

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS
 8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
 20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
 FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
 24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
 FOOTINGS ON ENGINEERED FILL
 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
 BELOW EXTERIOR WALLS.
 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
 BELOW PARTY WALLS.
 (REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY
 ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa
 FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

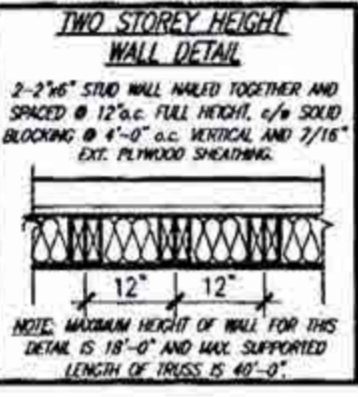
PAD FOOTINGS
 120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL
 F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
 F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
 F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
 F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
 F5 = 18"x18"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
 (REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

CERAMIC TILE FOR CONVENTIONAL LUMBER
 (OBC 9.30.6)
 SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C.
 BELOW ALL CERAMIC TILE AREAS.
 PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0".
 2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING
 REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL
 ROOF FRAMING INFORMATION UNLESS OTHERWISE
 NOTED.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO
 FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING
 REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL
 ENGINEERED FLOOR FRAMING INFORMATION AND
 DETAILS, UNLESS OTHERWISE NOTED.



VENEER CUT
 WHEN VENEER CUT IS GREATER THAN 26", A 10"
 POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)
 ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
 FLAT WORK) TO BE 32 MPa, WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
 WL2 = 4" x 3-1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
 WL3 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
 WL4 = 6" x 3-1/2" x 3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
 WL5 = 6" x 4" x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
 WL6 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
 WL7 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
 WL8 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
 WL9 = 6" x 4" x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
 WB2 = 3-2"x8" (3-38x184) SPR. No.2
 WB3 = 2-2"x10" (2-38x235) SPR. No.2
 WB4 = 3-2"x10" (3-38x235) SPR. No.2
 WB5 = 2-2"x12" (2-38x286) SPR. No.2
 WB6 = 3-2"x12" (3-38x286) SPR. No.2
 WB7 = 5-2"x12" (5-38x286) SPR. No.2
 WB11 = 4-2"x10" (4-38x235) SPR. No.2
 WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
 LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
 LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
 LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
 LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
 LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
 LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
 LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
 LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
 LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
 LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
 LVL8 = 2-1 3/4" x 14" (2-45x356)
 LVL9 = 3-1 3/4" x 14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L)
 L2 = 4" x 3-1/2" x 5/16" (100x90x8.0L)
 L3 = 5" x 3-1/2" x 5/16" (125x90x8.0L)
 L4 = 6" x 3-1/2" x 3/8" (150x90x10.0L)
 L5 = 6" x 4" x 3/8" (150x100x10.0L)
 L6 = 7" x 4" x 3/8" (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT	HEIGHT	TYPE
		8'-0"	10' OR MORE	
		CEILING	CEILING	
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Minimum RSI (R) value	(R60)	
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value	(R31)	
Exposed Floor	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value	(R31)	
Walls Above Grade	3.87 (R22)	6" R22 BATT
Minimum RSI (R) value	(R22)	
Basement Walls	3.52ci (R20ci)	OPTION TO USE R12+R10ci
Minimum RSI (R) value	(R20ci)	
Edge of Below Grade Slab <600mm below grade	1.76 (R10)	RIGID INSUL
Minimum RSI (R) value	(R10)	
Windows & Sliding glass Doors	0.28	
Maximum U-value		
Skylights	0.49	
Maximum U-value		
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	-
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information.	

ci- Denotes Continuous Insulation without framing interruption.

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))

HEMLOCK 3 ELEV. 1 (4 BED)

ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	481.31 S.F.	128.23 S.F.	26.64 %
LEFT SIDE	944.10 S.F.	57.55 S.F.	6.10 %
RIGHT SIDE	944.10 S.F.	23.50 S.F.	2.49 %
REAR	481.31 S.F.	76.42 S.F.	15.88 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	2850.82 S.F.	285.70 S.F.	10.00 %
TOTAL SQ. M.	264.85 S.M.	26.34 S.M.	10.02 %

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))

HEMLOCK 3 ELEV. 2 (4 BED)

ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	481.31 S.F.	126.31 S.F.	26.24 %
LEFT SIDE	944.10 S.F.	57.55 S.F.	6.10 %
RIGHT SIDE	944.10 S.F.	23.50 S.F.	2.49 %
REAR	481.31 S.F.	76.42 S.F.	15.88 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	2850.82 S.F.	283.78 S.F.	9.95 %
TOTAL SQ. M.	264.85 S.M.	26.36 S.M.	9.95 %

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))

HEMLOCK 3 ELEV. 1 (3 BED)

ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	481.31 S.F.	128.23 S.F.	26.64 %
LEFT SIDE	944.10 S.F.	51.57 S.F.	5.46 %
RIGHT SIDE	944.10 S.F.	23.50 S.F.	2.49 %
REAR	481.31 S.F.	76.42 S.F.	15.88 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	2850.82 S.F.	279.72 S.F.	9.81 %
TOTAL SQ. M.	264.85 S.M.	25.99 S.M.	9.81 %

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))

HEMLOCK 3 ELEV. 2 (3 BED)

ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	481.31 S.F.	126.31 S.F.	26.24 %
LEFT SIDE	944.10 S.F.	51.57 S.F.	5.46 %
RIGHT SIDE	944.10 S.F.	23.50 S.F.	2.49 %
REAR	481.31 S.F.	76.42 S.F.	15.88 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	2850.82 S.F.	277.80 S.F.	9.74 %
TOTAL SQ. M.	264.85 S.M.	25.81 S.M.	9.74 %

AREA CALCULATIONS ELEV '1'

GROUND FLOOR AREA	952 SF
SECOND FLOOR AREA	943 SF
TOTAL FLOOR AREA	1895 SF
	(176.05 m ²)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	4 SF
ADD TOTAL OPEN AREAS	+4 SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	1899 SF
	(176.42 m ²)
GROUND FLOOR COVERAGE	952 SF
GARAGE COVERAGE/AREA	214 SF
PORCH COVERAGE/AREA	46 SF
COVERAGE W/ PORCH	1212 SF
	(112.62 m ²)
COVERAGE W/O PORCH	1160 SF
	(108.32 m ²)

AREA CALCULATIONS ELEV '2'

GROUND FLOOR AREA	969 SF
SECOND FLOOR AREA	959 SF
TOTAL FLOOR AREA	1928 SF
	(179.12 m ²)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	4 SF
ADD TOTAL OPEN AREAS	+4 SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	1932 SF
	(179.49 m ²)
GROUND FLOOR COVERAGE	969 SF
GARAGE COVERAGE/AREA	214 SF
PORCH COVERAGE/AREA	88 SF
COVERAGE W/ PORCH	1271 SF
	(118.08 m ²)
COVERAGE W/O PORCH	1183 SF
	(109.90 m ²)

1. POST PERMIT CARD IN A CONSPICUOUS PLACE 7 FEET ABOVE GRADE AT BUILDING SITE.
2. APPROVED DRAWINGS MUST BE KEPT ON SITE AT ALL TIMES.
3. IT IS MANDATORY THAT YOU CALL FOR REQUIRED INSPECTIONS 24 HRS. IN ADVANCE.
4. FAILURE TO COMPLY WITH SENTENCE 1 TO 3 WILL RESULT IN STOP WORK ORDERS BEING POSTED.

ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE INSPECTION APPLICATIONS MUST BE FILED.

FOR MORE INFORMATION PLEASE CALL
ELECTRICAL SAFETY AUTHORITY
 CUSTOMER SERVICE CENTRE

PHONE: (877) 372-7233 FAX: (800) 667-4278

LOCATION OF SMOKE ALARMS AS PER OBC DIV. B 9.10.19.3

(1) Within dwelling units, sufficient smoke alarms shall be installed so that:

- (a) there is at least one smoke alarm installed on each storey, including basements; and
- (b) on any storey of a dwelling unit containing sleeping rooms, a smoke alarm is installed:
 - (i) in each sleeping room and;
 - (ii) in a location between the sleeping room and the remainder of the storey, and if the sleeping rooms are served by a hallway, the smoke alarm shall be located in the hallway.

CITY OF BRAMPTON
 BUILDING DIVISION
 REVIEWED

JAN 05 2018

BY
 MARY FREMETTE

ENGINEERED FILL ON LOT(S)

37R

PROVIDE COPIES OF SOIL ENGINEER'S REPORT(S) TO THE INSPECTOR BEFORE FOOTING CONSTRUCTION



Engineered floor joists shall be installed in accordance with the supplier's layout and specifications forming part of the permit drawings.

All work shall conform to the Ontario Building Code (Reg. 332/12) as amended.

JUL 2 7 2018

HEMLOCK 3
 COMPLIANCE PACKAGE 'A1'

W Architect Inc.
 DESIGN CONTROL REVIEW

OCT 1 7 2018

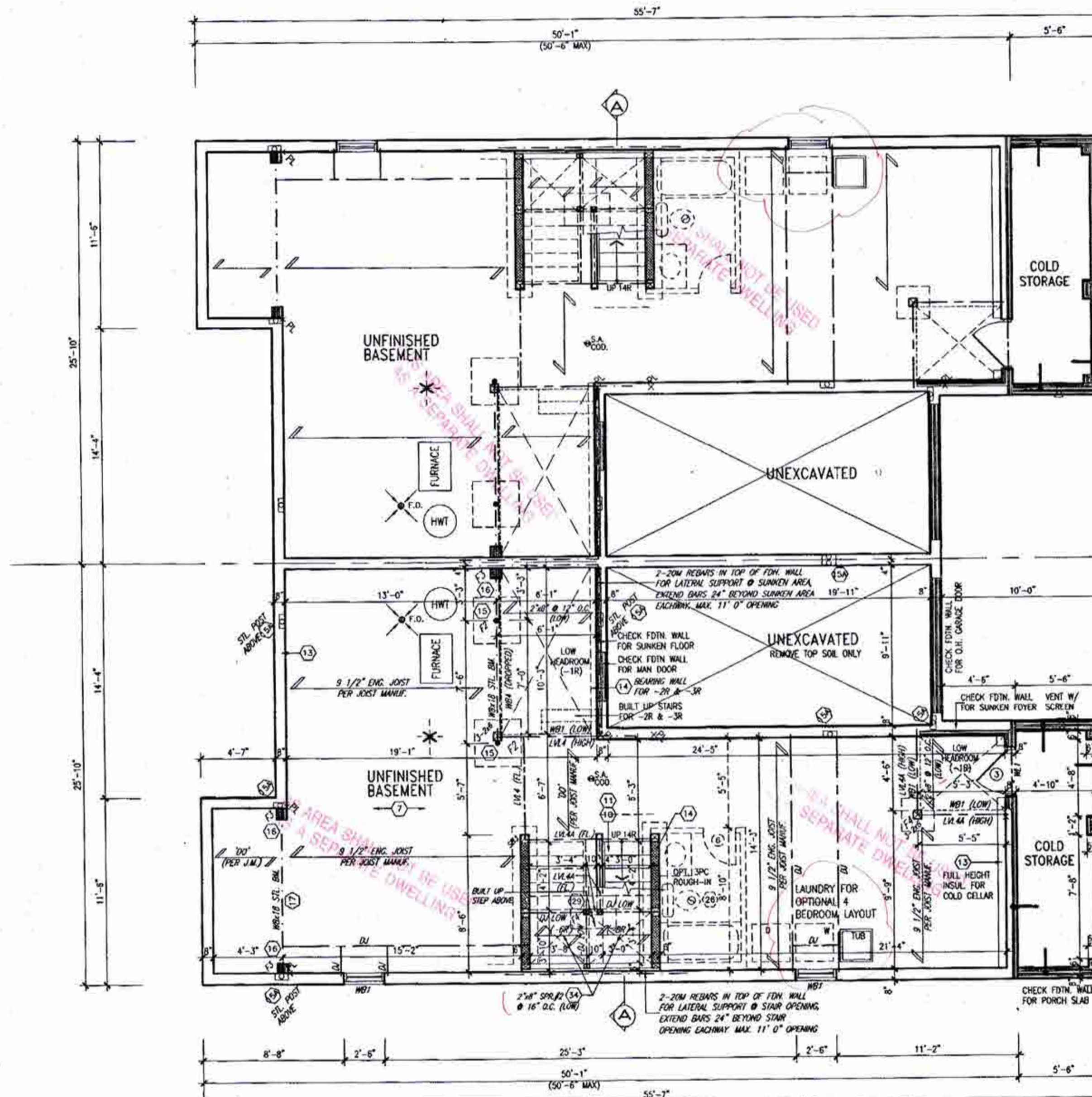
FINAL BY: GTE

This stamp is only for the purposes of design control and carries no other professional obligations.

<table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> <th>By</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>ISSUED FOR PERMIT</td> <td>JULY 23/18</td> <td>GN</td> </tr> <tr> <td>2</td> <td>REVISED PER CLIENT/ ENGINEER COMMENTS</td> <td>AUG 19/18</td> <td>GN</td> </tr> <tr> <td>3</td> <td>REVISED PER FLR & TRUSS CO-ORD.</td> <td>JUNE 28/18</td> <td>GN</td> </tr> <tr> <td>4</td> <td>REVISED PER CLIENT COMMENTS</td> <td>JUNE 13/18</td> <td>GN</td> </tr> <tr> <td>5</td> <td>REVISED PER CLIENT REVIEW/ COMMENT.</td> <td>MAY 24/18</td> <td>GN</td> </tr> </tbody> </table>	No.	Description	Date	By	1	ISSUED FOR PERMIT	JULY 23/18	GN	2	REVISED PER CLIENT/ ENGINEER COMMENTS	AUG 19/18	GN	3	REVISED PER FLR & TRUSS CO-ORD.	JUNE 28/18	GN	4	REVISED PER CLIENT COMMENTS	JUNE 13/18	GN	5	REVISED PER CLIENT REVIEW/ COMMENT.	MAY 24/18	GN	<p>The undersigned has prepared and bears responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code as a Designer.</p> <p>signature: <i>R. Viik</i> 24485 name: Richard Viik registration information: VAS Design Inc. 42658</p> <p>Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.</p>	<p>Greenpark.</p> <p>project name: MINNISALE HOMES CORP. BRAMPTON</p> <p>project no: 18012</p> <p>date: MAY 2018</p> <p>scale: 3/16" = 1'-0"</p> <p>sheet: 18012-HEMLOCK-3</p> <p>of: 3</p> <p>DATE: 11/08/2018 10:15:11 AM</p> <p>DESIGNER: VAS DESIGN INC.</p>	<p>HEMLOCK 3 9.15m Semi</p> <p>GENERAL NOTES & CHARTS</p> <p>AO</p>
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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or control number or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.



BASEMENT PLAN '2'

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 08 2019
PLUMBING BY
KOFI MORIEL

ALL PLUMBING SHALL CONFORM TO
THE ONTARIO BUILDING CODE, O. REG.
332/12, AS AMENDED, DIVISION B, PART 7.

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 05 2019
BY
MARY FROENETTE

ELEV. '2'-REV.
ELEV. '2'

Engineered floor joists shall be installed
in accordance with the supplier's layout and
specifications forming part of the permit drawings.

CITY OF BRAMPTON
BUILDING DIVISION
DRAWINGS REVIEWED
DEC 10 2018
BY
ESLEY DAHONICK

COLD STORAGE SLAB
3" REINFORCED CONCRETE SLAB
WITH 10M BARS @ 7 7/8" O.C.
DOCS MAY WITH MIN. 1 1/4"
CONC. COVER AND 10M BENT
(24 X 24") DOWELS SPACED NOT
MORE THAN 23 5/8" O.C.

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with the applicable Architectural Design
Guidelines approved by the City of
BRAMPTON.

W Architect Inc.
DESIGN CONTROL REVIEW
OCT 17 2018
FINAL BY: *CTRE*
This stamp is only for the purposes of design
control and carries no other professional obligations.

JUL 27 2018

HEMLOCK 3
COMPLIANCE PACKAGE A1

LOT 37-R



VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

NO	DESCRIPTION	DATE	BY
18			
17			
16			
15			
14	ISSUED FOR PERMIT	AUG 23/18	OM
13	REVISED PER CLIENT/ ENGINEER COMMENTS	JULY 19/18	OM
12	REVISED PER PER IN TRUSS CO-ORD	JUNE 28/18	OM
11	REVISED PER CLIENT COMMENTS	JUN 13/18	OM
10	ISSUED FOR CLIENT REVIEW AND COMMENTS	MAY 24/18	OM
9			
8			
7			
6			
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4			
3			
2			
1			

The undersigned has reviewed and taken responsibility for the design
and has the qualifications and meets the requirements set out in the
Ontario Building Code to be a designer.
Qualification Information:
Richard Vink
name
24488
RCA
42658
V3 Design Inc.
Contractor shall verify all dimensions on the job and report any
discrepancies to the Designer before proceeding with the work. All
drawings and specifications are for information of review and the property
of the Designer which must be returned at the completion of the work.
Drawings are not to be copied.

V3
DESIGN
250 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 F 416.630.4782
v3design.com

Greenpark
MINNISALE HOMES CORP.
BRAMPTON
BASEMENT PLAN - ELEV. '2'
18012-HEMLOCK-3
A1a

HEMLOCK 3
9.15m Semi
18012
18012-HEMLOCK-3
A1a

W Architect Inc.
DESIGN CONTROL REVIEW
JAN. 15, 2019
RECORD FINAL
BY: GGI

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 18 2019
PLUMBING BY
KOFI MORIEL

ALL PLUMBING SHALL CONFORM TO
THE ONTARIO BUILDING CODE, O. REG.
332/12, AS AMENDED, DIVISION B, PART 7.

ELEV. '2'-REV.
ELEV. '2'

RECEIVED
JAN 16 2019
Building Division

All work shall conform to the Ontario
Building Code O. Reg. 332/12 as amended

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 16 2019
BY
MARY FRENETTE

It is the builder's complete responsibility to
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with the applicable Architectural Design
Guidelines approved by the City of
BRAMPTON.



CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEW
JAN 17 2019
BY
LESLEY DAHONICK

JAN 08 2019

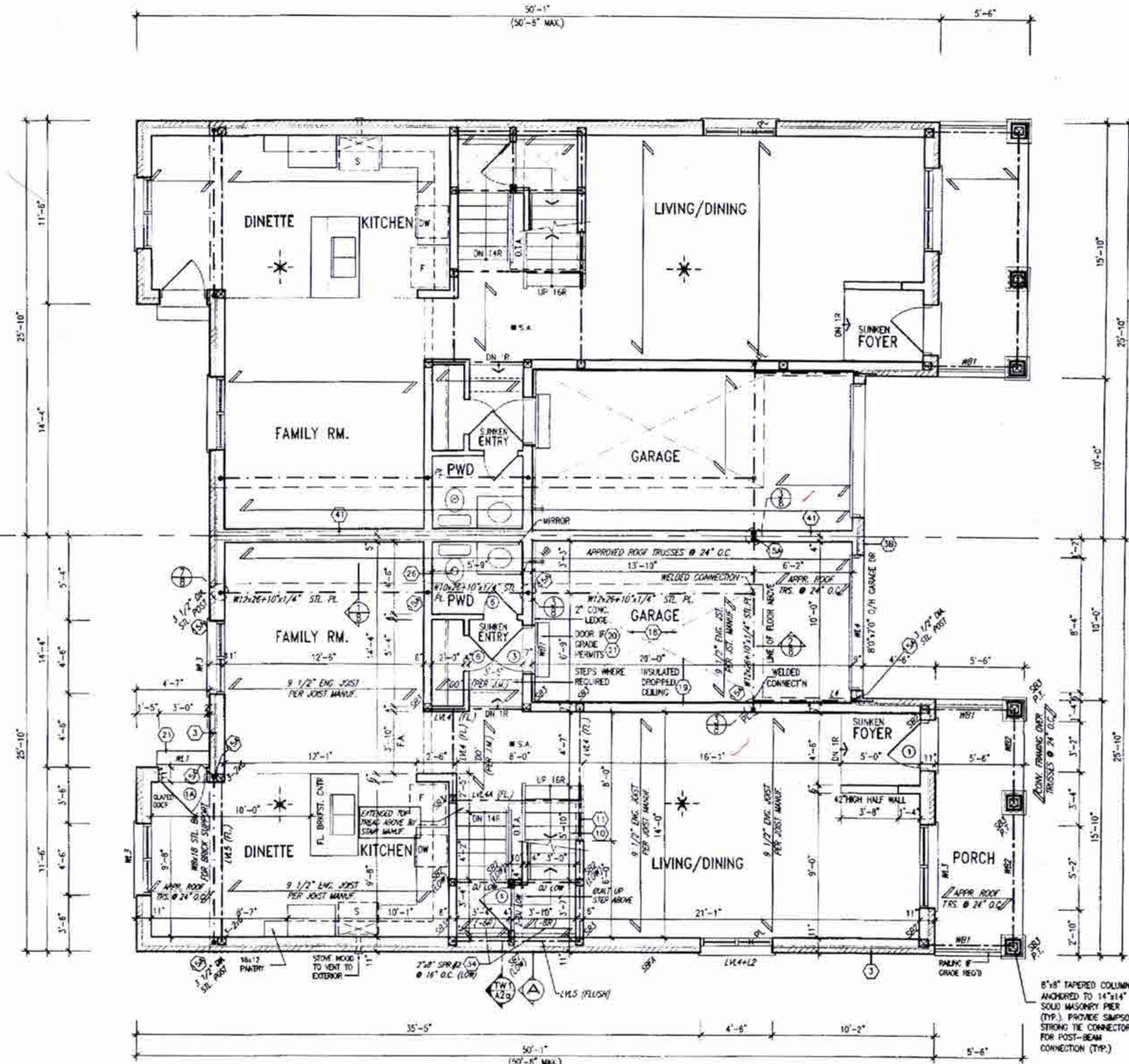
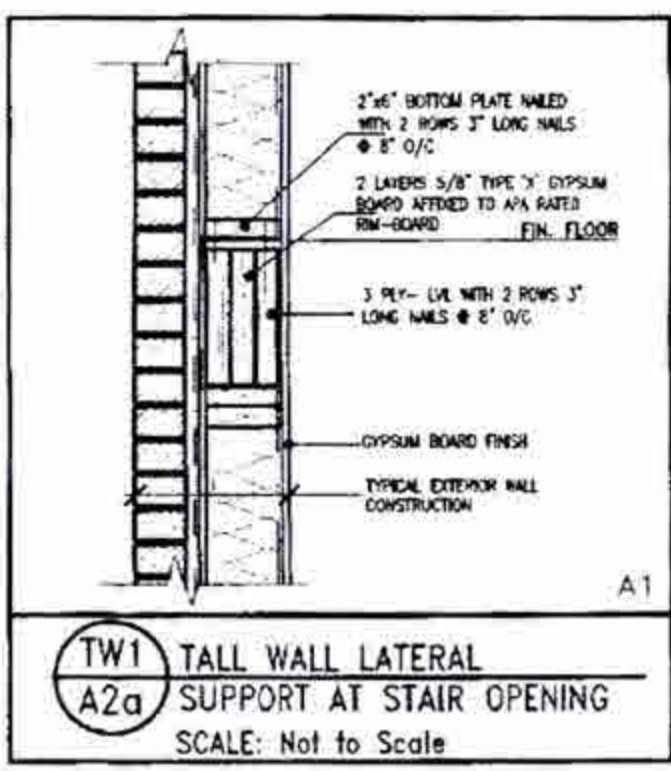
HEMLOCK 3
COMPLIANCE PACKAGE A1

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HEMLOCK 3
9.15m Semi

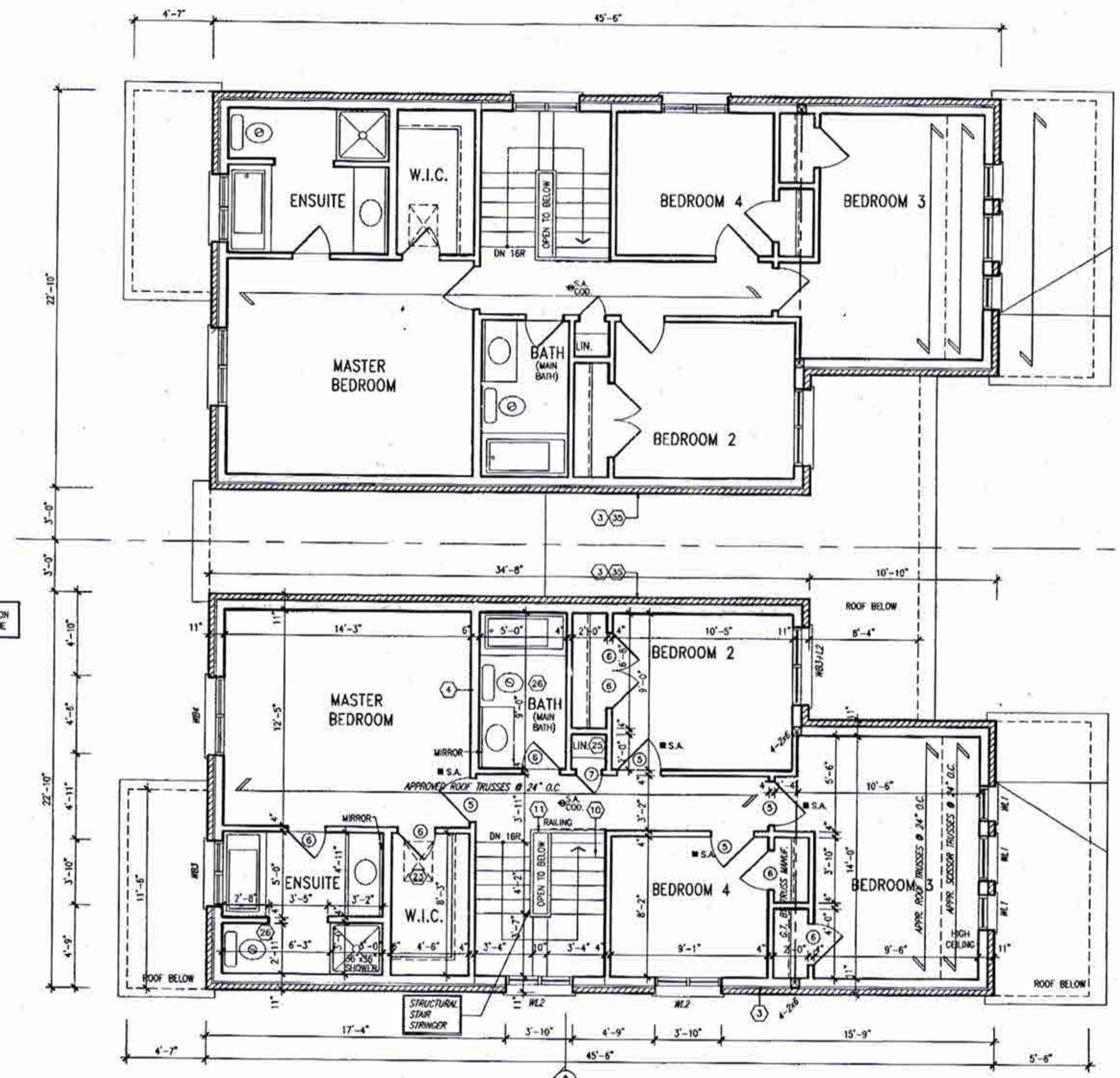
A2a



GROUND FLOOR PLAN '2'

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 08 2019
PLUMBING BY
KOFI MORIEL

ALL WORK SHALL CONFORM TO
THE OF BRAMPTON BUILDING CODE, O. REG.
332/12, AS AMENDED, DIVISION B, PART 7.



INDICATES 45 min. FRR WALL CONDITION
IF LESS THAN 1.2m TO PROPERTY LINE

ELEV. '2'-REV.
ELEV. '2'

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 05 2019
BY
MARY FRENETTE

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
DEC 10 2018
BY
LESLEY DAHONICK

OPTIONAL SECOND FLOOR PLAN '2'
(4 BEDROOM)

W Architect Inc.
DESIGN CONTROL REVIEW
OCT 17 2018
FINAL BY: *CTCS*
This stamp is only for the purposes of design control and carries no other professional obligations.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible in any way for examining or approving any (builder) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.



STRUDET INC.
FOR STRUCTURE ONLY

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WALK CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM REFER TO OBC S.S.2.1,
3.8.3.8(1)(K) & 3.8.3.12(1)(V).

17					
16					
15					
14					
13					
12					
11					
10					
9					
8					
7					
6					
5	ISSUED FOR PERMIT	JULY 23/18	ON	same	24488
4	REVISED PER CLIENT/ ENGINEER COMMENTS	JULY 19/18	ON	same	42650
3	REVISED PER PLAN & TRUSS CO-ORD.	JUNE 28/18	ON	same	
2	REVISED PER CLIENT COMMENTS	JUNE 13/18	ON	same	
1	ISSUED FOR CLIENT REVIEW AND COMMENTS	MAY 24/18	ON	same	
0					

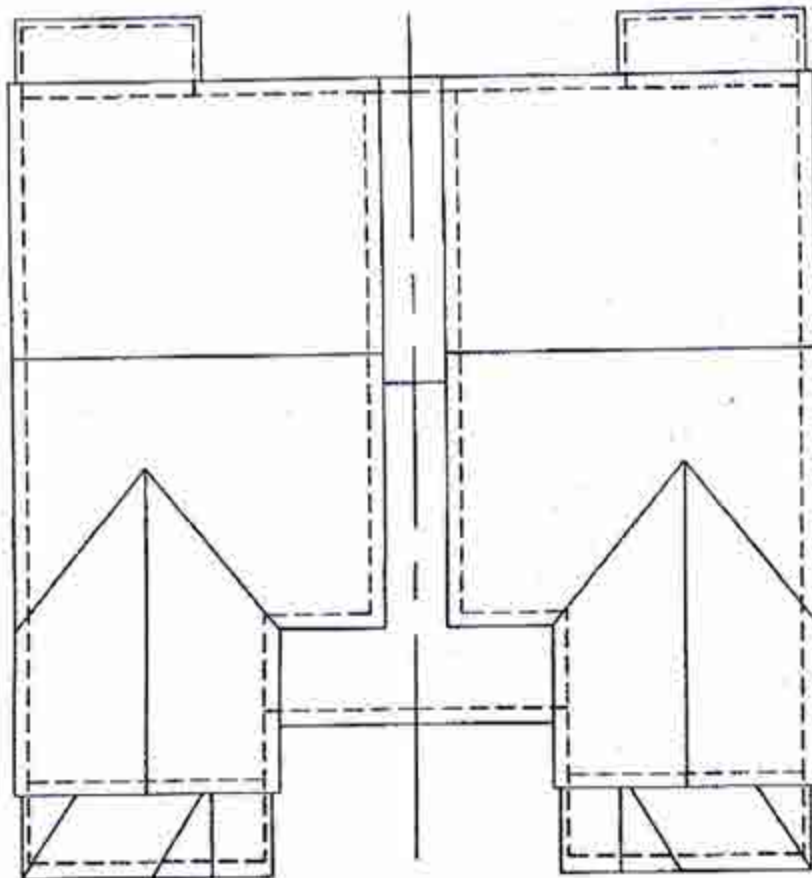
The undersigned has reviewed and signs responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Richard Vitek
signature
24488
42650

VAS DESIGN
250 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
416.630.2255 / 416.630.4782
vasdesign.com

Greenpark.
MINNISALE HOMES CORP.
BRAMPTON
MAY 2018
OPT. SECOND FLOOR PLAN - ELEV. '2'
3/16" = 1'-0"
18012-HEMLOCK-3
A4a

JUL 27 2018
HEMLOCK 3
COMPLIANCE PACKAGE A1
9.15m Semi

HEMLOCK 3
9.15m Semi
18012
18012



ROOF PLAN '2'



FRONT ELEVATION - ELEV. 2

FRONT ELEVATION - ELEV. 2-REV.

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
DEC 10 2018
BY LESLEY DAHONICK

W Architect Inc.
DESIGN CONTROL REVIEW
OCT 17 2018
FINAL BY: *CEE*
This stamp is only for the purposes of design control and carries no other professional obligations.

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 05 2019
BY MARY FHENETTE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for executing or approving any (other) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.
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3'-6" HIGH RAILING IF PORCH SLAB IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN PORCH SLAB IS LESS THAN 5'-11" ABOVE FINISHED GRADE

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

JUL 27 2018

HEMLOCK 3
COMPLIANCE PACKAGE A1

No.	Description	Date	By	As
10	ISSUED FOR CLIENT REVIEW AND COMMENTS	MAY 24/18	ON	
11	2 REVISED PER CLIENT COMMENTS	JUN. 13/18	ON	
12	3 REVISED PER FLR & TRUSS CO-ORD	AUG. 28/18	ON	
13	4 REVISED PER CLIENT/ ENGINEER COMMENTS	JULY 19/18	ON	
14	5 ISSUED FOR PERMIT	AUG. 23/18	ON	
15				
16				
17				
18				
19				

VAS DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
1 416.630.2255 | 416.630.4782
vasdesign.com

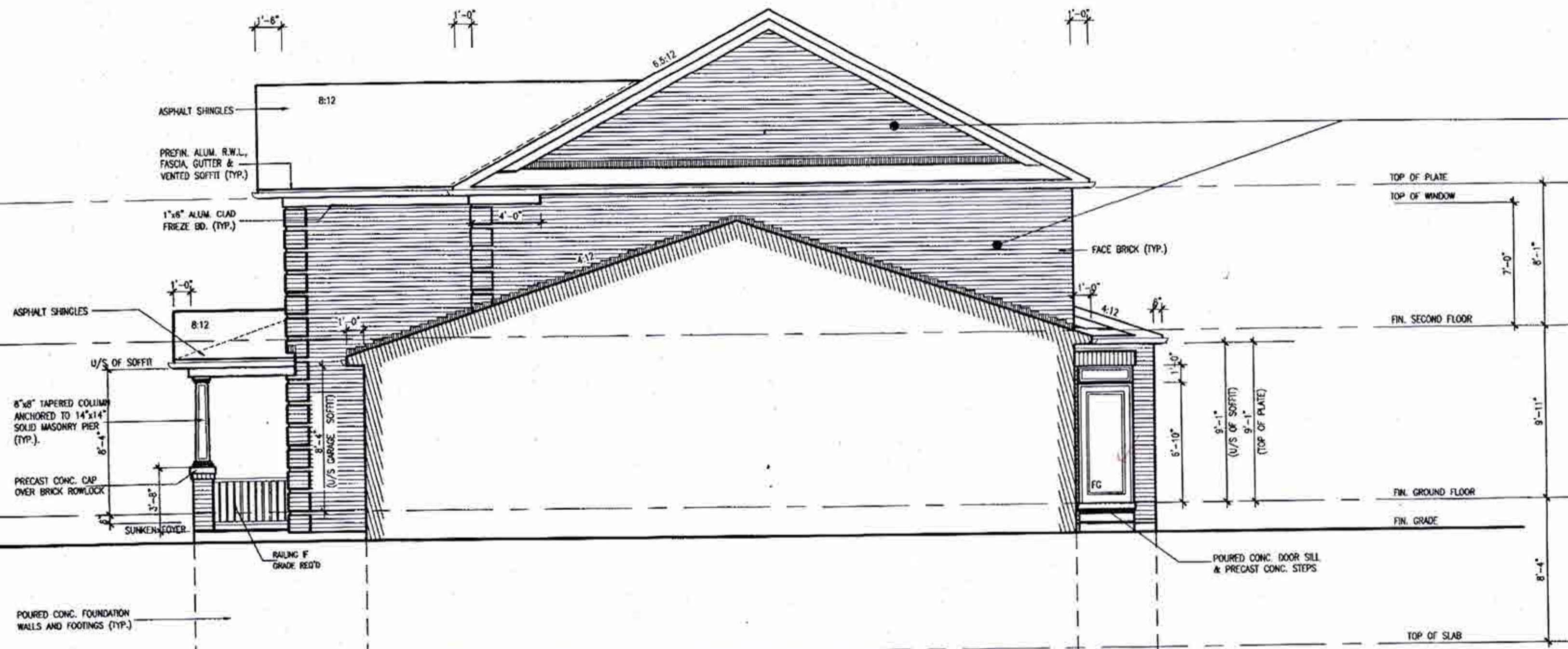
Greenpark.
PROJECT NAME: MINNISALE HOMES CORP.
CITY: BRAMPTON
DATE: MAY 2018
SCALE: 3/16" = 1'-0"

HEMLOCK 3
9.15m Semi
PROJECT NO: 180112
DRAWING NO: 180112-HEMLOCK-3
SCALE: A5a

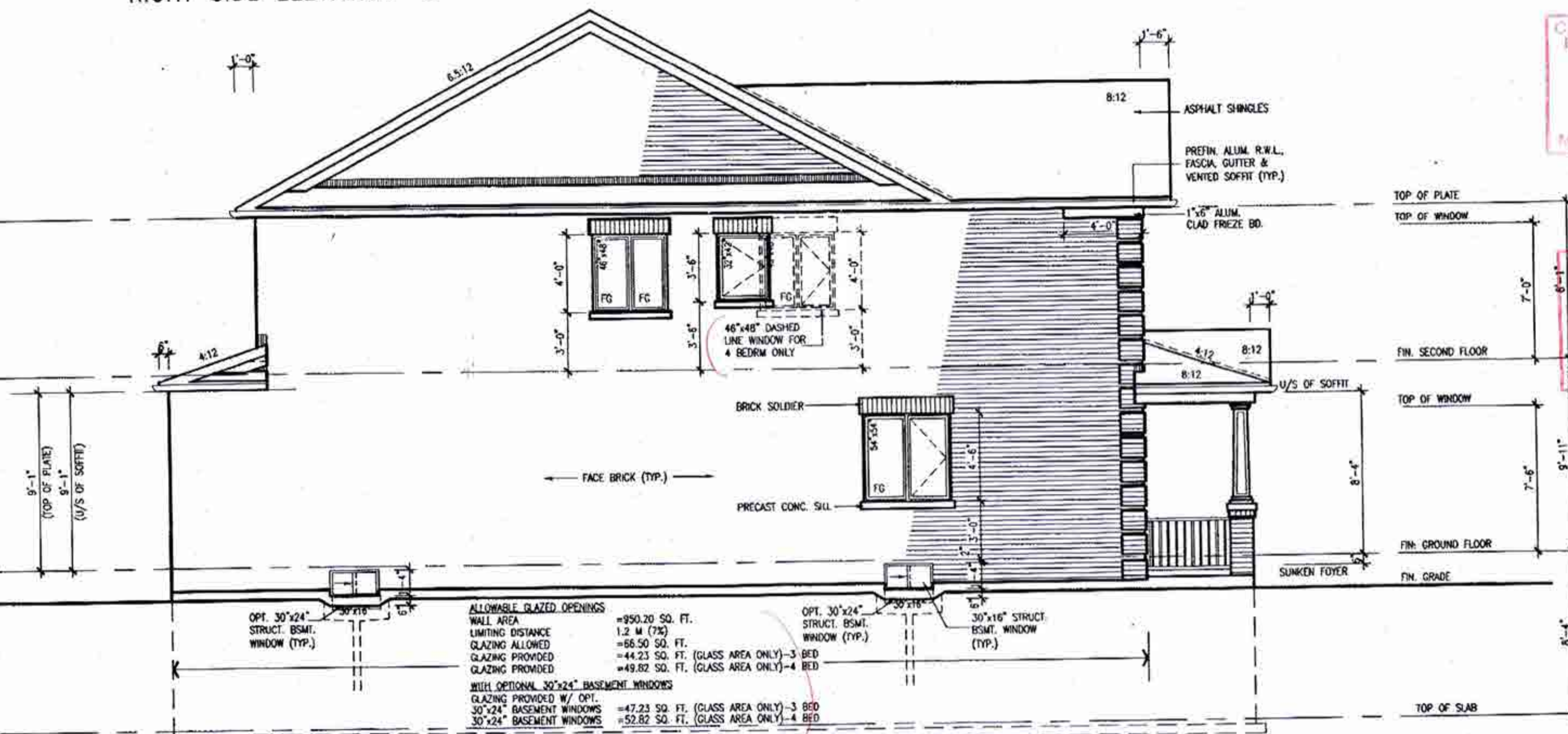
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BRICK VENEER CONSTRUCTION
 (FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
 45 MINUTE FIRE RATED WALL
 PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
 (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

HEADER/RIM JOIST LEVEL
 (FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
 45 MINUTE FIRE RATING @ HEADER
 PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.



RIGHT SIDE ELEVATION '2'



LEFT SIDE ELEVATION '2'

CITY OF BRAMPTON
 BUILDING DIVISION
 REVIEWED
 JAN 05 2018
 BY
 MARY FRENETTE

CITY OF BRAMPTON
 BUILDING DIVISION
 ZONING REVIEWED
 DEC 10 2018
 BY
 LESLEY DAHONICK

W Architect Inc.
 DESIGN CONTROL REVIEW
 OCT 17 2018
 FINAL BY: *CGE*
 This stamp is only for the purposes of design control and carries no other professional obligations.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architectural is not responsible in any way for examining or approving site (posting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.
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3'-8" HIGH RAILING IF PORCH SLAB IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN PORCH SLAB IS LESS THAN 5'-11" ABOVE FINISHED GRADE.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

JUL 27 2018

HEMLOCK 3
 COMPLIANCE PACKAGE A1

no.	description	date	by	no.	description	date	by
10	ISSUED FOR CLIENT REVIEW AND COMMENTS	MAY 24/18	CHW	1	ISSUED FOR PERMIT	JULY 23/18	CHW
11	REVISED PER CLIENT COMMENTS	JUN 13/18	CHW	2	REVISED PER CLIENT COMMENTS	JUN 13/18	CHW
12	REVISED PER CLIENT COMMENTS	JUN 13/18	CHW	3	REVISED PER CLIENT COMMENTS	JUN 13/18	CHW
13	REVISED PER CLIENT COMMENTS	JUN 13/18	CHW	4	REVISED PER CLIENT COMMENTS	JUN 13/18	CHW
14	REVISED PER CLIENT COMMENTS	JUN 13/18	CHW	5	REVISED PER CLIENT COMMENTS	JUN 13/18	CHW
15	REVISED PER CLIENT COMMENTS	JUN 13/18	CHW	6	REVISED PER CLIENT COMMENTS	JUN 13/18	CHW
16	REVISED PER CLIENT COMMENTS	JUN 13/18	CHW	7	REVISED PER CLIENT COMMENTS	JUN 13/18	CHW
17	REVISED PER CLIENT COMMENTS	JUN 13/18	CHW	8	REVISED PER CLIENT COMMENTS	JUN 13/18	CHW
18	REVISED PER CLIENT COMMENTS	JUN 13/18	CHW	9	REVISED PER CLIENT COMMENTS	JUN 13/18	CHW

VAS DESIGN
 255 Consumers Rd Suite 120
 Toronto, ON M2J 1R6
 416.532.2255 / 416.530.4782
 vasdesign.com

Greenpark.
 BRAMPTON
 LEFT & RIGHT SIDE ELEVATION '2'

HEMLOCK 3
 9.15m Semi
 project no. 18012
 sheet no. A6a



REAR ELEVATION ELEV. '2'-REV.

REAR ELEVATION ELEV. '2'

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JAN 05 2013
BY
MARY FRENETTE

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
DEC 10 2011
BY
LESLEY DARONICK

W Architect Inc.
DESIGN CONTROL REVIEW
OCT 17 2018
FINAL BY: GGE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for assembling or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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3'-6" HIGH RAILING IF PORCH SLAB IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN PORCH SLAB IS LESS THAN 5'-11" ABOVE FINISHED GRADE

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

JUL 27 2018

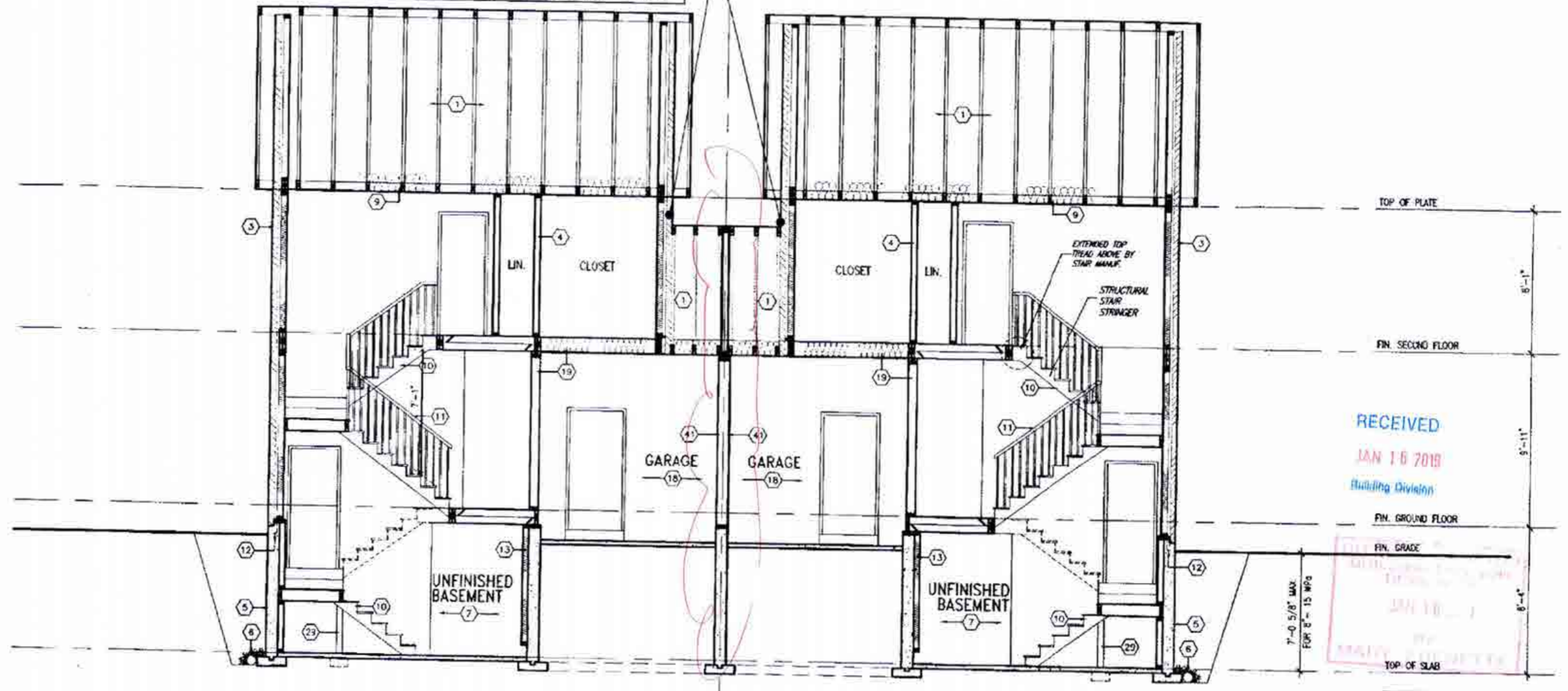
HEMLOCK 3
COMPLIANCE PACKAGE A1

No.	Description	Date	By
18			
17			
16			
15			
14			
13			
12			
11			
10			
9			
8			
7			
6			
5	ISSUED FOR PERMIT	JULY 23/18	GW
4	REVISED PER CLIENT/ ENGINEER COMMENTS	JULY 19/18	GW
3	REVISED PER FLR & TRUSS CO-ORD.	JUNE 26/18	GW
2	REVISED PER CLIENT COMMENTS	JUN 13/18	GW
1	ISSUED FOR CLIENT REVIEW AND COMMENTS	MAY 24/18	GW

		HEMLOCK 3 9.15m Semi
		255 Consumers Rd. Suite 120 Toronto, ON M2J 1R6 1-416-630-2255 / 416-630-4782 va3design.com
PROJECT NAME MINNISALE HOMES CORP.	LOCATION BRAMPTON	SHEET NO. 18012
DATE MAY 2018	SCALE 3/16" = 1'-0"	DRAWING NO. 18012-HEMLOCK-3
DRAWN BY GGE		CHECKED BY GGE
THIS STAMP IS ONLY FOR THE PURPOSES OF DESIGN CONTROL AND CARRIES NO OTHER PROFESSIONAL OBLIGATIONS		DRAWING NO. A7a

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BRICK VENEER CONSTRUCTION
 (FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
 PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702. MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS WITH A MASS OF NOT LESS THAN 1.27 Sq/SC.M. AND MUST FILL AT LEAST 80% OF THE CAVITY THICKNESS THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHURS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
 (REFER TO SECTION 58-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)



SECTION A-A
ELEVATION '2'

SECTION A-A
ELEVATION '2'-REV

RECEIVED
 JAN 16 2019
 Building Division

It is the holder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the local master agreement. The holder of this contract is not responsible for any errors or omissions in the drawings or for any damage or loss of any kind resulting from the use of these drawings. The holder of this contract is not responsible for any damage or loss of any kind resulting from the use of these drawings.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.



JAN 08 2019

HEMLOCK 3
 COMPLIANCE PACKAGE A1

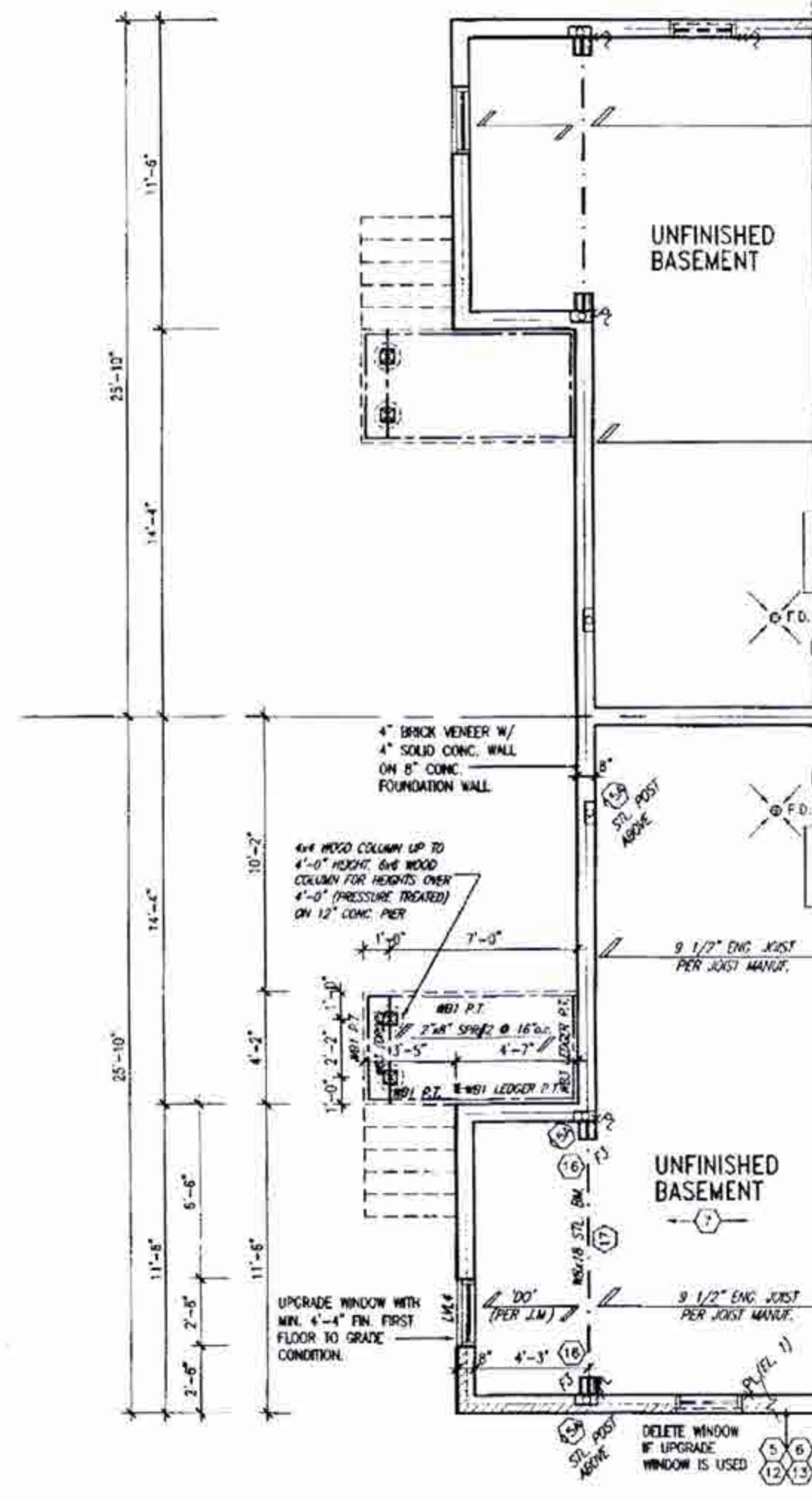
1	ISSUED FOR PERMIT	AUG 23/18	OK	Richard Volk	24485
2	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 19/18	OK	Richard Volk	24485
3	REVISED PER CLIENT/ENGINEER COMMENTS	JUNE 29/18	OK	Richard Volk	24485
4	REVISED PER CLIENT/ENGINEER COMMENTS	JUN 13/18	OK	Richard Volk	24485
5	ISSUED FOR CLIENT REVIEW AND COMMENTS	MAY 24/18	OK	Richard Volk	24485



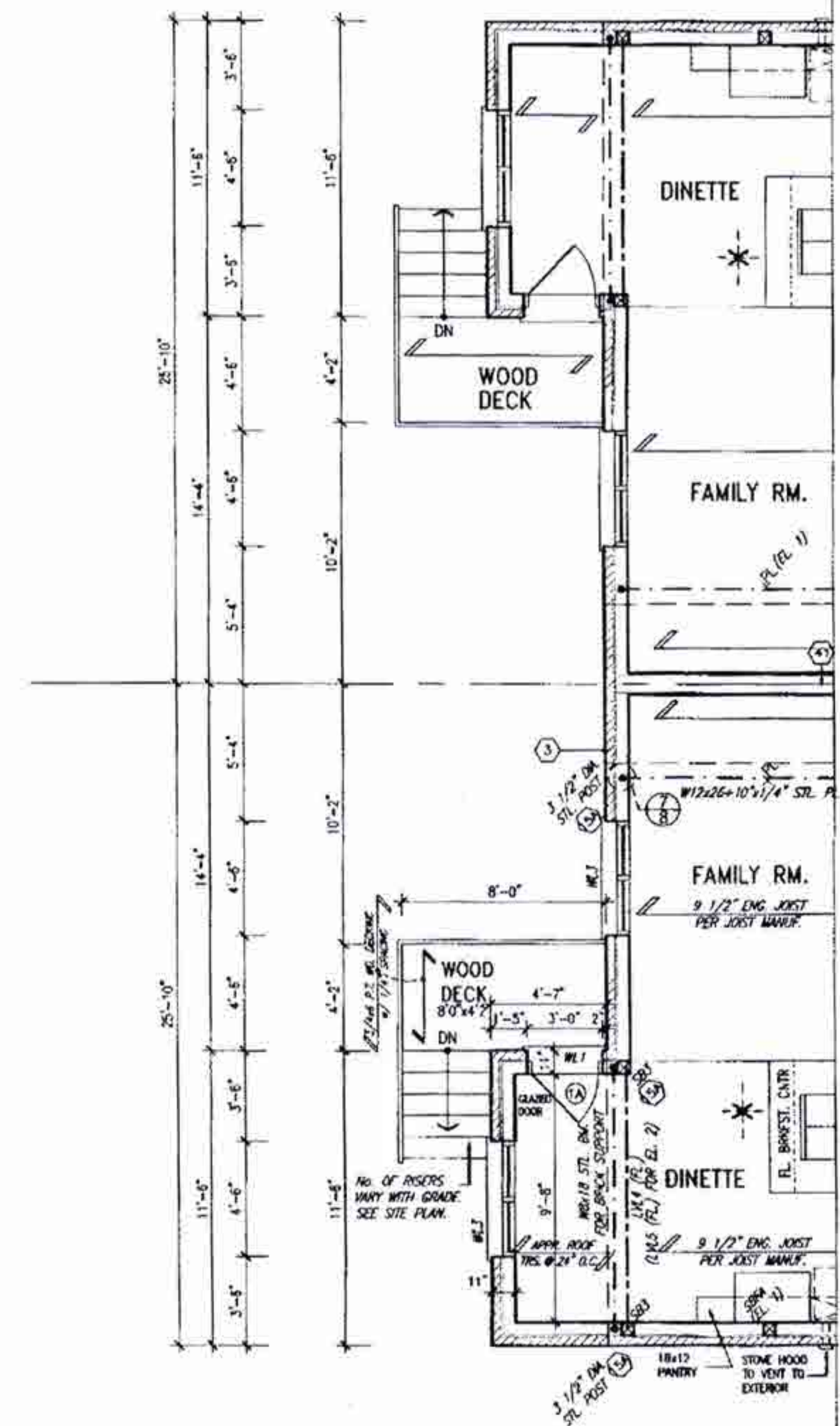
HEMLOCK 3
 9.15m Semi
 project name: MINNISALE HOMES CORP.
 location: BRAMPTON
 sheet: CROSS SECTION A-A ELEV. '2'
 drawing no: 18012
 scale: 3/16" = 1'-0"
 date: 18012-HEMLOCK-3
 A9a

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W Architect Inc.
 DESIGN CONTROL REVIEW
 JAN. 15, 2019
 RECERT FINAL BY C.G.L.



PARTIAL BASEMENT PLAN
W.O.D. CONDITION



PARTIAL GROUND FLOOR PLAN
W.O.D. CONDITION

REFER TO STANDARD BASEMENT
PLAN FOR WINDOWS THAT MAY BE
ELIMINATED WITH UPGRADED REAR
WINDOWS OF DECK CONDITION.

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

PLANS AND ELEVATION ILLUSTRATE DECK
CONDITIONS WHERE GRADE PERMITS. BASEMENT
WINDOWS APPLY TO CONDITIONS OF A MINIMUM
4'-4" FROM FINISHED FIRST FLOOR TO GRADE.

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

RECEIVED
 JAN 16 2019
 Building Division

JAN 16 2019
 CIVIL ENGINEER
 CIVIL ENGINEER

It is the customer's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for any holding or approving any building plans or making drawings with regard to any zoning or building code or Department or that any house can be properly built or located on its lot.

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STRUDET INC.
FOR STRUCTURE ONLY

JAN 08 2019

HEMLOCK 3
COMPLIANCE PACKAGE A1

<p>18</p> <p>17</p> <p>16</p> <p>15</p> <p>14</p> <p>13</p> <p>12</p> <p>11</p> <p>10</p> <p>9</p> <p>8</p> <p>7</p> <p>6</p> <p>5</p> <p>4</p> <p>3</p> <p>2</p> <p>1</p>	<p>3</p> <p>4</p> <p>5</p> <p>6</p> <p>7</p> <p>8</p> <p>9</p> <p>10</p> <p>11</p> <p>12</p> <p>13</p> <p>14</p> <p>15</p> <p>16</p> <p>17</p> <p>18</p>	<p>For underground use, consult and take responsibility for this work and for the specifications and notes in the Ontario Building Code for the applicable qualification information.</p> <p>Richard Vink 24465 42858</p> <p>ISSUED FOR PERMITS: JULY 23/18 ON</p> <p>REVISED PER CLIENT/ENGINEER COMMENTS: JULY 16/18 ON</p> <p>REVISED PER PLR & TRUSS CO-ORD: JUNE 26/18 ON</p> <p>REVISED PER CLIENT COMMENTS: JUN 15/18 ON</p> <p>ISSUED FOR CLIENT REVIEW AND COMMENTS: MAY 24/18 ON</p>	<p>VA3 DESIGN</p> <p>255 Consumers Rd. Suite 120 Toronto, ON M2J 1R4 1-416-630-2255 / 416-630-4782 va3design.com</p>	<p>Greenpark.</p> <p>MINNISALE HOMES CORP.</p> <p>BRAMPTON</p>	<p>HEMLOCK 3 9.15m Semi</p> <p>18012</p> <p>PARTIAL PLANS W.O.D. CONDITION</p> <p>18012-HEMLOCK-3</p> <p>5/16" = 1'-0"</p> <p>A10</p>
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