"x1/4" (175x100x6.0)

DOOR SCHEDULE

1 = 2'-10" x 6'-8" (665x2093) - INSULATED ENTRANCE DOOR
1a = 2'-8" x 6'-8" (615x2093) - INSULATED FRONT DOORS
2 = 2'-8" x 6'-8" (615x2093) - WOOD & GLASS DOOR
3 = 2'-8" x 6'-8" x 1-3/4" (615x2093x45) - EXTERIOR SLAB DOOR
4 = 2'-8" x 6'-8" x 1-3/8" (615x2093x35) - INTERIOR SLAB DOOR
5 = 2'-6" x 6'-8" x 1-3/8" (760x2093x35) - INTERIOR SLAB DOOR
6 = 2'-2" x 6'-8" x 1-3/8" (660x2093x35) - INTERIOR SLAB DOOR
7 = 1'-6" x 6'-8" x 1-3/8" (460x2093x35) - INTERIOR SLAB DOOR

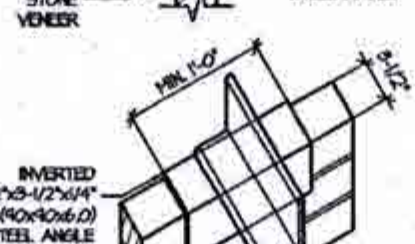
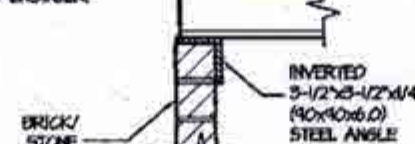
SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-T, 2 ROWS FOR SPANS GREATER THAN 1'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

SUPPORTED STEEL
ANGLE UP TO 11'-T,
OTHERWISE TO BE
REVIEWED
BY ENGINEER



INVERTED STEEL
ANGLE DETAIL

THE MINIMUM THERMAL PERFORMANCE OF BUILDING
ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE
FOLLOWING

COMPLIANCE PACKAGE "A1"

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.57 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R30)
EXPOSED FLOOR MINIMUM RSI (R) VALUE	5.46 (R30)
HALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.87 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	9.52 (R20 R610)
HEATED SLAB OR SLAB 500mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 25, MAX U=0.28
SPACE HEATING EQUIPMENT MINIMUM ARIE	16%
HRV MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.80

AREA CALCULATIONS		ELEV. 1	
GROUND FLOOR AREA		=	1144 Sq. Ft.
SECOND FLOOR AREA		=	1498 Sq. Ft.
TOTAL FLOOR AREA		=	2642 Sq. Ft.
		=	245.45 Sq. M.
1st FLOOR OPEN AREA	= 0	Sq. Ft.	
2nd FLOOR OPEN AREA	= 0	Sq. Ft.	
ADD TOTAL OPEN AREAS	= 0	Sq. Ft.	
ADD FIN. BASEMENT AREA	= 0	Sq. Ft.	
GROSS FLOOR AREA	=	2642 Sq. Ft.	
		=	245.45 Sq. M.
GROUND FLOOR COVERAGE		=	1144 Sq. Ft.
GARAGE COVERAGE / AREA		=	360 Sq. Ft.
PORCH COVERAGE / AREA		=	64 Sq. Ft.
TOTAL COVERAGE W/ PORCH		=	1568 Sq. Ft.
		=	145.67 Sq. M.
TOTAL COVERAGE W/O PORCH		=	1504 Sq. Ft.
		=	139.73 Sq. M.

AREA CALCULATIONS		ELEV. 2	
GROUND FLOOR AREA		=	1143 Sq. Ft.
SECOND FLOOR AREA		=	1474 Sq. Ft.
TOTAL FLOOR AREA		=	2617 Sq. Ft.
		=	243.15 Sq. M.
1st FLOOR OPEN AREA	= 0	Sq. Ft.	
2nd FLOOR OPEN AREA	= 0	Sq. Ft.	
ADD TOTAL OPEN AREAS	= 0	Sq. Ft.	
ADD FIN. BASEMENT AREA	= 0	Sq. Ft.	
GROSS FLOOR AREA	=	2617 Sq. Ft.	
		=	243.15 Sq. M.
GROUND FLOOR COVERAGE		=	1143 Sq. Ft.
GARAGE COVERAGE / AREA		=	353 Sq. Ft.
PORCH COVERAGE / AREA		=	60 Sq. Ft.
TOTAL COVERAGE W/ PORCH		=	1556 Sq. Ft.
		=	144.56 Sq. M.
TOTAL COVERAGE W/O PORCH		=	1496 Sq. Ft.
		=	138.98 Sq. M.

MILLWOOD 12		SB12 - ELEV.1			
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	681.27	63.29	98.51	9.15	14.46 %
FLANKAGE	1081.83	100.00	219.51	25.47	25.84 %
RIGHT SIDE	438.67	87.21	0.00	0.00	0.00 %
REAR	664.85	61.77	141.43	13.14	21.35 %
TOTAL	3366.62	312.77	519.45	48.30	

MILLWOOD 12		SB12 - ELEV.2			
ELEVATI ON	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTA GE
FRONT	664.77	61.76	90.24	8.38	13.57 %
FLANKAGE	1038.50	96.48	245.83	22.84	23.67 %
RIGHT SIDE	438.66	87.20	0.00	0.00	0.00 %
REAR	664.85	61.77	141.93	13.14	21.35 %
TOTAL	3306.78	307.21	478.00	44.41	14.46 %

All work shall conform to the Ontario
Building Code O. Reg. 332/12 as amended

W Architect Inc.
DESIGN CONTROL REVIEW

OCT 17 2018

FINAL BY: GCE

This stamp is only for the purposes of design
control and carries no other professional obligations.

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 03 2019
BY
MARK DERKSEN

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
BRAMPTON.



FOR STRUCTURE ONLY

MILLWOOD 12
COMPLIANCE PACKAGE "A1"

5.	
4.	
3.	
2.	ISSUED FOR PERMIT JULY 2018
1.	TRANSFERRED FROM VETRAAL AND MODIFIED MAY 10, 2018
REVISIONS	

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME

SIGNATURE

28770
BCIN

REGION DESIGN INC.
8700 JUFFERN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4098
F (905) 660-0746

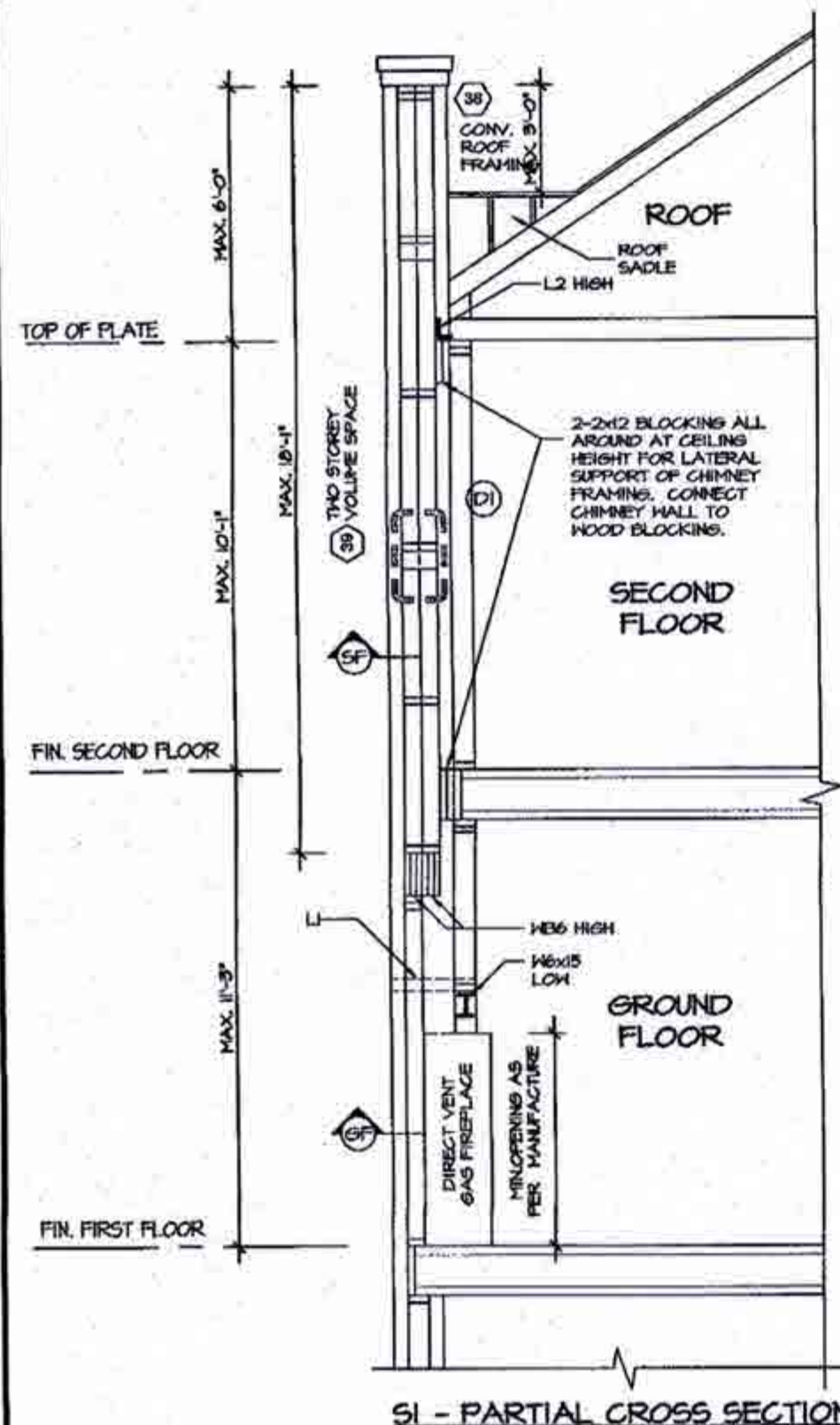
**REGION
DESIGN
INC.**

SHEET TITLE	
AREA CHARTS	
SCALE	3/16"=1'-0"
DATE	JULY 2018
BY	MB
TYPE	

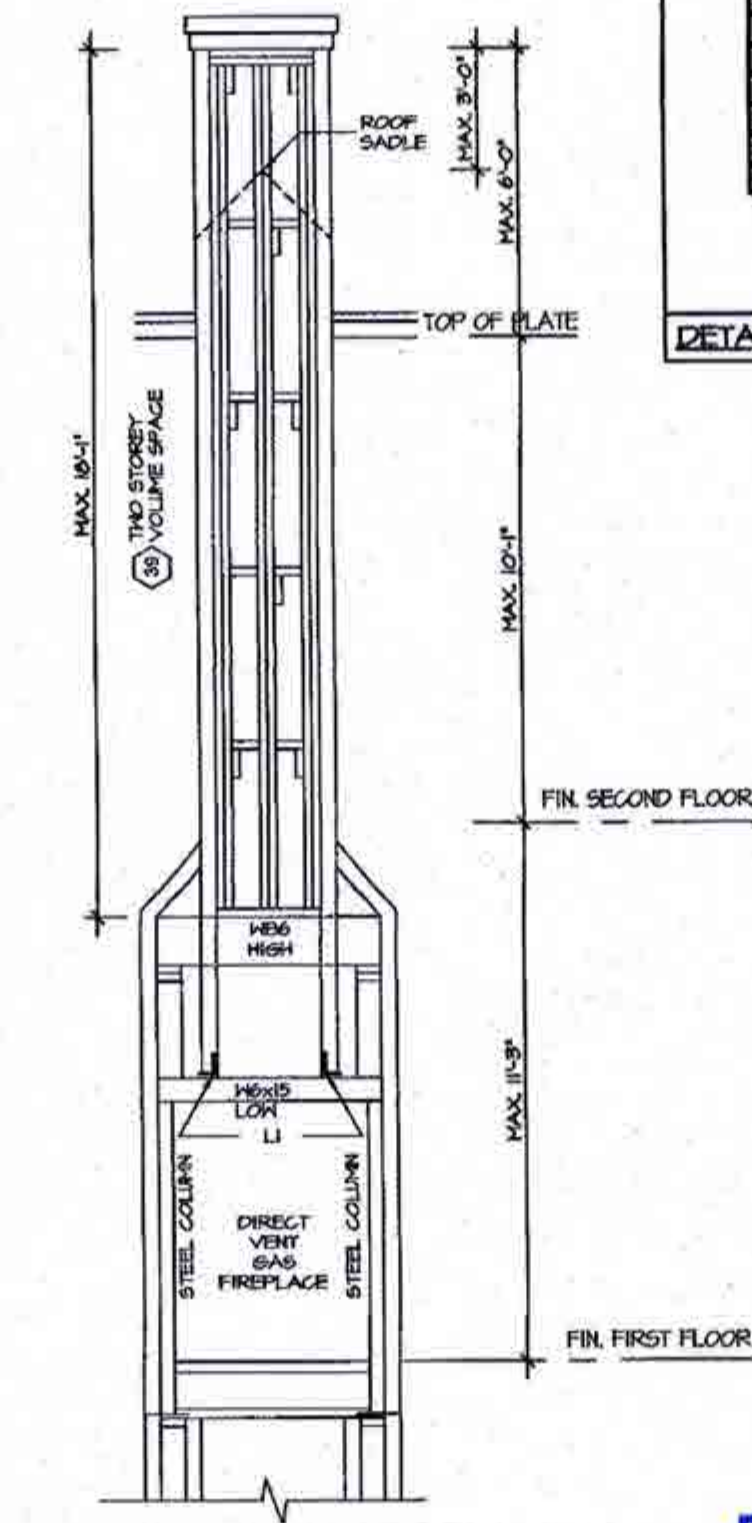
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA	2642
PAGE No.	0
PROJECT	17-04-19

Greenpark.

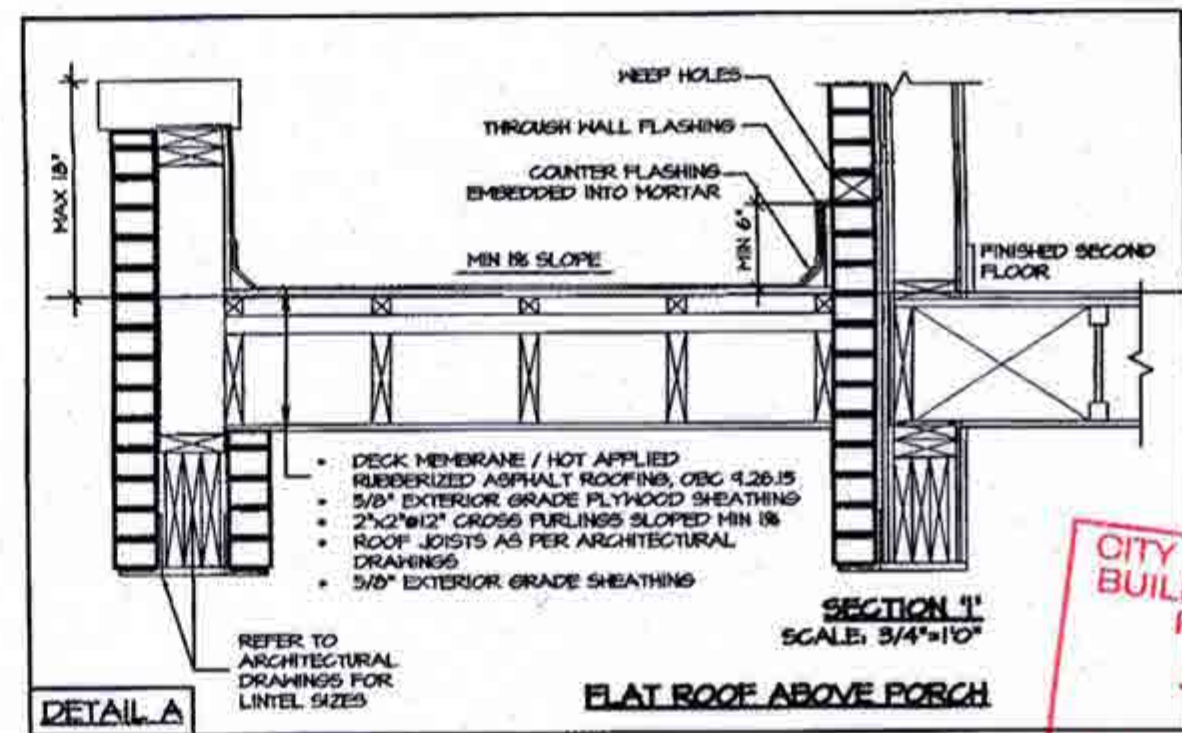
PROJECT NAME
MINNISALE HOMES CORP.



SI - PARTIAL CROSS SECTION

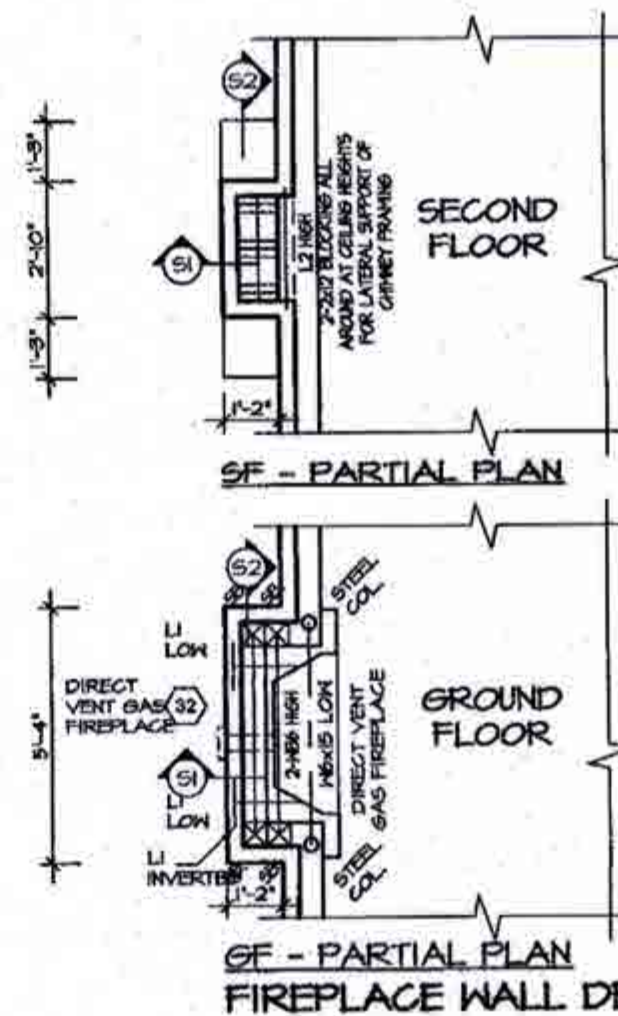


S2 - PARTIAL CROSS SECTION

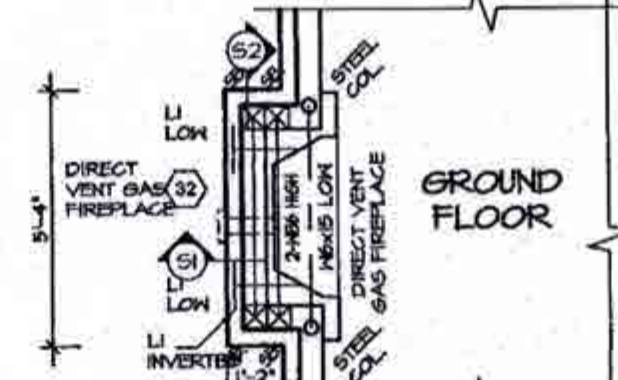


DETAIL A

FLAT ROOF ABOVE PORCH



SF - PARTIAL PLAN



GF - PARTIAL PLAN

NOTES:

- 32 DIRECT VENT GAS FIREPLACE
DIRECT VENT GAS FIREPLACE. VENT TO BE A MINIMUM 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.
- 38 CONVENTIONAL ROOF FRAMING
(*SEE OBC 9.23.4.2.(1))
FOR MAX. 2240mm (7'-4") SPAN, 35x84 (2"x4") RAFTERS @400mm (16") o.c. FOR MAX. 3530mm (11'-7") SPAN, 35x140 (2"x6") RAFTERS @400mm (16") o.c. RIDGE BOARD TO BE 51mm (2") DEEPER. 35x39 (2"x4") COLLAR TIES AT MIDSPAN. CEILING JOISTS TO BE 35x84 (2"x4") @400mm (16") o.c. FOR MAX. 2830mm (9'-3") SPAN & 35x140 (2"x6") @ 400 (16") o.c. FOR MAX. 4450mm (14'-7") SPAN. RAFTERS FOR BUILT-UP ROOF TO BE 35x84 (2"x4") @600mm (24") o.c. WITH A 35x84 (2"x4") CENTER POST TO THE TRUSS BELOW, LATERALLY BRACED @1800mm (6'-0") o.c. VERTICALLY.
- 39 TWO STOREY VOLUME SPACES
FOR A MAXIMUM 5490mm (18'-0") HEIGHT, PROVIDE 2-35x140 (2-2"x6") CONTINUOUS STUDS @300mm (12") o.c. FOR BRICK AND 400mm (16") o.c. FOR SIDING. PROVIDE SOLID WOOD BLOCKING BETWEEN STUDS @1220mm (4'-0") o.c. VERT. 1/16" EXT. PLYWOOD.

W Architect Inc.
DESIGN CONTROL REVIEW

OCT 17 2018

FINAL BY: GTE

This stamp is only for the purposes of design control and carries no other professional obligations.

JUL 27 2018

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.



FOR STRUCTURE ONLY

MILLWOOD 12
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.	ISSUED FOR PERMIT	JULY 2018
1.	TRANSFERRED FROM VETRALLA AND MODIFIED	MAY 10, 2018
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE AREA CHARTS	
SCALE 3/16"=1'-0"	BY MB
DATE JULY 2018	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA 2642	PAGE No. 0-2
PROJECT 17-04-19	

Greenpark.
PROJECT NAME
MINNISALE HOMES CORP.

PLUMBING BY
KOFI MORIEL

TODD FAYNE

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMPTON.

BY
MARK DERKSEN

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

MILLWOOD 12
COMPLIANCE PACKAGE "A1"

ALL PLUMBING SHALL CONFORM TO
THE ONTARIO BUILDING CODE, O.B.C.
332/12, AS AMENDED, DIVISION B, PART 7

Architectural floor plan of a building foundation and basement. The plan shows a rectangular layout with various rooms and structural details. Key areas include an 'UNFINISHED BASEMENT' on the left, a 'COLD STORAGE' area at the bottom center, and a large 'UNEXCAVATED' area on the right. The plan is annotated with dimensions, material specifications, and construction notes. A red stamp reads 'THIS AREA SHALL NOT BE USED AS A SEPARATE DWELLING'. A red box at the bottom right contains the text 'CITY OF BRAWLEY BUILDING DIV REVIEWED JAN 03 2015 BY'.

Dimensions:

- Overall width: 50'-3" (15.32 m)
- Overall depth: 31'-2" (9.5 m)
- Basement width: 15'-4"
- Basement depth: 10'-10"
- Cold storage width: 7'-0"
- Cold storage depth: 7'-0"
- Unexcavated area width: 14'-8"
- Unexcavated area depth: 10'-4"

Structural Details:

- UNFINISHED BASEMENT:** 4 1/2" ENG. JOISTS AS PER MANUFACTURER.
- COLD STORAGE:** 6" R.F. CONC. SLAB WITH 15M BARS @10" O.C. EACH WAY WITH MIN 1 1/4" CONCRETE COVER AND 24"x24" 10M BENT DOWELS SPACED NOT MORE THAN 23 5/8" O.C.
- UNEXCAVATED:** (REMOVE TOP SOIL ONLY). 2-15 REBARS IN TOP OF FOUND. WALL FOR LATERAL SUPPORT & STAIR OPENING. EXTEND BARS 24" BEYOND STAIR OPENING EACH WAY.
- Foundation:** CHECK FOUNDATION WALL FOR DOOR, CHECK FOUNDATION WALL FOR OIL GARAGE DOOR, CHECK FOUNDATION WALL FOR PORCH SLAB.
- Other Details:** 1x4 FLUSH, 1x6 FLUSH, 1x8 FLUSH, 1x10 FLUSH, 1x12 FLUSH, 1x14 FLUSH, 1x16 FLUSH, 1x18 FLUSH, 1x20 FLUSH, 1x22 FLUSH, 1x24 FLUSH, 1x26 FLUSH, 1x28 FLUSH, 1x30 FLUSH, 1x32 FLUSH, 1x34 FLUSH, 1x36 FLUSH, 1x38 FLUSH, 1x40 FLUSH, 1x42 FLUSH, 1x44 FLUSH, 1x46 FLUSH, 1x48 FLUSH, 1x50 FLUSH, 1x52 FLUSH, 1x54 FLUSH, 1x56 FLUSH, 1x58 FLUSH, 1x60 FLUSH, 1x62 FLUSH, 1x64 FLUSH, 1x66 FLUSH, 1x68 FLUSH, 1x70 FLUSH, 1x72 FLUSH, 1x74 FLUSH, 1x76 FLUSH, 1x78 FLUSH, 1x80 FLUSH, 1x82 FLUSH, 1x84 FLUSH, 1x86 FLUSH, 1x88 FLUSH, 1x90 FLUSH, 1x92 FLUSH, 1x94 FLUSH, 1x96 FLUSH, 1x98 FLUSH, 1x100 FLUSH.

Notes:

- LOCATION FURNACE AND HNT MAY VARY
- HNT
- FURNACE
- LOAD BRG. WALL
- UP HNT
- DOOR JOISTS
- 1x4 FLUSH
- 1x6 FLUSH
- 1x8 FLUSH
- 1x10 FLUSH
- 1x12 FLUSH
- 1x14 FLUSH
- 1x16 FLUSH
- 1x18 FLUSH
- 1x20 FLUSH
- 1x22 FLUSH
- 1x24 FLUSH
- 1x26 FLUSH
- 1x28 FLUSH
- 1x30 FLUSH
- 1x32 FLUSH
- 1x34 FLUSH
- 1x36 FLUSH
- 1x38 FLUSH
- 1x40 FLUSH
- 1x42 FLUSH
- 1x44 FLUSH
- 1x46 FLUSH
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- 1x82 FLUSH
- 1x84 FLUSH
- 1x86 FLUSH
- 1x88 FLUSH
- 1x90 FLUSH
- 1x92 FLUSH
- 1x94 FLUSH
- 1x96 FLUSH
- 1x98 FLUSH
- 1x100 FLUSH

Red Stamp: THIS AREA SHALL NOT BE USED AS A SEPARATE DWELLING

Red Box: CITY OF BRAWLEY BUILDING DIV REVIEWED JAN 03 2015 BY

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4088 F (905) 660-0748	REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.						
4.					BASEMENT PLAN ELEV. 2					1-2			
3.					SCALE	3/16"=1'-0"	BY	MB			AREA	2642	
2.	ISSUED FOR PERMIT				JULY 2018								
1.	TRANSFERRED FROM VETRAALLA AND MODIFIED				MAY 10, 2018	DATE	JULY 2018	TYPE				PROJECT	17-04-19
REVISIONS									PROJECT NAME	MINNISALE HOMES CORP.			

ALL PLUMBING SHALL CONFORM TO THE ONTARIO BUILDING CODE, O.B.C. 332/12, AS AMENDED, DIVISION B, PART 7.

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED

NOV 21 2018

PLUMBING BY
KOFI MORIEL

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED

NOV 15 2018

BY
TODD RAYNE

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W Architect Inc.
DESIGN CONTROL REVIEW

OCT 17 2018

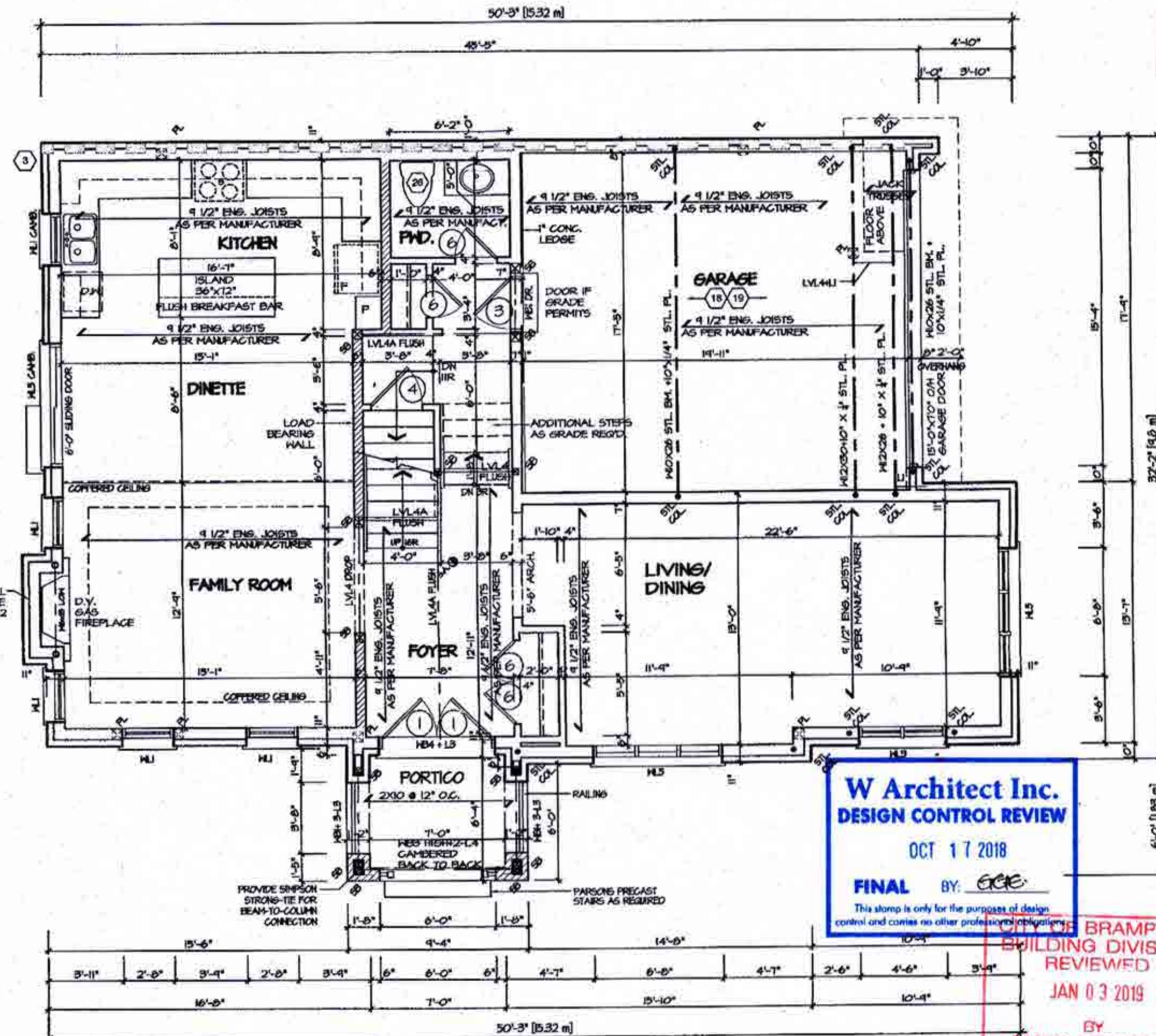
FINAL BY: *GC*

This stamp is only for the purposes of design control and carries no other professional obligations.

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED

JAN 03 2019

BY
MARK DERKSEN



GROUND FLOOR PLAN 2

JUL 27 2018

MILLWOOD 12
COMPLIANCE PACKAGE "A1"

5.	
4.	
3.	
2.	ISSUED FOR PERMIT JULY 2018
1.	TRANSFERRED FROM VETRALLA AND MODIFIED MAY 10, 2018
REVISIONS	

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
28770
BCIN

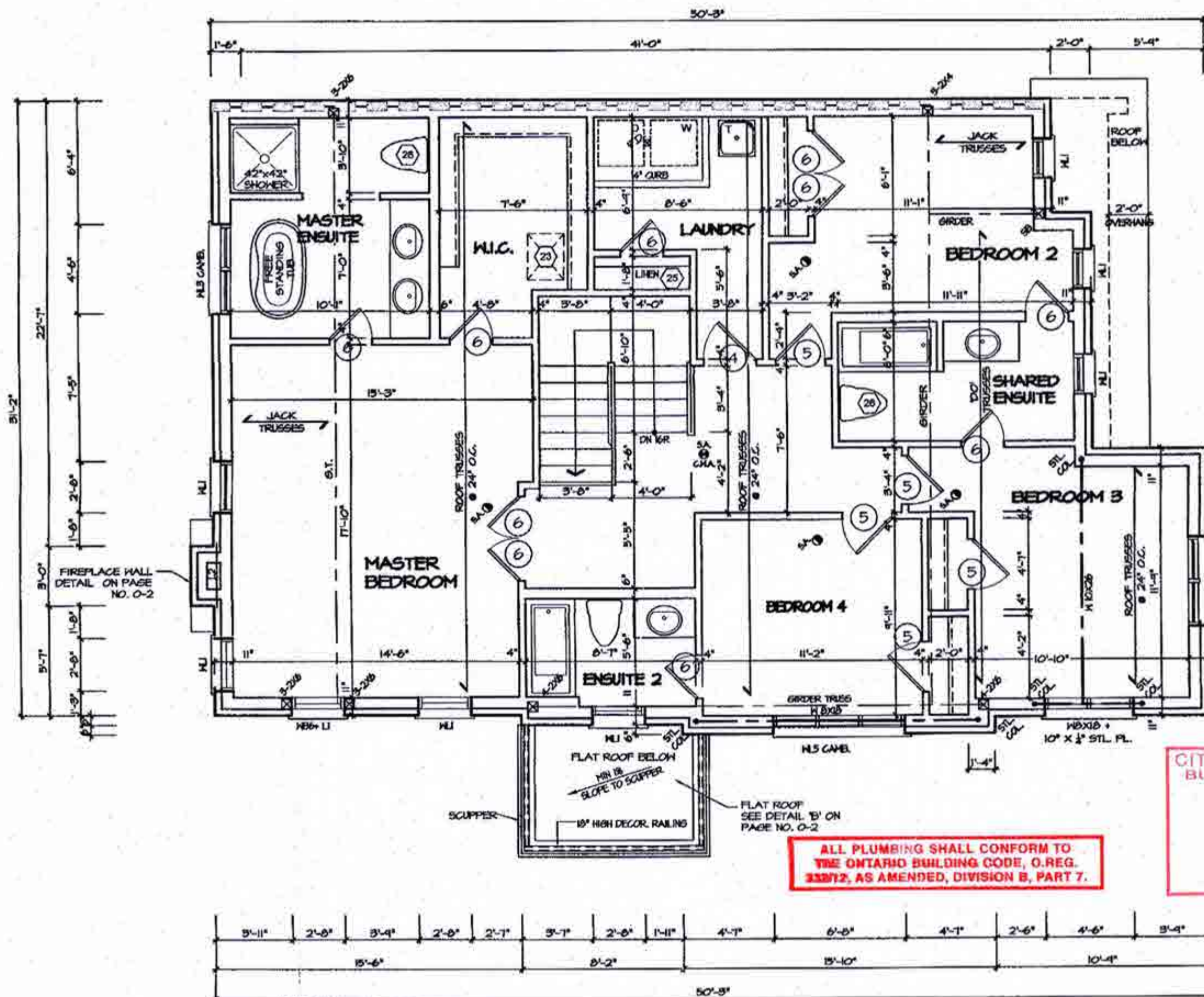
REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4B8
P (416) 736-4096
F (905) 660-0746

**REGION
DESIGN
INC.**

SHEET TITLE FIRST FLOOR PLAN ELEV. 2	
SCALE 3/16"=1'-0"	BY MB
DATE JULY 2018	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	AREA 2642	PAGE No. 2-2
PROJECT 17-04-19		

Greenpark.
PROJECT NAME
MINNISALE HOMES CORP.



SECOND FLOOR PLAN 2

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
NOV 15 2018
BY
TODD HAYNE

W Architect Inc.
DESIGN CONTROL REVIEW
OCT 17 2018
FINAL BY: GGE
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CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
JAN 03 2019
BY
MARK DERKSEN

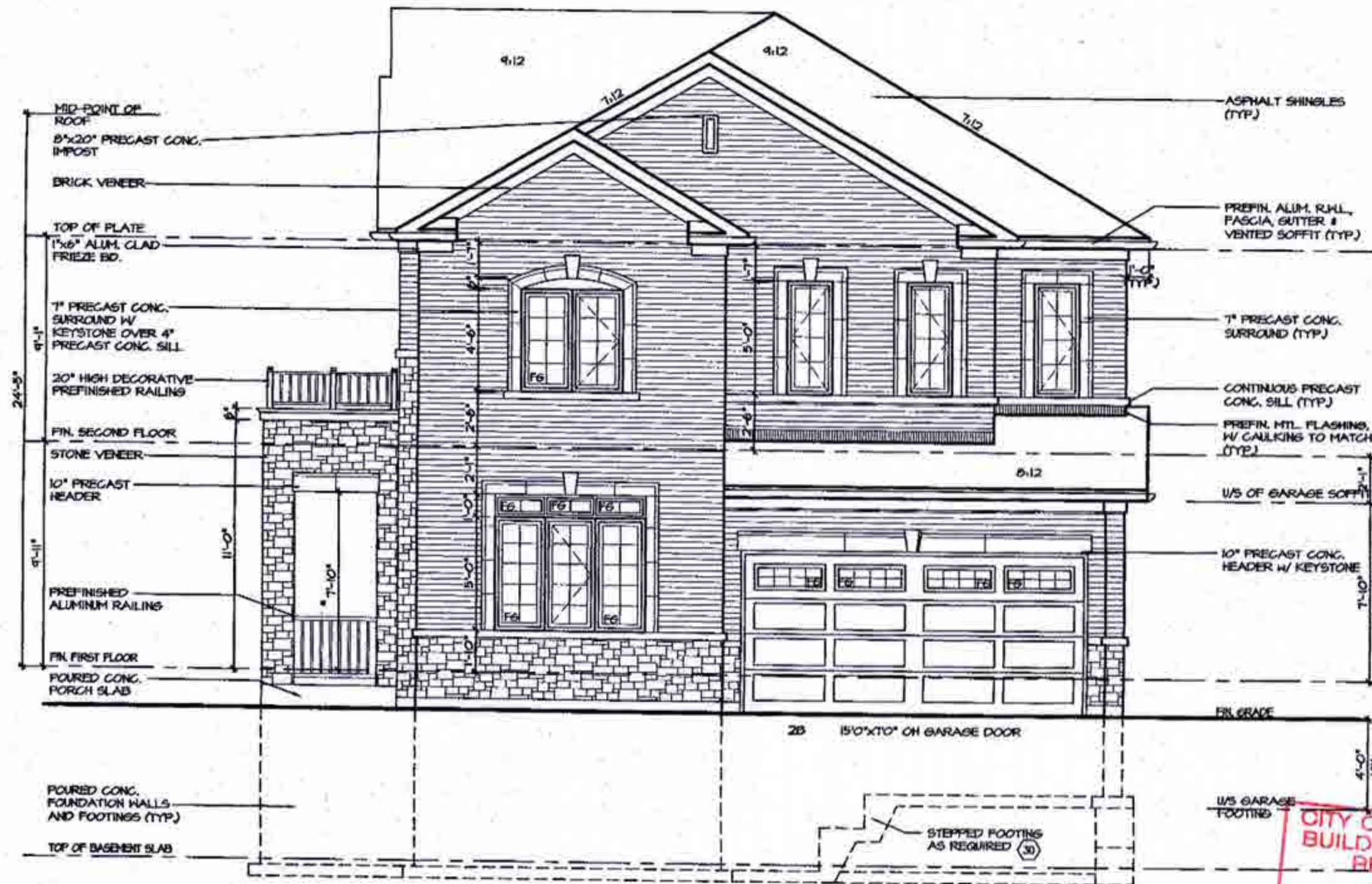
CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
NOV 21 2018
PLUMBING BY
KOFI MORIEL



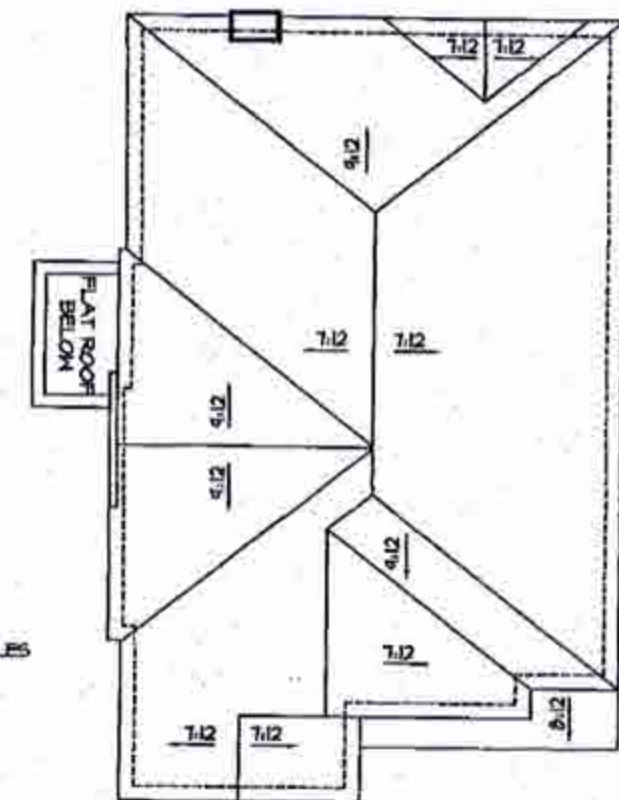
MILLWOOD 12
COMPLIANCE PACKAGE "A1"

JUL 27 2018

5. _____ 4. _____ 3. _____ 2. ISSUED FOR PERMIT JULY 2018 1. TRANSFERRED FROM VETRALLA AND MODIFIED MAY 10, 2018 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME SIGNATURE 28770 BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S8 P (416) 736-4096 F (905) 680-0746 REGION DESIGN INC.	SHEET TITLE SECOND FLOOR PLAN ELEV. 2 SCALE 3/16"=1'-0" DATE JULY 2018 BY MB TYPE	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2642 PAGE No. 3-2	Greenpark. PROJECT NAME MINNISALE HOMES CORP.
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FRONT ELEVATION 2



ROOF PLAN 2
SCALE- N.T.S.

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
NOV 15 2018
BY
TODD PAYNE

W Architect Inc.
DESIGN CONTROL REVIEW
OCT 17 2018
FINAL BY: CCE
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CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 03 2019
BY
MARK DERKSEN

JUL 27 2018

MILLWOOD 12
COMPLIANCE PACKAGE "A1"

5. _____ 4. _____ 3. _____ 2. ISSUED FOR PERMIT JULY 2018 1. TRANSFERRED FROM VETRALLA AND MODIFIED MAY 10, 2018 REVISIONS		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME SIGNATURE 28770 BCIN		REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 860-0746		REGION DESIGN INC. SHEET TITLE FRONT ELEVATION ELEV. 2 SCALE 3/16"=1'-0" DATE JULY 2018 BY MB TYPE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2842 PROJECT 17-04-19 PAGE No. 4-2		Greenpark. PROJECT NAME MINNISALE HOMES CORP.	
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CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
NOV 15 2018
BY
TODD PAYNE

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 03 2019
BY
MARK DERKSEN

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FLANKAGE ELEVATION 2

W Architect Inc.
DESIGN CONTROL REVIEW
OCT 17 2018
FINAL BY: GGE
This stamp is only for the purposes of design control and carries no other legal implications.

MILLWOOD 12
COMPLIANCE PACKAGE "A1"

5.	
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REVISIONS	

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.3 of the building code

VIKAS GAJJAR
NAME
28770
BCIN
SIGNATURE

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4006
F (905) 660-0746

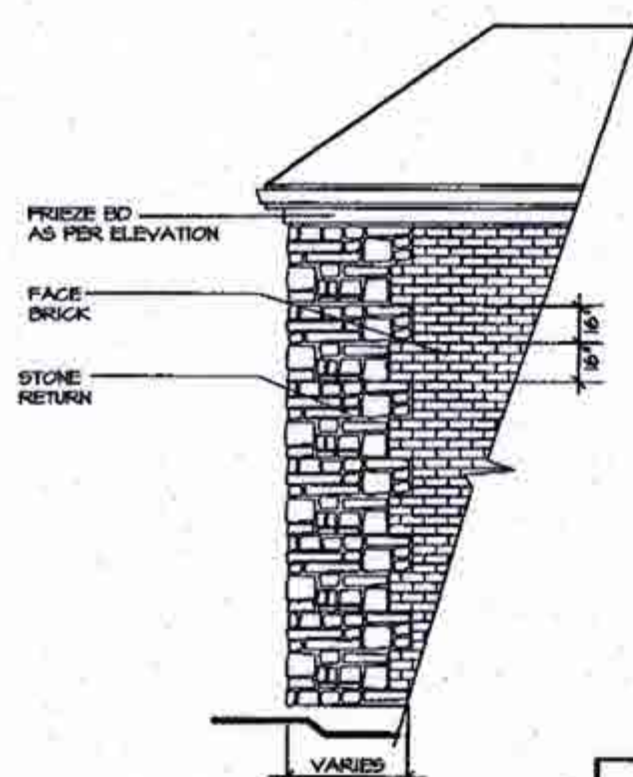
**REGION
DESIGN
INC.**

SHEET TITLE
**LEFT SIDE ELEVATION
ELEV. 2**
SCALE
3/16"=1'-0"
DATE
JULY 2018
BY
MB
TYPE

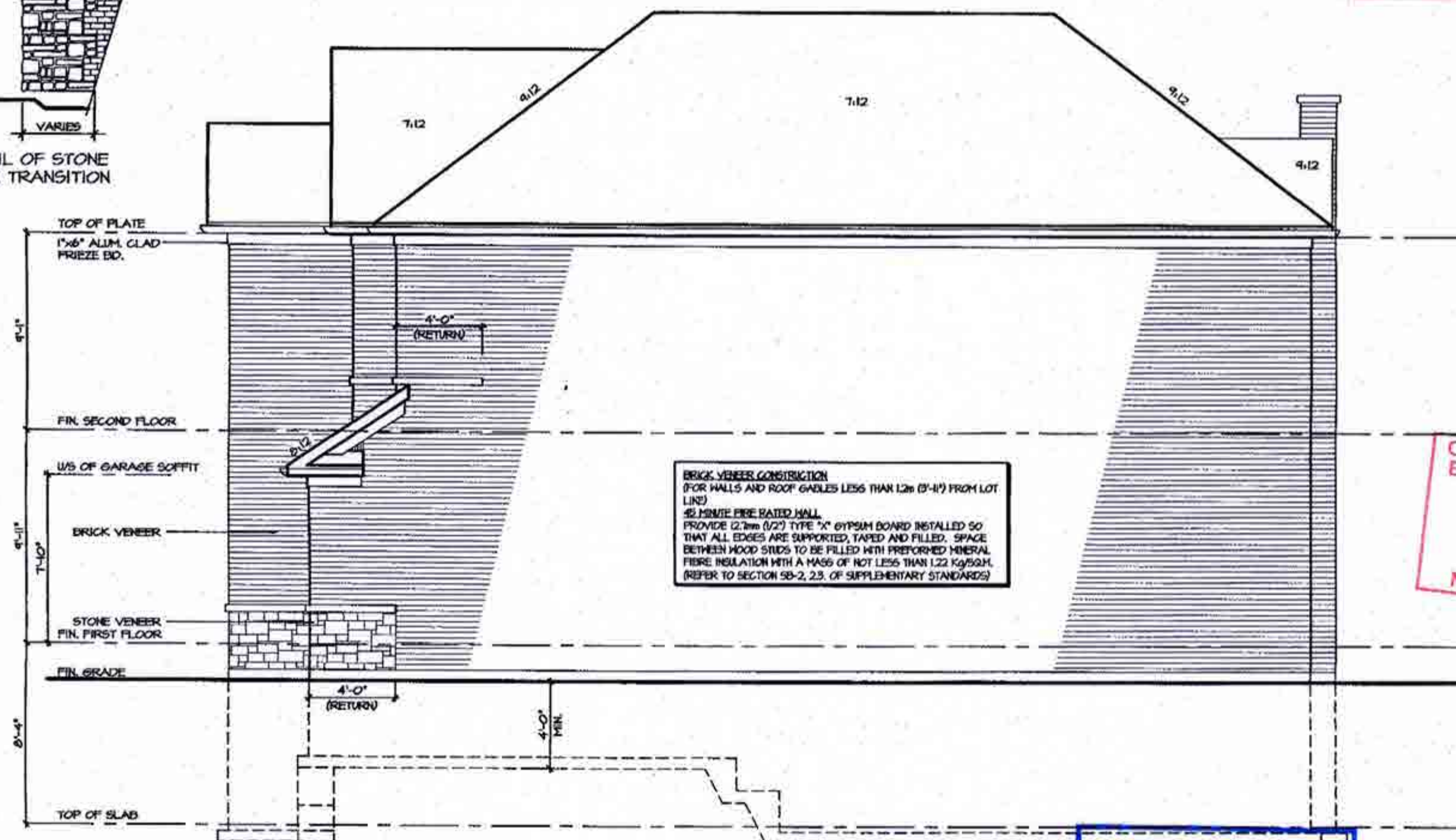
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA
2642
PAGE No.
5-2
PROJECT
17-04-19

Greenpark.
PROJECT NAME
MINNISALE HOMES CORP.



DETAIL OF STONE
TO BRICK TRANSITION



BRICK VENEER CONSTRUCTION
(FOR WALLS AND ROOF GABLES LESS THAN 12m (3'-11") FROM LOT
LINE)
45 MINUTE FIRE RATED WALL
PROVIDE 12.5mm (1/2") TYPE "X" GYPSUM BOARD INSTALLED SO
THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE
BETWEEN HOOD STUDS TO BE FILLED WITH PREFORMED MINERAL
FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M.
(REFER TO SECTION SB-2, 2.3. OF SUPPLEMENTARY STANDARDS)

RIGHT ELEVATION 2

ALLOWABLE GLAZING

WALL AREA	=	438	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7 % 1.9 M	=	65.66	Sq. Ft.
SIDE YARD	=	0.0	Sq. Ft.
ACTUAL GLAZED AREA	=	0.0	Sq. Ft.
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL GLAZED AREA	=	0.0	Sq. Ft.

W Architect Inc.
DESIGN CONTROL REVIEW

OCT 17 2018

FINAL BY: CCE

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control and carries no other professional obligations.

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 03 2019
BY
MARK DERKSEN

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MILLWOOD 12
COMPLIANCE PACKAGE "A1"

5.		
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REVISIONS		

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VIKAS GAJJAR
NAME

28770
BCIN

SIGNATURE

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 738-4096
F (905) 880-0746

**REGION
DESIGN
INC.**

SHEET TITLE
**RIGHT SIDE ELEVATION
ELEV. 2**

SCALE
3/16"=1'-0"

DATE
JULY 2018

BY
MB

TYPE

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

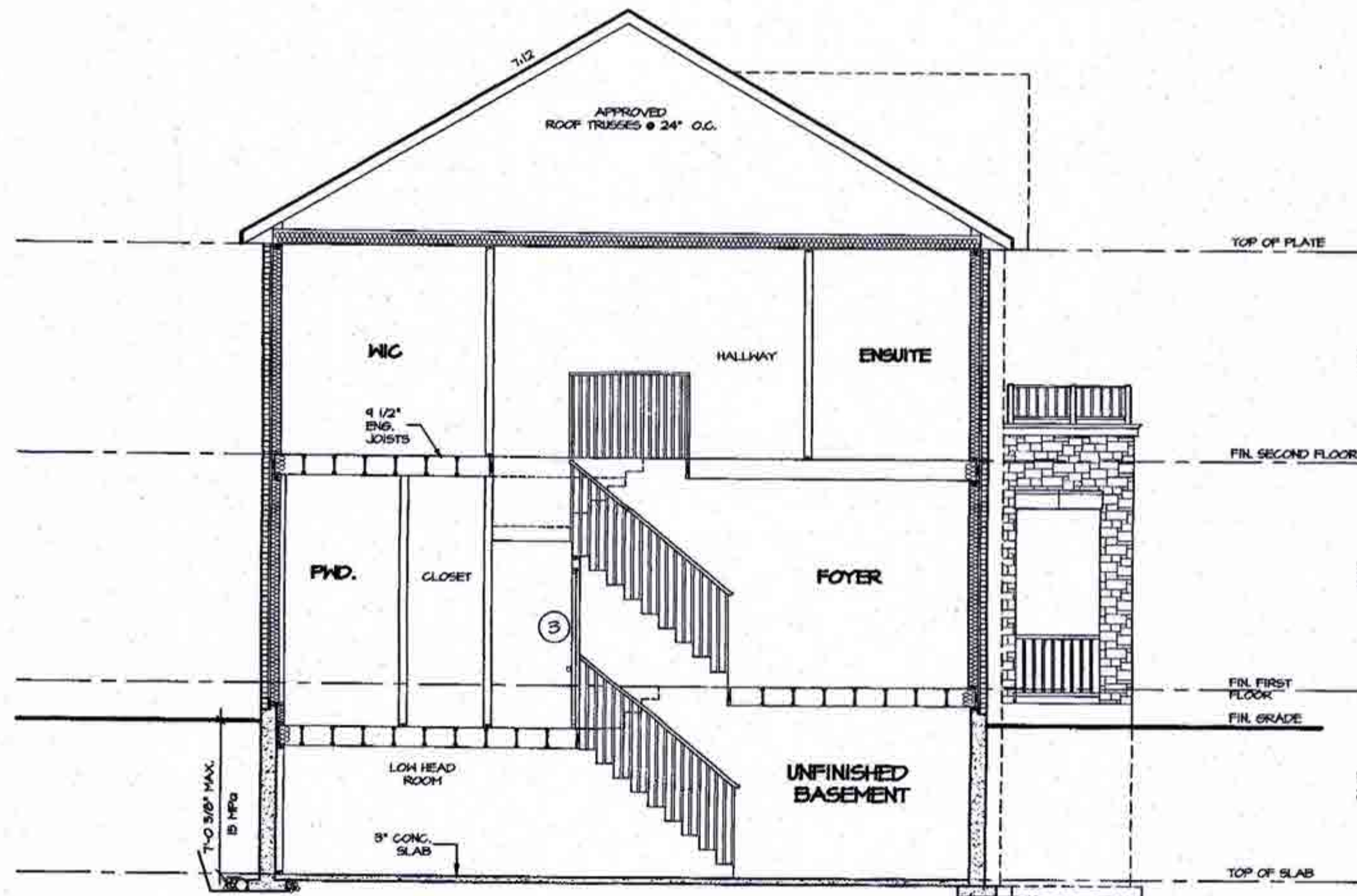
AREA
2642

PAGE No.
6-2

PROJECT
17-04-19

Greenpark

PROJECT NAME
MINNISALE HOMES CORP.



SECTION A-A

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 03 2019
BY
MARK DERKSEN

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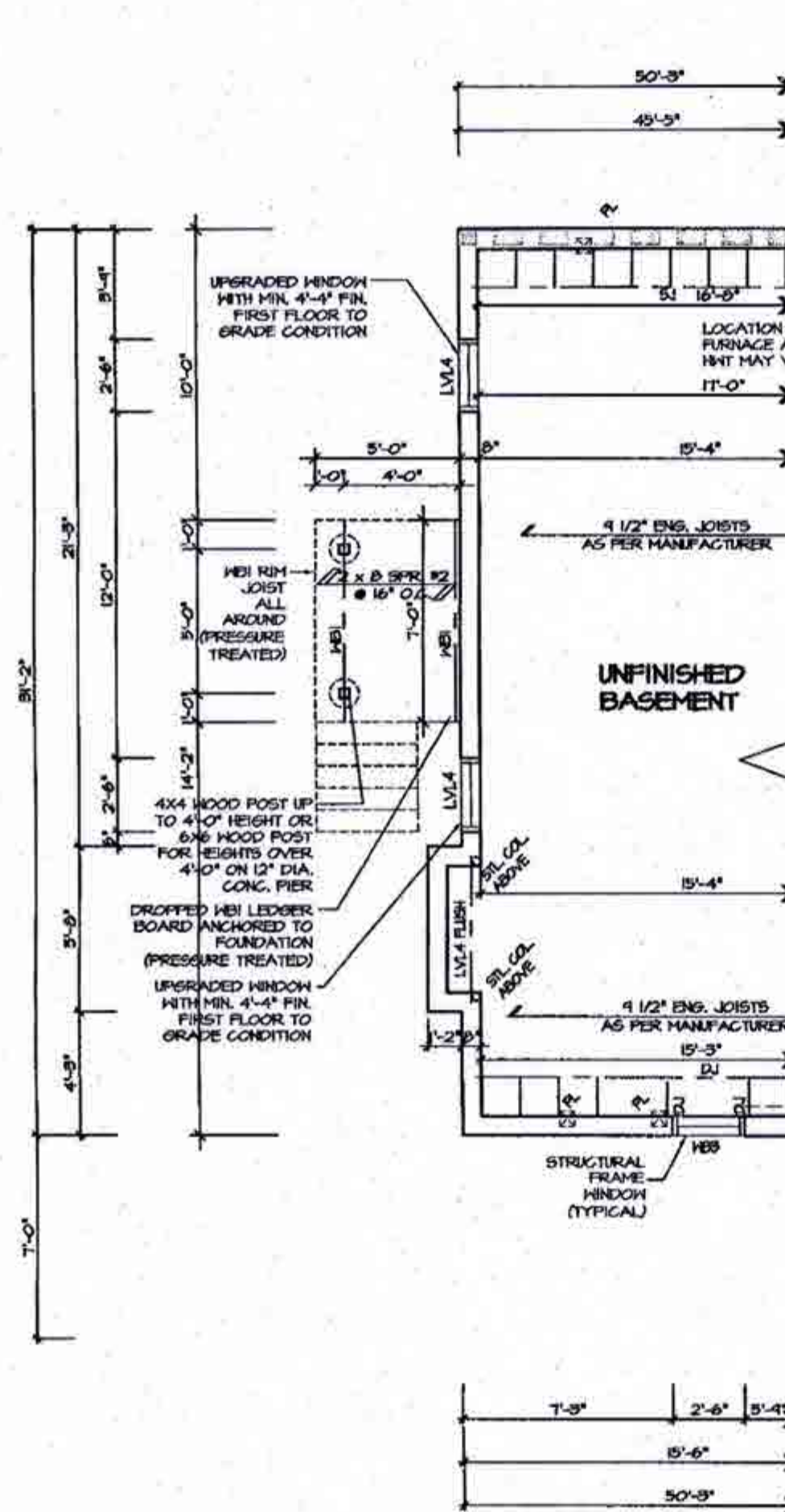
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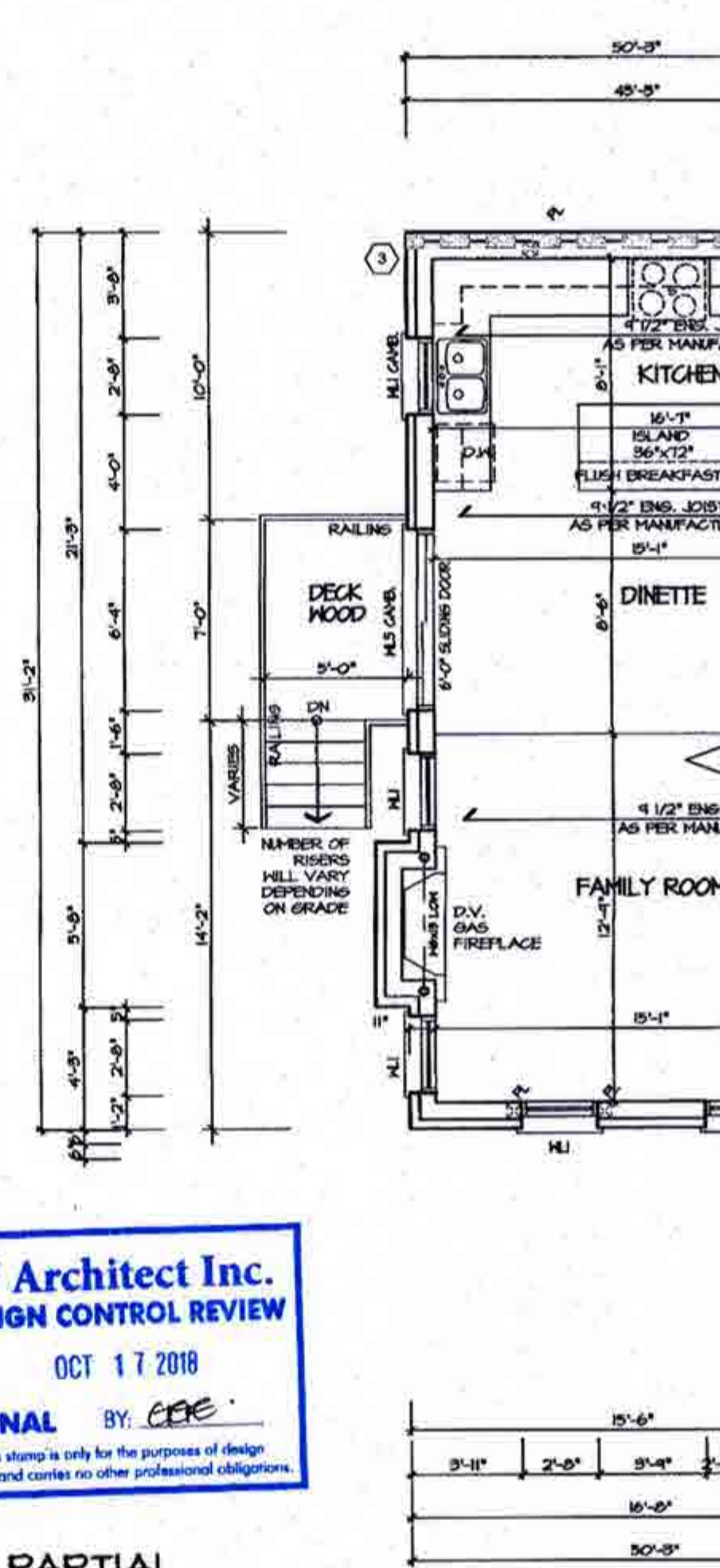
W Architect Inc.
DESIGN CONTROL REVIEW
OCT 17 2018
FINAL BY: *GGG*
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JUL 27 2018

MILLWOOD 12
COMPLIANCE PACKAGE "A1"

5. 4. 3. 2. ISSUED FOR PERMIT 1. TRANSFERRED FROM VETRALLA AND MODIFIED REVISIONS JULY 2018 MAY 10, 2018	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME <i>[Signature]</i> SIGNATURE 28770 BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S5 P (416) 736-4096 F (905) 660-0746 REGION DESIGN INC.	SHEET TITLE CROSS SECTION SCALE 3/16"=1'-0" DATE JULY 2018	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. BY MB AREA 2642 PAGE No. 8	PROJECT NAME MINNISALE HOMES CORP.
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PARTIAL
BASEMENT FLOOR PLAN 2
W.O.D. CONDITION



PARTIAL
GROUND FLOOR PLAN 2
W.O.D. CONDITION

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 03 2019
BY
MARK DERKSEN

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FOR STRUCTURE ONLY

MILLWOOD 12
COMPLIANCE PACKAGE "A1"

JUL 27 2018

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0748	SHEET TITLE DECK PLANS 2	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.			
4.					AREA 2642			PAGE No. 9-2
3.					PROJECT 17-04-19			
2.	ISSUED FOR PERMIT				JULY 2018			
1.	TRANSFERRED FROM VETRALLA AND MODIFIED	MAY 10, 2018						
REVISIONS						PROJECT NAME MINNISALE HOMES CORP.		



CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
NOV 15 2018
BY
TODD PAYNE

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 03 2019
BY
MARK DERKSEN

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REAR ELEVATION 2
W.O.D. CONDITION

W Architect Inc.
DESIGN CONTROL REVIEW

OCT 17 2018

FINAL BY: *ECE*

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MILLWOOD 12
COMPLIANCE PACKAGE "A1"

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VIKAS GAJJAR
NAME SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-8096
F (905) 660-0746

**REGION
DESIGN
INC.**

SHEET TITLE
**REAR ELEVATION 2
WOD DECK CONDITION**

SCALE
3/16"=1'-0"
DATE
JULY 2018

BY
MB
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA
2642
PROJECT
17-04-19

PAGE No.
10-2

Greenpark

PROJECT NAME
MINNISALE HOMES CORP.